

# ADELAIDE TOWER EXPANSION

17 Aberdeen Street  
 Ottawa, Ontario, Canada  
 K1S 3J3

## REVISED SITE PLAN APPLICATION JANUARY 11, 2019

### DRAWING LIST

#### ARCHITECTURE

No.	SHEET NAME
A003	SITE PLAN
A101a	PLAN-EXISTING P4 PARKING LEVEL
A101b	PLAN-PROPOSED P4 PARKING LEVEL
A102a	PLAN-EXISTING P3 PARKING LEVEL
A102b	PLAN-PROPOSED P3 PARKING LEVEL
A103a	PLAN-EXISTING P2 PARKING LEVEL
A103b	PLAN-PROPOSED P2 PARKING LEVEL
A104a	PLAN-EXISTING P1 PARKING LEVEL
A104b	PLAN-PROPOSED P1 PARKING LEVEL
A105	SECOND FLOOR PLAN (PODIUM LEVEL)
A106	THIRD FLOOR PLAN
A107	FOURTH FLOOR PLAN
A108	FIFTH TO TENTH FLOOR PLAN-TYPICAL
A109	ELEVENTH TO TWENTY-SIXTH FLOOR PLAN-TYPICAL
A110	TWENTY SEVENTH FLOOR PLAN
A111	TWENTY EIGHTH TO TWENTY NINTH FLOOR PLAN -TYPICAL
A112	THIRTIETH FLOOR PLAN
A113	MECHANICAL PENTHOUSE FLOOR PLAN
A114	ROOF PLAN
A115	10TH FLOOR ADELAIDE ADDITION FLOOR PLAN
A301	BUILDING SECTION A
A302	BUILDING SECTION B
A401	NORTH ELEVATION
A402	EAST AND WEST ELEVATIONS
A403	SOUTH ELEVATION
Total: 25	

#### LANDSCAPE

No.	SHEET NAME
L-100	LANDSCAPING MATERIALS PLAN
L-101	LANDSCAPING MATERIALS PLAN ENLARGMENTS
L-400	LANDSCAPING PLANTING PLAN
L-500	LANDSCAPING DETAILS
L-501	LANDSCAPING DETAILS
LT-1	CURRENT VEGETATION PLAN
LT-2	PROPOSED DEVELOPMENT - CONSERVED VEGETATION
Total: 7	


#### CIVIL

No.	SHEET NAME
C-100	GENERAL PLAN OF SERVICES
C-101	GRADING PLAN
Total: 2	

Grand Total: 34

### PROJECT TEAM


#### ARCHITECTURAL:

 **IBI GROUP**  
 333 Preston Street, Suite 400, Ottawa, On, Ca  
 Tel (613)-225-1311 Fax: (613)-241-1130

#### LANDSCAPING:

 **IBI GROUP**  
 7th Floor - 55 St. Clair Avenue West, Toronto, On, Ca  
 Tel (416)-596-1930

#### STRUCTURAL:

 **Cleland Jardine Engineering Ltd.**  
 200-580 Terry Fox Drive, Kanata, Ontario, Canada, K2L 4B9  
 Phone: 613-591-1533x232 Fax: 613-591-1703


#### MECHANICAL:

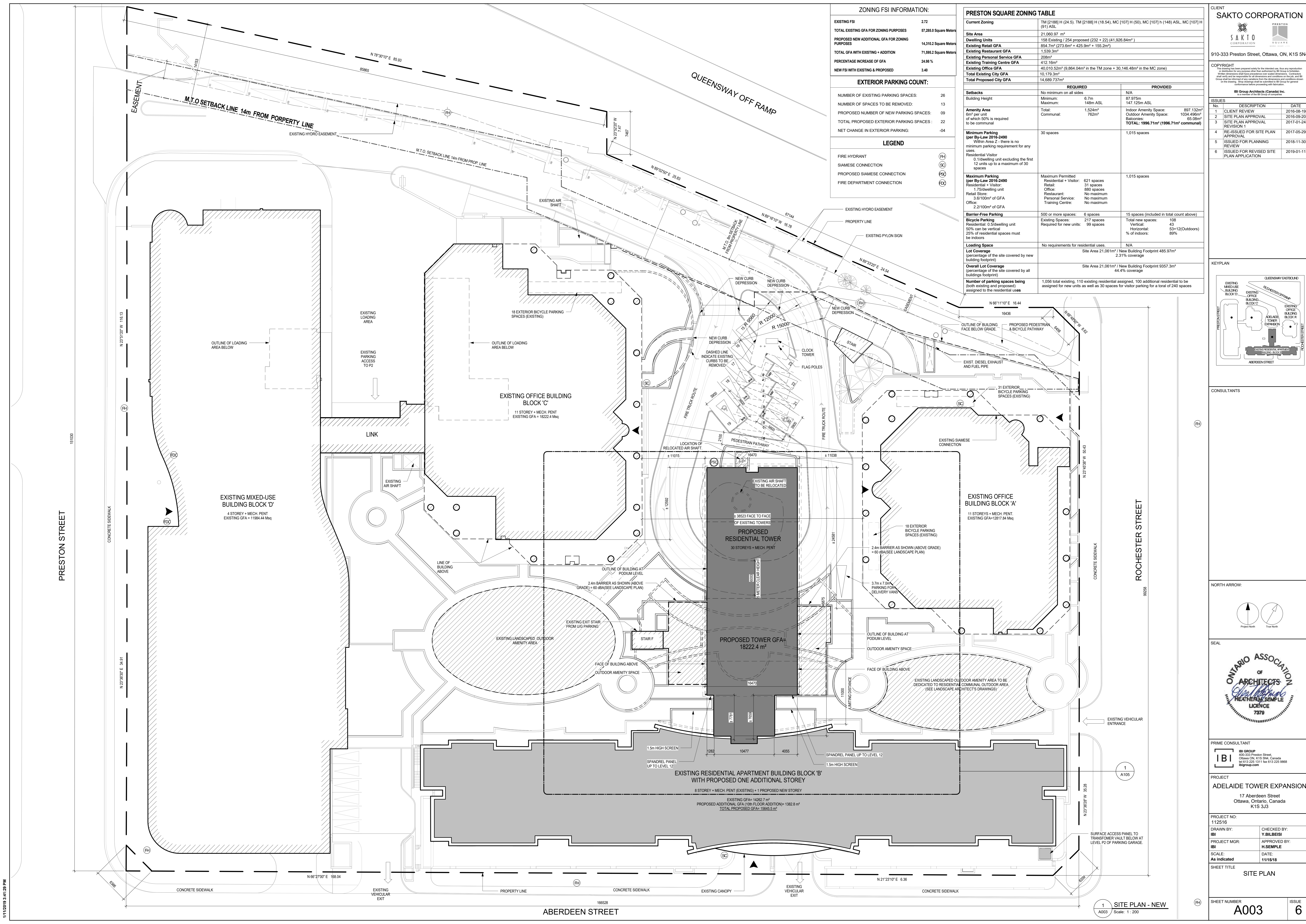
 **Bouthillette Parizeau**  
 9825 Verville Street  
 Montreal, Quebec H3L 3E1  
 Phone: 514-383-3747

#### ELECTRICAL:

 **Bouthillette Parizeau**  
 1960 Robertson Road, suite 100  
 Ottawa, Ontario, K2H 5B9  
 Phone: 613-596-6454

#### SURVEYOR:

 **Annis O'Sullivan Vollebakk Ltd.**  
 Ontario Land Surveyors  
 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6  
 Tel 613-727-0850 (Ext 237) Fax 613-727-1079



**ZONING FSJ INFORMATION:**

EXISTING FSJ	272
TOTAL EXISTING GFA FOR ZONING PURPOSES	\$7,265.0 Square Meters
PROPOSED NEW ADDITIONAL GFA FOR ZONING PURPOSES	14,310.2 Square Meters
TOTAL GFA WITH EXISTING + ADDITION	71,555.2 Square Meters
PERCENTAGE INCREASE OF GFA	24.58 %
NEW FSJ WITH EXISTING & PROPOSED	3.40

**EXTERIOR PARKING COUNT:**

NUMBER OF EXISTING PARKING SPACES:	26
NUMBER OF SPACES TO BE REMOVED:	13
PROPOSED NUMBER OF NEW PARKING SPACES:	09
TOTAL PROPOSED EXTERIOR PARKING SPACES:	22
NET CHANGE IN EXTERIOR PARKING:	-04

**LEGEND**

- FIRE HYDRANT (FH)
- SIAMESE CONNECTION (SC)
- PROPOSED SIAMESE CONNECTION (PSC)
- FIRE DEPARTMENT CONNECTION (FDC)

**PRESTON SQUARE ZONING TABLE**

Current Zoning	TM (2188) H (24.5), TM (2188) H (18.54), MC (107) H (50), MC (107) h (148) ASL, MC (107) H (91) ASL
Site Area	21,060.97 m <sup>2</sup>
Dwelling Units	158 Existing / 254 proposed (232 + 22) (41,926.84m <sup>2</sup> )
Existing Retail GFA	854.7m <sup>2</sup> (273.6m <sup>2</sup> + 425.3m <sup>2</sup> + 155.2m <sup>2</sup> )
Existing Restaurant GFA	1,539.3m <sup>2</sup>
Existing Personal Service GFA	208m <sup>2</sup>
Existing Training Centre GFA	412.16m <sup>2</sup>
Existing Office GFA	140,910.52m <sup>2</sup> (9,854.04m <sup>2</sup> in the TM zone + 30,146.48m <sup>2</sup> in the MC zone)
Total Existing City GFA	10,179.3m <sup>2</sup>
Total Proposed City GFA	14,689.737m <sup>2</sup>

	REQUIRED	PROVIDED
Setbacks	No minimum on all sides	N/A
Building Height	Minimum: 6.7m Maximum: 148m ASL	87.975m 147.152m ASL
Amenity Area	Total: 1,524m <sup>2</sup> Communal: 762m <sup>2</sup>	Indoor Amenity Space: 897.132m <sup>2</sup> Outdoor Amenity Space: 1034.496m <sup>2</sup> Balconies: 65.58m <sup>2</sup> <b>TOTAL: 1996.71m<sup>2</sup> (1996.71m<sup>2</sup> communal)</b>
Minimum Parking (per By-Law 2016-2490)	30 spaces	1,015 spaces
Residential Visitor	0.1dwelling unit excluding the first 12 units up to a maximum of 30 spaces	
Maximum Parking (per By-Law 2016-2490)	Maximum Permitted: Residential + Visitor: 621 spaces Retail: 31 spaces Office: 880 spaces Restaurant: No maximum Personal Service: No maximum Training Centre: No maximum	1,015 spaces
Barrier-Free Parking	500 or more spaces: 6 spaces	15 spaces (included in total count above)
Bicycle Parking	Residential: 0.5dwelling unit 90% can be vertical 25% of residential spaces must be indoors	Existing Spaces: 217 spaces Required for new units: 99 spaces Total new spaces: 108 Vertical: 43 Horizontal: 53+12(Outdoors) % of indoors: 89%
Loading Space	No requirements for residential uses.	N/A
Lot Coverage	(percentage of the site covered by new building footprint)	Site Area 21,061m <sup>2</sup> / New Building Footprint 485.97m <sup>2</sup> 2.31% coverage
Overall Lot Coverage	(percentage of the site covered by all buildings footprint)	Site Area 21,061m <sup>2</sup> / New Building Footprint 937.3m <sup>2</sup> 4.4% coverage
Number of parking spaces being assigned to the residential uses	1,055 total existing, 110 existing residential assigned, 100 additional residential to be assigned for new units as well as 30 spaces for visitor parking for a total of 240 spaces	

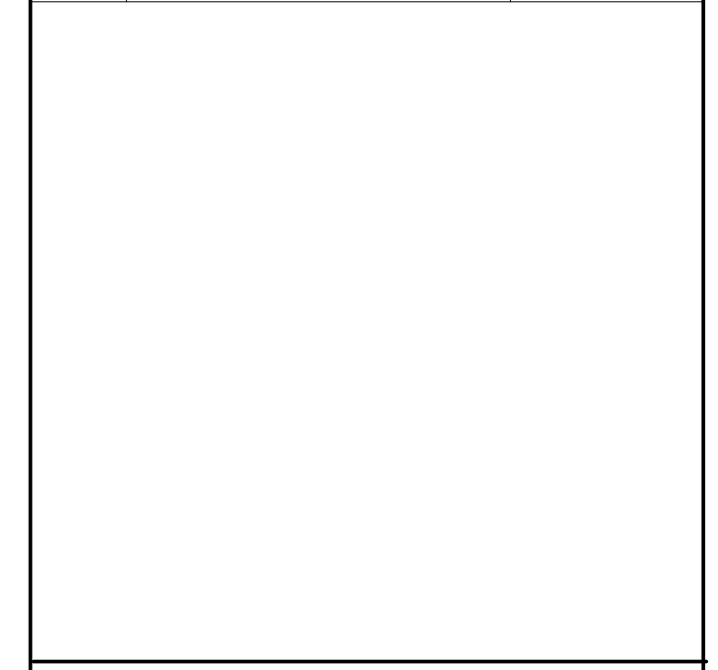
CLIENT  
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**ISSUES**

NO.	DESCRIPTION	DATE
1	CLIENT REVIEW	2016-09-19
2	SITE PLAN APPROVAL	2016-09-20
3	SITE PLAN APPROVAL	2017-01-24
REVISION 1		
4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29
5	ISSUED FOR PLANNING REVIEW	2018-11-30
6	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11



**CONSULTANTS**

**ONTARIO ASSOCIATION OF ARCHITECTS**  
HEATHER SEMPLE LICENCE 7379

**PRIME CONSULTANT**

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ibigroup.com

**PROJECT**  
**ADELAIDE TOWER EXPANSION**  
17 Aberdeen Street  
Ottawa, Ontario, Canada  
K1S 3J3

**PROJECT NO.:**  
112516

**DRAWN BY:**  
IBI

**CHECKED BY:**  
Y. BILBERS

**PROJECT MGR:**  
IBI

**APPROVED BY:**  
H. SEMPLE

**SCALE:**  
As Indicated

**DATE:**  
11/15/18

**SHEET TITLE**  
**SITE PLAN**

**SHEET NUMBER**  
A003

**ISSUE**  
6

11/12/2019 3:41:29 PM

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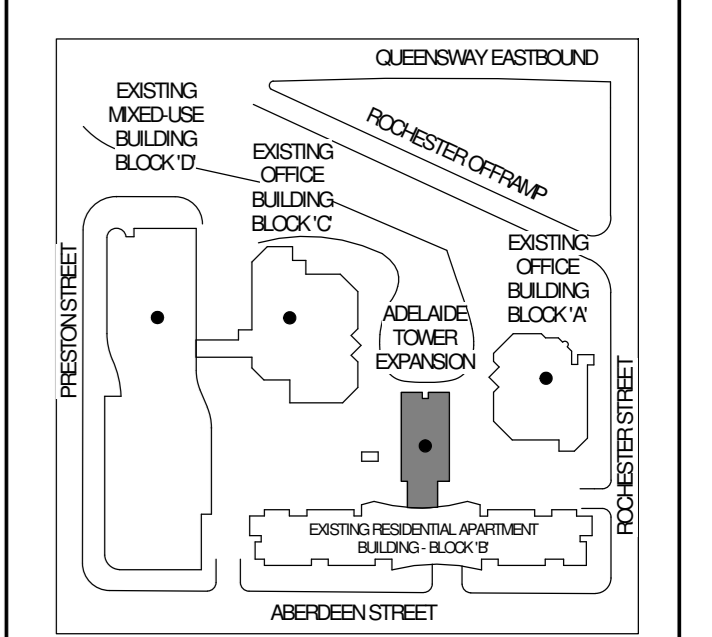


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**KEYPLAN**



**CONSULTANTS**

**NORTH ARROW:**

**SEAL**

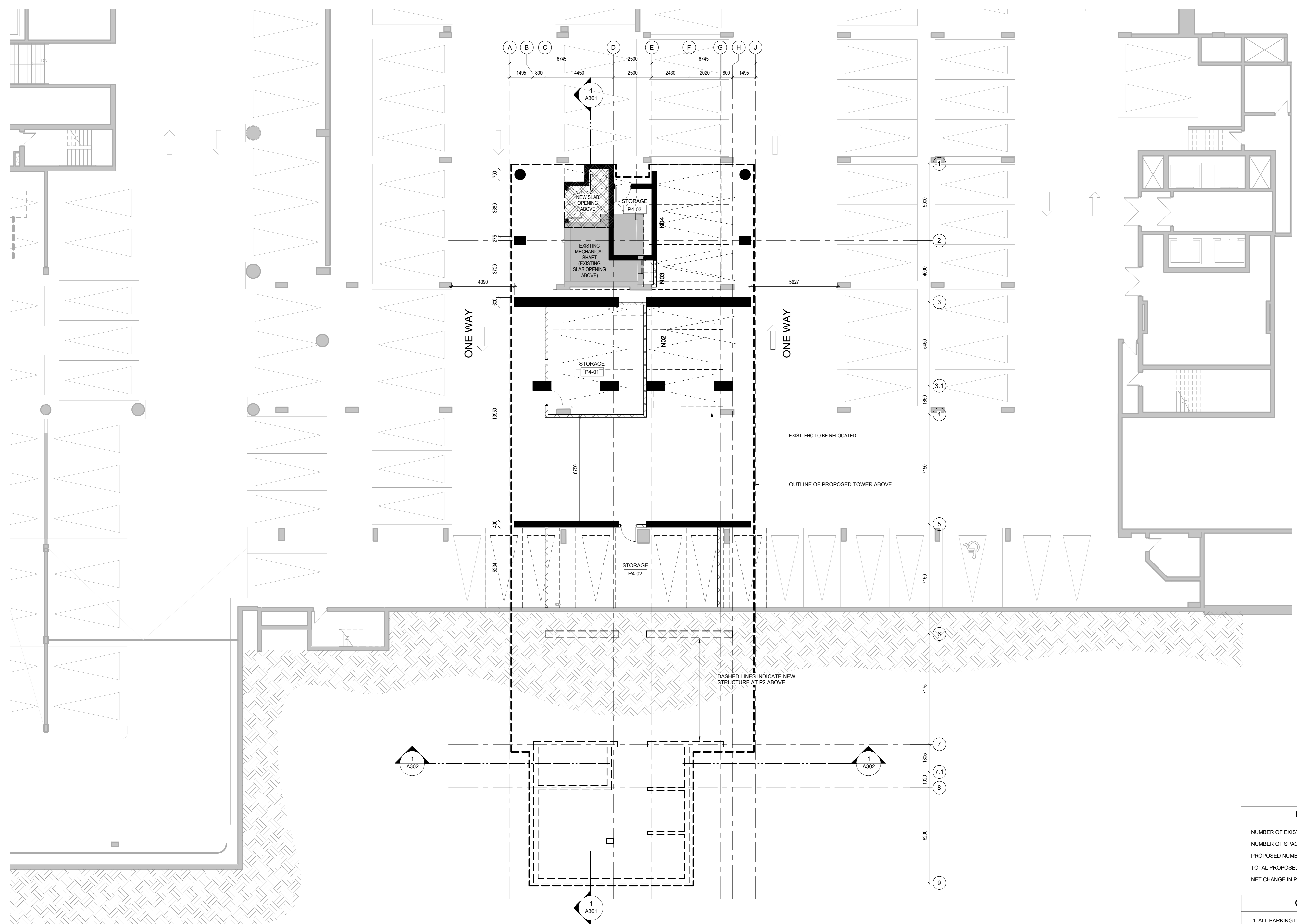


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**PROJECT**  
**ADELAIDE TOWER EXPANSION**  
17 Aberdeen Street  
Ottawa, Ontario, Canada  
K1S 3J3

**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**PROJECT MGR:** IBI  
**CHECKED BY:** H SEMPLE  
**APPROVED BY:** Approver

**SCALE:** As indicated  
**DATE:** 11/15/18  
**SHEET TITLE:** PLAN-PROPOSED P4 PARKING LEVEL  
**SHEET NUMBER:** A101b  
**ISSUE:** 6



**PARKING COUNT:**

NUMBER OF EXISTING PARKING SPACES:	224
NUMBER OF SPACES TO BE REMOVED:	14
PROPOSED NUMBER OF NEW PARKING SPACES:	5
TOTAL PROPOSED PARKING SPACES AT P4:	215
NET CHANGE IN PARKING AT P4:	-9

**GENERAL NOTES:**

1. ALL PARKING DIMENSIONS ARE AS SHOWN BELOW, EXCEPT WHERE INDICATED OTHERWISE.

NEW HORIZONTAL AND VERTICAL BICYCLE PARKING SPACES.

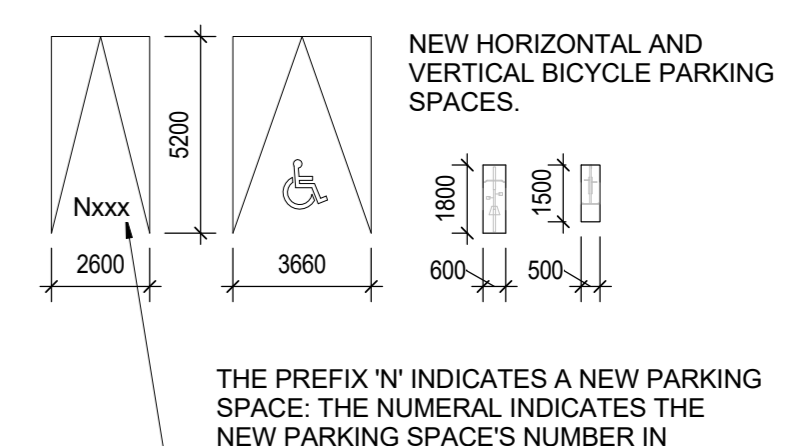
THE PREFIX 'N' INDICATES A NEW PARKING SPACE. THE NUMERAL INDICATES THE SEQUENCE. FOR EXAMPLE, 'N12' IS THE 12th NEW PARKING SPACE. ALL OTHER PARKING SPACES ARE EXISTING.

**LEGEND:**

	NEW STRUCTURAL CONCRETE WALL/COLUMN.
	EXISTING STRUCTURAL CONCRETE WALL/COLUMN TO REMAIN.
	NEW SLAB OPENING FOR GARAGE EXHAUST SHAFT.

**GENERAL NOTES:**

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**LEGEND:**

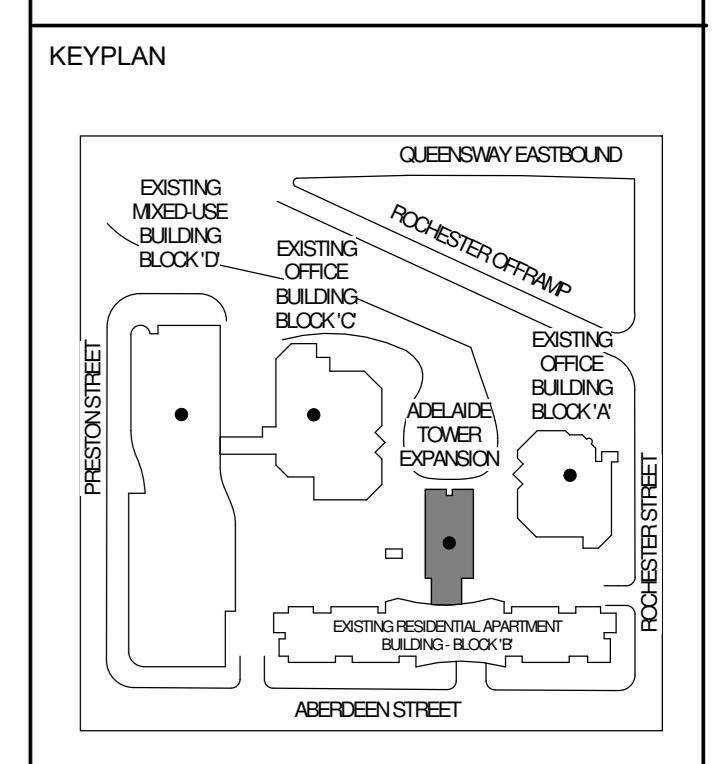
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- EXISTING STRUCTURAL CONCRETE WALL/COLUMN TO REMAIN.
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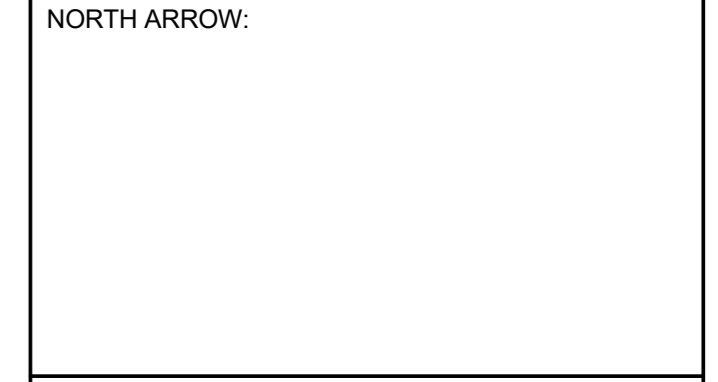
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**NORTH ARROW:**




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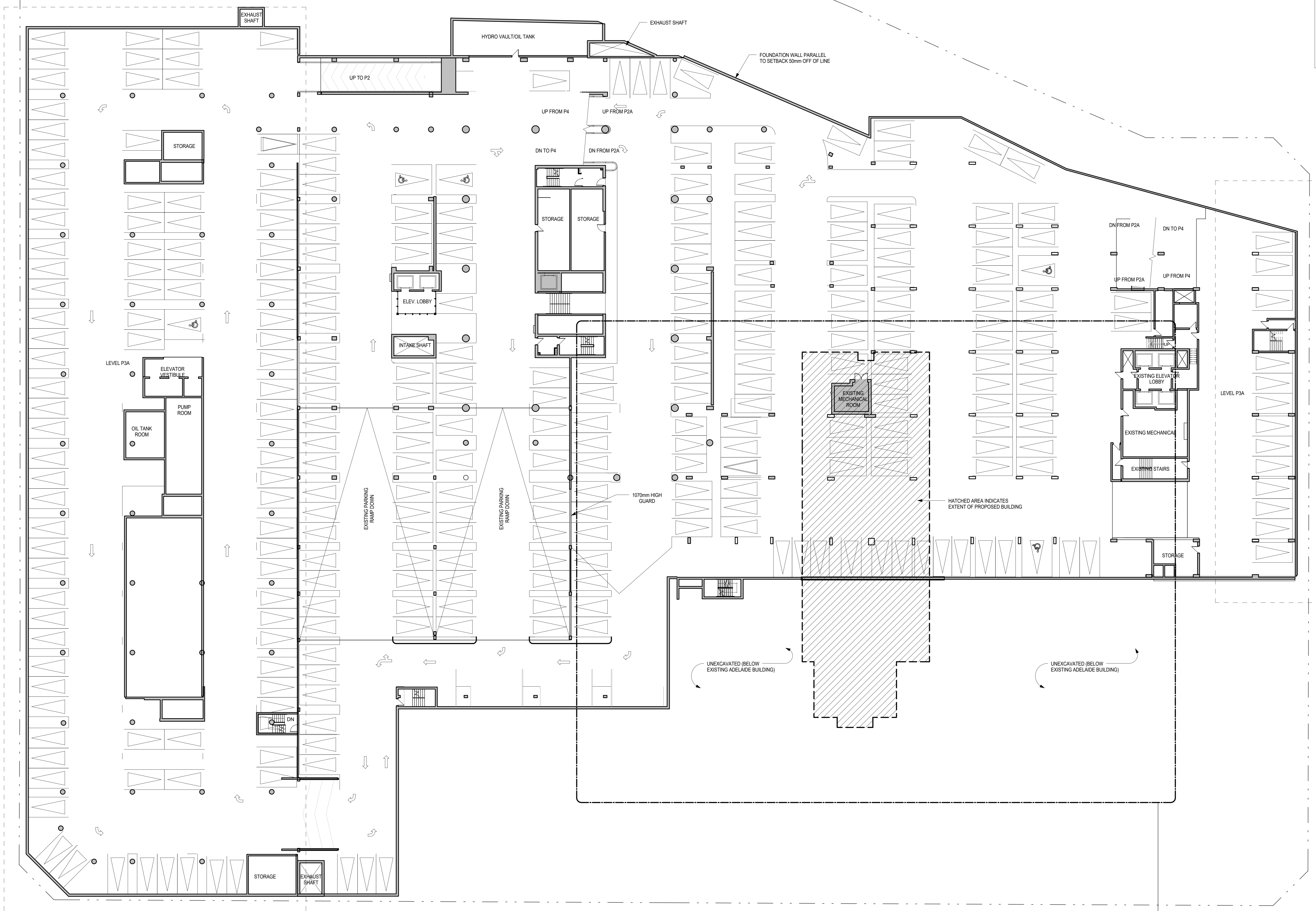
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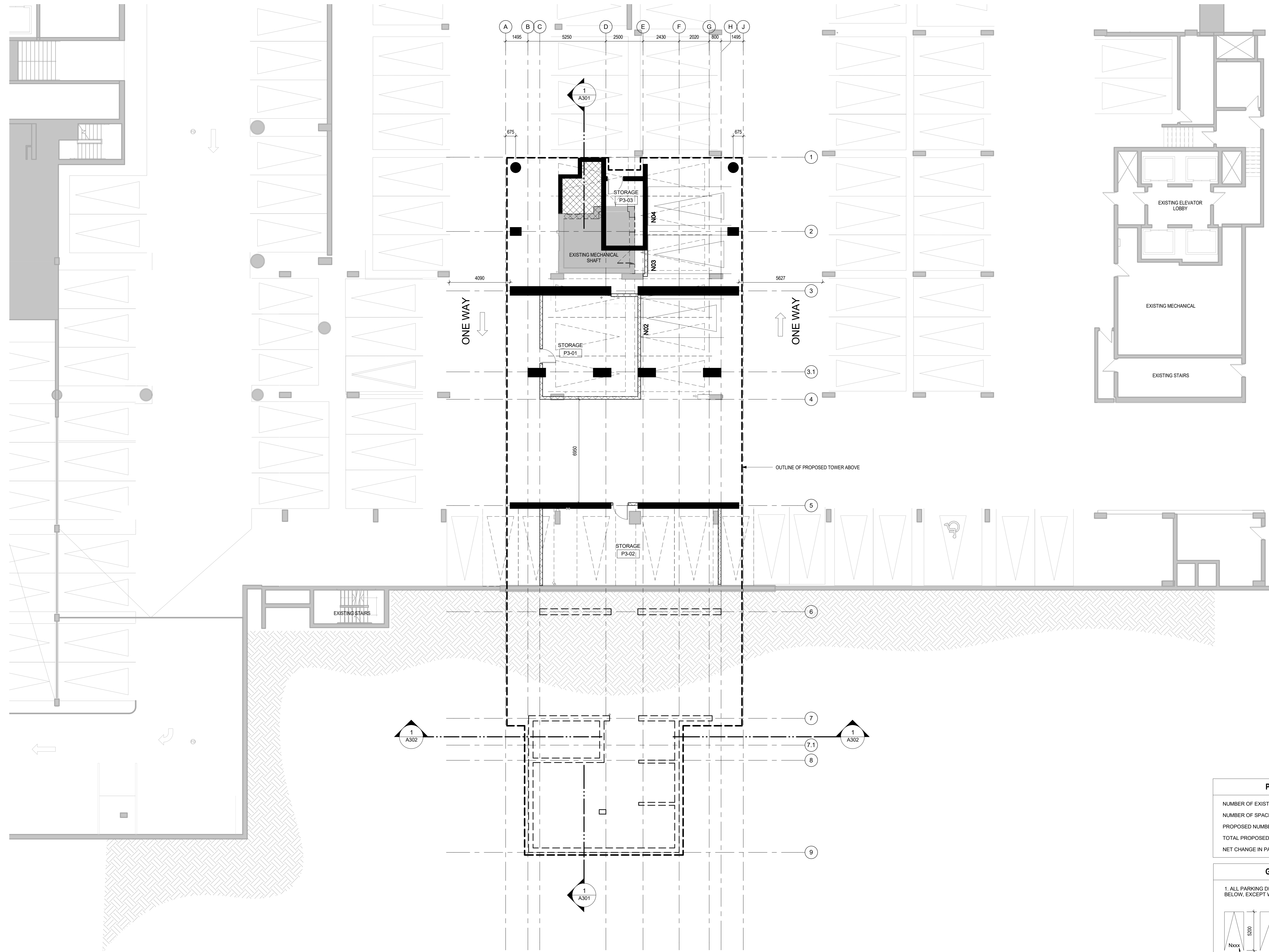
**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**PROJECT MGR:** IBI  
**SCALE:** 1:200

**CHECKED BY:** H. SEMPLE  
**APPROVED BY:** Approver  
**DATE:** 11/15/18

**SHEET TITLE**  
**PLAN-EXISTING P3 PARKING LEVEL**

**SHEET NUMBER** A102a **ISSUE** 6





CLIENT  
SAKTO CORPORATION



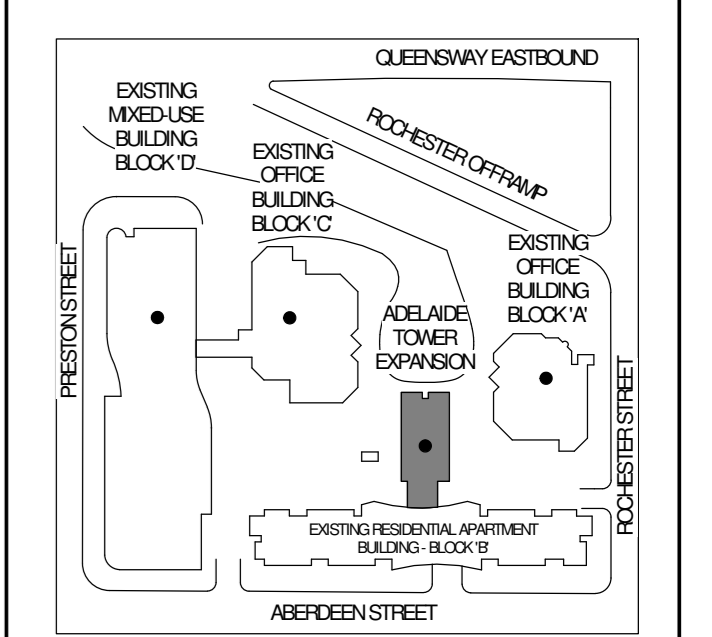
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5	ISSUED FOR PLANNING REVIEW	2018-11-30	
6	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	

KEYPLAN



CONSULTANTS

NORTH ARROW:

SEAL



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PROJECT  
ADELAIDE TOWER EXPANSION  
17 Aberdeen Street  
Ottawa, Ontario, Canada  
K1S 3J3

PROJECT NO.  
112516  
DRAWN BY:  
IBI  
PROJECT MGR:  
IBI  
CHECKED BY:  
H SEMPLE  
APPROVED BY:  
Approver

SCALE:  
As indicated  
DATE:  
11/16/18

SHEET TITLE  
PLAN-PROPOSED P3 PARKING LEVEL

SHEET NUMBER  
A102b  
ISSUE  
6

**PARKING COUNT:**

NUMBER OF EXISTING PARKING SPACES:	307
NUMBER OF SPACES TO BE REMOVED:	14
PROPOSED NUMBER OF NEW PARKING SPACES:	5
TOTAL PROPOSED PARKING SPACES AT P3:	298
NET CHANGE IN PARKING AT P3:	-9

**GENERAL NOTES:**

1. ALL PARKING DIMENSIONS ARE AS SHOWN BELOW, EXCEPT WHERE INDICATED OTHERWISE.

NEW HORIZONTAL AND VERTICAL BICYCLE PARKING SPACES:

THE PREFIX 'N' INDICATES A NEW PARKING SPACE. THE NUMERICAL INDICATES THE NEW PARKING SPACE'S NUMBER IN SEQUENCE. FOR EXAMPLE, 'N12' IS THE 12TH NEW PARKING SPACE. ALL OTHER PARKING SPACES ARE EXISTING.

**LEGEND:**

	NEW STRUCTURAL CONCRETE WALL/COLUMN
	EXISTING STRUCTURAL CONCRETE WALL/COLUMN TO REMAIN
	NEW SLAB OPENING FOR GARAGE EXHAUST SHAFT



**ISSUES**

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IBI

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H SEMPLE

APPROVED BY:  
Approver

SCALE:  
As indicated

DATE:  
11/16/18

SHEET TITLE  
**PLAN-PROPOSED P2 PARKING LEVEL**

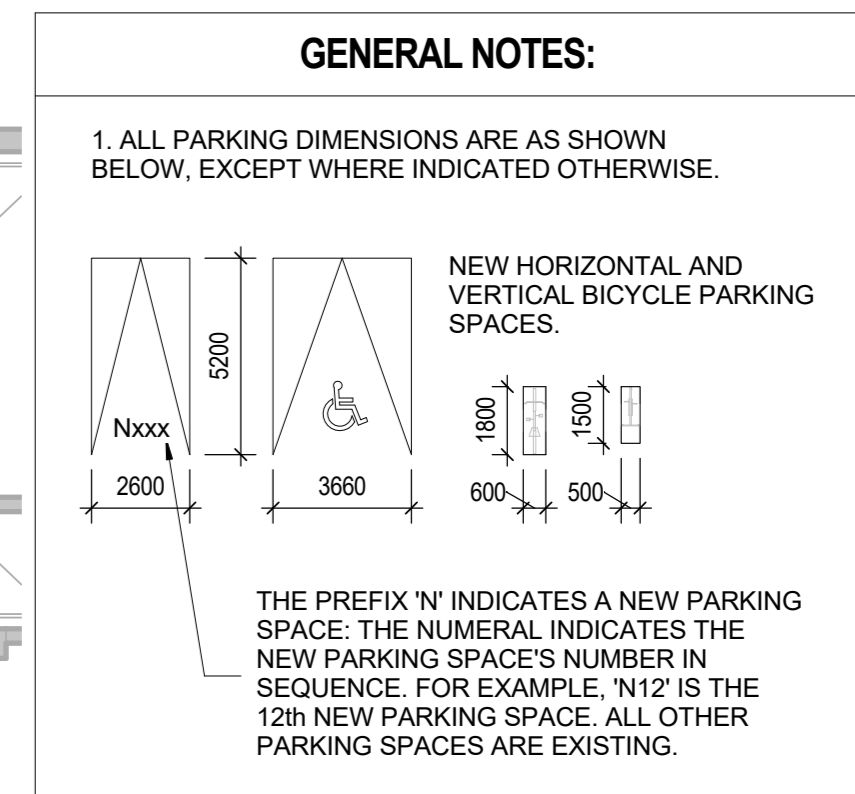
SHEET NUMBER  
**A103b**

ISSUE  
**6**



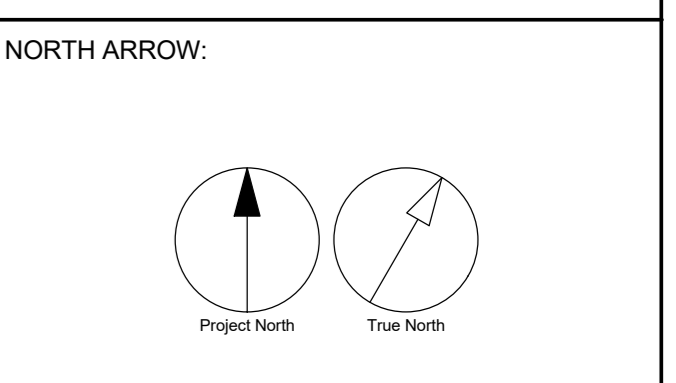
**PARKING COUNT:**

NUMBER OF EXISTING PARKING SPACES:	383
NUMBER OF SPACES TO BE REMOVED:	18
PROPOSED NUMBER OF NEW PARKING SPACES:	05
TOTAL PROPOSED PARKING SPACES AT P2:	370
NET CHANGE IN PARKING AT P2:	-13



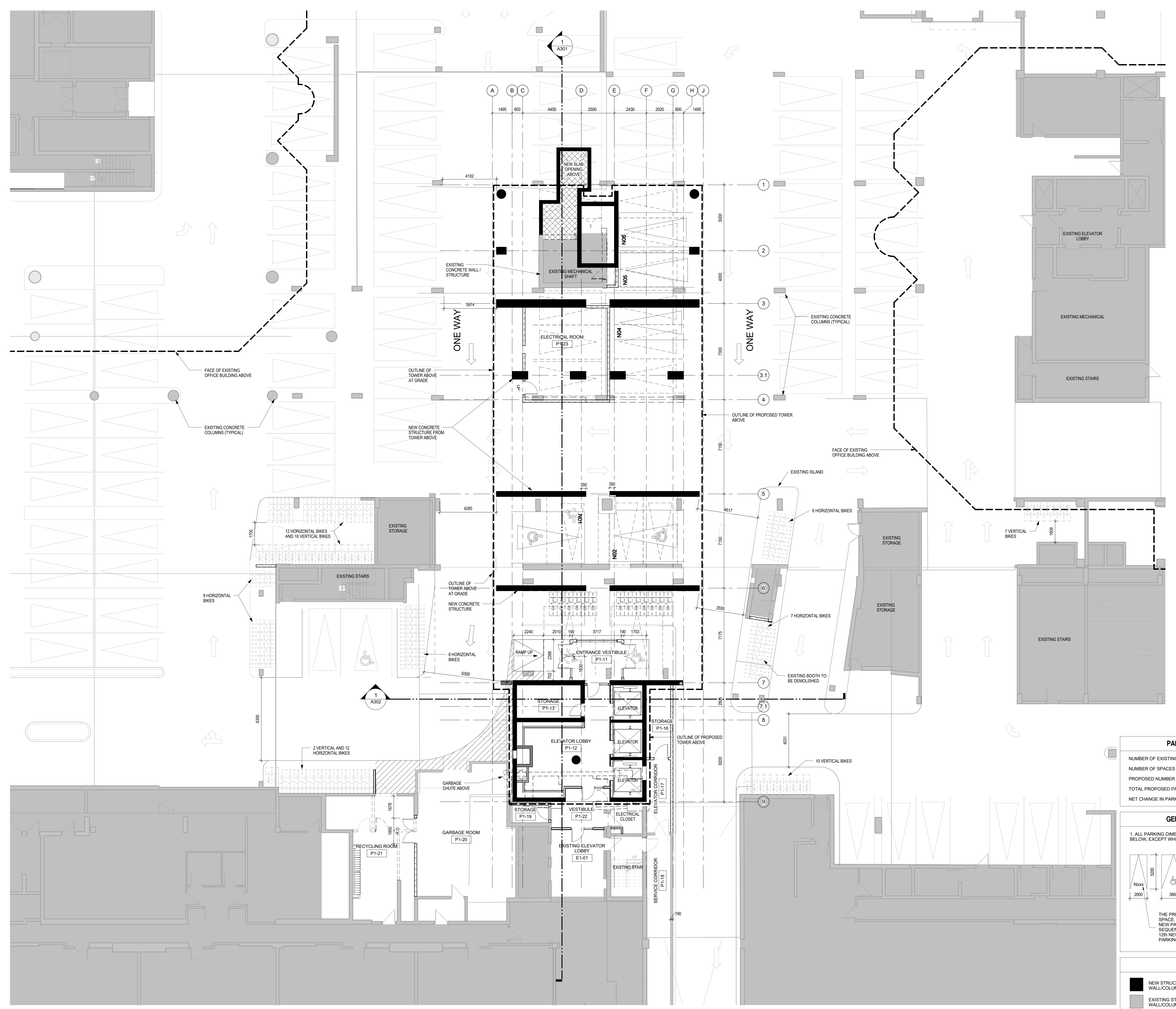
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CLIENT  
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 910-333 Preston Street, Ottawa, ON, K1S 5N4

**SAKTO CORPORATION**  
 PRESTON SQUARE

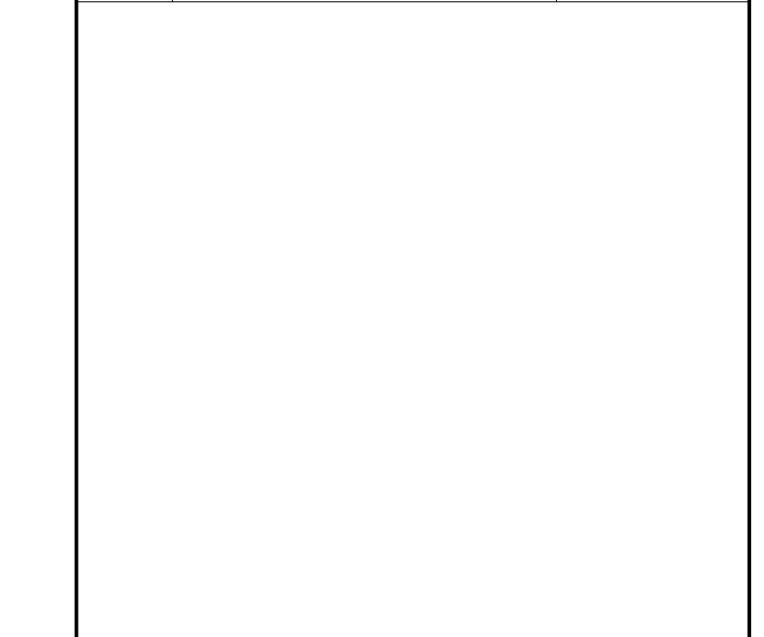
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7	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11



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 K1S 3J3

**PROJECT NO.**  
 112516

**DRAWN BY:**  
 IBI

**CHECKED BY:**  
 H SEMPLE

**PROJECT MGR:**  
 IBI

**APPROVED BY:**  
 Approver

**SCALE:**  
 As indicated

**DATE:**  
 11/19/18

**SHEET TITLE**  
**PLAN-PROPOSED P1 PARKING LEVEL**

**SHEET NUMBER**  
**A104b**

**ISSUE**  
**6**

**PARKING COUNT:**

NUMBER OF EXISTING PARKING SPACES:	142
NUMBER OF SPACES TO BE REMOVED:	15
TOTAL PROPOSED NEW PARKING SPACES:	133
TOTAL PROPOSED PARKING SPACES AT P1:	133
NET CHANGE IN PARKING AT P1:	-9

**GENERAL NOTES:**

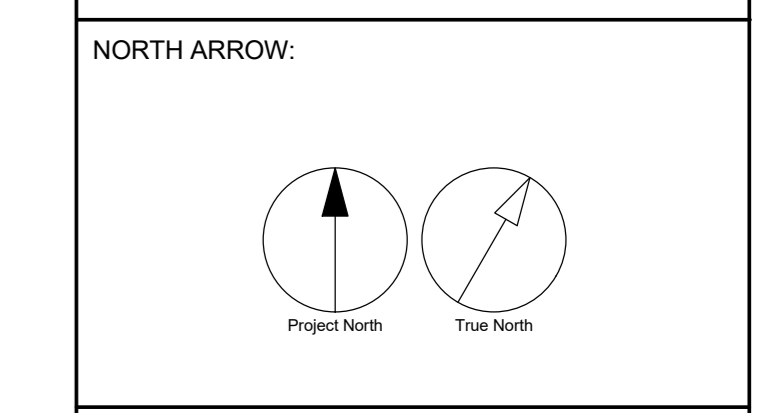
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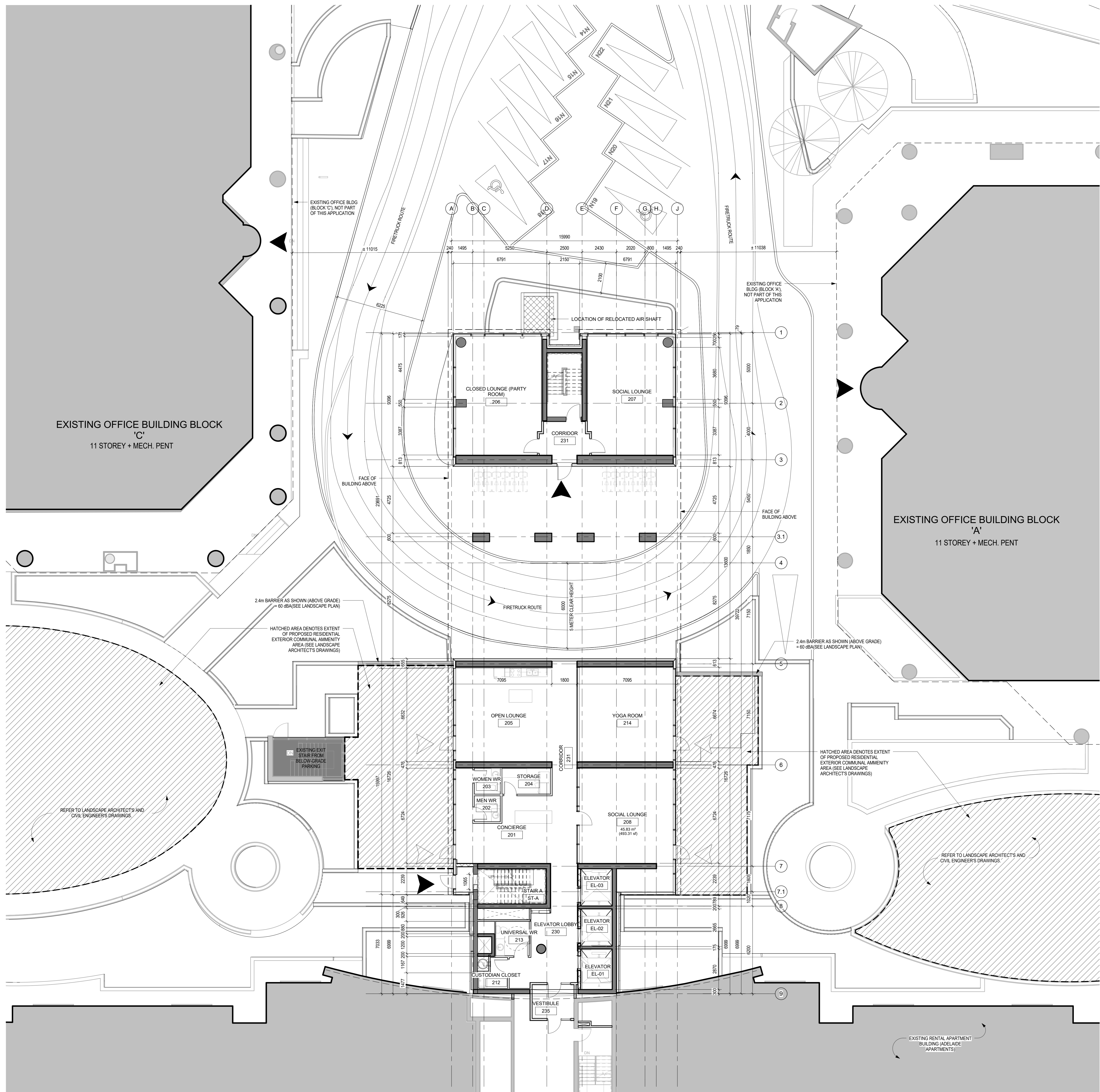
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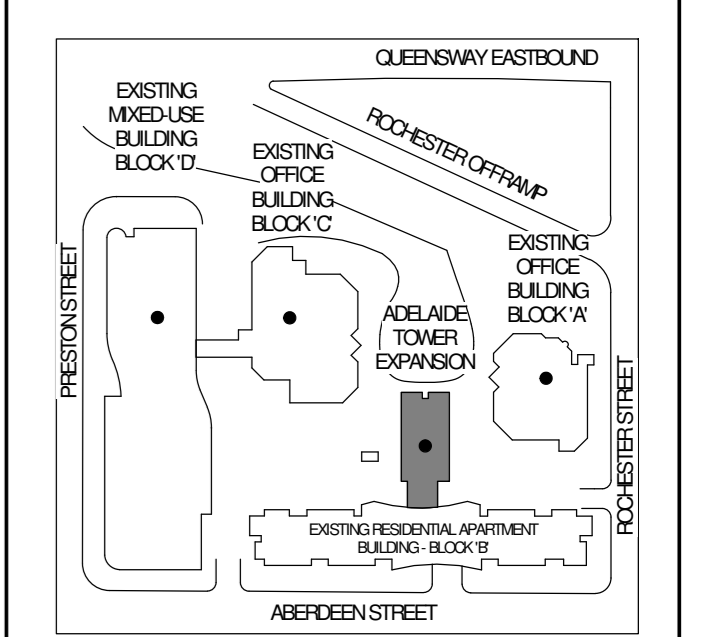
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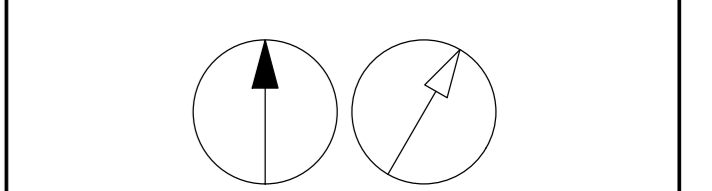
ISSUES	NO.	DESCRIPTION	DATE
1	CLIENT REVIEW	2016-09-19	
2	SITE PLAN APPROVAL	2016-09-20	
3	SITE PLAN APPROVAL	2017-01-24	
4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29	
5	ISSUED FOR PLANNING REVIEW	2018-11-30	
6	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	

KEYPLAN



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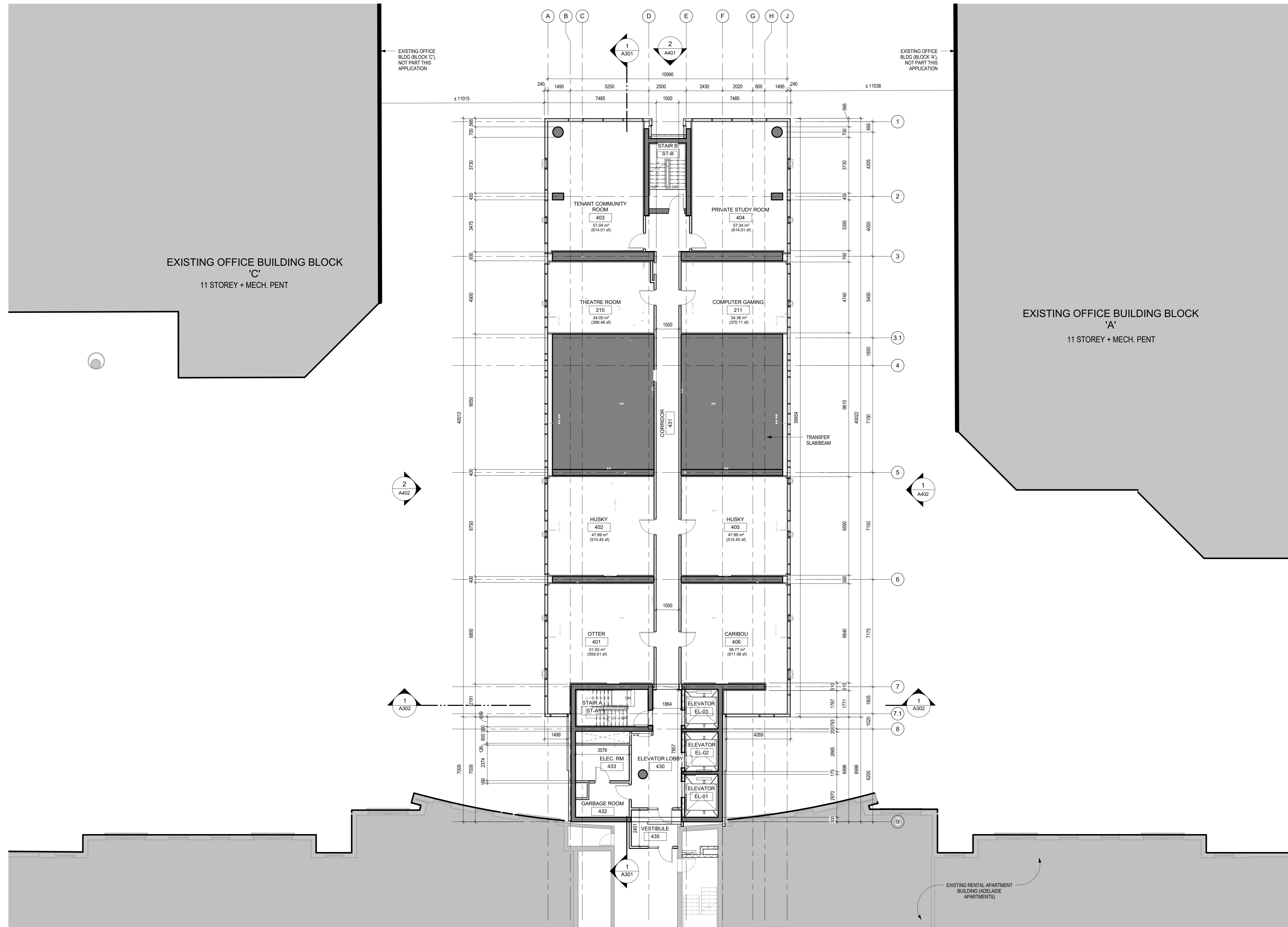
PROJECT  
ADELAIDE TOWER EXPANSION  
17 Aberdeen Street  
Ottawa, Ontario, Canada  
K1S 3J3

PROJECT NO.  
112516  
DRAWN BY:  
IBI  
PROJECT MGR:  
IBI  
SCALE:  
1:100  
CHECKED BY:  
H SEMPLE  
APPROVED BY:  
Approver  
DATE:  
11/19/18

SHEET TITLE  
SECOND FLOOR PLAN  
(PODIUM LEVEL)

SHEET NUMBER  
A105  
ISSUE  
6





CLIENT  
SAKTO CORPORATION



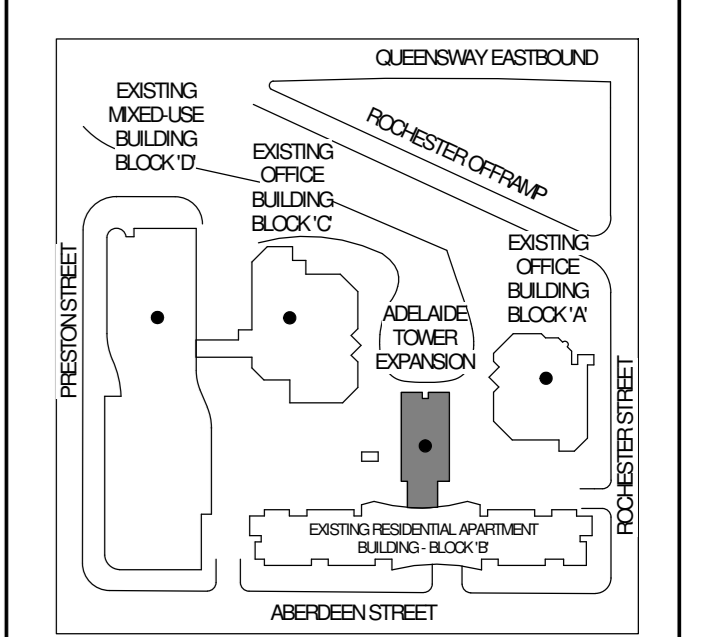
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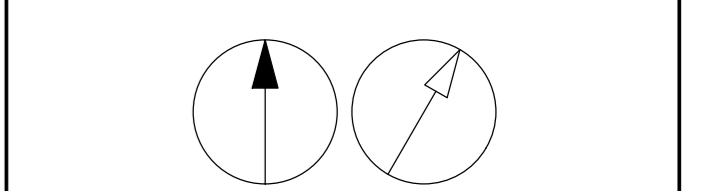
ISSUES	NO.	DESCRIPTION	DATE
1	ISSUED FOR PLANNING REVIEW	2018-11-30	
2	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	

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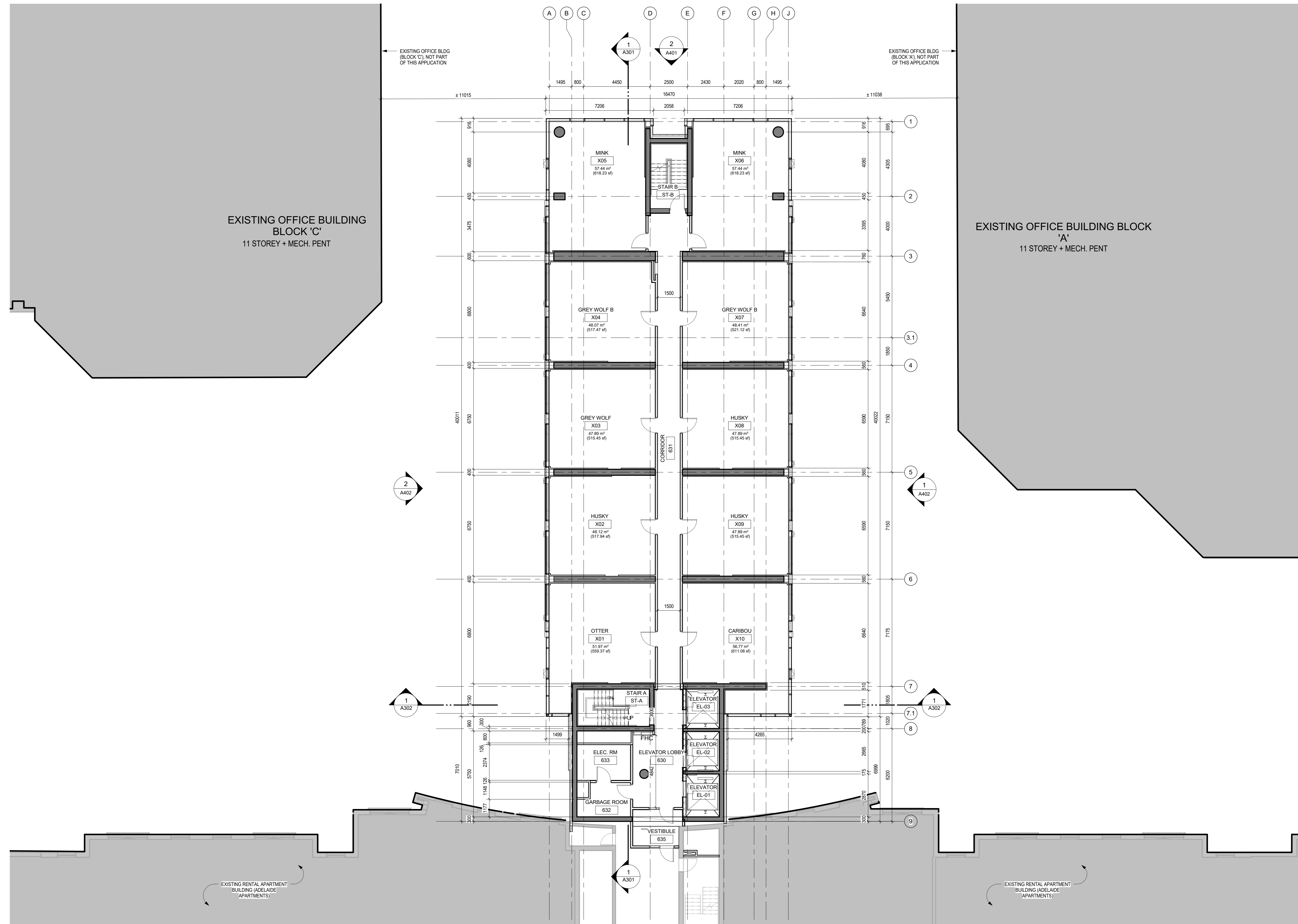
PROJECT  
ADELAIDE TOWER EXPANSION  
17 Aberdeen Street  
Ottawa, Ontario, Canada  
K1S 3J3

PROJECT NO.  
112516  
DRAWN BY:  
IBI  
PROJECT MGR:  
IBI  
SCALE:  
1:100

CHECKED BY:  
H SEMPLE  
APPROVED BY:  
Approver  
DATE:  
11/19/18

SHEET TITLE  
FOURTH FLOOR PLAN

SHEET NUMBER  
A107  
ISSUE  
2



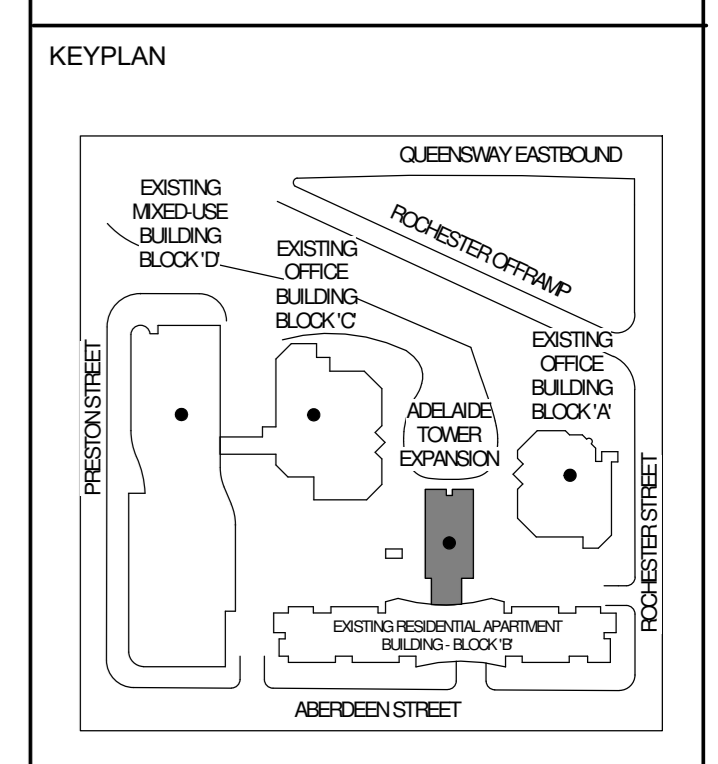
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**SAKTO CORPORATION**  
 910-333 Preston Street, Ottawa, ON, K1S 5M4

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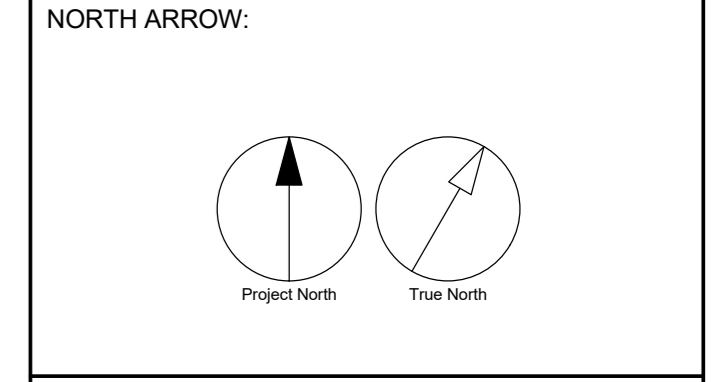
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**PROJECT**

**ADELAIDE TOWER EXPANSION**  
 17 Aberdeen Street  
 Ottawa, Ontario, Canada  
 K1S 3J3

**PROJECT NO.:** 112516

**DRAWN BY:** IBI  
**CHECKED BY:** H. SEMPLE

**PROJECT MGR.:** IBI  
**APPROVED BY:** Approver

**SCALE:** 1:100  
**DATE:** 11/20/18

**SHEET TITLE**

**FIFTH TO TENTH FLOOR PLAN-TYPICAL**

**SHEET NUMBER** A108 **ISSUE** 2

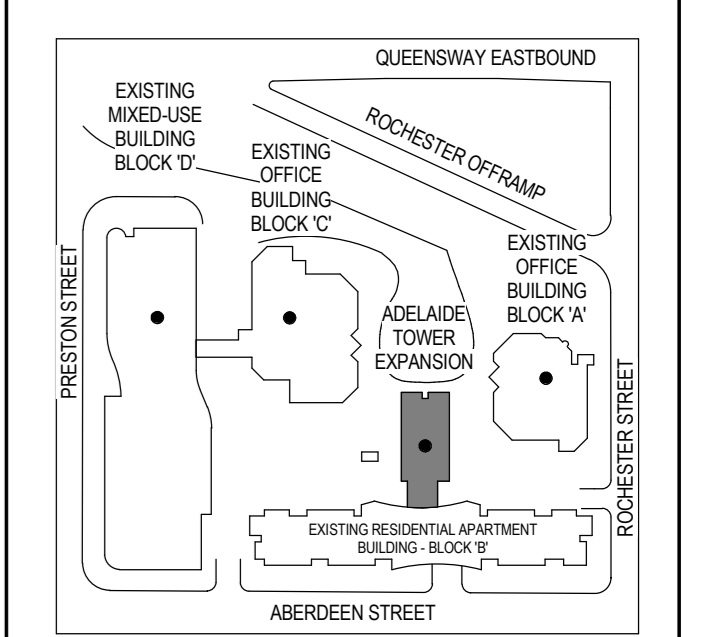


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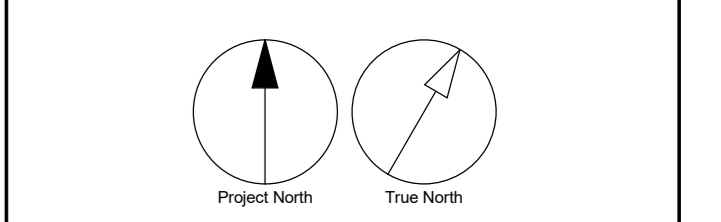
ISSUES	DESCRIPTION	DATE
1	ISSUED FOR PLANNING REVIEW	2018-11-30
2	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11

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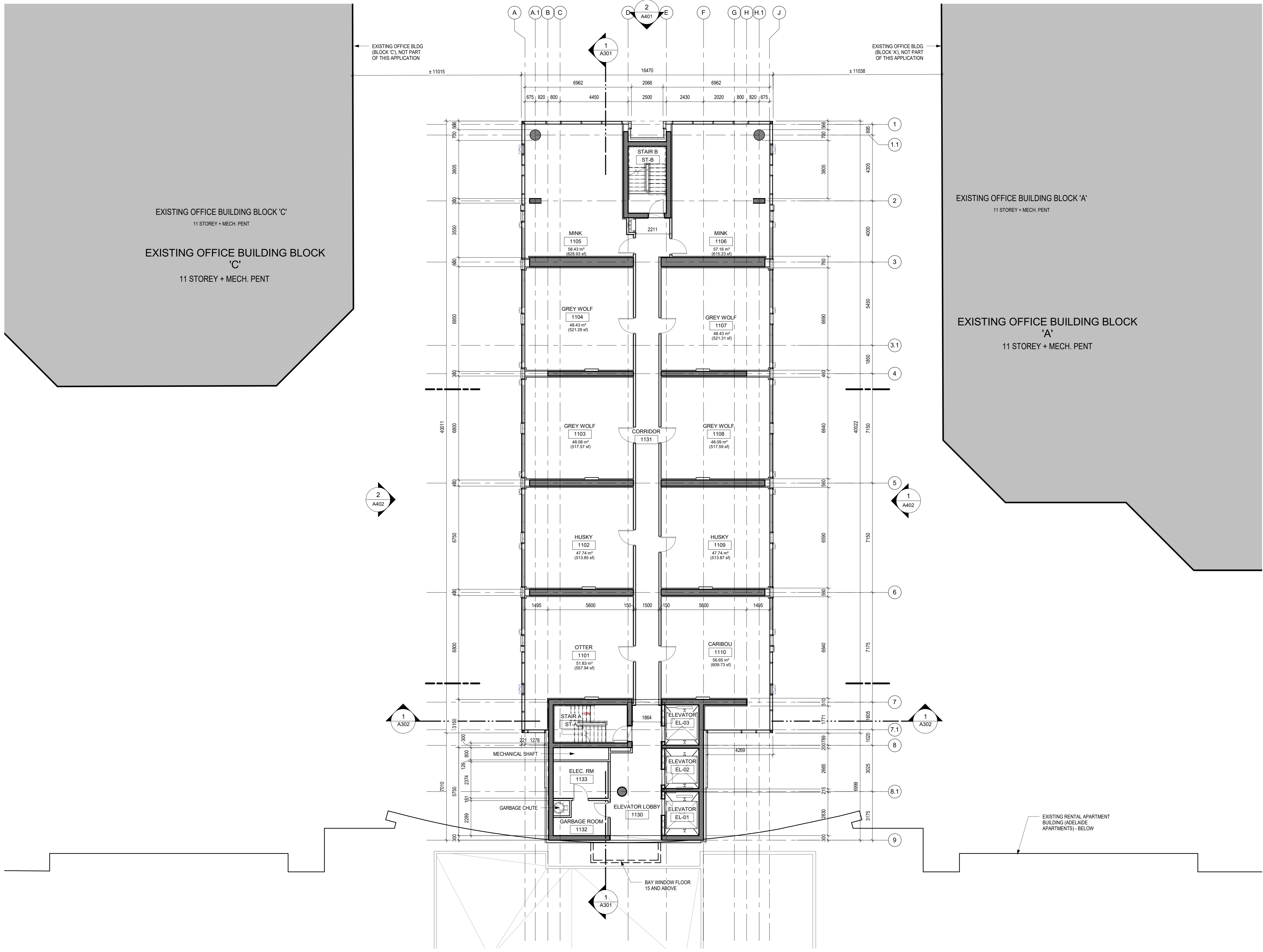
**PROJECT**  
**ADELAIDE TOWER EXPANSION**  
17 Aberdeen Street  
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K1S 3J3

**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**PROJECT MGR:** IBI  
**SCALE:** 1:100

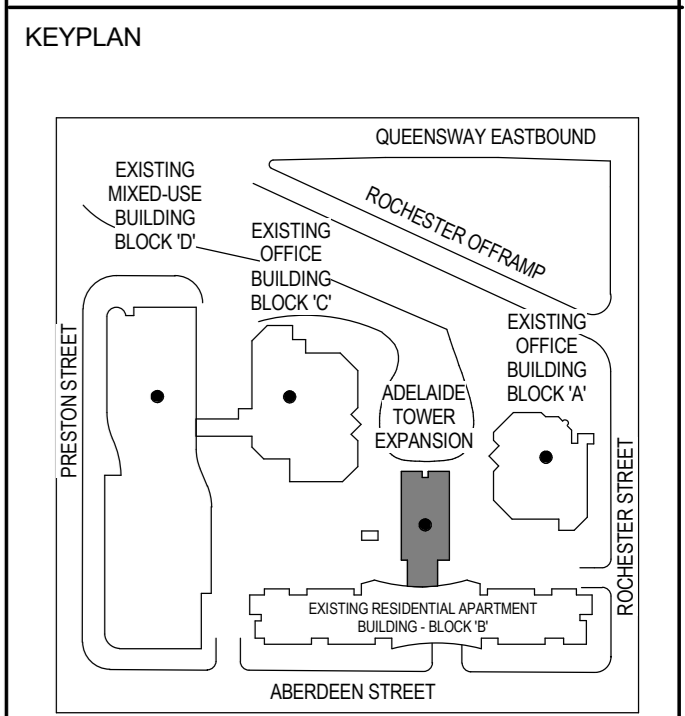
**CHECKED BY:** H. SEMPLE  
**APPROVED BY:** Approver  
**DATE:** 11/22/18

**SHEET TITLE**  
**ELEVENTH TO TWENTY-FIFTH FLOOR PLAN-TYPICAL**

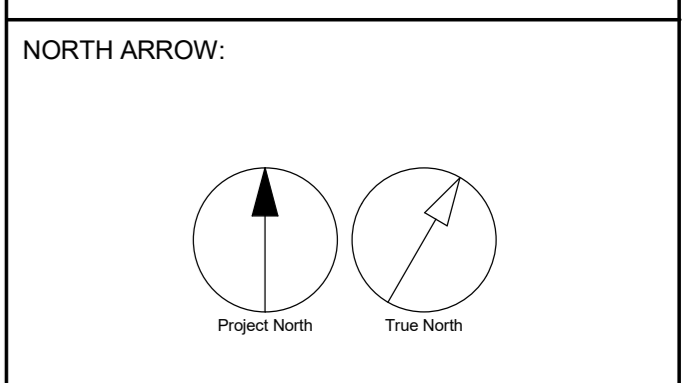
**SHEET NUMBER** A109 **ISSUE** 2



ISSUES	NO.	DESCRIPTION	DATE
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2	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	



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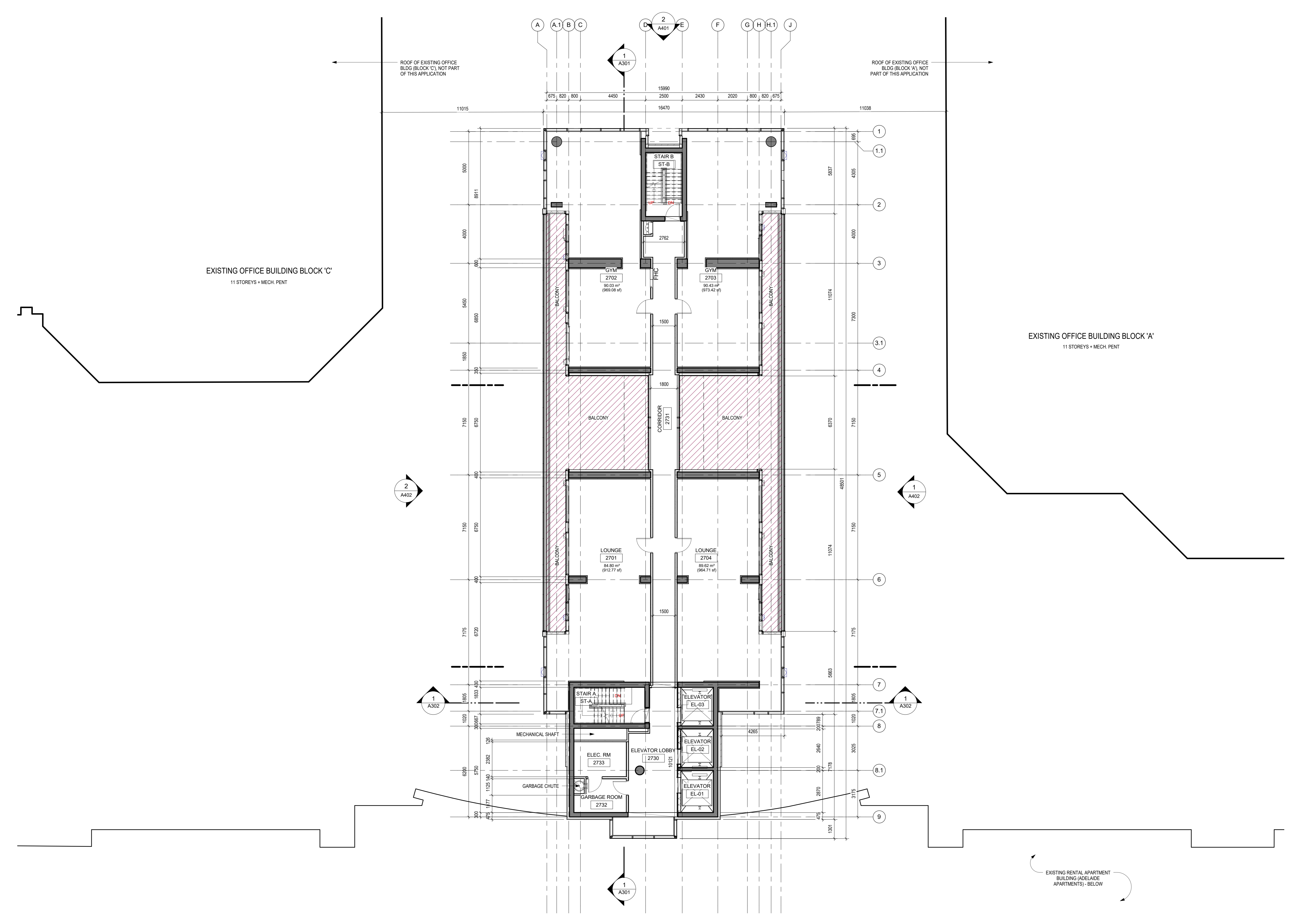
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 ibi@ibi.com

**PROJECT**  
**ADELAIDE TOWER EXPANSION**  
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 K1S 3J3

**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**CHECKED BY:** H. SEMPLE  
**PROJECT MGR.:** IBI  
**APPROVED BY:** Approver  
**SCALE:** 1:100  
**DATE:** 11/22/18

**SHEET TITLE**  
**TWENTY SIXTH FLOOR PLAN**

**SHEET NUMBER** A110 **ISSUE** 2



EXISTING OFFICE BUILDING BLOCK 'C'  
 11 STOREYS + MECH. PENT

ROOF OF EXISTING OFFICE BLDG (BLOCK 'C'), NOT PART OF THIS APPLICATION

EXISTING OFFICE BUILDING BLOCK 'A'  
 11 STOREYS + MECH. PENT

ROOF OF EXISTING OFFICE BLDG (BLOCK 'A'), NOT PART OF THIS APPLICATION

EXISTING RENTAL APARTMENT BUILDING (ADELAIDE APARTMENTS) - BELOW



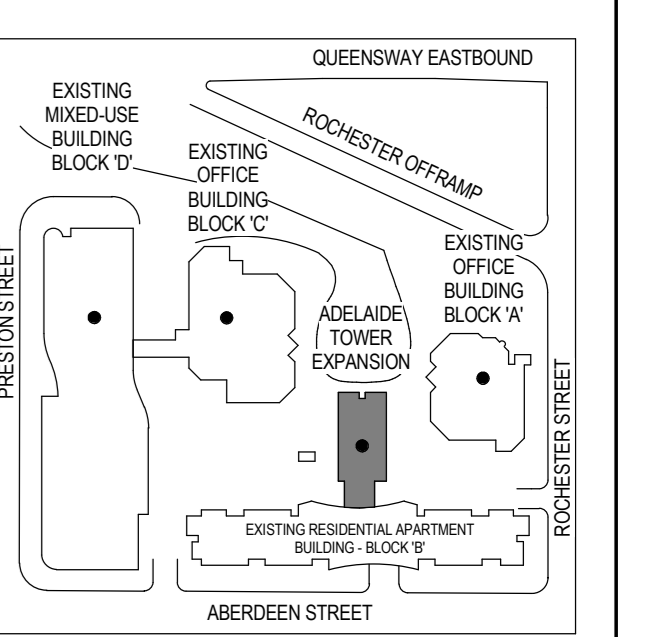


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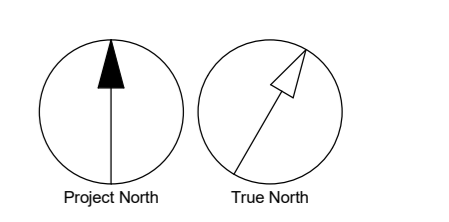
ISSUES	NO.	DESCRIPTION	DATE
1	ISSUED FOR PLANNING REVIEW	2018-11-30	
2	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	

**KEYPLAN**



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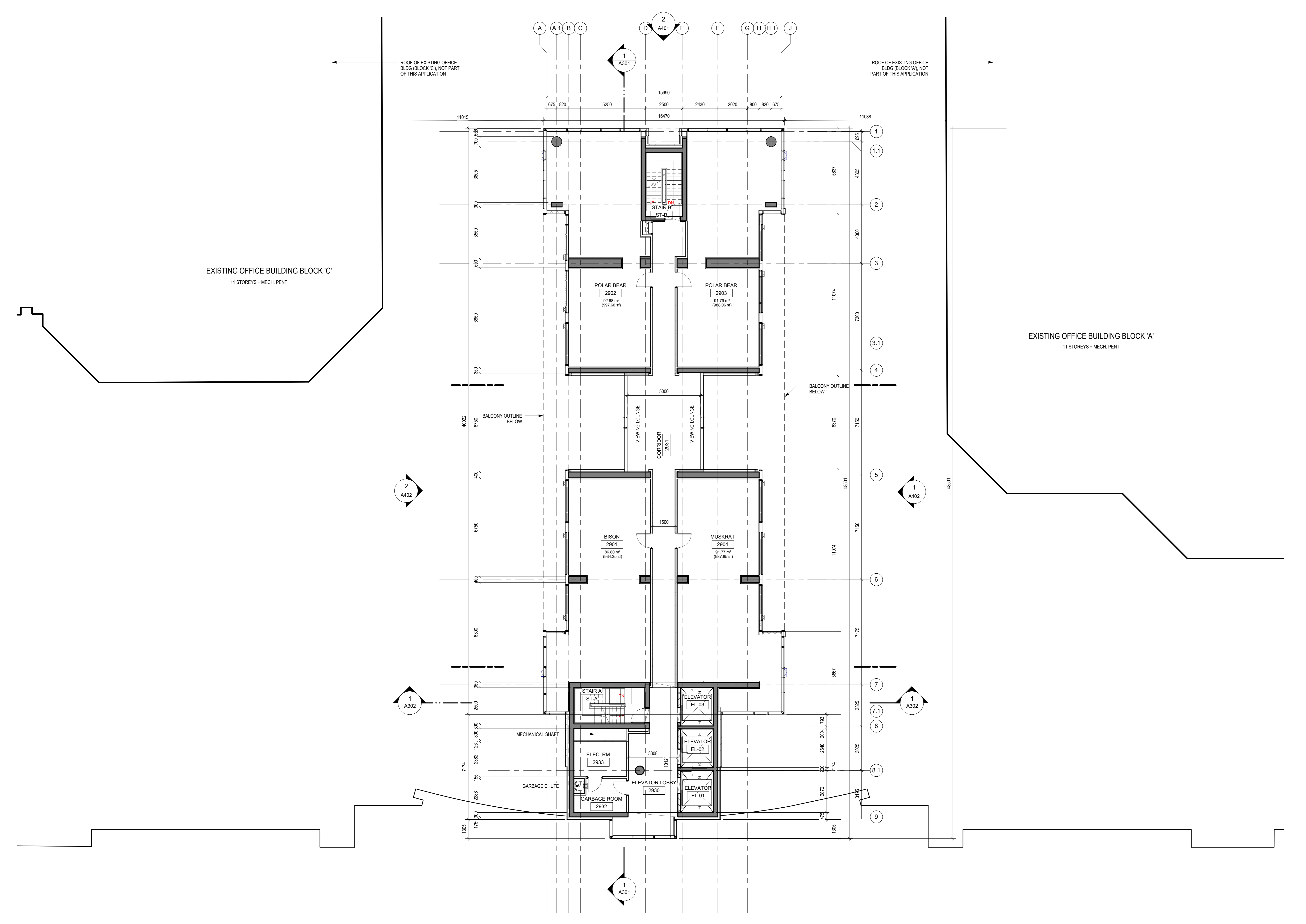
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**PROJECT**  
**ADELAIDE TOWER EXPANSION**  
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**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**PROJECT MGR:** IBI  
**SCALE:** 1:100  
**CHECKED BY:** H. SEMPLE  
**APPROVED BY:** Approver  
**DATE:** 11/22/18

**SHEET TITLE**  
**TWENTYSEVENTH TO TWENTY EIGHT FLOOR PLAN - TYPICAL**

**SHEET NUMBER** A111 **ISSUE** 2



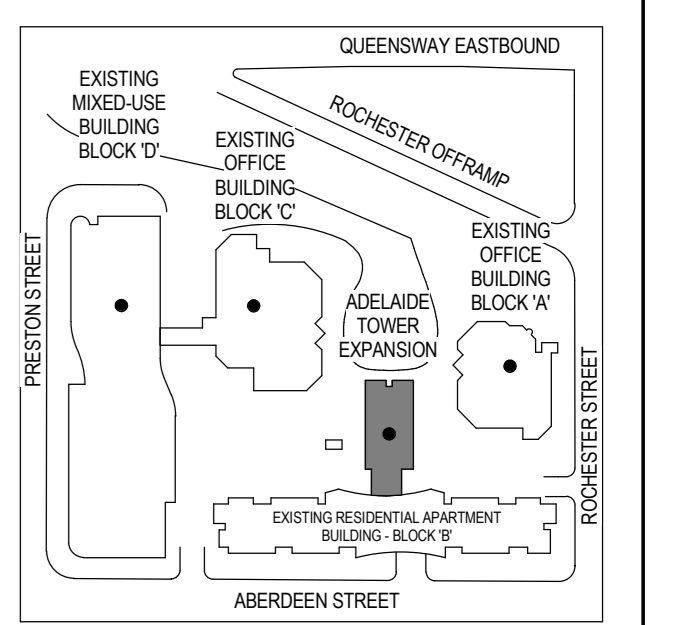


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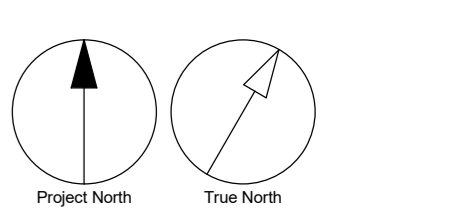
ISSUES	DESCRIPTION	DATE
1	ISSUED FOR PLANNING REVIEW	2018-11-30
2	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11

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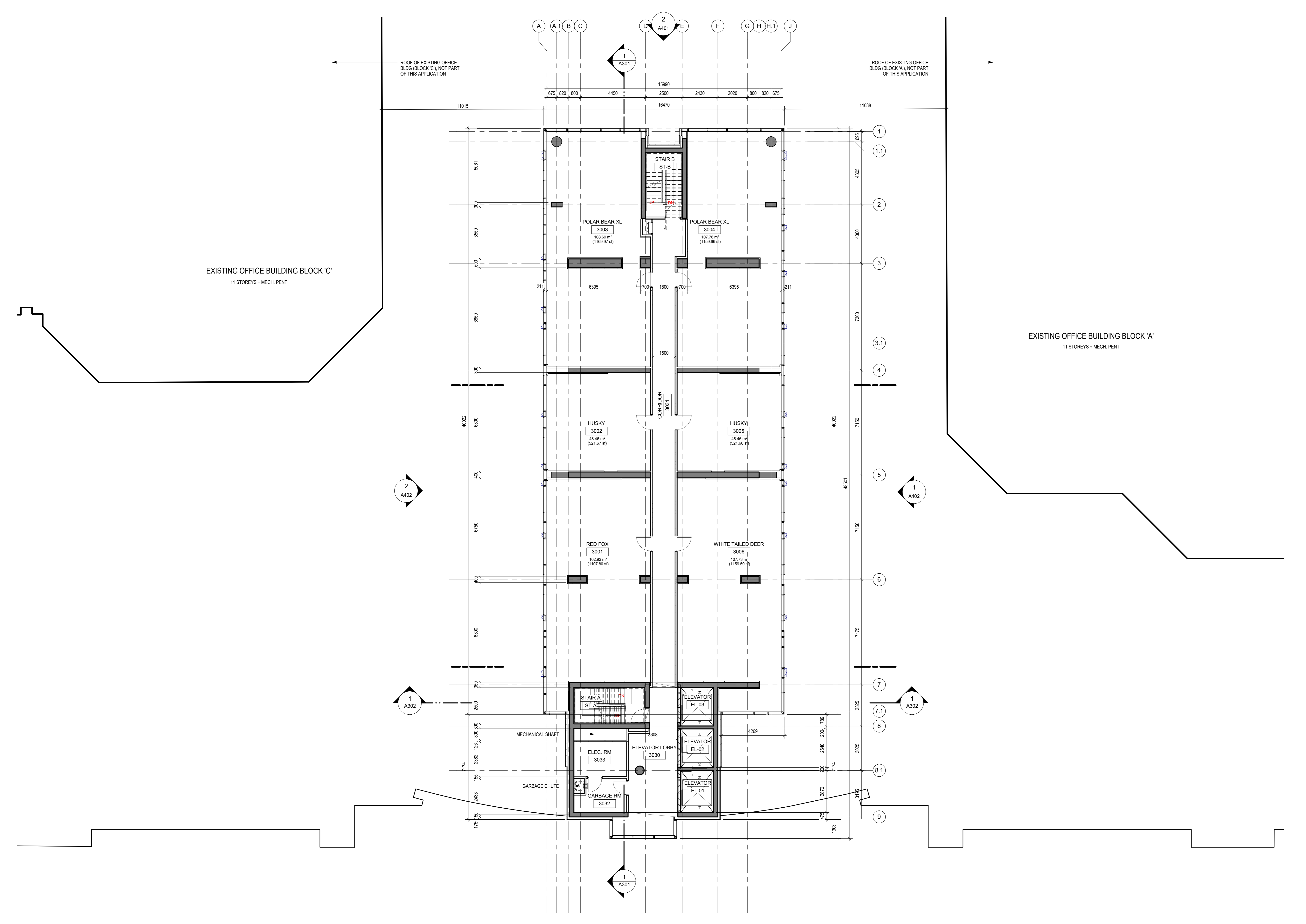
**PROJECT**  
**ADELAIDE TOWER EXPANSION**  
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K1S 3J3

**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**PROJECT MGR.:** IBI  
**CHECKED BY:** H. SEMPLE  
**APPROVED BY:** Approver

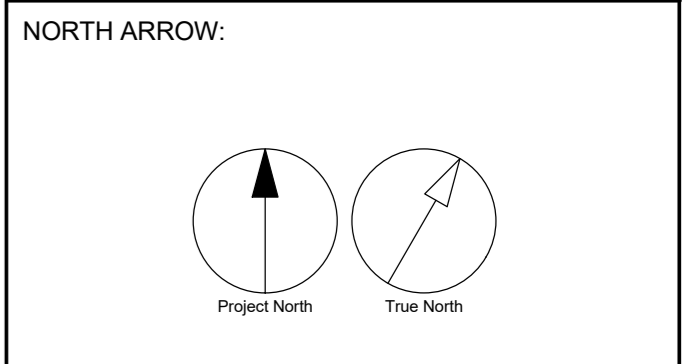
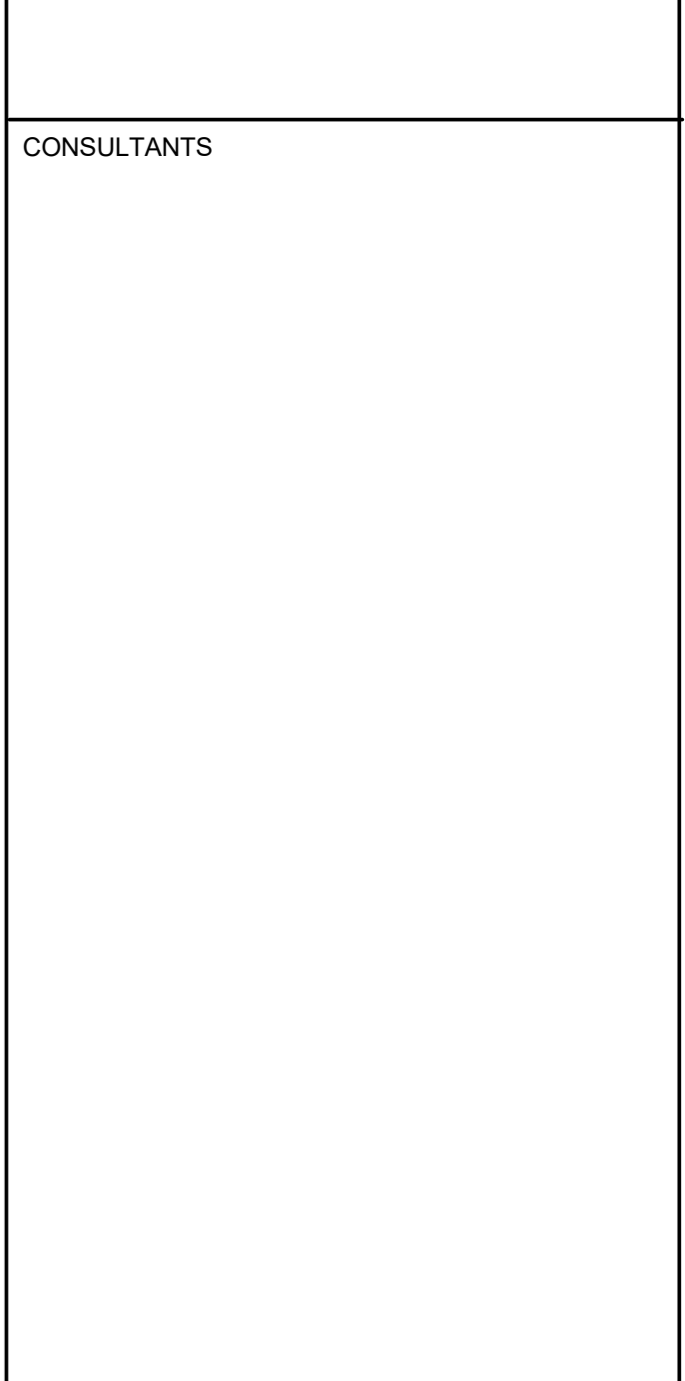
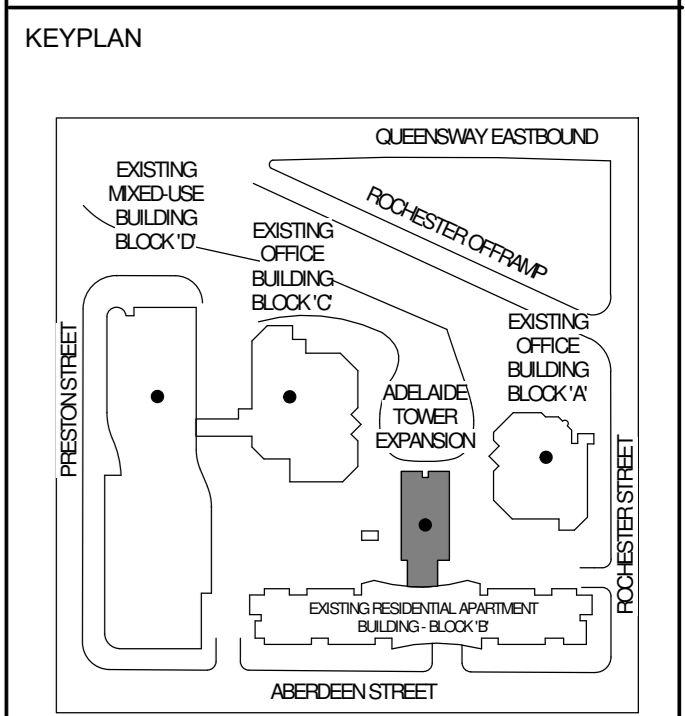
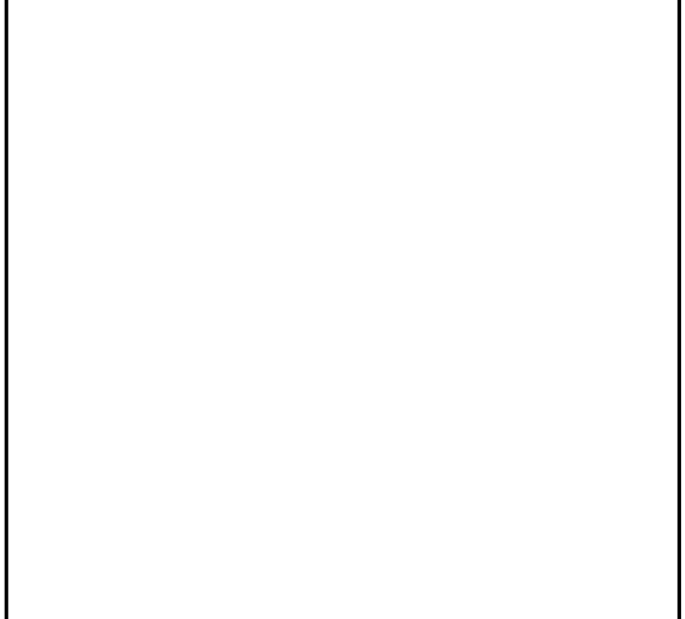
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**DATE:** 11/22/18

**SHEET TITLE**  
**TWENTY NINTH AND THIRTIETH FLOOR PLAN**

**SHEET NUMBER** **A112** **ISSUE** **2**



ISSUES	NO.	DESCRIPTION	DATE
1	CLIENT REVIEW	2016-09-19	
2	SITE PLAN APPROVAL	2016-09-20	
3	SITE PLAN APPROVAL REVISION 1	2017-01-24	
4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29	
5	ISSUED FOR PLANNING REVIEW	2018-11-30	
6	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	



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 K1S 3J3

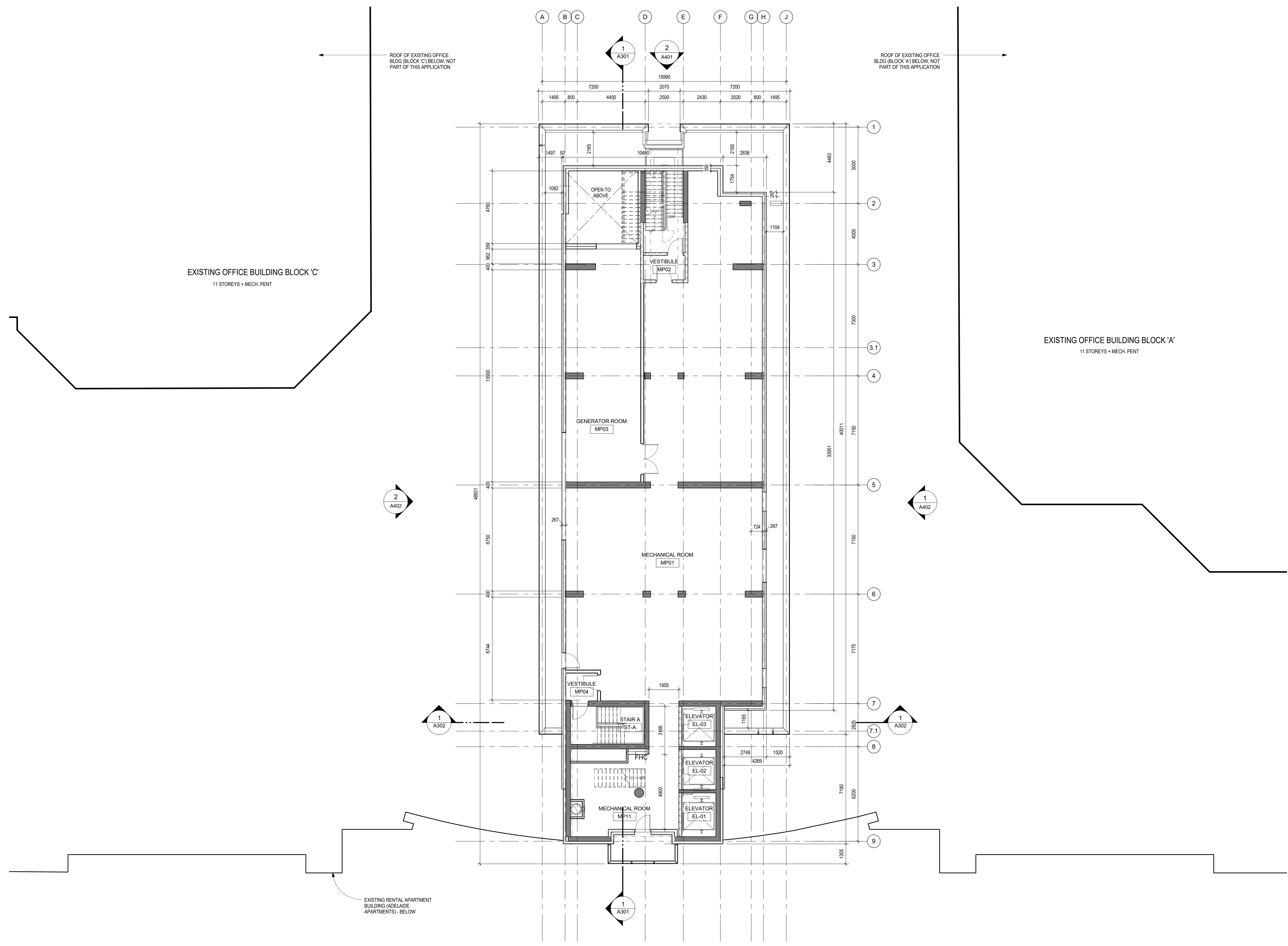
PROJECT NO.  
 112516

DRAWN BY: IBI  
 CHECKED BY: H. SEMPLE  
 PROJECT MGR: IBI  
 APPROVED BY: Approver

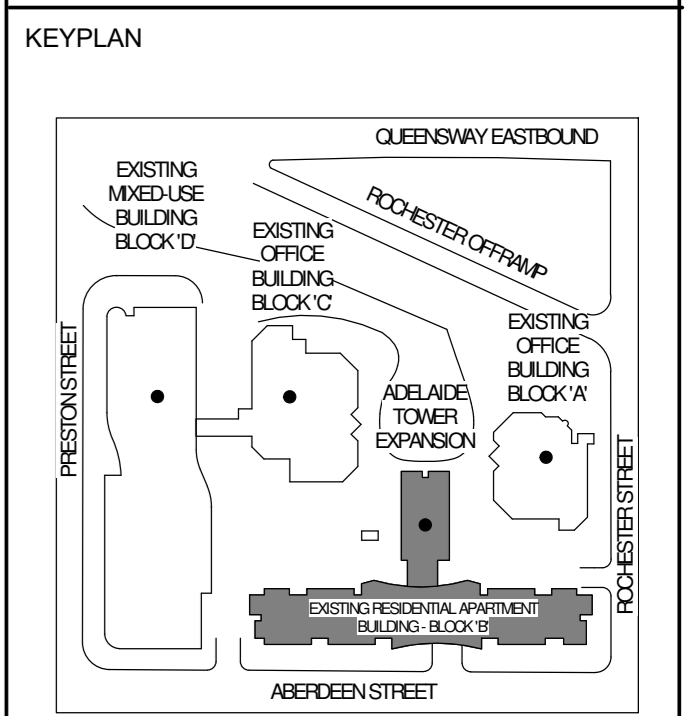
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 DATE: 11/22/18

SHEET TITLE  
**MECHANICAL PENTHOUSE FLOOR PLAN**

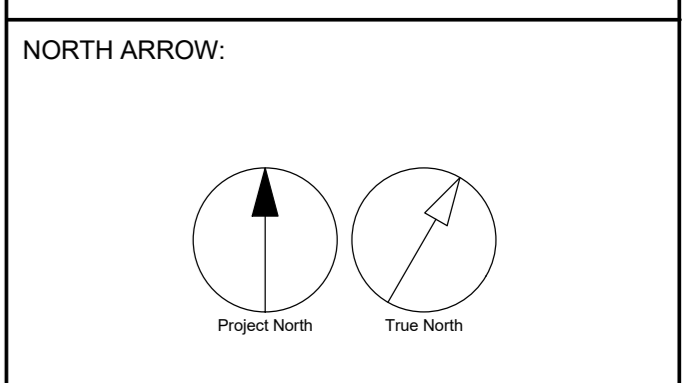
SHEET NUMBER: **A113** ISSUE: **6**



ISSUES	NO.	DESCRIPTION	DATE
1	CLIENT REVIEW	2016-09-19	
2	SITE PLAN APPROVAL	2016-09-20	
3	SITE PLAN APPROVAL REVISION 1	2017-01-24	
4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29	
5	ISSUED FOR PLANNING REVIEW	2018-11-30	
6	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11	



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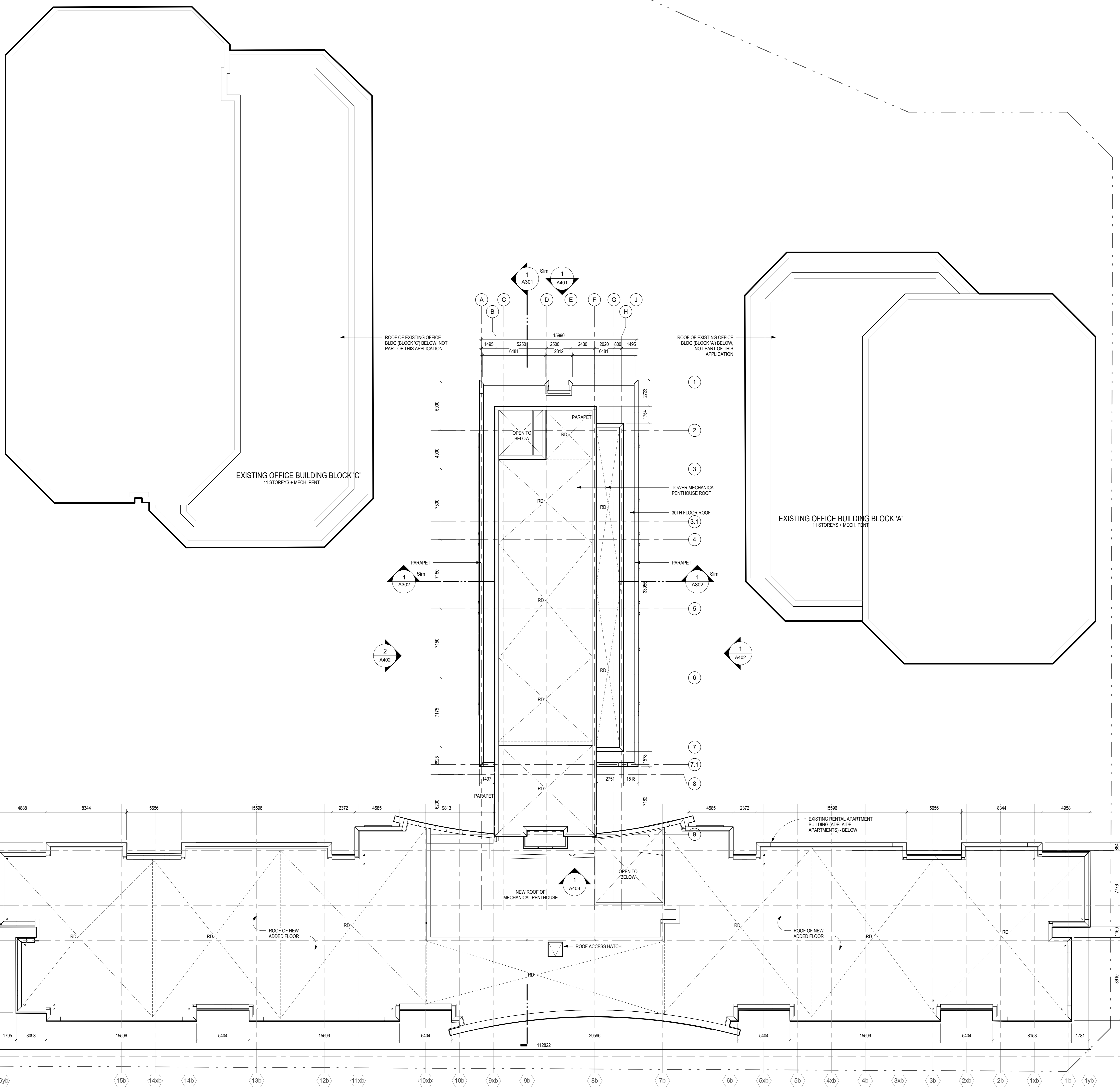
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**PROJECT**  
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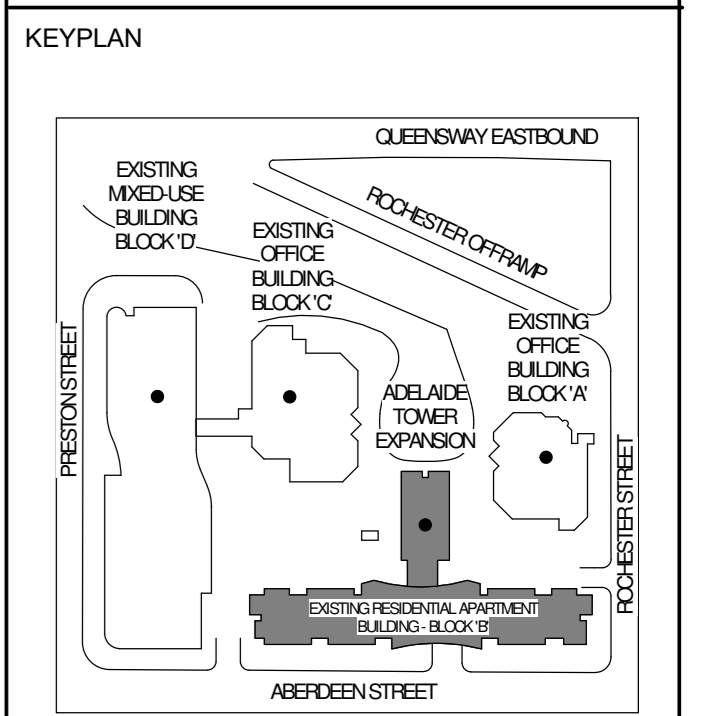
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**DRAWN BY:** IBI  
**CHECKED BY:** H. SEMPLE  
**PROJECT MGR.:** IBI  
**APPROVED BY:** Approver  
**SCALE:** 1:150  
**DATE:** 11/22/18

**SHEET TITLE**  
**ROOF PLAN**

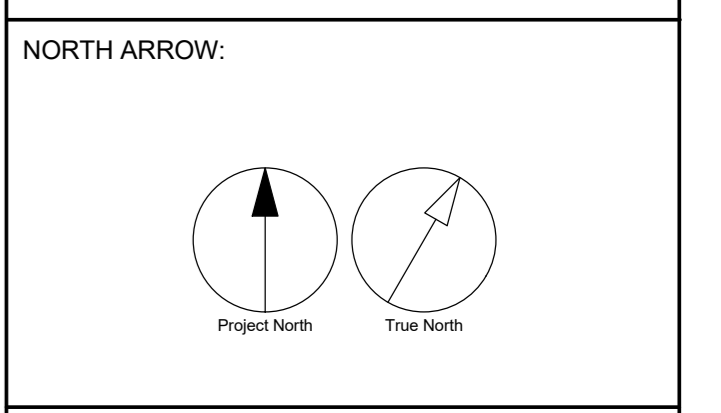
**SHEET NUMBER** A114 **ISSUE** 6



ISSUES	NO.	DESCRIPTION	DATE
	1	CLIENT REVIEW	2016-09-19
	2	SITE PLAN APPROVAL	2016-09-20
	3	SITE PLAN APPROVAL	2017-01-24
	4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29
	5	ISSUED FOR PLANNING REVIEW	2018-11-30



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PROJECT NO:  
 112516

DRAWN BY:  
 IBI

CHECKED BY:  
 H. SEMPLE

APPROVED BY:  
 Approver

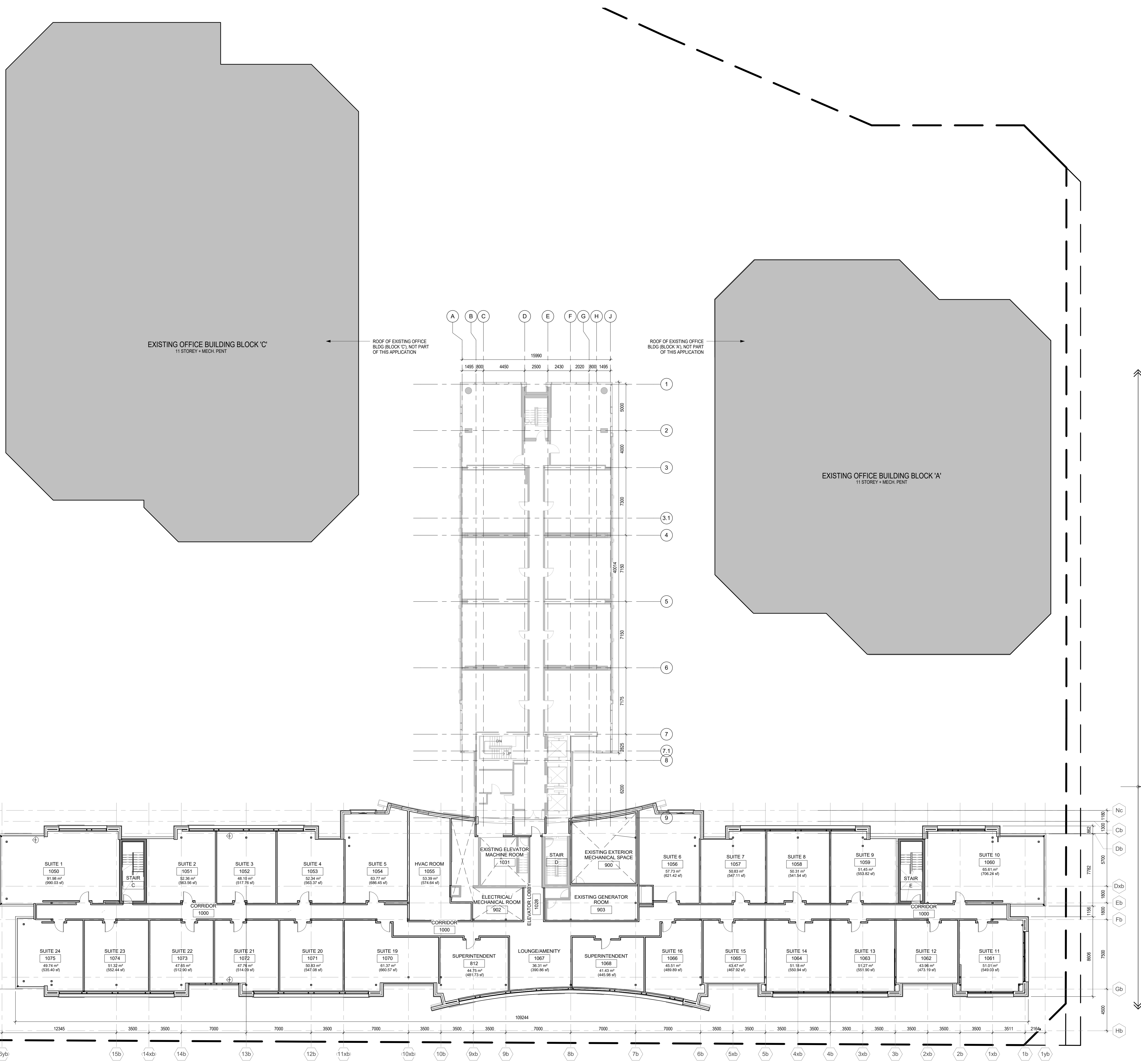
SCALE:  
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DATE:  
 11/22/18

SHEET TITLE  
**10TH FLOOR ADELAIDE ADDITION FLOOR PLAN**

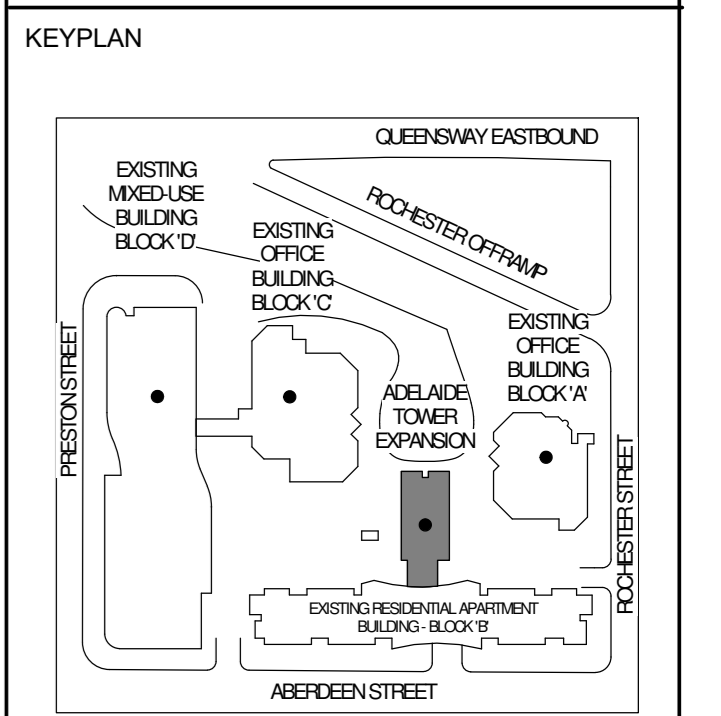
SHEET NUMBER  
**A115**

ISSUE  
**5**



**ISSUES**

NO.	DESCRIPTION	DATE
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2	SITE PLAN APPROVAL	2016-09-20
3	SITE PLAN APPROVAL	2017-01-24
4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29
5	ISSUED FOR PLANNING REVIEW	2018-11-30
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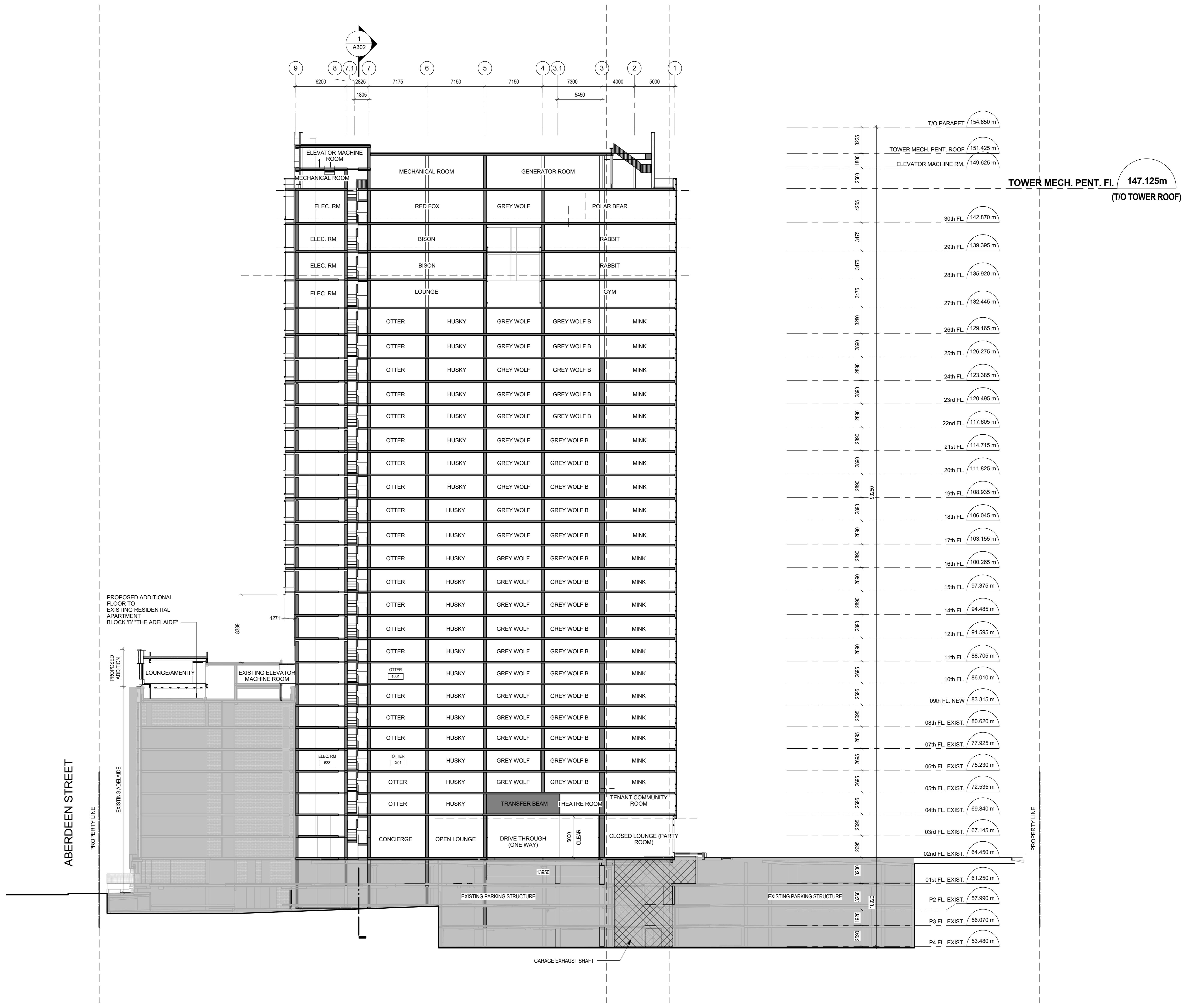
**PROJECT**  
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 17 Aberdeen Street  
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 K1S 3J3

**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**CHECKED BY:** H. SEMPLE  
**PROJECT MGR.:** IBI  
**APPROVED BY:** Approver

**SCALE:** 1 : 200  
**DATE:** 11/22/18

**SHEET TITLE**  
**BUILDING SECTION A**

**SHEET NUMBER** A301 **ISSUE** 6



- LEGEND**
- 1) VISION GLASS CLEAR (TYPE 1)
  - 2) VISION GLASS CLEAR (TYPE 2)
  - 3) GLASS SPANDREL - SANDBLAST (TYPE 1)
  - 4) GLASS SPANDREL - SANDBLAST (TYPE 2)
  - 5) GLASS SPANDREL - ACID ETCH
  - 6) METAL SPANDREL - 75mm PROUD
  - 7) METAL SPANDREL - 50mm PROUD
  - 8) METAL SPANDREL (TYPE 1)
  - 9) METAL SPANDREL (TYPE 2)
  - 10) METAL PANEL (TYPE 1 - ANODIZED ALUM)
  - 11) METAL PANEL (TYPE 2 - DARK GREY)
  - 12) ILLUMINATED PANEL
  - 13) RESERVED (NOT USED)
  - 14) LOUVRES
  - 15) GLASS GUARD
  - 16) EXISTING VISION GLASS
  - 17) EXISTING BRICK
  - 18) EXISTING GUARD

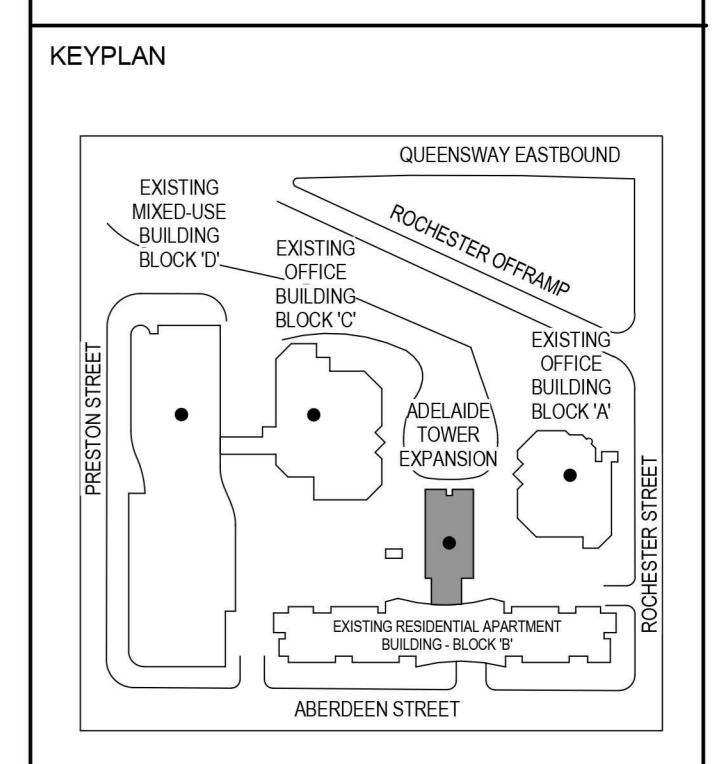
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**ISSUES**

NO.	DESCRIPTION	DATE
1	CLIENT REVIEW	2016-08-19
2	SITE PLAN APPROVAL	2016-09-20
3	SITE PLAN APPROVAL REVISION 1	2017-01-24
4	RE-ISSUED FOR SITE PLAN APPROVAL	2017-05-29
5	ISSUED FOR PLANNING REVIEW	2018-11-30
6	ISSUED FOR REVISED SITE PLAN APPLICATION	2019-01-11



**CONSULTANTS**

**NORTH ARROW:**



**PRIME CONSULTANT**

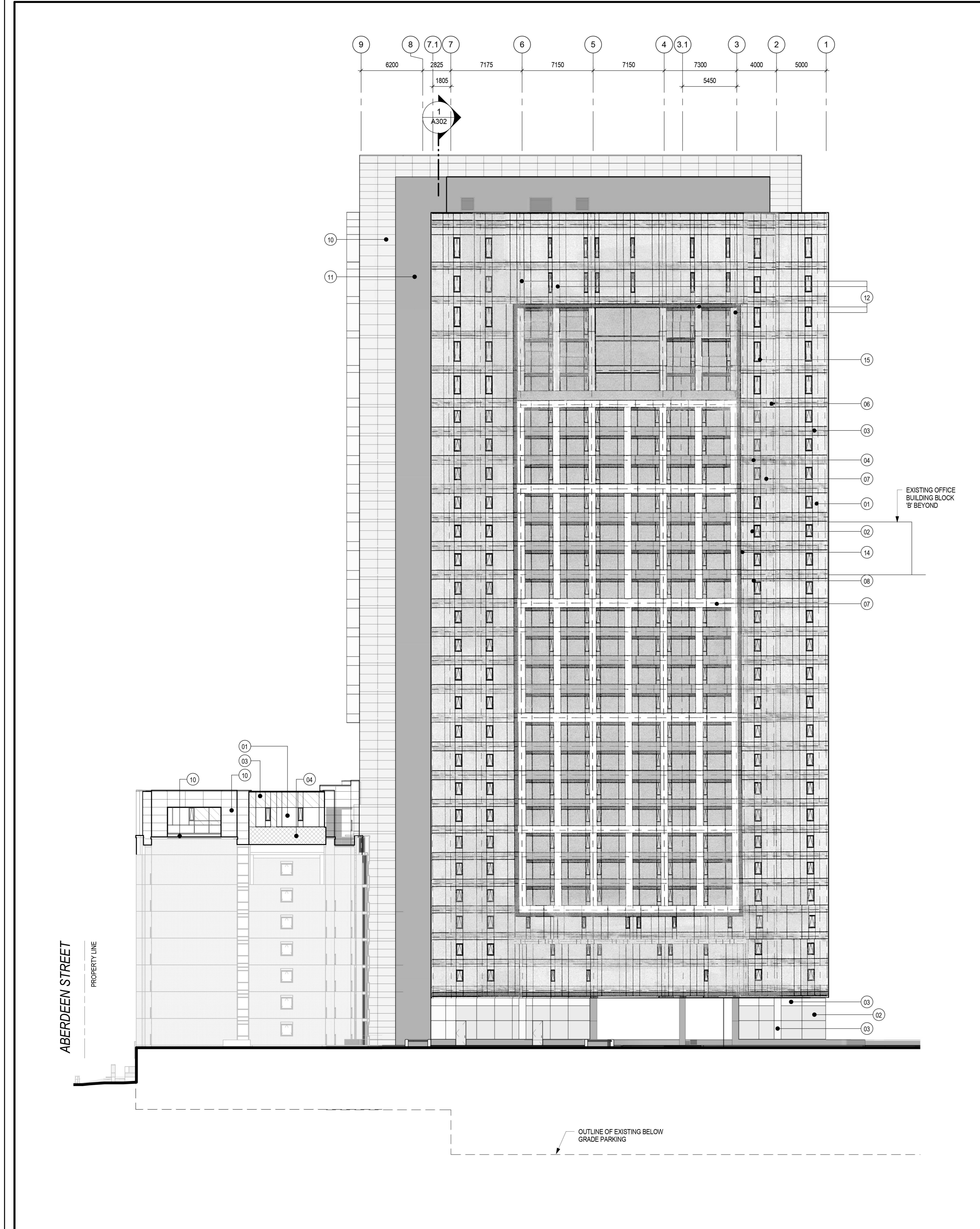
**IBI GROUP**  
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 Tel: 613 225 1311 Fax: 613 225 9888  
 ibigroup.com

**PROJECT**  
**ADELA TOWER EXPANSION**  
 17 Aberdeen Street  
 Ottawa, Ontario, Canada  
 K1S 3J3

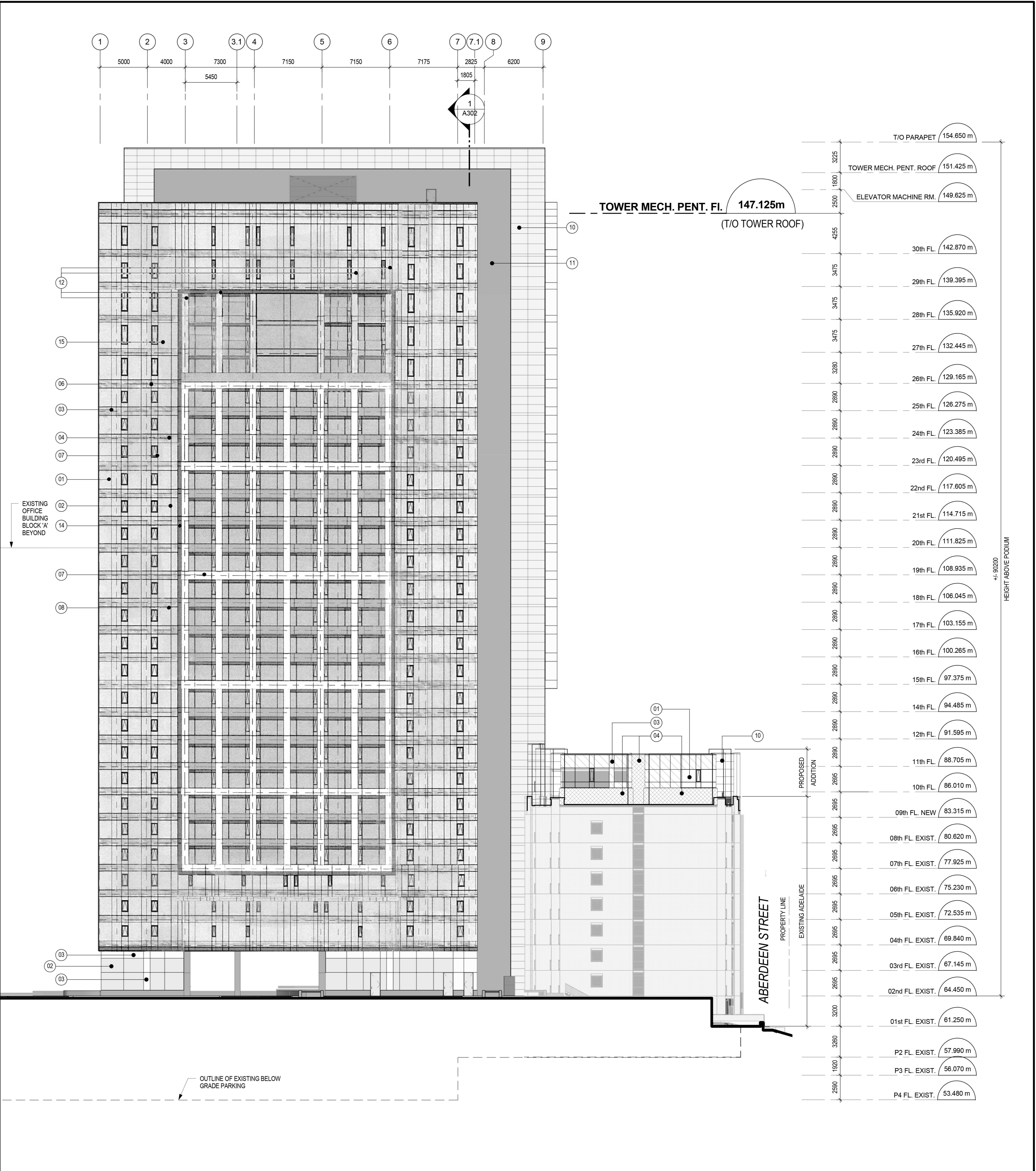
**PROJECT NO.:** 112516  
**DRAWN BY:** IBI  
**PROJECT MGR:** H. SEMPLE  
**SCALE:** As indicated  
**CHECKED BY:** H. SEMPLE  
**APPROVED BY:** Approver  
**DATE:** 11/22/18

**SHEET TITLE**  
**EAST AND WEST ELEVATIONS**

**SHEET NUMBER** **A402** **ISSUE** **6**



**1 EAST ELEVATION**  
 A402 / Scale: 1:200



**2 WEST ELEVATION**  
 A402 / Scale: 1:200

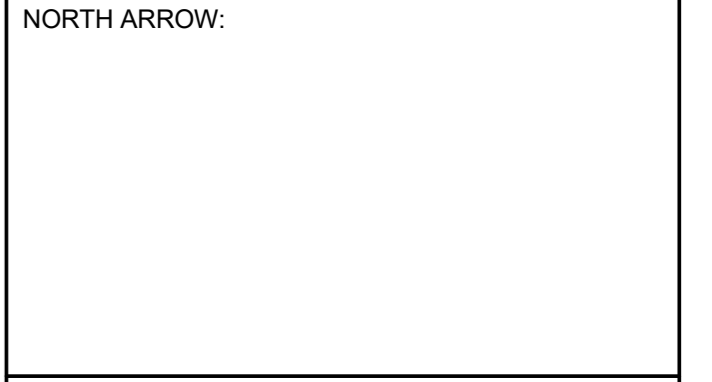
LEVEL	HEIGHT ABOVE FINISHED GRADE (m)
T/O PARAPET	154.650 m
TOWER MECH. PENT. ROOF	151.425 m
ELEVATOR MACHINE RM.	149.625 m
TOWER MECH. PENT. FL. (T/O TOWER ROOF)	147.125 m
30th FL.	142.870 m
29th FL.	139.395 m
28th FL.	135.920 m
27th FL.	132.445 m
26th FL.	129.165 m
25th FL.	126.275 m
24th FL.	123.385 m
23rd FL.	120.495 m
22nd FL.	117.605 m
21st FL.	114.715 m
20th FL.	111.825 m
19th FL.	108.935 m
18th FL.	106.045 m
17th FL.	103.155 m
16th FL.	100.265 m
15th FL.	97.375 m
14th FL.	94.485 m
12th FL.	91.595 m
11th FL.	88.705 m
10th FL.	86.010 m
09th FL. NEW	83.315 m
08th FL. EXIST.	80.620 m
07th FL. EXIST.	77.925 m
06th FL. EXIST.	75.230 m
05th FL. EXIST.	72.535 m
04th FL. EXIST.	69.840 m
03rd FL. EXIST.	67.145 m
02nd FL. EXIST.	64.450 m
01st FL. EXIST.	61.250 m
P2 FL. EXIST.	57.960 m
P3 FL. EXIST.	56.070 m
P4 FL. EXIST.	53.480 m

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PROJECT  
**ADELAIDE TOWER EXPANSION**  
 17 Aberdeen Street  
 Ottawa, Ontario, Canada  
 K1S 3J3

PROJECT NO.  
 112516

DRAWN BY:  
 IBI

CHECKED BY:  
 H. SEMPLE

PROJECT MGR:  
 IBI

APPROVED BY:  
 Approver

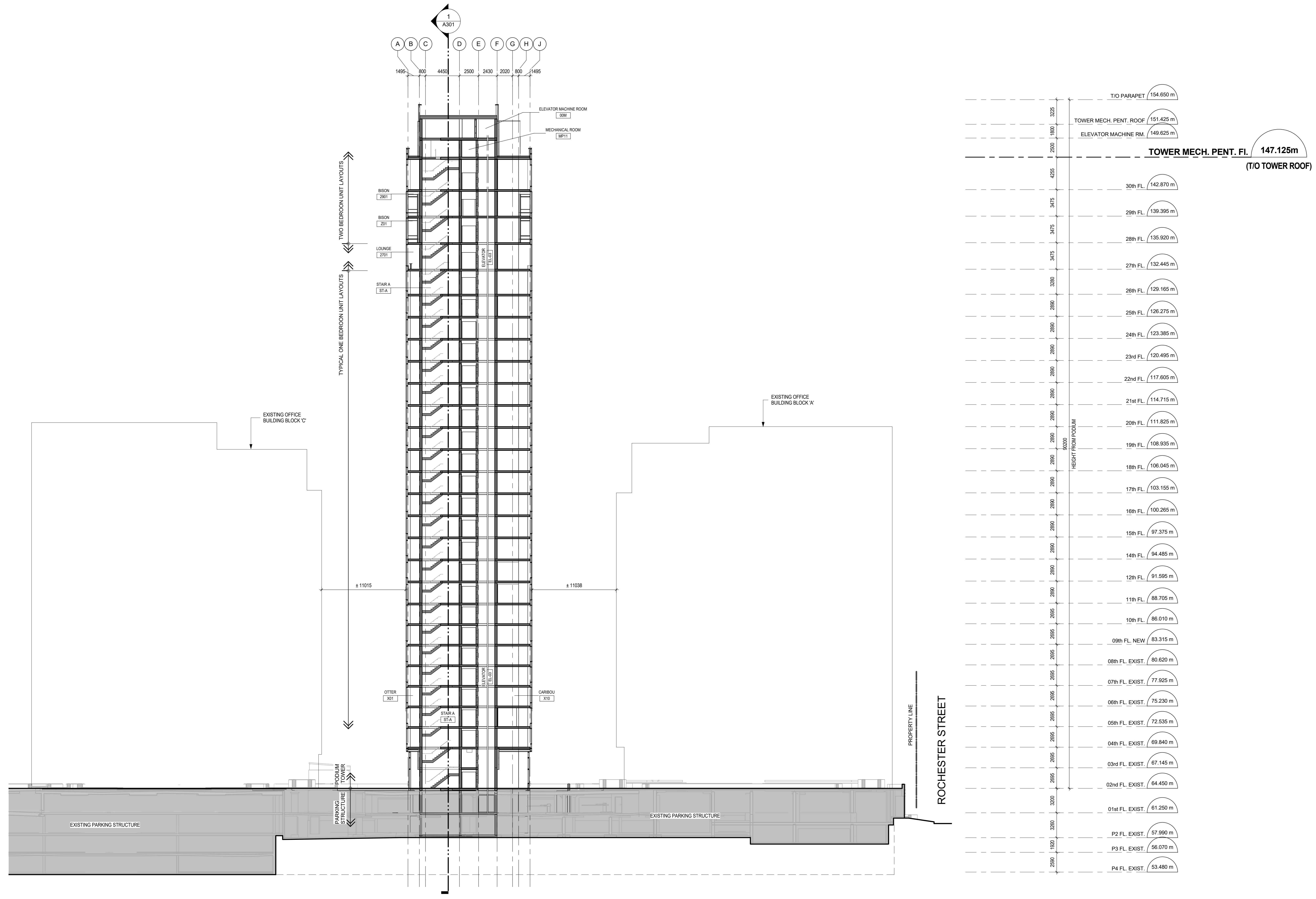
SCALE:  
 1:200

DATE:  
 11/22/18

SHEET TITLE  
**BUILDING SECTION B**

SHEET NUMBER  
**A302**

ISSUE  
**6**





**LEGEND**

- 1) VISION GLASS CLEAR (TYPE 1)
- 2) VISION GLASS CLEAR (TYPE 2)
- 3) GLASS SPANDREL - SANDBLAST (TYPE 1)
- 4) GLASS SPANDREL - SANDBLAST (TYPE 2)
- 5) GLASS SPANDREL - ACID ETCH
- 6) METAL SPANDREL - 75mm PROUD
- 7) METAL SPANDREL - 50mm PROUD
- 8) METAL SPANDREL (TYPE 1)
- 9) METAL SPANDREL (TYPE 2)
- 10) METAL PANEL (TYPE 1 - ANODIZED ALUM)
- 11) METAL PANEL (TYPE 2 - DARK GREY)
- 12) ILLUMINATED PANEL
- 13) RESERVED (NOT USED)
- 14) LOUVRES
- 15) GLASS GUARD
- 16) EXISTING VISION GLASS
- 17) EXISTING BRICK
- 18) EXISTING GUARD

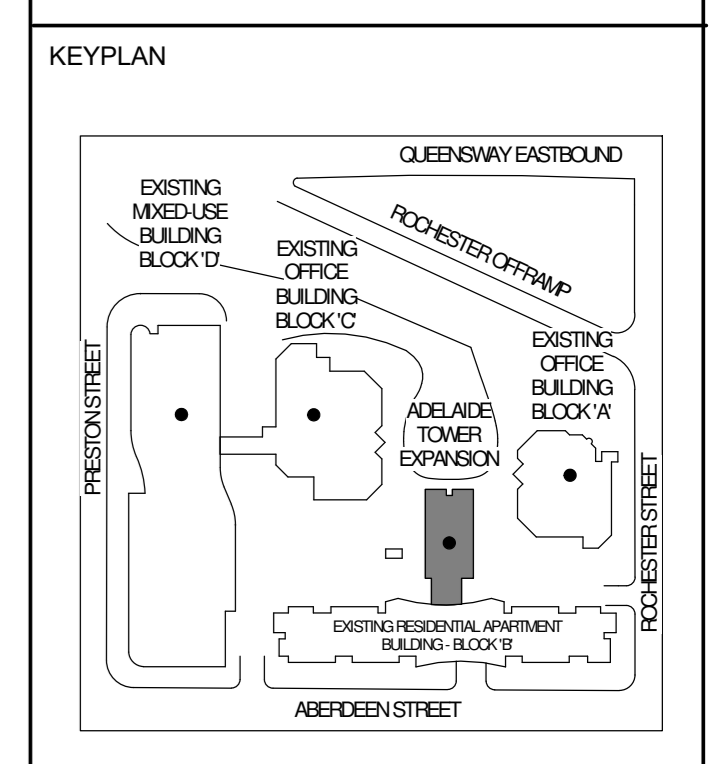
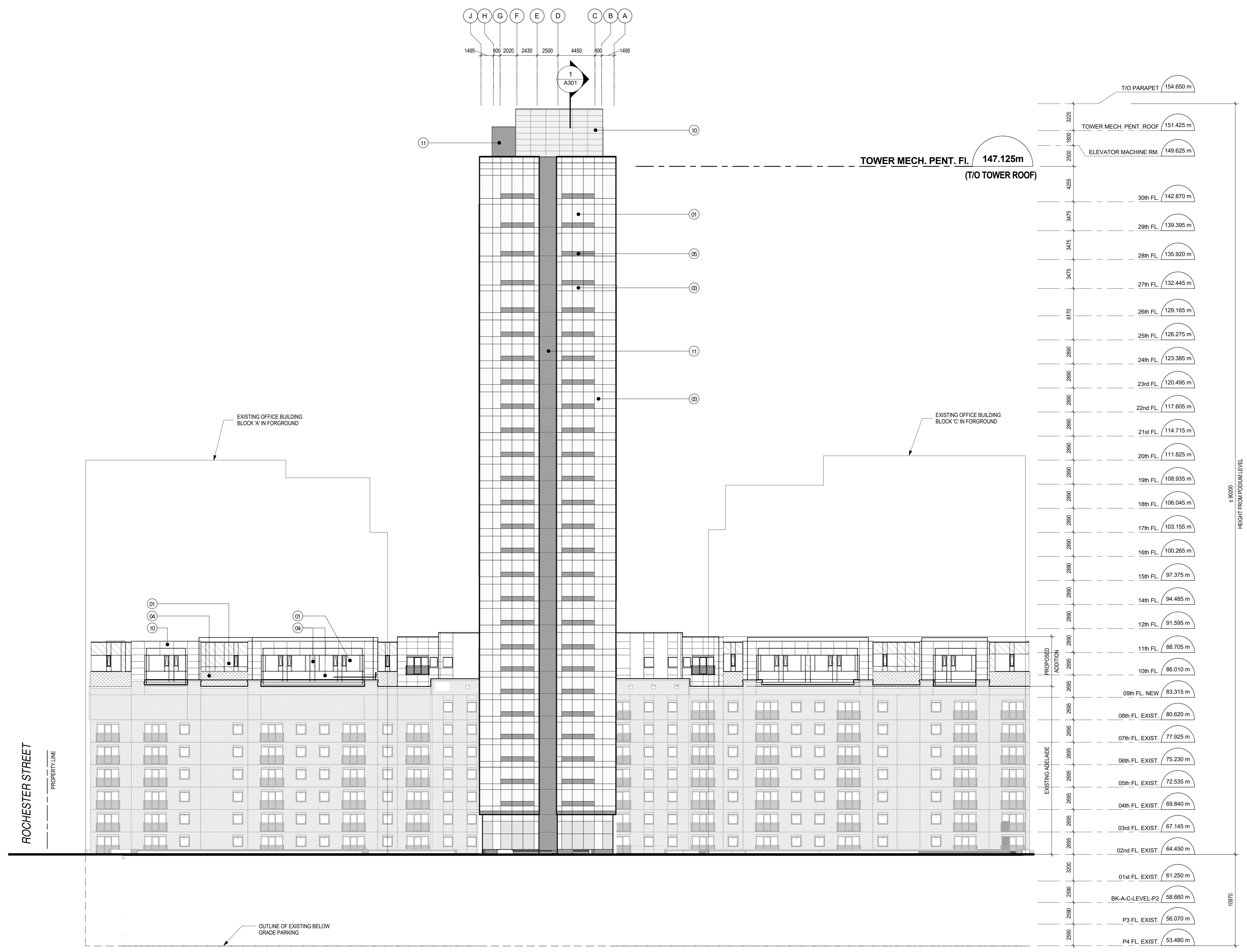
**CLIENT**  
**SAKTO CORPORATION**  
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**ADELA TOWER EXPANSION**  
 17 Aberdeen Street  
 Ottawa, Ontario, Canada  
 K1S 3J3

**PROJECT NO.**  
 112516

**DRAWN BY:**  
 IBI

**CHECKED BY:**  
 H SEMPLE

**PROJECT MGR:**  
 IBI

**APPROVED BY:**  
 Approver

**SCALE:**  
 As indicated

**DATE:**  
 11/22/18

**SHEET TITLE**  
**NORTH ELEVATION**

**SHEET NUMBER**  
**A401**

**ISSUE**  
**6**

