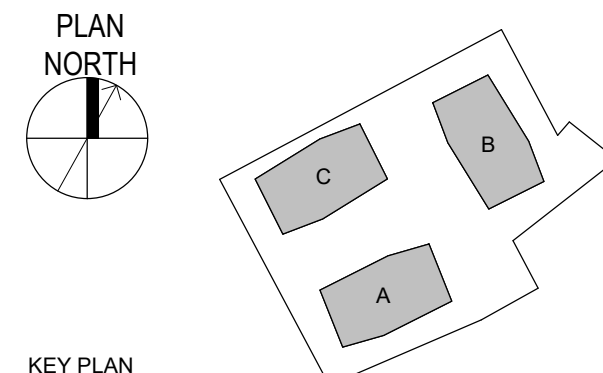


Architectural Drawing List	
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A002	SITE STATISTICS
A003	SURVEY PLAN
A005	RENDERINGS
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A011	SHADOW STUDIES - SUMMER
A012	SHADOW STUDIES - EQUINOX
A013	SHADOW STUDIES - WINTER
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A502	TOWER C SECTIONS
A503	SITE SECTIONS



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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**Mechanical Consultant**  
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 City Post Code  
 T/xxxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER :  
**Electrical Consultant**  
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 City Post Code  
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WIND + NOISE CONSULTANT :  
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 T/613-836-0934

LANDSCAPE ARCHITECT :  
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 T/613-836-2184

PLANNING CONSULTANT :  
**Fotenn**  
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 T/613-730-5709

TRAFFIC CONSULTANT :  
**CGH**  
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 Nepean, K2G 3Z1  
 T/343-996-2623

OWNER :  
**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
 COVER PAGE

PROJECT NUMBER :  
**2211080**  
 DRAWING SCALE :

DRAWN BY : CA	CHECKED BY : SS	DATE: 02/13/23
SHEET NO : <b>A000</b>	REV : <b>1</b>	

# 265 CENTRUM BOULEVARD SITE PLAN AGREEMENT

265 CENTRUM BOULEVARD  
 OTTAWA, ON  
 K1E 3X7

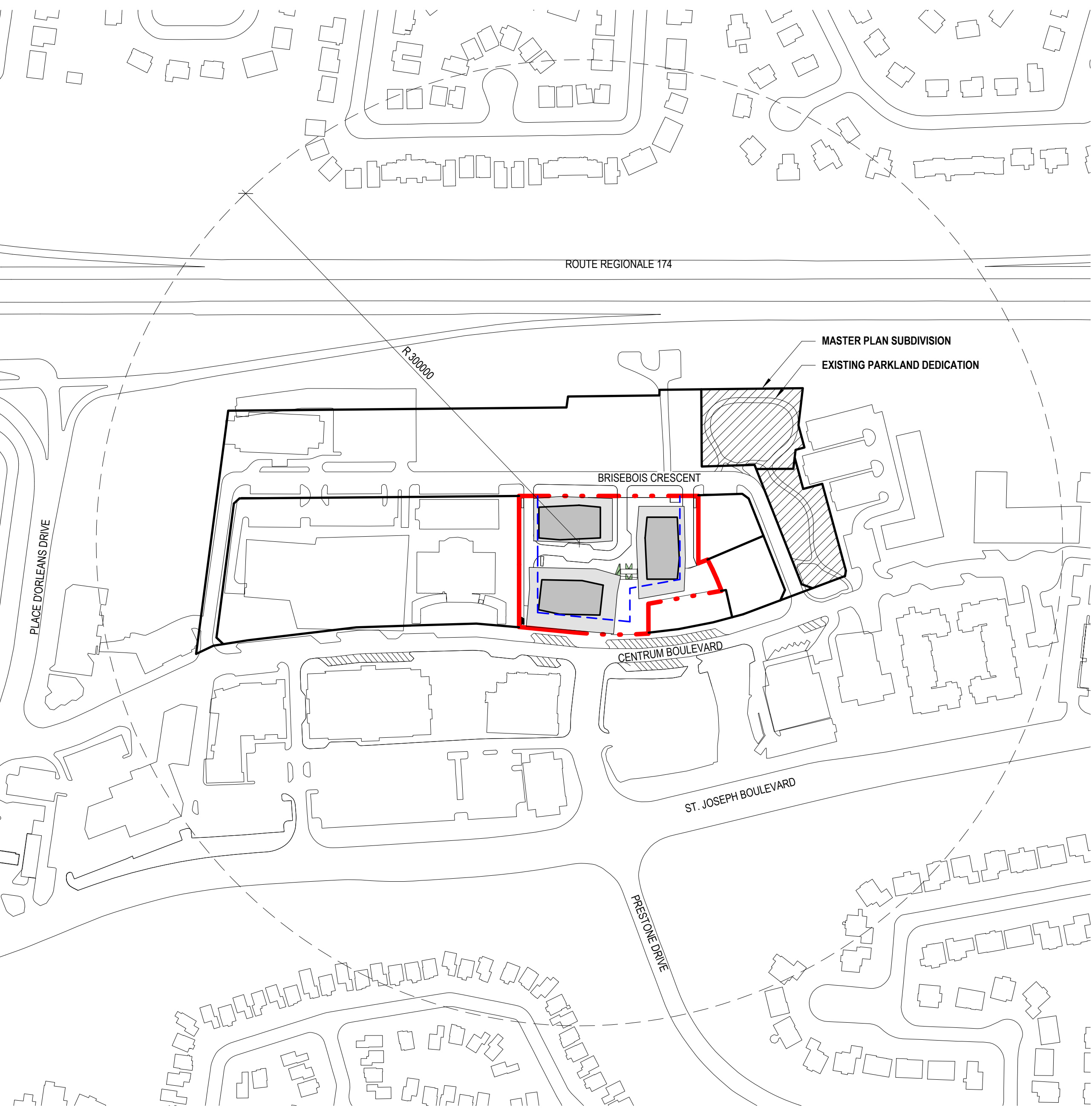
ISSUED FOR: SPA  
 DATE: MARCH 24, 2023



UNIT BREAKDOWN					
	TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	TOTAL	PERCENTAGE
1 BEDROOM	45	42	54	141	13%
1 BED + DEN	172	160	208	540	48%
2 BEDROOM	56	53	72	181	16%
2 BED + DEN	66	54	74	194	17%
3 BEDROOM	21	14	19	54	5%
TOWNHOUSE (3B)	3	5	9	17	2%
<b>TOTAL</b>	<b>363</b>	<b>328</b>	<b>436</b>	<b>1127</b>	<b>100%</b>

UNIT SIZE INFROMATION							
	1 BEDROOM	1 BED + DEN	2 BEDROOM	2 BED + DEN	3 BEDROOM	TOWNHOUSE (3B)	TOTAL
MINIMUM SIZE	37 m <sup>2</sup>	40 m <sup>2</sup>	54 m <sup>2</sup>	60 m <sup>2</sup>	89 m <sup>2</sup>	80 m <sup>2</sup>	37 m <sup>2</sup>
MAXIMUM SIZE	65 m <sup>2</sup>	72 m <sup>2</sup>	60 m <sup>2</sup>	115 m <sup>2</sup>	130 m <sup>2</sup>	177 m <sup>2</sup>	177 m <sup>2</sup>
AVERAGE SIZE	43 m <sup>2</sup>	48 m <sup>2</sup>	56 m <sup>2</sup>	69 m <sup>2</sup>	96 m <sup>2</sup>	117 m <sup>2</sup>	71 m <sup>2</sup>
TOTAL AREA	6011 m <sup>2</sup>	25758 m <sup>2</sup>	10091 m <sup>2</sup>	12454 m <sup>2</sup>	5172 m <sup>2</sup>	1993 m <sup>2</sup>	61479 m <sup>2</sup> *

\*UNIT AREA IS MEASURED TO CENTRELINE OF INTERIOR WALLS



1 CONTEXT PLAN  
1:2000

## 265 CENTRUM BLVD PROJECT STATISTICS - SITE PLAN AGREEMENT

SITE AREA	8995 m <sup>2</sup>						
FLOOR SPACE INDEX	7.55		NO MAXIMUM REQUIRED				
MIN LOT AREA/WIDTH	REQUIRED	NO MINIMUM					
	PROPOSED COVERAGE	4065 m <sup>2</sup>		45%			
PROGRAM	PROPOSED RESIDENTIAL PROPOSED COMMERCIAL - RETAIL PROPOSED COMMERCIAL - OFFICE						
GROSS FLOOR AREA (SEE NOTE 1)		TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	PARKING	TOTAL	
	RESIDENTIAL	20303 m <sup>2</sup>	18739 m <sup>2</sup>	25072 m <sup>2</sup>	0 m <sup>2</sup>	64114 m <sup>2</sup>	
	RETAIL	833 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	833 m <sup>2</sup>	
	OFFICE	2933 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>		2933 m <sup>2</sup>	
	TOTAL	21136 m <sup>2</sup>	18739 m <sup>2</sup>	25072 m <sup>2</sup>	0 m <sup>2</sup>	67880 m <sup>2</sup>	
FLOOR PLATE SIZE	MAX ALLOWED	TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)			
	TYPICAL TOWER LEVEL	750 m <sup>2</sup>	771 m <sup>2</sup>	787 m <sup>2</sup>	771 m <sup>2</sup>		
GROSS CONSTRUCTION AREA		TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	PARKING	TOTAL	
		33314 m <sup>2</sup>	24707 m <sup>2</sup>	31875 m <sup>2</sup>	19481 m <sup>2</sup>	109378 m <sup>2</sup>	
NO. OF DWELLING UNITS	# OF UNITS	141	540	181	194	54	1127
	% OF TOTAL	13%	48%	16%	17%	5%	100%
	AVG UNIT SIZE	43 m <sup>2</sup>	48 m <sup>2</sup>	56 m <sup>2</sup>	69 m <sup>2</sup>	96 m <sup>2</sup>	71 m <sup>2</sup>
MAX. BUILDING HEIGHT *Measured from Lower Grade at Brisebois	STOREYS	MAXIMUM	TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)		
	HEIGHT	--	35	30	40		
SETBACKS		TOWERS				PODIUM	
		NORTH	EAST	SOUTH	WEST	FRONT/CORNER	INTERIOR SIDE
LANDSCAPE AREA	REQUIRED	0.0 m	11.5 m	0.0 m	11.5 m	0.0 m	0.0 m
	PROVIDED	4.0 m	11.5 m	10.0 m	11.5 m	0.0 m	5.0 m
RESIDENTIAL AMENITY SPACE (INTERIOR & EXTERIOR)	RATE/UNIT		TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	TOTAL	
	6 m <sup>2</sup>	# OF UNITS	363	328	436		
	REQUIRED		2178 m <sup>2</sup>	1968 m <sup>2</sup>	2616 m <sup>2</sup>	6762 m <sup>2</sup>	
	BALCONY (MAX 50% OF REQ'D)		1089 m <sup>2</sup>	984 m <sup>2</sup>	1308 m <sup>2</sup>	3381 m <sup>2</sup>	
	COMMUNAL		1089 m <sup>2</sup>	984 m <sup>2</sup>	1308 m <sup>2</sup>	3381 m <sup>2</sup>	
PROVIDED		26096 m <sup>2</sup>					
OFF-STREET LOADING	BALCONY		5828 m <sup>2</sup>	5204 m <sup>2</sup>	6929 m <sup>2</sup>	17961 m <sup>2</sup>	
	INTERIOR COMMUNAL		907 m <sup>2</sup>	536 m <sup>2</sup>	713 m <sup>2</sup>	2156 m <sup>2</sup>	
	EXTERIOR COMMUNAL		749 m <sup>2</sup>	509 m <sup>2</sup>	654 m <sup>2</sup>	1912 m <sup>2</sup>	
	TOTAL COMMUNAL		1657 m <sup>2</sup>	1044 m <sup>2</sup>	1367 m <sup>2</sup>	4068 m <sup>2</sup>	
			2	1	1	4	
BICYCLE PARKING	USE	RATE/UNIT	TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	TOTAL	
	RESIDENT	1	363	328	436	1127	
	RES VISITOR	5% OF RES	18	16	22	56	
	COMMERCIAL	1/250m <sup>2</sup>	15	0	0	15	
	TOTAL REQUIRED					1198	
VEHICULAR PARKING *Within the area shown as Area Z on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section. (By-law 2016-249)	RESIDENT	(INTERIOR - SECURE)				1194	
	COMMERCIAL/VISITOR	(EXTERIOR)				60	
	TOTAL PROVIDED					1254	
	RATE/UNIT	UNITS	REQUIRED	PROVIDED			
	RETAIL	0 /100m <sup>2</sup>	833 m <sup>2</sup>	0			
OFFICE	2.3 /100m <sup>2</sup>	3033 m <sup>2</sup>	70	426			
RESIDENTIAL	0 /UNIT	1127	0				
VISITOR	30 /BLDG	3	90	90			
TOTAL			160	516			
ACCESSIBLE PARKING (SEE NOTE 2)		RATE	TOTAL SPACES	REQUIRED	PROVIDED		
	RESIDENTIAL	1%	0	0	20		
	NON-RESIDENTIAL	1%	516	5	2		
TOTAL	11+1%		16	22			

NOTE 1:GFA DEFINITION  
Gross floor area means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding;

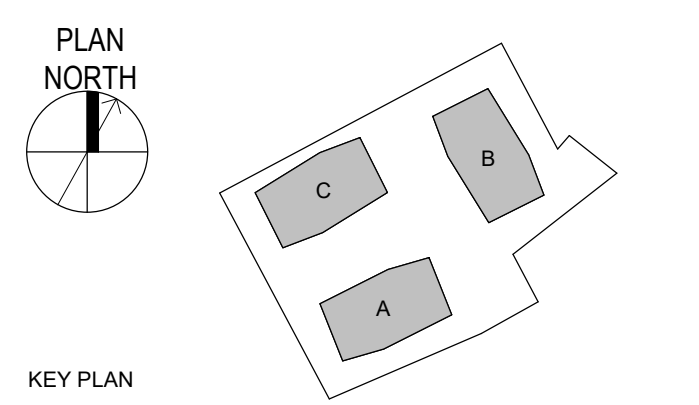
1. floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326)
2. common hallways, corridors; stairwells, elevator shafts and other voids, steps and landings; (By-law 2008-326) (By-law 2017-302)
3. bicycle parking; motor vehicle parking or loading facilities;
4. common laundry, storage and washroom facilities that serve the building or tenants;
5. common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
6. common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
7. living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

GLA DEFINITION:  
Gross leasable floor area means the total floor area designed for tenant occupancy and exclusive use, measured from the interiors of outside walls excluding floor area occupied by party walls and excluding;

1. floor area occupied by mechanical, service and electrical equipment that serve the building;
2. hallways; corridors; stairwells, elevator shafts and other voids; steps and landings;
3. pedestrian malls serving as a common area between stores;
4. administration or management offices;
5. bicycle parking; motor vehicle parking or loading facilities;
6. common washroom facilities that serve the building or tenants;
7. storage areas that are accessory to the principal use of the building; and
8. living quarters for a caretaker of the building. (superficie brute de location)

NOTE 2: NO ZONING BYLAW REQUIREMENT AT OTTAWA, RATE SHOWN BASED ON REQUIREMENT IN MISSISSAUGA, AND IS A PLACEHOLDER FOR FURTHER CONFIRMATION

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL AUTHORIZED IN WRITING BY CONSULTANT.



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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**Mechanical Consultant**  
Street Address  
City Post Code  
T/xxxx.xxxx F/xxxx.xxxx

**ELECTRICAL ENGINEER:**  
**Electrical Consultant**  
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City Post Code  
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T/613-730-5709  
TRAFFIC CONSULTANT:  
**CGH**  
13 Markham Ave  
Nepean, K2G 3Z1  
T/343-996-2623

OWNER:  
**BAYVIEW GROUP**  
108 Chestnut Street  
Toronto M5G 1R3  
T/416-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS:  
**CONTEXT PLAN & SITE STATISTICS**

PROJECT NUMBER:  
**2211080**  
DRAWING SCALE:  
**1:2000**  
DRAWN BY:  
**Author**  
CHECKED BY:  
**Checker**  
DATE:  
**02/16/23**  
SHEET NO.:  
**A001**  
REV:  
**1**



## GROSS CONSTRUCTION AREA

\*GROSS CONSTRUCTION AREA DEFINITION:  
MEASURED TO EXTERIOR FACE OF BUILDINGS, INCLUDING ALL VERTICAL SHAFTS, CIRCULATION, AND MULTI-STORY SPACES.

A0_GCA_PARKING	
D	Area
LEVEL P3	5557.14 m <sup>2</sup>
LEVEL P2	5557.14 m <sup>2</sup>
LEVEL P1	8367.14 m <sup>2</sup>
Grand total: 3	19481.43 m <sup>2</sup>

TOWER A (Gross Construction Area)	
Level	Area

LEVEL 02 A	823.76 m <sup>2</sup>
LEVEL 03 A	1782.63 m <sup>2</sup>
LEVEL 04 A	1785.67 m <sup>2</sup>
LEVEL 05A	1785.87 m <sup>2</sup>
LEVEL 06 A	773.83 m <sup>2</sup>
LEVEL 07 A	1031.70 m <sup>2</sup>
LEVEL 08 A	771.23 m <sup>2</sup>
LEVEL 09 A	771.23 m <sup>2</sup>
LEVEL 10 A	771.23 m <sup>2</sup>
LEVEL 11 A	771.23 m <sup>2</sup>
LEVEL 12 A	771.23 m <sup>2</sup>
LEVEL 13 A	771.23 m <sup>2</sup>
LEVEL 14 A	771.23 m <sup>2</sup>
LEVEL 15 A	771.23 m <sup>2</sup>
LEVEL 16 A	771.23 m <sup>2</sup>
LEVEL 17 A	771.23 m <sup>2</sup>
LEVEL 18 A	771.23 m <sup>2</sup>
LEVEL 19 A	771.23 m <sup>2</sup>
LEVEL 20 A	771.23 m <sup>2</sup>
LEVEL 21 A	771.23 m <sup>2</sup>
LEVEL 22 A	771.23 m <sup>2</sup>
LEVEL 23 A	771.23 m <sup>2</sup>
LEVEL 24 A	771.23 m <sup>2</sup>
LEVEL 25 A	771.23 m <sup>2</sup>
LEVEL 26 A	771.23 m <sup>2</sup>
LEVEL 27 A	726.01 m <sup>2</sup>
LEVEL 28 A	726.01 m <sup>2</sup>
LEVEL 29 A	771.23 m <sup>2</sup>
LEVEL 30 A	771.23 m <sup>2</sup>
LEVEL 31 A	771.23 m <sup>2</sup>
LEVEL 32 A	771.23 m <sup>2</sup>
LEVEL 33 A	771.23 m <sup>2</sup>
LEVEL 34 A	771.23 m <sup>2</sup>
LEVEL 35 A	771.23 m <sup>2</sup>
LEVEL MECH. A	358.85 m <sup>2</sup>
LOWER GRADE AT BRISEBOIS	1860.82 m <sup>2</sup>
TOWNHOUSE 2ND FL	1623.31 m <sup>2</sup>
Grand total: 37	33330.32 m <sup>2</sup>

TOWER B (Gross Construction Area)	
Level	Area

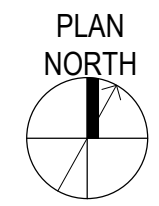
LEVEL 01 B	827.99 m <sup>2</sup>
LEVEL 02 B	1225.15 m <sup>2</sup>
LEVEL 03 B	1129.71 m <sup>2</sup>
LEVEL 04 B	741.31 m <sup>2</sup>
LEVEL 05 B	787.33 m <sup>2</sup>
LEVEL 06 B	787.33 m <sup>2</sup>
LEVEL 07 B	787.33 m <sup>2</sup>
LEVEL 08 B	787.33 m <sup>2</sup>
LEVEL 09 B	787.33 m <sup>2</sup>
LEVEL 10 B	787.33 m <sup>2</sup>
LEVEL 11 B	787.33 m <sup>2</sup>
LEVEL 12 B	787.33 m <sup>2</sup>
LEVEL 13 B	787.33 m <sup>2</sup>
LEVEL 14 B	787.33 m <sup>2</sup>
LEVEL 15 B	787.33 m <sup>2</sup>
LEVEL 16 B	787.33 m <sup>2</sup>
LEVEL 17 B	787.33 m <sup>2</sup>
LEVEL 18 B	787.33 m <sup>2</sup>
LEVEL 19 B	787.33 m <sup>2</sup>
LEVEL 20 B	787.33 m <sup>2</sup>
LEVEL 21 B	741.31 m <sup>2</sup>
LEVEL 22 B	741.31 m <sup>2</sup>
LEVEL 23 B	787.33 m <sup>2</sup>
LEVEL 24 B	787.33 m <sup>2</sup>
LEVEL 25 B	787.33 m <sup>2</sup>
LEVEL 26 B	787.33 m <sup>2</sup>
LEVEL 27 B	787.33 m <sup>2</sup>
LEVEL 28 B	787.33 m <sup>2</sup>
LEVEL 29 B	787.33 m <sup>2</sup>
LEVEL 30 B	787.33 m <sup>2</sup>
LEVEL MECH. B	400.44 m <sup>2</sup>
Grand total: 31	24703.13 m <sup>2</sup>

TOWER C (Gross Construction Area)	
Level	Area

LEVEL 01 C	1126.63 m <sup>2</sup>
LEVEL 02 C	863.96 m <sup>2</sup>
LEVEL 03 C	1126.63 m <sup>2</sup>
LEVEL 04 C	726.66 m <sup>2</sup>
LEVEL 05 C	771.04 m <sup>2</sup>
LEVEL 06 C	771.04 m <sup>2</sup>
LEVEL 07 C	771.04 m <sup>2</sup>
LEVEL 08 C	771.04 m <sup>2</sup>
LEVEL 09 C	771.04 m <sup>2</sup>
LEVEL 10 C	771.04 m <sup>2</sup>
LEVEL 11 C	771.04 m <sup>2</sup>
LEVEL 12 C	771.04 m <sup>2</sup>
LEVEL 13 C	771.04 m <sup>2</sup>
LEVEL 14 C	771.04 m <sup>2</sup>
LEVEL 15 C	726.66 m <sup>2</sup>
LEVEL 16 C	726.66 m <sup>2</sup>
LEVEL 17 C	771.04 m <sup>2</sup>
LEVEL 18 C	771.04 m <sup>2</sup>
LEVEL 19 C	771.04 m <sup>2</sup>
LEVEL 20 C	771.04 m <sup>2</sup>
LEVEL 21 C	771.04 m <sup>2</sup>
LEVEL 22 C	771.04 m <sup>2</sup>
LEVEL 23 C	771.04 m <sup>2</sup>
LEVEL 24 C	771.04 m <sup>2</sup>
LEVEL 25 C	771.04 m <sup>2</sup>
LEVEL 26 C	771.04 m <sup>2</sup>
LEVEL 27 C	771.04 m <sup>2</sup>
LEVEL 28 C	771.04 m <sup>2</sup>
LEVEL 29 C	771.04 m <sup>2</sup>
LEVEL 30 C	771.04 m <sup>2</sup>
LEVEL 31 C	771.04 m <sup>2</sup>
LEVEL 32 C	771.04 m <sup>2</sup>
LEVEL 33 C	771.04 m <sup>2</sup>
LEVEL 34 C	771.04 m <sup>2</sup>
LEVEL 35 C	771.04 m <sup>2</sup>
LEVEL 36 C	771.04 m <sup>2</sup>
LEVEL 37 C	771.04 m <sup>2</sup>
LEVEL 38 C	771.04 m <sup>2</sup>
LEVEL 39 C	771.04 m <sup>2</sup>
LEVEL 40 C	771.04 m <sup>2</sup>
LEVEL MECH. C	362.46 m <sup>2</sup>
Grand total: 41	31875.18 m <sup>2</sup>

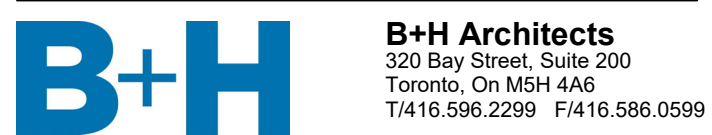
265 CENTRUM BLVD ROOF AREAS								
SITE AREA		8995 m <sup>2</sup>						
GFA		67880 m <sup>2</sup>						
ROOF AREAS		CENTRUM		PARK		BRISEBOIS		TOTAL
	TRADITIONAL ROOF	TOWER A	PODIUM A	TOWER B	PODIUM B	TOWER C	PODIUM C	4301 m <sup>2</sup>
	GREEN ROOF	0 m <sup>2</sup>	134 m <sup>2</sup>	0 m <sup>2</sup>	52 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	528 m <sup>2</sup>
	OUTDOOR AMENITY SPACE	0 m <sup>2</sup>	749 m <sup>2</sup>	0 m <sup>2</sup>	509 m <sup>2</sup>	0 m <sup>2</sup>	627 m <sup>2</sup>	1885 m <sup>2</sup>
	COMMUNAL ROOF AREA	2425 m <sup>2</sup>		2320 m <sup>2</sup>		1970 m <sup>2</sup>		6715 m <sup>2</sup>
RESIDENTIAL PRIVATE TERRACES	5840 m <sup>2</sup>		5202 m <sup>2</sup>		6761 m <sup>2</sup>		11963 m <sup>2</sup>	
GREEN ROOF COVERAGE	COVERAGE OF AVAILABLE ROOF SURFACE (m <sup>2</sup> )	134 m <sup>2</sup>		394 m <sup>2</sup>		0 m <sup>2</sup>		528 m <sup>2</sup>
	COVERAGE OF AVAILABLE ROOF SURFACE (%)	5.53%		16.98%		0.00%		7.86%

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL AUTHORIZED IN WRITING BY CONSULTANT.



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



STRUCTURAL ENGINEER :  
**Art Engineering**  
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Carp K0A 1L0  
T/613-836-0632

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OWNER :

**BAYVIEW GROUP**  
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T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS :  
**SITE STATISTICS**

PROJECT NUMBER :  
**2211080**  
DRAWING SCALE :

DRAWN BY :  
**Author**

CHECKED BY :  
**Checker**

DATE:  
**03/09/23**

SHEET NO :  
**A002**

REV :  
**1**

LOADING REQUIREMENTS			
USE	AREA	REQUIRED	PROVIDED
<b>NON-RESIDENTIAL</b>	833 m <sup>2</sup>	1	1
<b>RESIDENTIAL</b>	UNITS	REQUIRED	PROVIDED
TOWER A (CENTRUM)	799	1	1
TOWER B (PARK)	#REF!	1	1
TOWER C (BRISEBOIS)		1	1
<b>TOTAL</b>		4	4

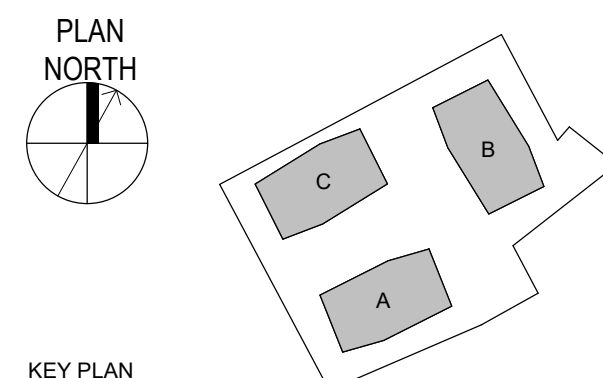
GARBAGE REQUIREMENTS					
	# OF UNITS	SIZE OF BIN	REQUIRED	RECOMMENDED	PROVIDED
<b>TOWER A (CENTRUM)</b>	363		-	-	159 m <sup>2</sup>
GARBAGE		3y <sup>3</sup>	-	-	4
PAPER/CARDBOARD RECYCLING		3y <sup>3</sup>	-	-	3
CANS/BOTTLES RECYCLING		3y <sup>3</sup>	-	-	2
ORGANICS		64 gallon	-	-	6
TOWER 1 ADDITIONAL*			-	-	24 m <sup>2</sup>
TH ADDITIONAL *	3		-	-	12 m <sup>2</sup>
<b>TOWER B (PARK)</b>	328		-	-	112 m <sup>2</sup>
GARBAGE		3y <sup>3</sup>	-	-	3
PAPER/CARDBOARD RECYCLING		3y <sup>3</sup>	-	-	2
CANS/BOTTLES RECYCLING		3y <sup>3</sup>	-	-	1
ORGANICS		64 gallon	-	-	6
TOWER 2 ADDITIONAL *			-	-	25 m <sup>2</sup>
TH ADDITIONAL *	5		-	-	12 m <sup>2</sup>
<b>TOWER C (BRISEBOIS)</b>	436		-	-	112 m <sup>2</sup>
GARBAGE		3y <sup>3</sup>	-	-	4
PAPER/CARDBOARD RECYCLING		3y <sup>3</sup>	-	-	3
CANS/BOTTLES RECYCLING		3y <sup>3</sup>	-	-	2
ORGANICS		64 gallon	-	-	7
TOWER 2 ADDITIONAL *			-	-	25 m <sup>2</sup>
TH ADDITIONAL *	9		-	-	12 m <sup>2</sup>
<b>COMMERICAL</b>	1		-	-	
GARBAGE		3y <sup>3</sup>	-	-	
PAPER/CARDBOARD RECYCLING		3y <sup>3</sup>	-	-	
CANS/BOTTLES RECYCLING		3y <sup>3</sup>	-	-	
ORGANICS		64 gallon	-	-	
ADDITIONAL**			-	-	

\*MANDATORY ADDITIONAL SPACE REQUIRED IN GARBAGE ROOM FOR OVERSIZED FURNITURE, LARGE STANDARD GARBAGE/RECYCLING THAT DOESN'T FIT DOWN CHUTES, BATTERIES, ELECTRONIC WASTE, AND TEXTILES. RECOMMENDED TO HAVE ADDITIONAL SPACE TO ACCOMMODATE FLOURESCENT LAMPS.

\*\*MANDATORY ADDITIONAL SPACE REQUIRED IN GARBAGE ROOM FOR COOKING OIL IN CASE TENANT IS RESTAURANT USE OR CHANGES TO RESTAURANT USE IN THE FUTURE. RECOMMENDED TO HAVE ADDITIONAL SPACE TO ACCOMMODATE FLOURESCENT LAMPS, BATTERIES AND ELECTRONIC WASTE.

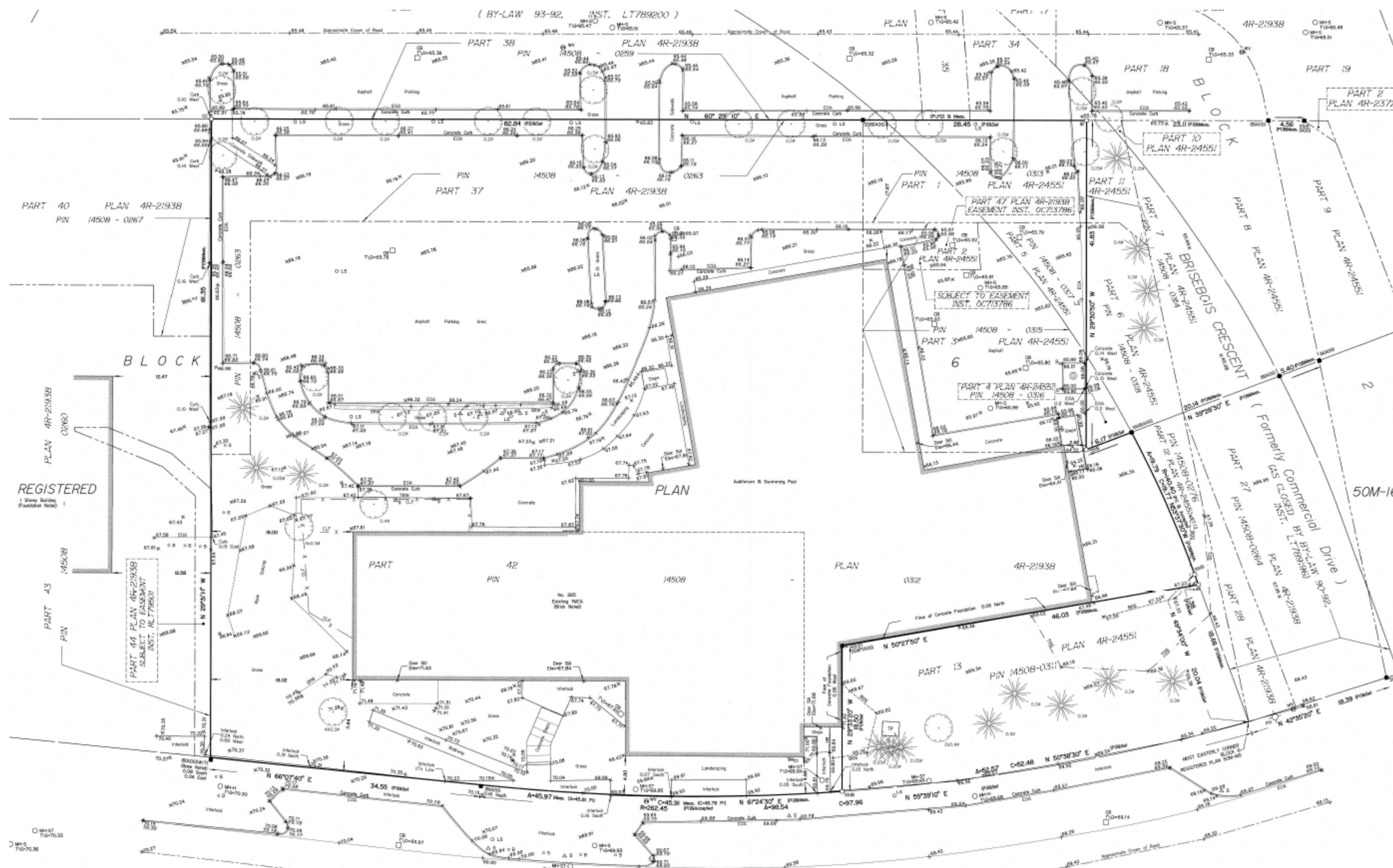
\*\*\*RETAIL GARBAGE ROOM IS TO BE DESIGNED BY TENANT AND LOCATED WITHIN RETAIL LEASING SPACE





KEY PLAN

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Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate  
1. This survey and plan are correct and in accordance with the Survey Act and the Surveyors Act and the regulations made under them.  
2. This survey was completed on the 26th day of November, 2021.  
Date: Nov 27/21  
T. Hartwick  
Ontario Land Surveyor

- Notes & Legend
- Survey Monument Planted
  - Survey Monument Found
  - Standard Iron Bar
  - Short Standard Iron Bar
  - Short Standard Iron Bar (0.30 Long)
  - Iron Bar
  - Witness
  - Measured
  - Ames, O'Sullivan, Vollebæk Ltd
  - Plan AR-24551
  - Plan AR-21938
  - Deciduous Tree
  - Coniferous Tree
  - Fire Hydrant
  - Water Valve
  - Water Stand Post
  - Maintenance Hole (Storm Sewer)
  - Maintenance Hole (Sanitary)
  - Maintenance Hole (Hydro)
  - Maintenance Hole (Underdrift)
  - Valve Chamber (Watermain)
  - Catch Basin
  - Hydro Transformer on Concrete Pad
  - Bottom of Slope
  - Top of Slope
  - Chain Link Fence
  - Handrail
  - Chimney
  - Location of Elevations
  - Top of Concrete Curb/Wall Elevation
  - Stone Retaining Wall
  - Trench Retaining Wall
  - Centreline
  - Property Line
  - Light Standard
  - Sign
  - Edge of Asphalt
  - Top of Grate
  - Ballast Container
  - Stolard

SITE AREA = 8995 m<sup>2</sup>

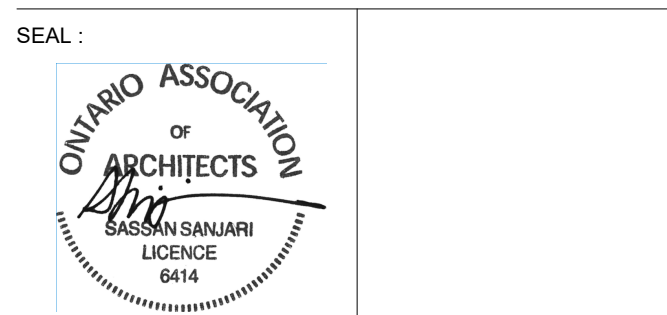
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99996.  
Bearings are grid, derived from Can-Nat 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01519600154 and 015196434751, MTM Zone 9 (78°30' West Longitude) NAD-83 (original).

ELEVATION NOTES  
1. Elevations shown are geoidic and are referred to the CGVD2011 datum; data are derived from City of Ottawa Monument 001196530205 having a published elevation of 60.38 metres.  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES  
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.



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PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS:  
**SURVEY PLAN**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:

DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 02/16/23

SHEET NO.: **A003**  
REV: **1**





KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



ARTISTS RENDERING - PARKLAND FROM CENTRUM



ARTISTS RENDERING - TOWER A PODIUM FROM CENTRUM



ARTISTS RENDERING - ALONG BRISEBOIS



ARTISTS RENDERING - OVERALL VIEW EAST ALONG CENTRUM



ARTISTS RENDERING - COURTYARD ENTRANCE OFF BRISEBOIS

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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS :  
**RENDERINGS**

PROJECT NUMBER :  
**2211080**

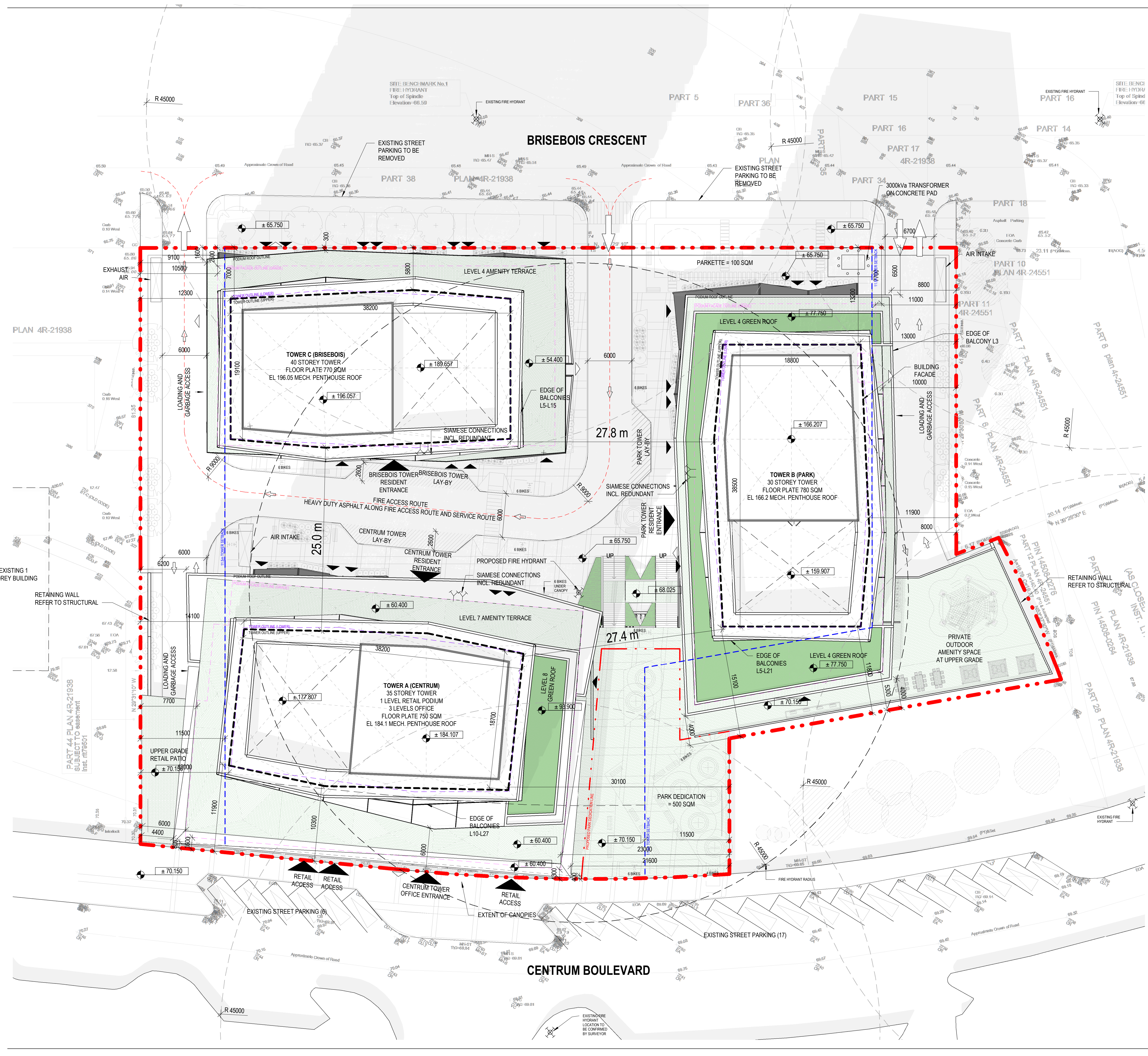
DRAWING SCALE :

DRAWN BY : Author  
CHECKED BY : Checker  
DATE : 03/20/23

SHEET NO :  
**A005**

REV :  
**1**





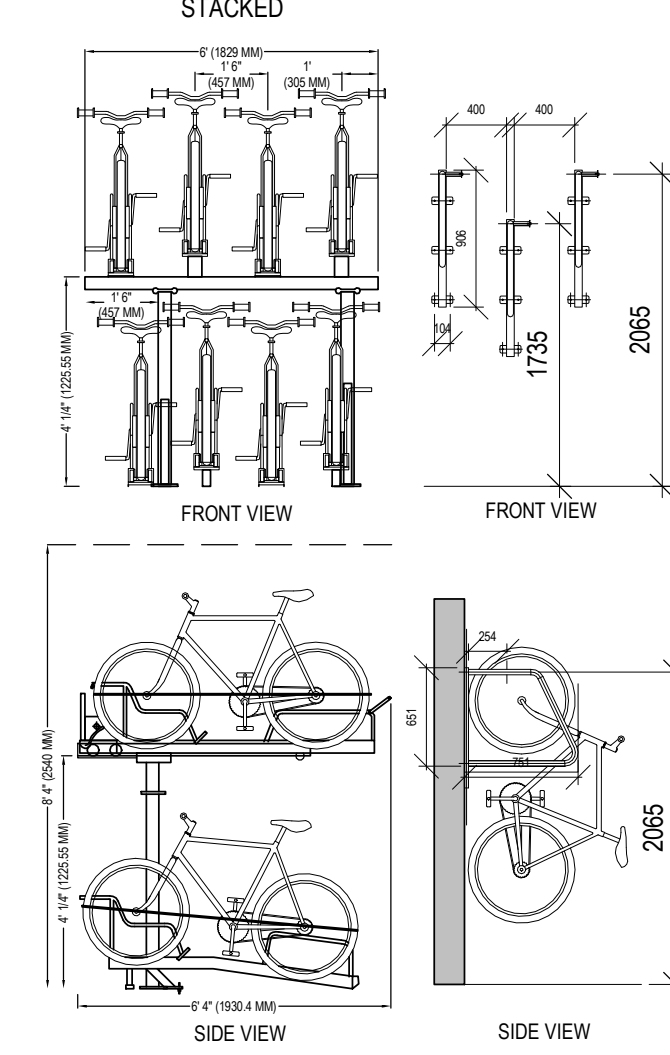
**NOTES**

1. TO BE READ IN CONJUNCTION WITH DRAWINGS PREPARED BY SITE SERVICING ENGINEER AND LANDSCAPE ARCHITECT. REFER TO SITE SERVICES/GRADING DRAWINGS FOR GRADING INFORMATION AND DRAINAGE.
2. FIRE ROUTES SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE OBC REQUIREMENTS; MIN. WIDTH 6m AND MIN. TURNING RADIUS OF 12m; INTERIOR TURNING RADIUS OF 9m AND OUTSIDE TURNING RADIUS OF 15m.
3. FIRE ROUTES OVER PARKING GARAGE SHALL BE DESIGNED TO SUPPORT THE 500 KPA LOADING REQUIREMENT IDENTIFIED IN NFPA 1301.
4. FIRE ROUTES SHALL BE DESIGNED TO SUPPORT EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND MEET THE REQUIREMENTS OF THE CANADIAN HIGHWAY BRIDGE CODE, AND SHALL BE SURFACED IN ORDER TO BE ACCESSIBLE UNDER ALL CLIMATIC CONDITIONS.

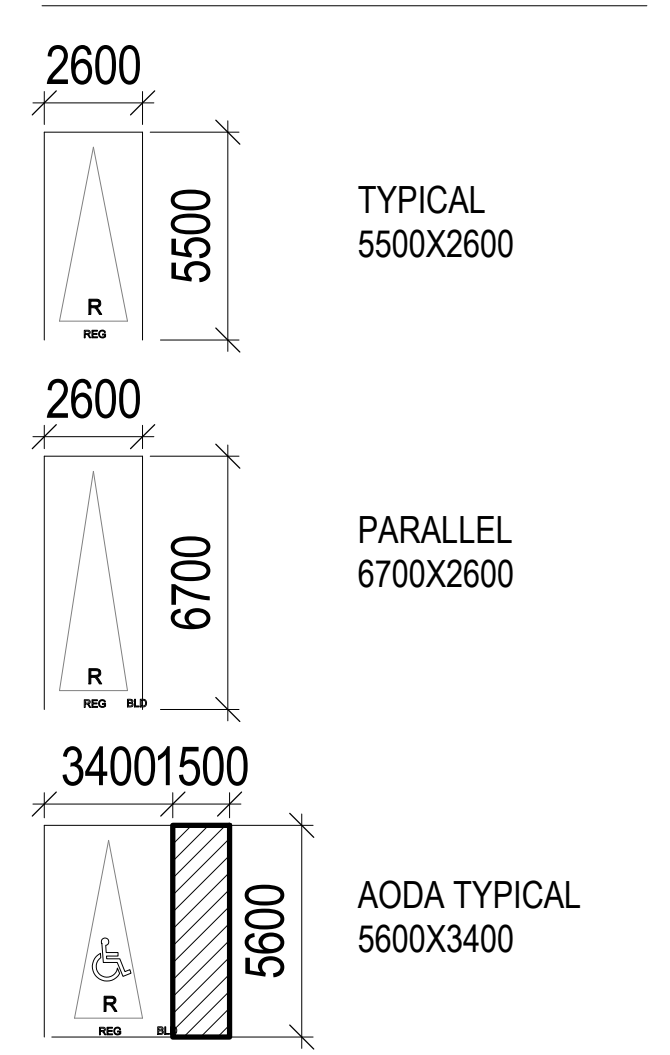
**LEGEND**

- MAIN PEDESTRIAN ENTRY
- PEDESTRIAN ENTRY
- PEDESTRIAN EGRESS
- VEHICULAR ENTRY
- PROPOSED ELEVATION
- SIAMESE CONNECTION
- FIRE HYDRANT
- LIGHT POST
- CATCH BASIN / MAN-HOLE COVER
- FIRE ACCESS ROUTE
- OUTLINE OF UPPER TOWER FACADE
- OUTLINE OF LOWER TOWER FACADE
- OUTLINE OF PODIUM FACADE

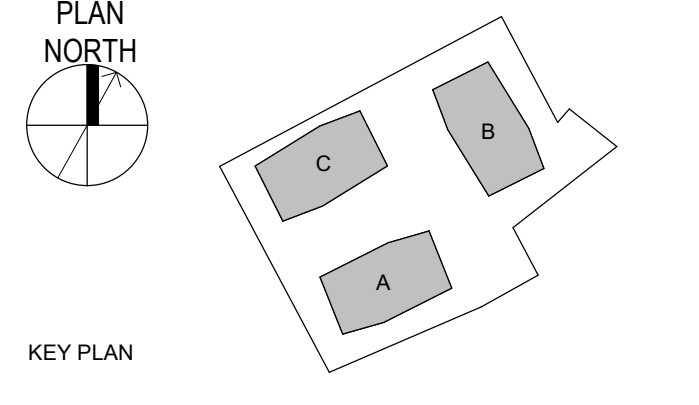
**BIKE PARKING DIAGRAMS**



**PARKING SPACE LEGEND**



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REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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PROJECT:  
**CENTRUM**  
 265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**SITE PLAN**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**As indicated**

DRAWN BY: **Author** CHECKED BY: **Checker** DATE: **01/19/23**

SHEET NO.: **A010** REV: **1**

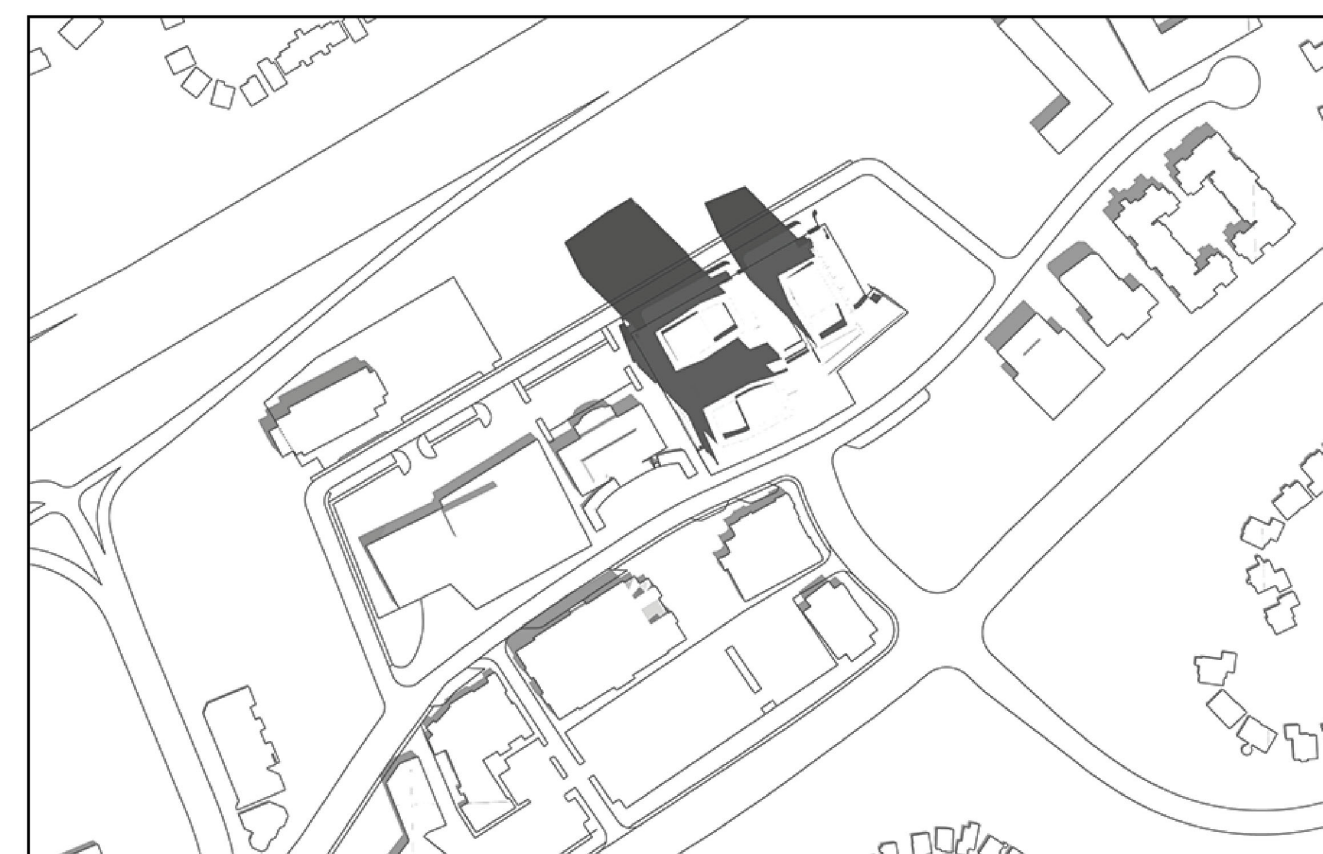




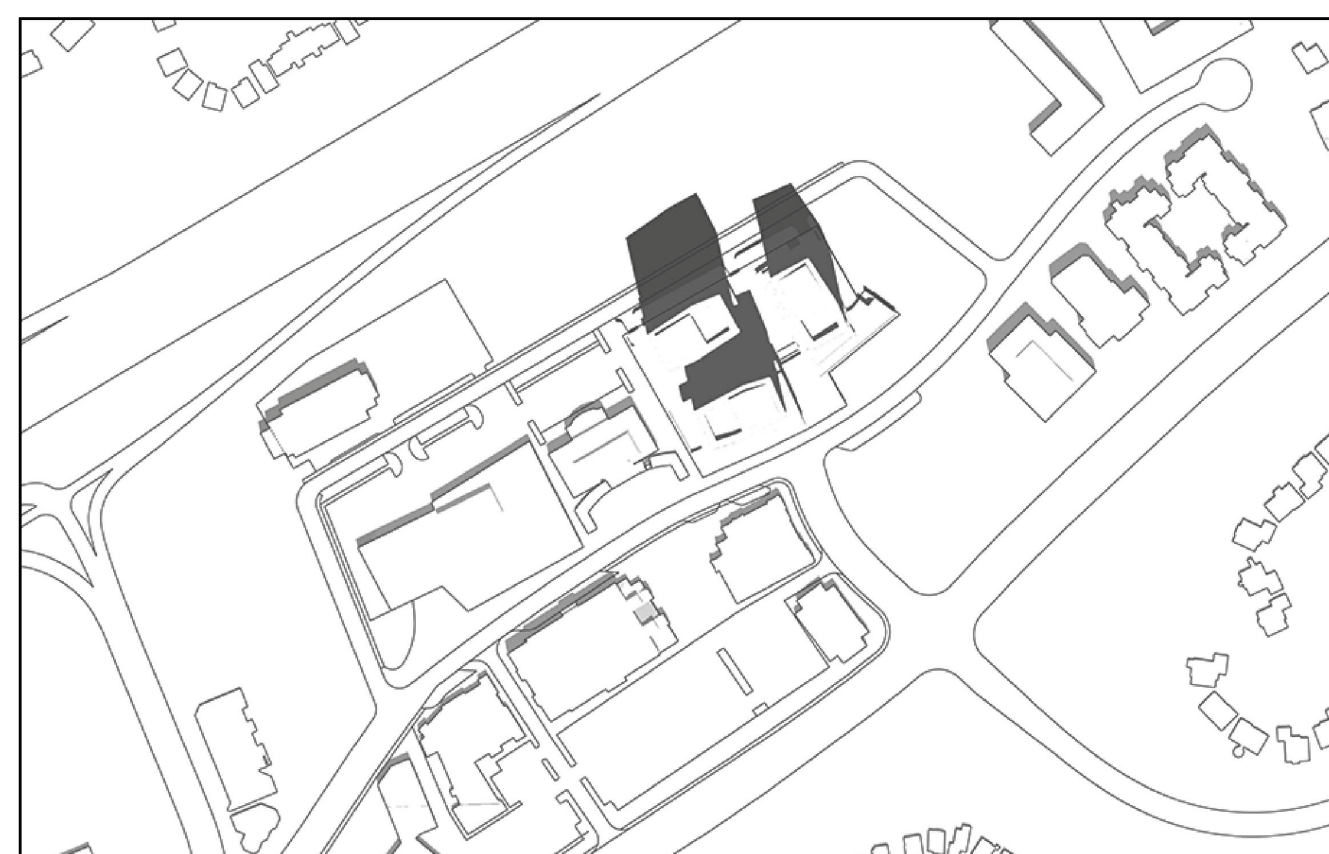
JUNE 21 9 AM



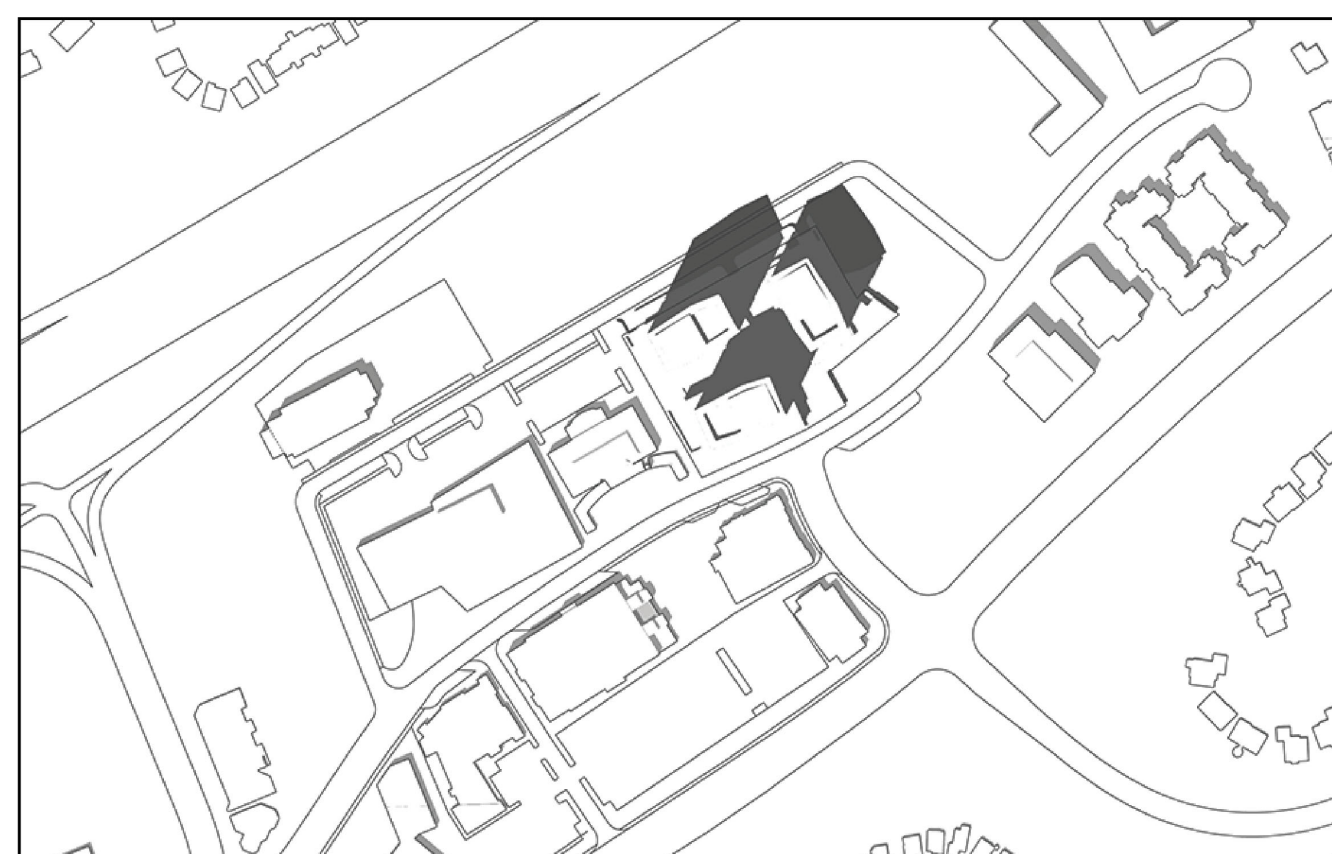
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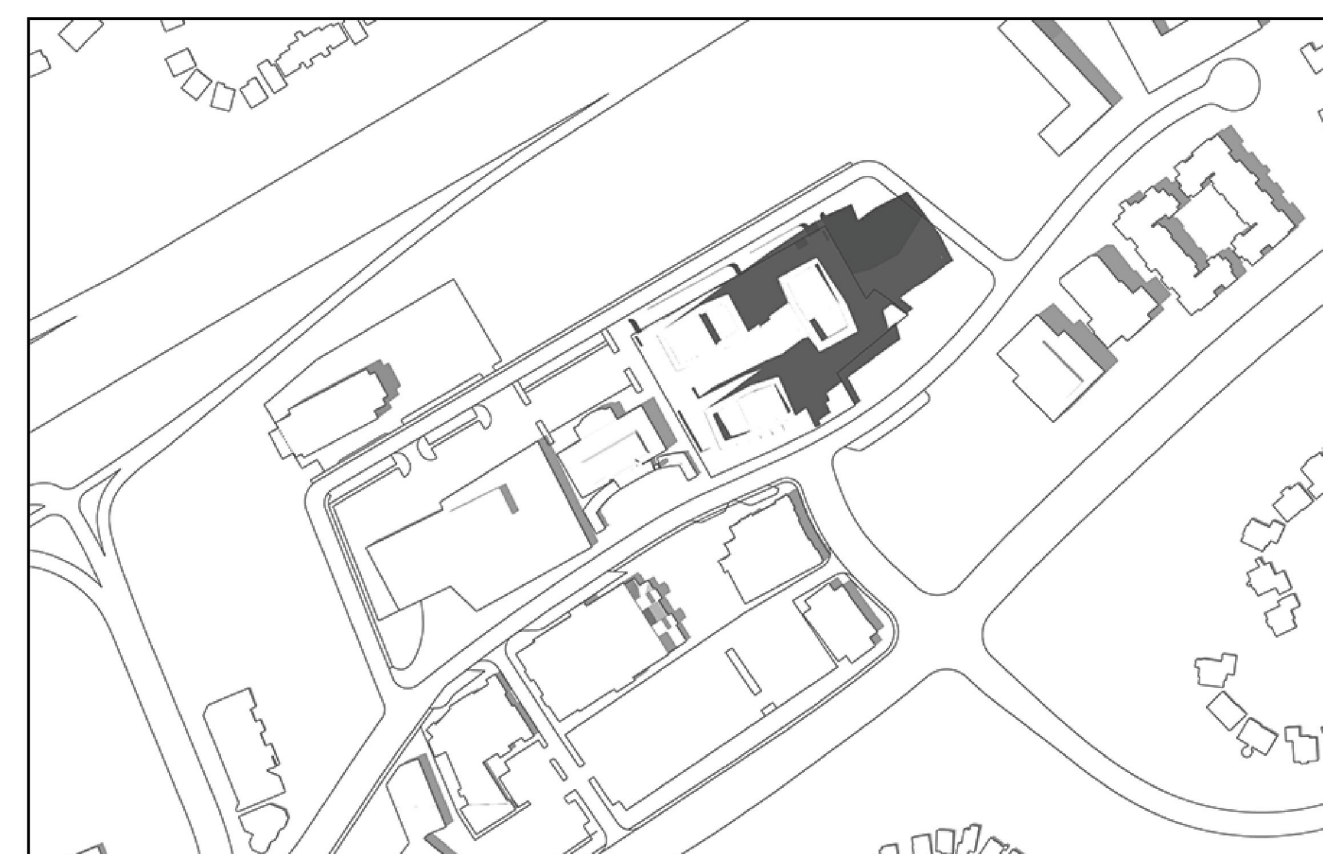
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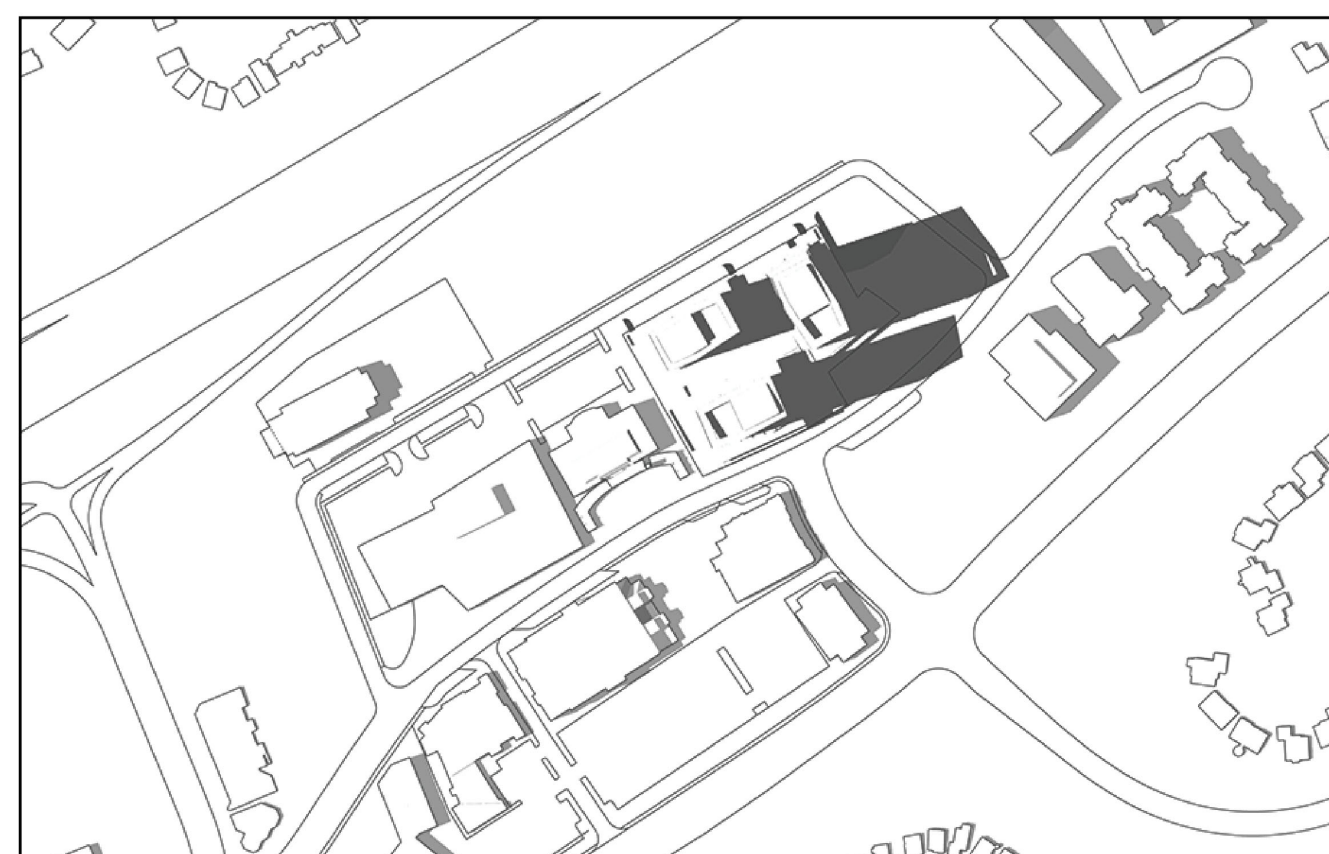
JUNE 21 12 PM



JUNE 21 1 PM



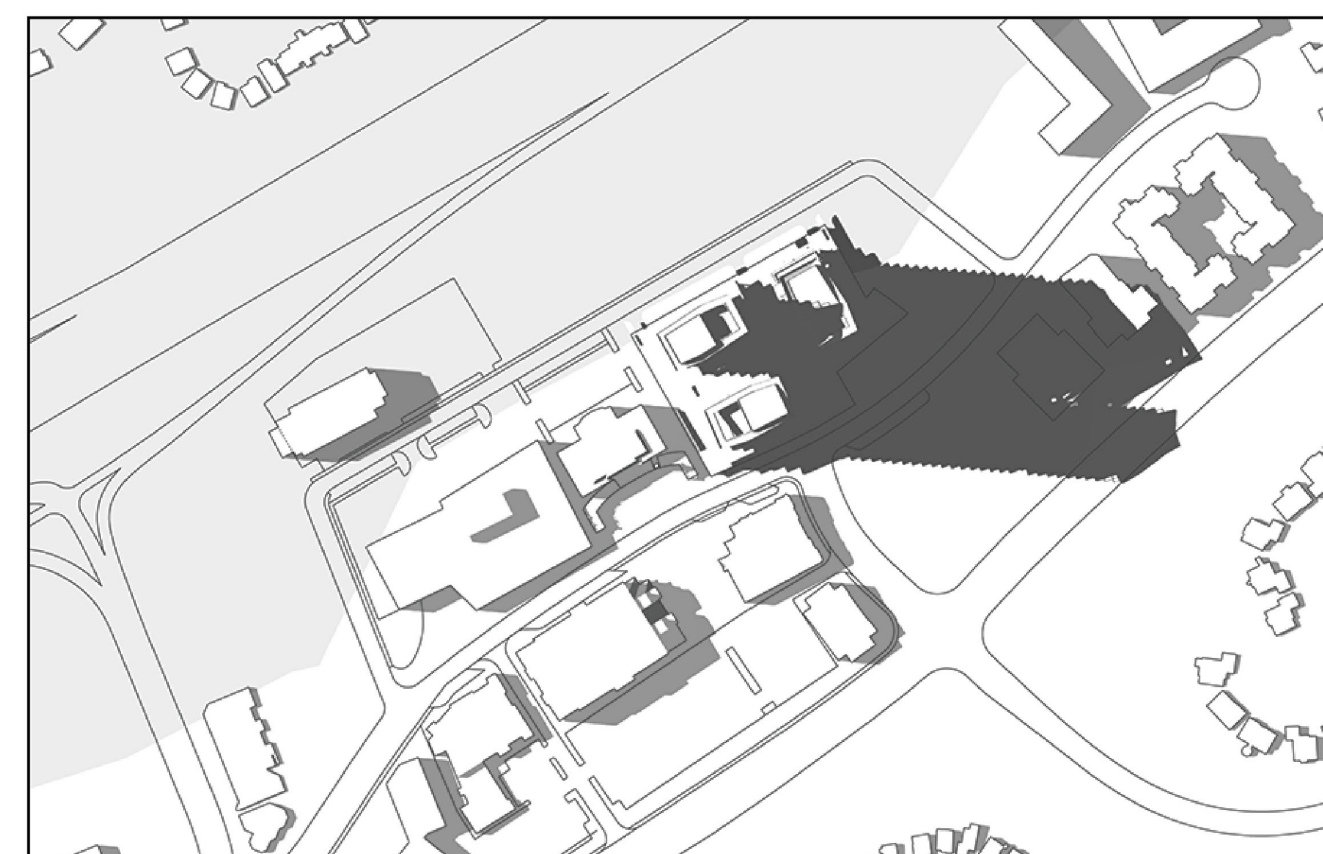
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JUNE 21 3 PM



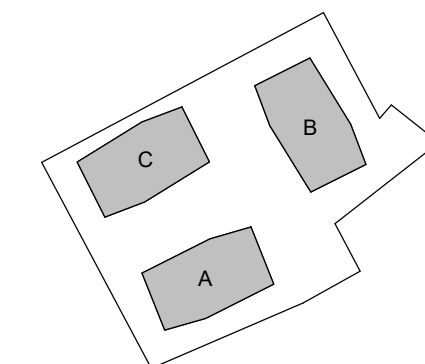
JUNE 21 4 PM



JUNE 21 5 PM



JUNE 21 6 PM



KEY PLAN

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PROJECT :  
**CENTRUM**

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SHEET CONTENTS :  
 SHADOW STUDIES - SUMMER

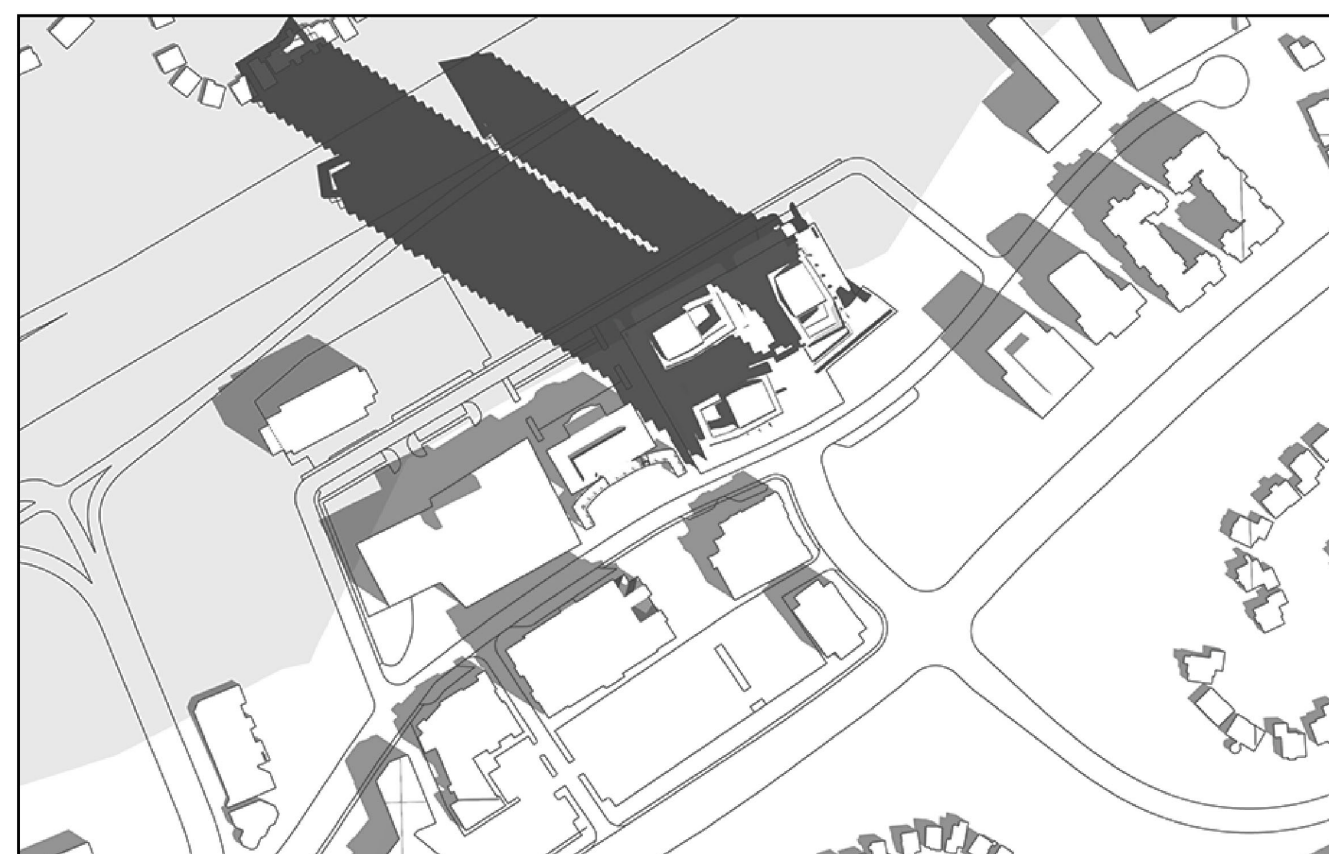
PROJECT NUMBER :  
**2211080**

DRAWING SCALE :

DRAWN BY : Author CHECKED BY : Checker DATE: 02/14/23

SHEET NO : A011 REV : 1

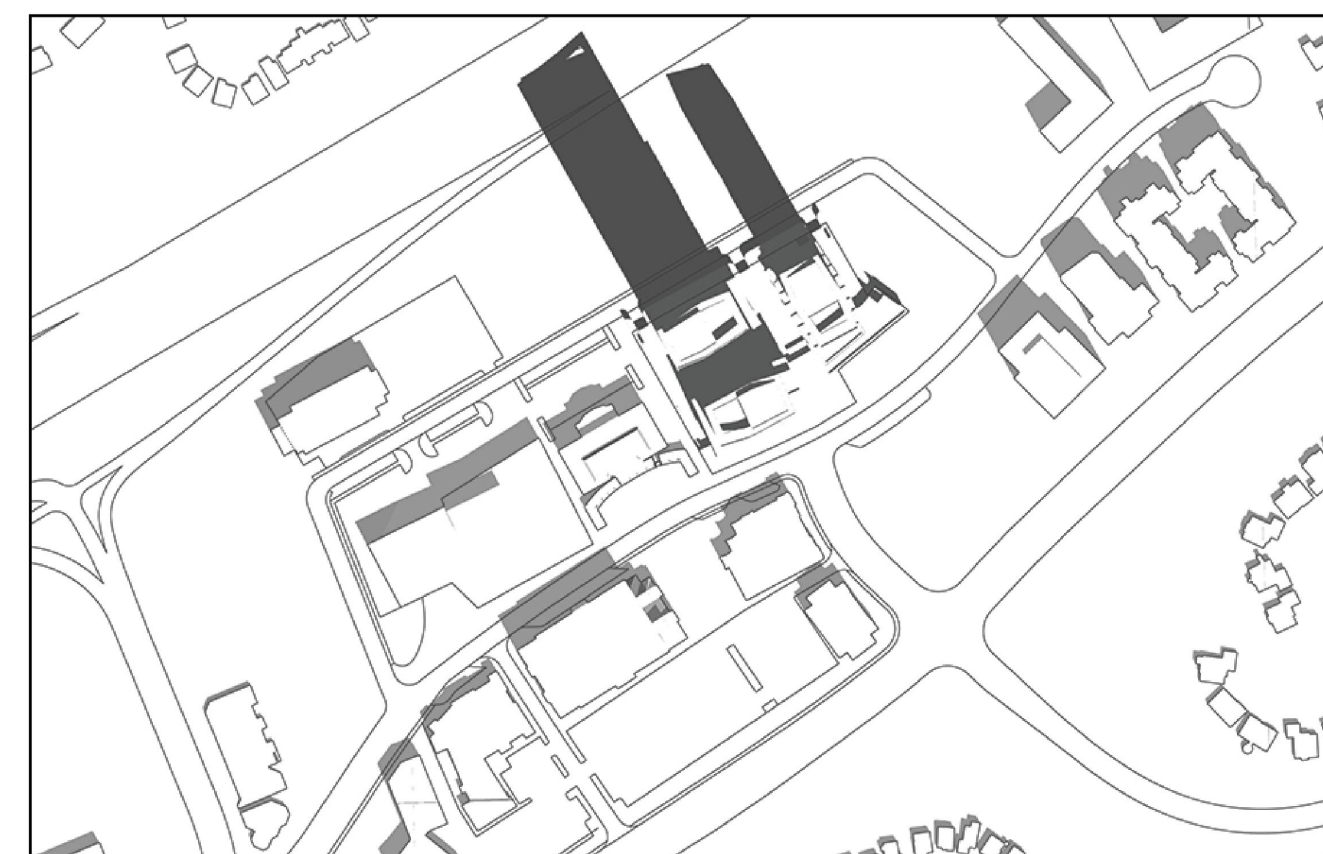




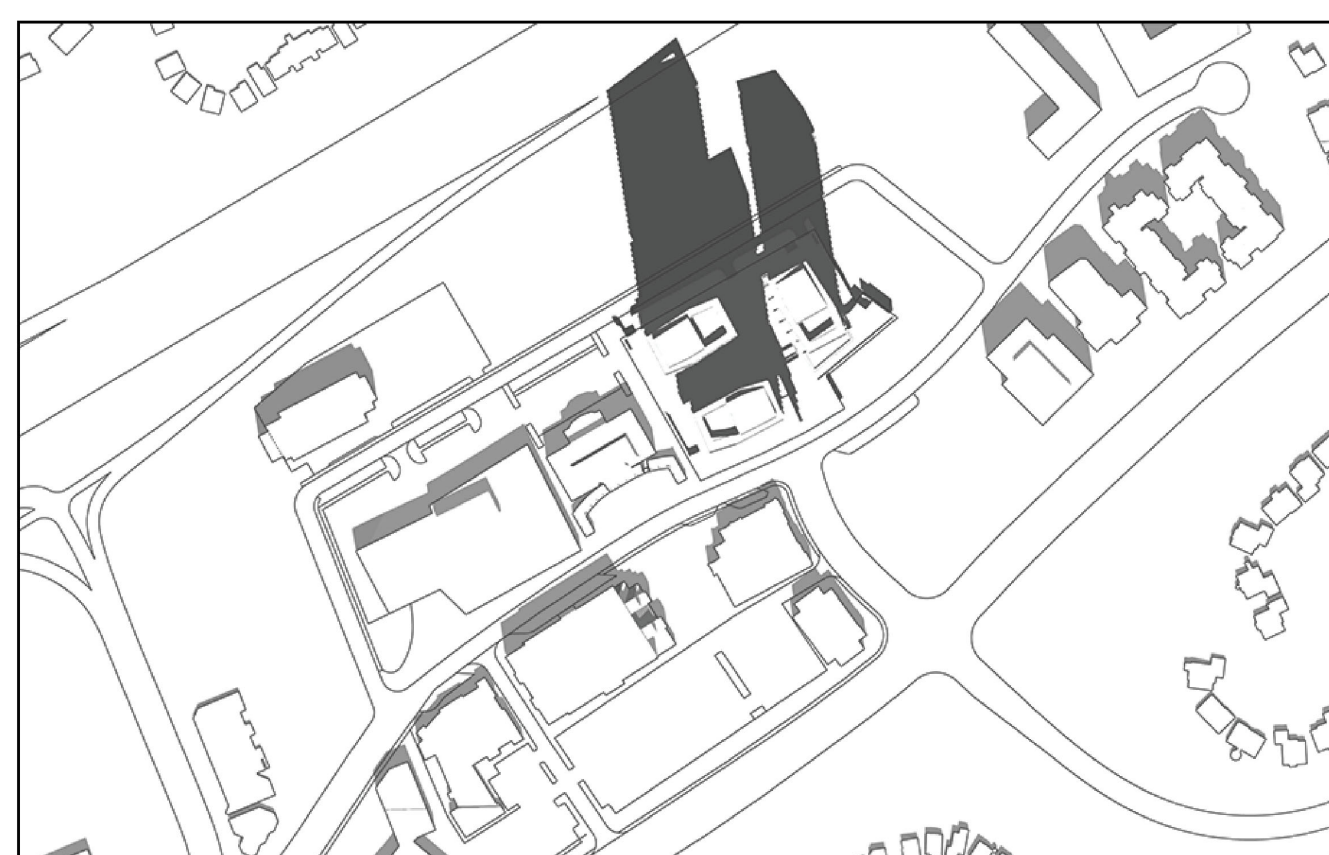
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SEPT 21 / MARCH 20 10 AM



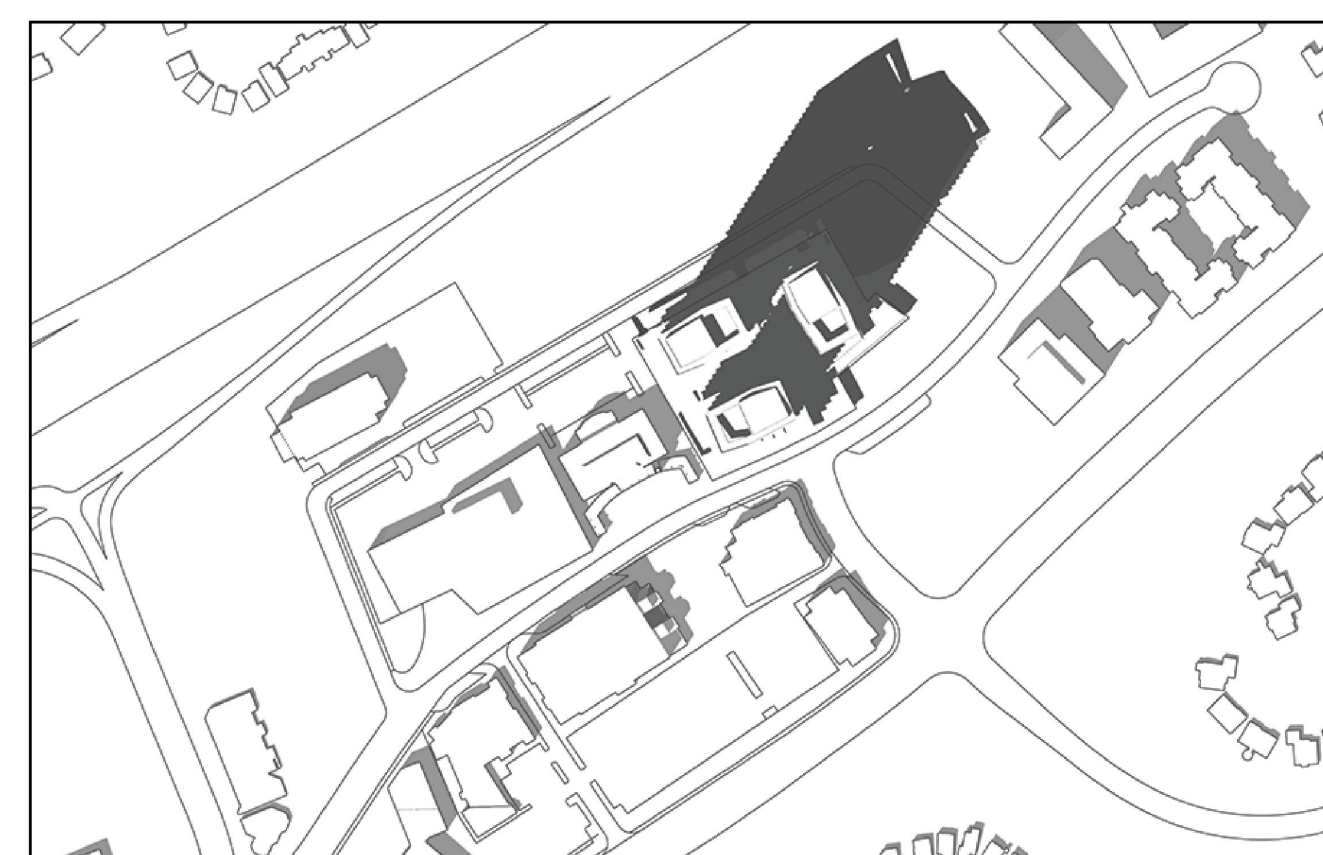
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SEPT 21 / MARCH 20 2 PM



SEPT 21 / MARCH 20 3 PM



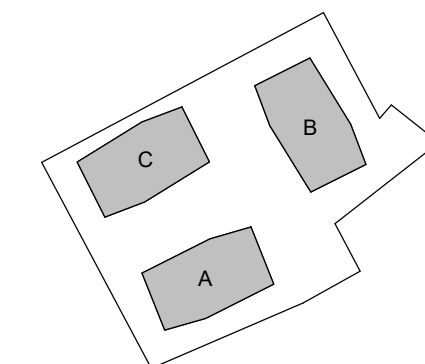
SEPT 21 / MARCH 20 4 PM



SEPT 21 / MARCH 20 5 PM



SEPT 21 / MARCH 20 6 PM



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
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PROJECT :

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SHEET CONTENTS :

SHADOW STUDIES - EQUINOX

PROJECT NUMBER :

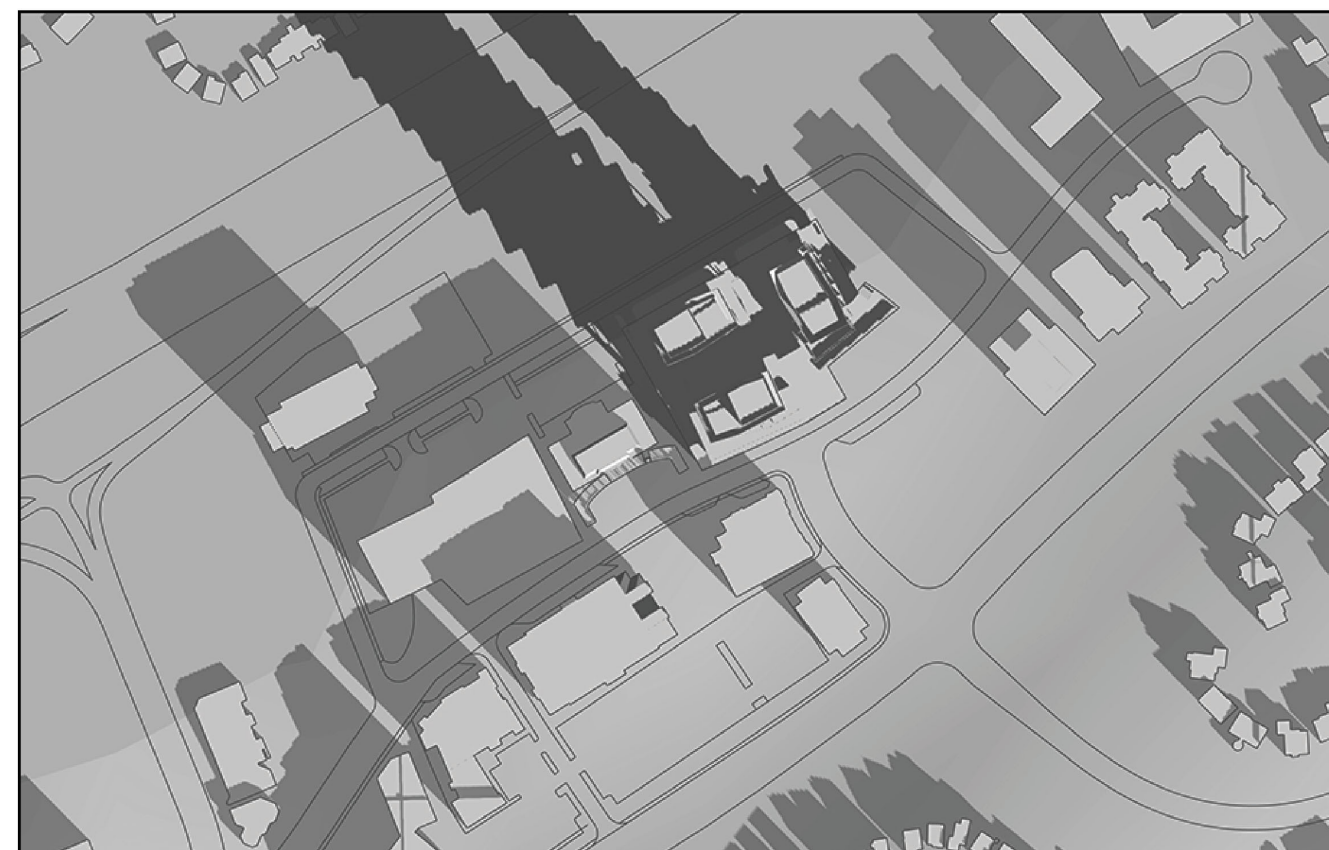
2211080

DRAWING SCALE :

DRAWN BY : Author  
CHECKED BY : Checker  
DATE : 02/14/23

SHEET NO : A012  
REV : 1

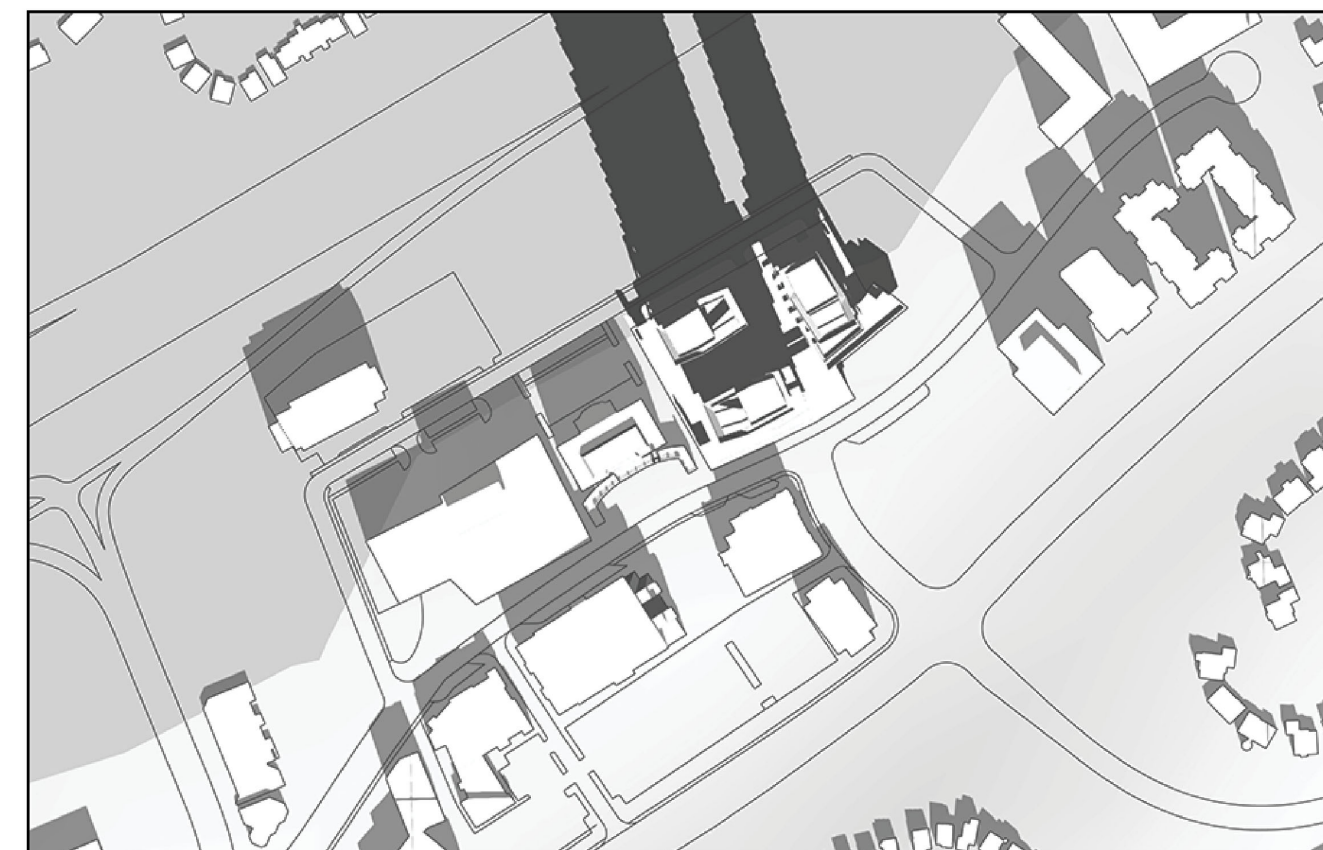




DEC 21 9 AM



DEC 21 10 AM



DEC 21 11 AM



DEC 21 12 PM



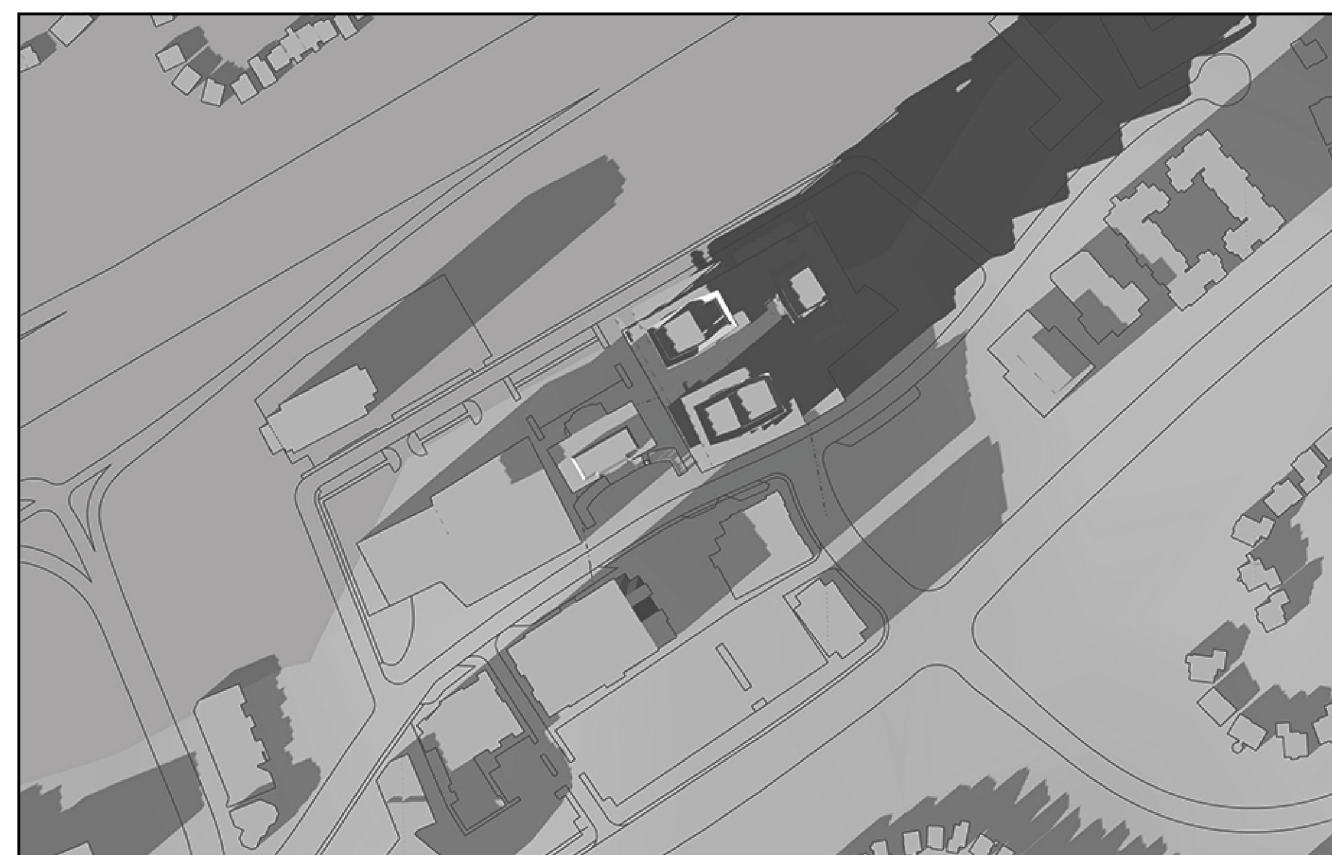
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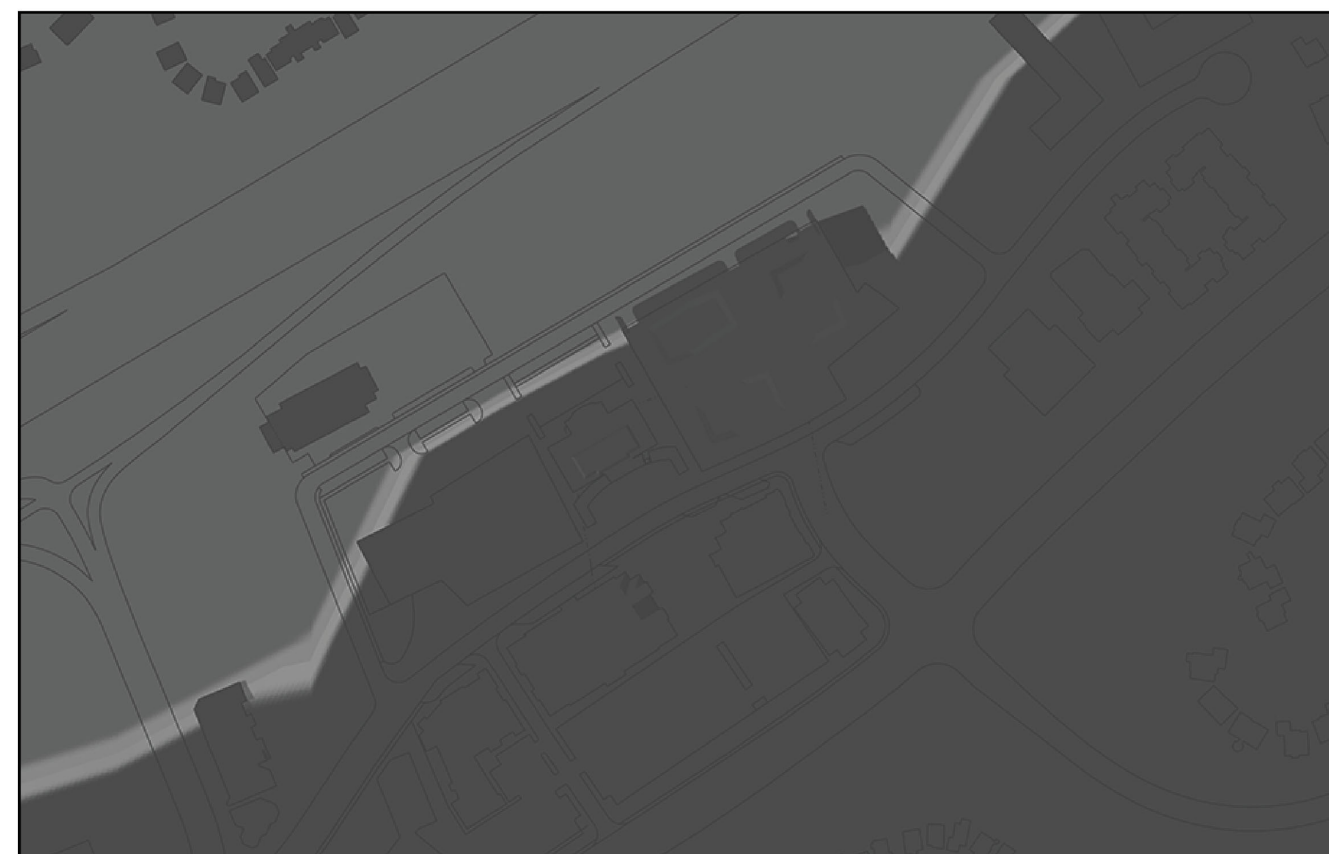
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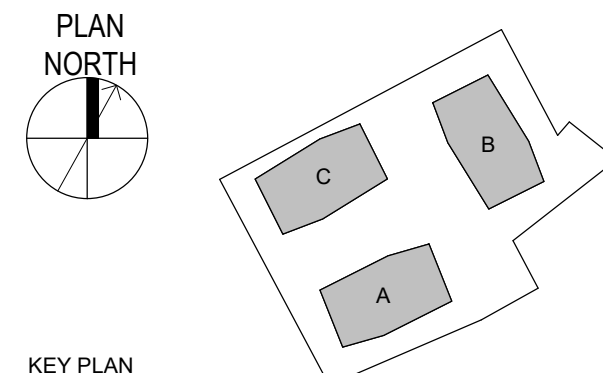
DEC 21 4 PM



DEC 21 5 PM



DEC 21 6 PM



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H** **B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A6  
 T/416.596.2299 F/416.586.0599

SEAL :



STRUCTURAL ENGINEER :

**Art Engineering**  
 171 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER :

**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER :

**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT :

**Gradient Wind**  
 127 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :

**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :

**McIntosh Perry**  
 115 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-2184

PLANNING CONSULTANT :

**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :

**CGH**  
 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**

108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :

**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :

**SHADOW STUDIES - WINTER**

PROJECT NUMBER :

**2211080**

DRAWING SCALE :

DRAWN BY :

**Author**

SHEET NO :

**A013**

CHECKED BY :

**Checker**

DATE :

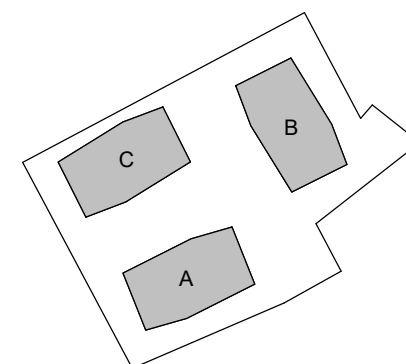
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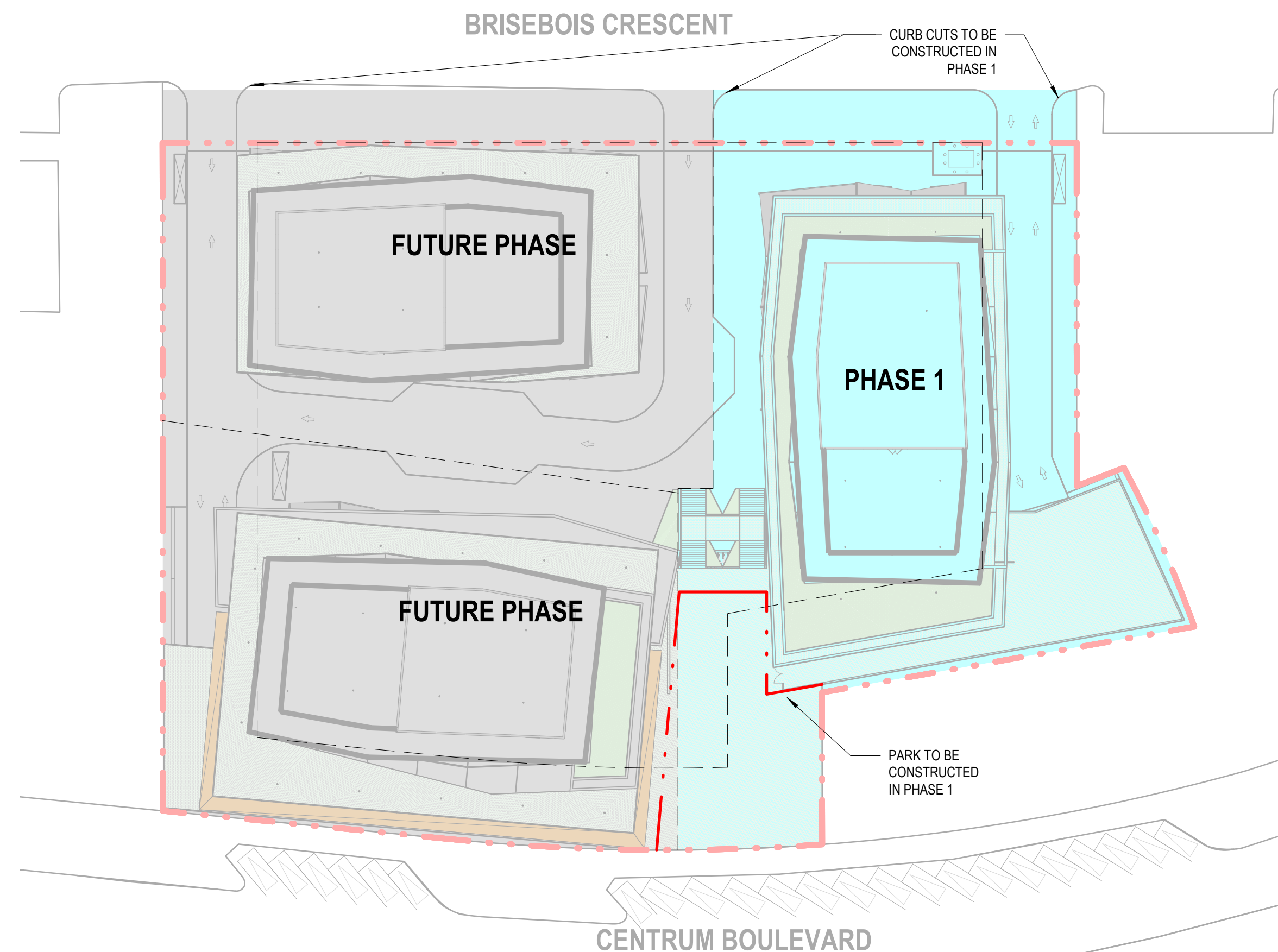


**LEGEND**  
 PHASE 1  
 FUTURE PHASE

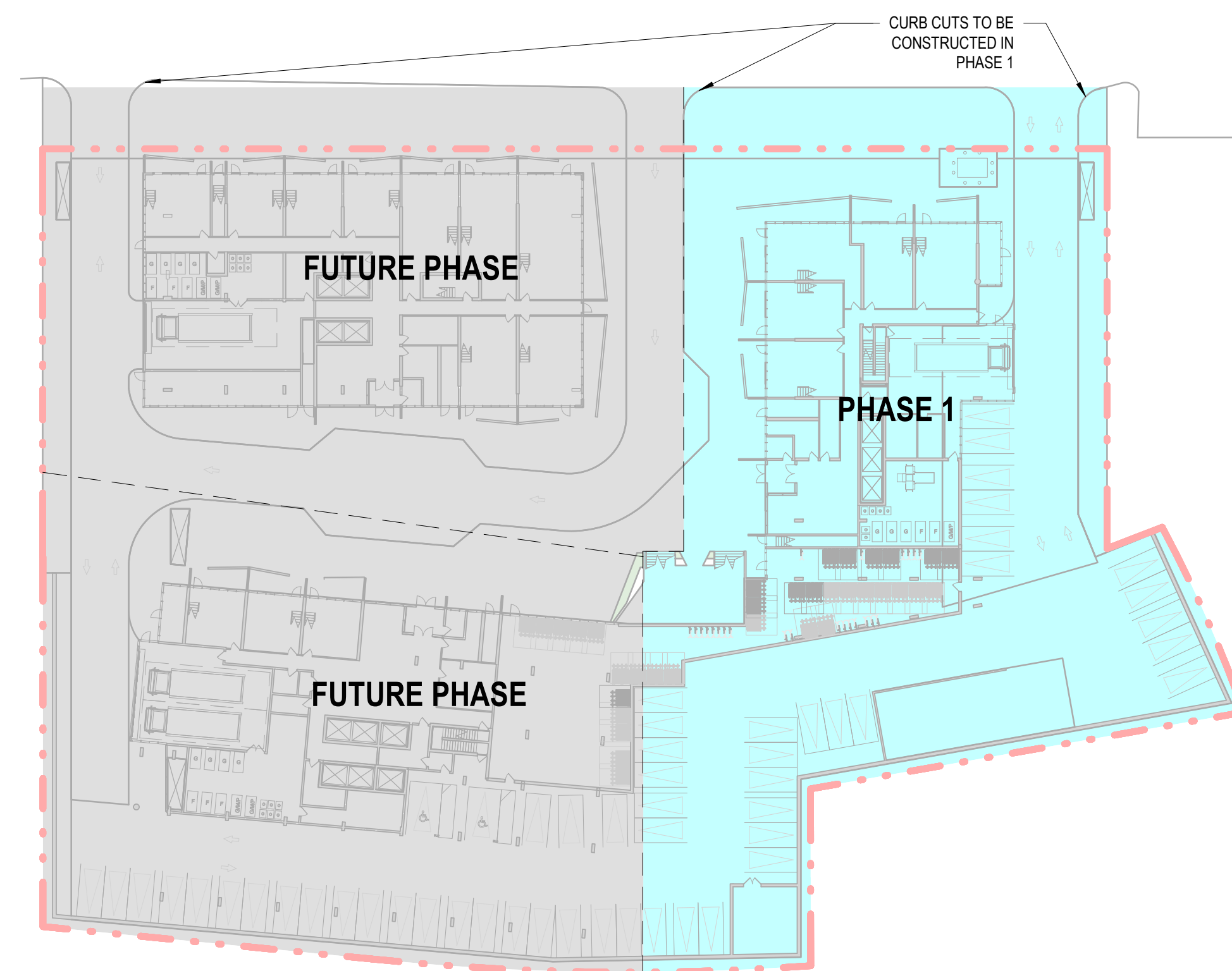


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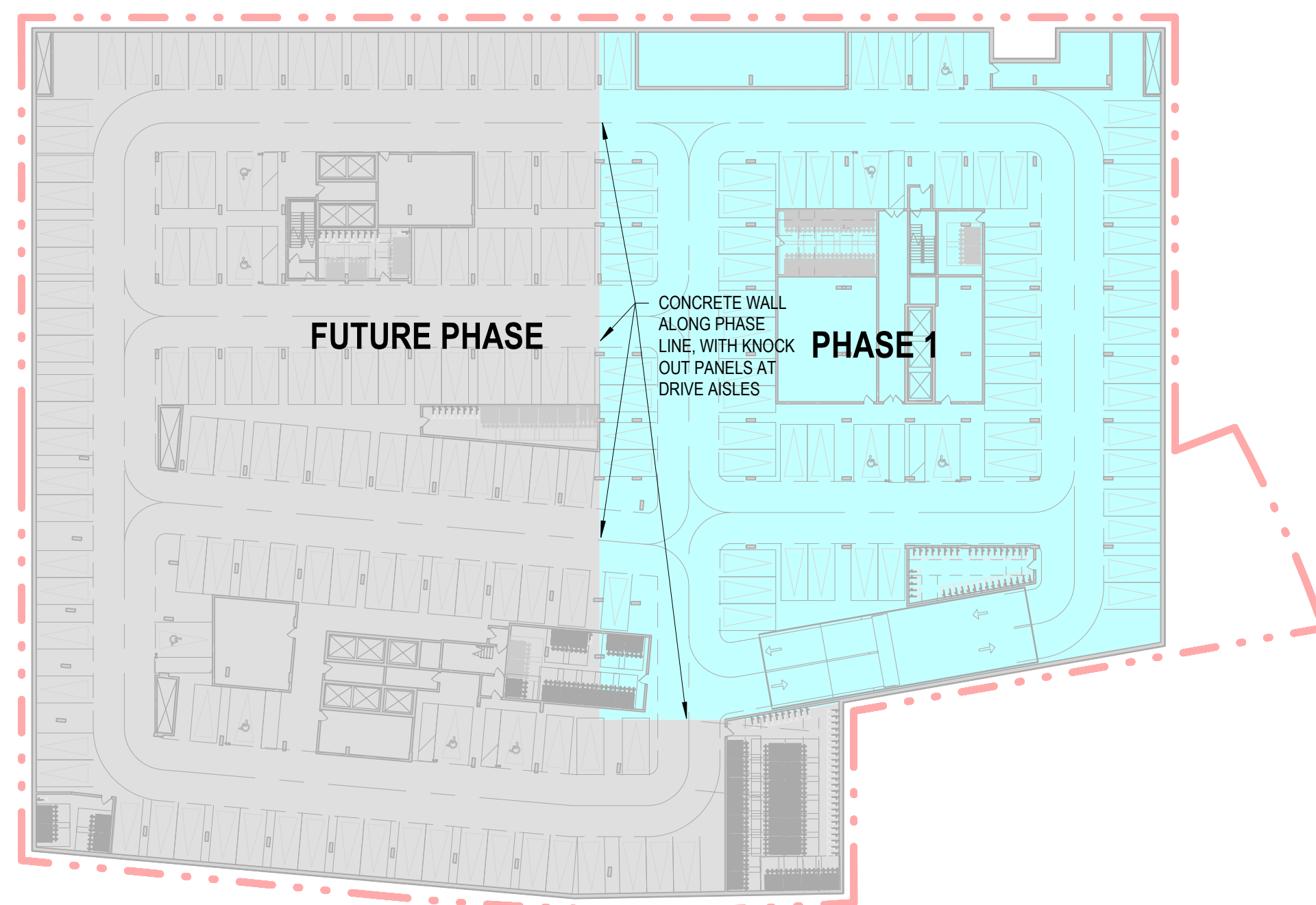
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



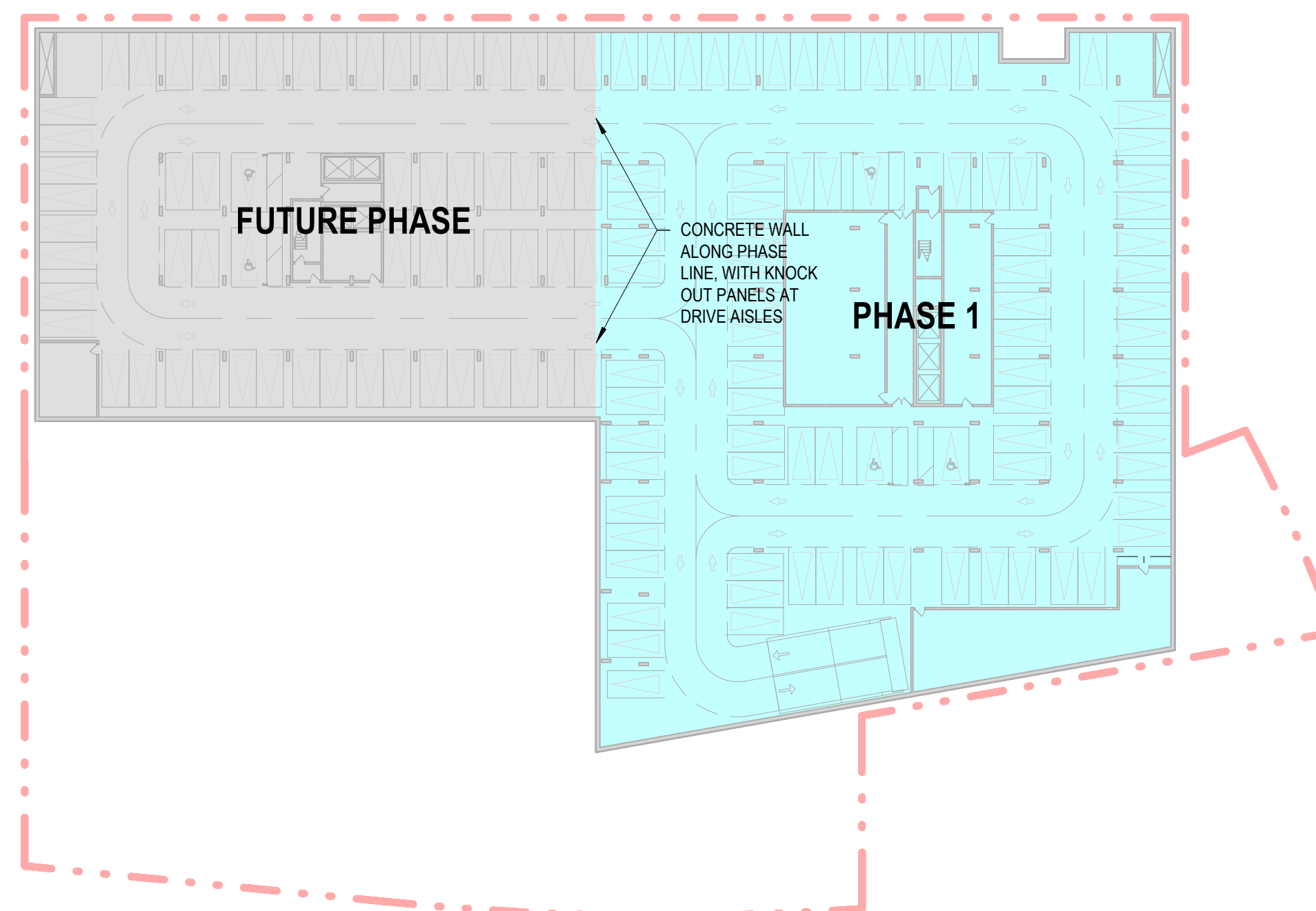
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1:500



2 PHASING PLAN LOWER GRADE FLOOR  
1:500



3 PHASING PLAN - LEVEL P1  
1:500



1 PHASING PLAN - LEVEL P3/P2  
1:500

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**Electrical Consultant**  
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 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:  
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 Carp, K0A 1L0  
 T/613-836-2184

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 T/613-730-5709

TRAFFIC CONSULTANT:  
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 T/343-996-2623

OWNER:

**BAYVIEW GROUP**  
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PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**PHASING PLAN**

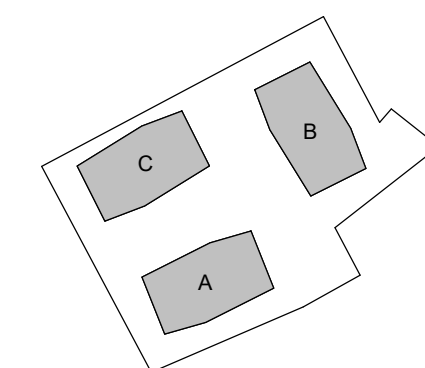
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**2211080**

DRAWING SCALE:  
**As indicated**

DRAWN BY: Author CHECKED BY: Checker DATE: 03/02/23

SHEET NO: A014 REV: 1

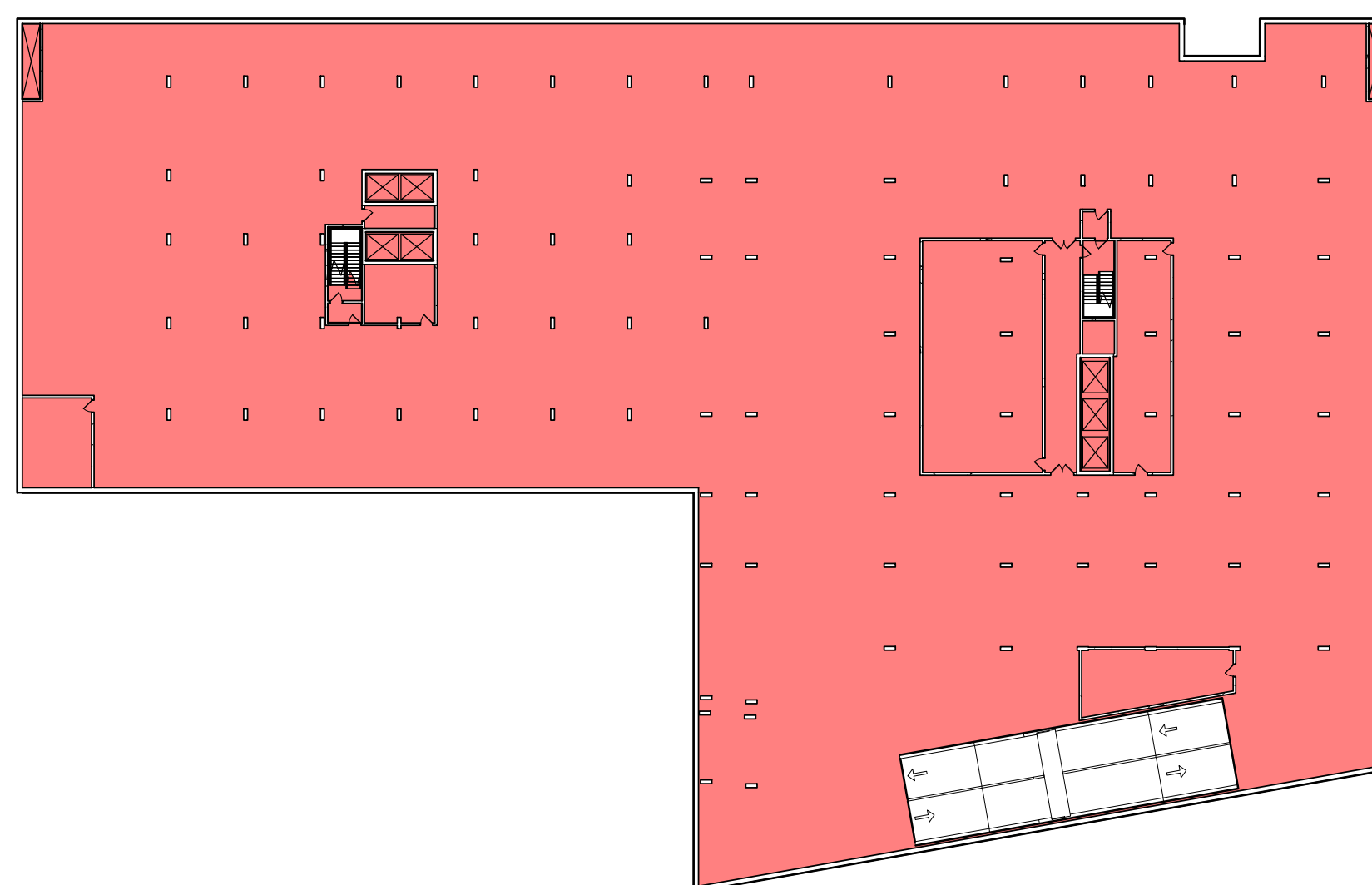




KEY PLAN

GFA Legend  
■ Deductible

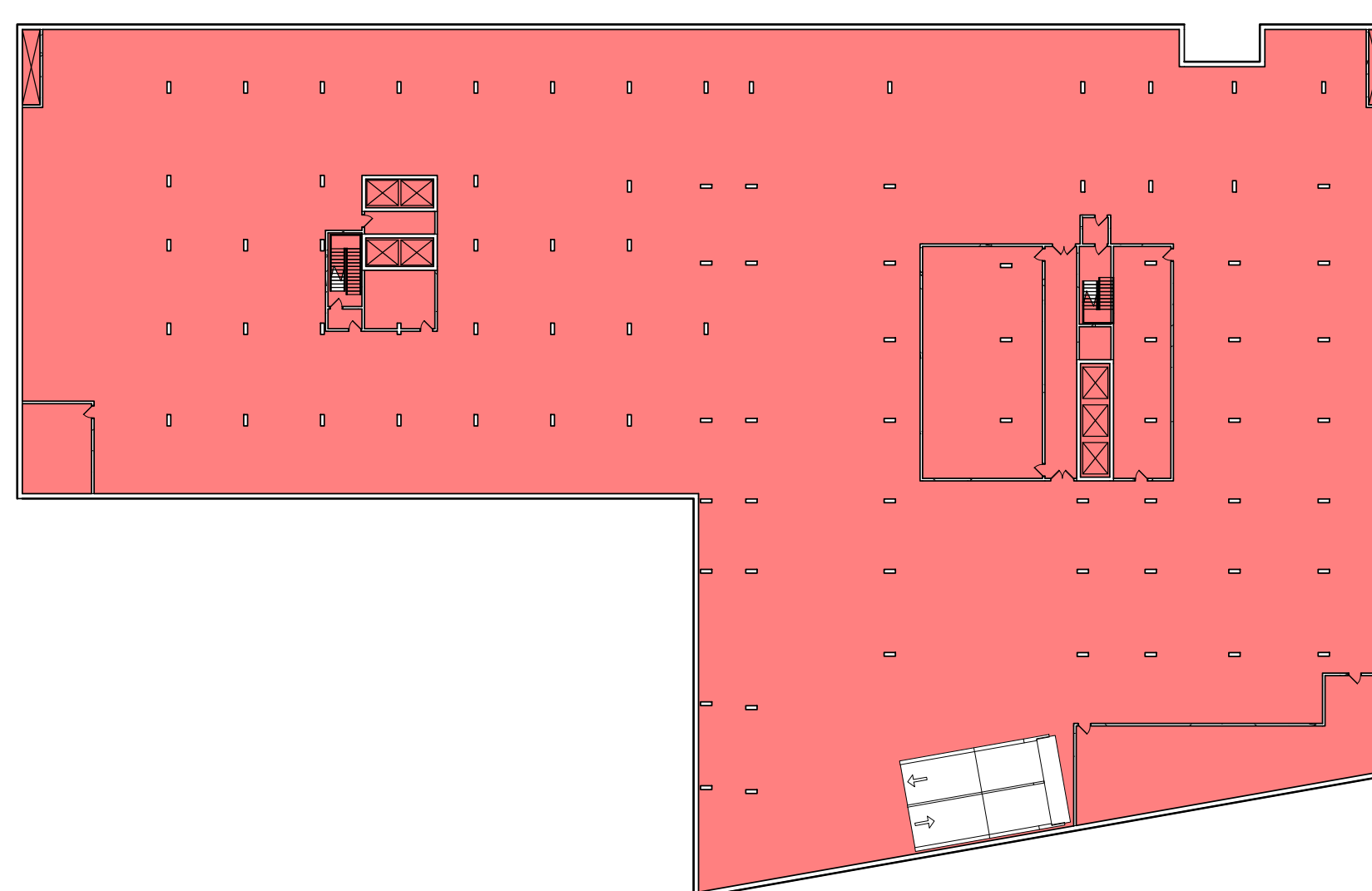
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



2 LEVEL P2  
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1 LEVEL P1  
1:500



3 LEVEL P3  
1:500

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**Mechanical Consultant**  
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ELECTRICAL ENGINEER :  
**Electrical Consultant**  
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 City Post Code  
 T/xxx.xxx.xxxx F/xxx.xxx.xxxx

WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
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 3332 Carling Ave  
 Nepean K2H 5A8  
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 115 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-2184

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 396 Cooper St Suite 300  
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**CGH**  
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 Nepean K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**GFA P3-P1**

PROJECT NUMBER :  
**2211080**

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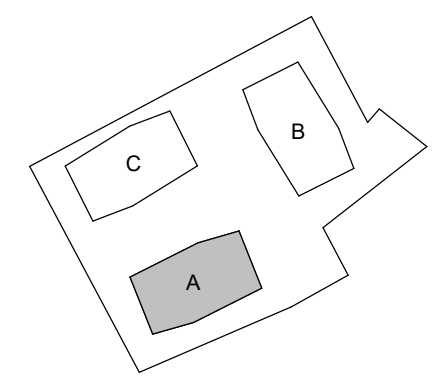
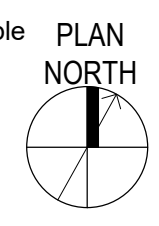
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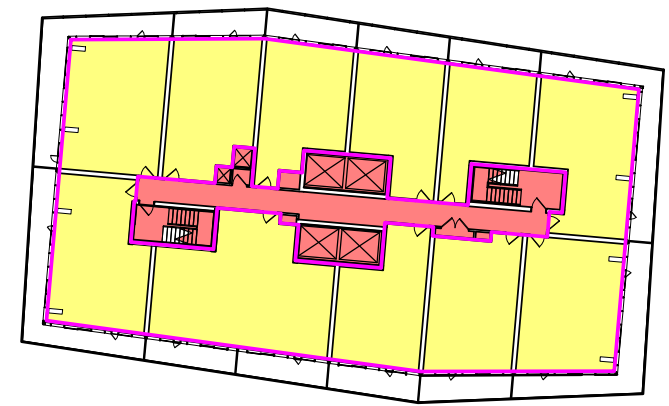
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GFA Legend  
 GFA  
 Deductible

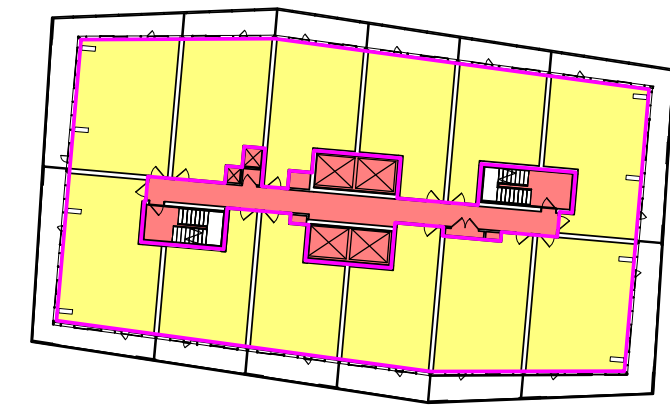


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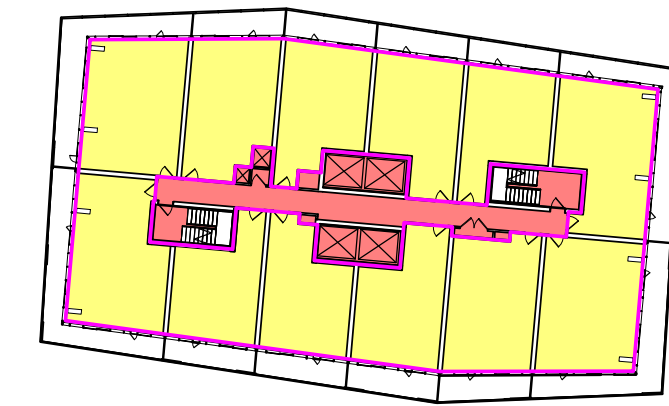
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



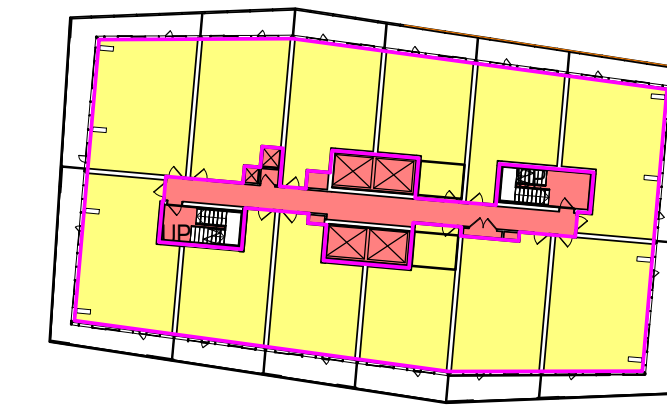
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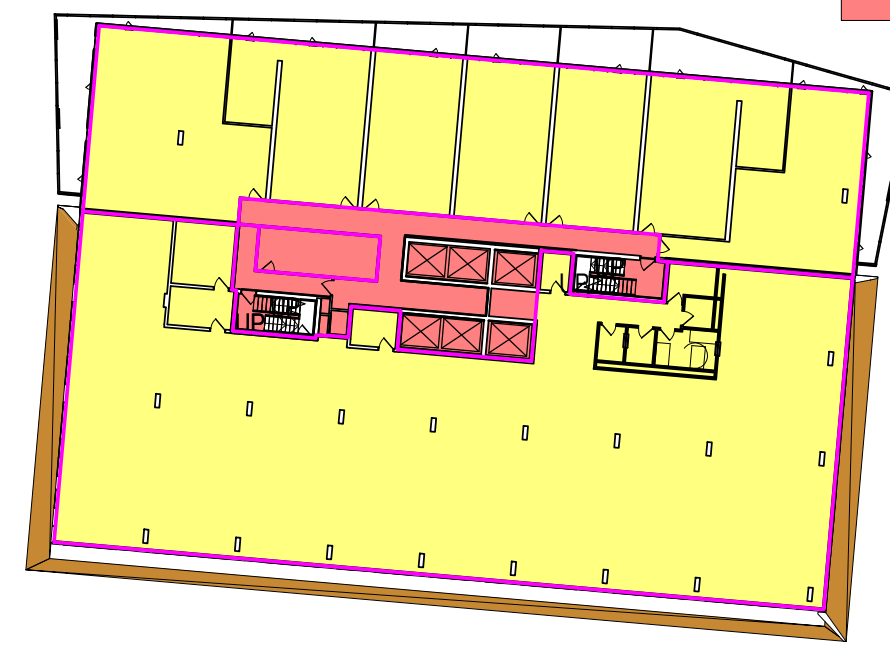
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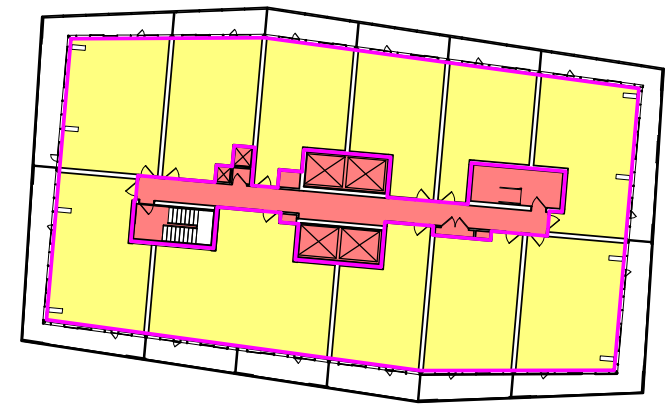
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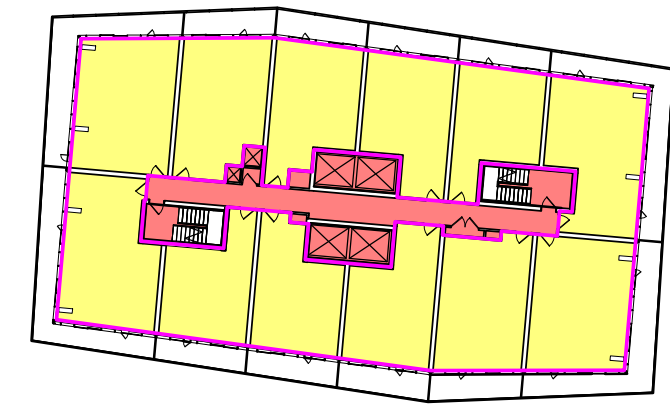
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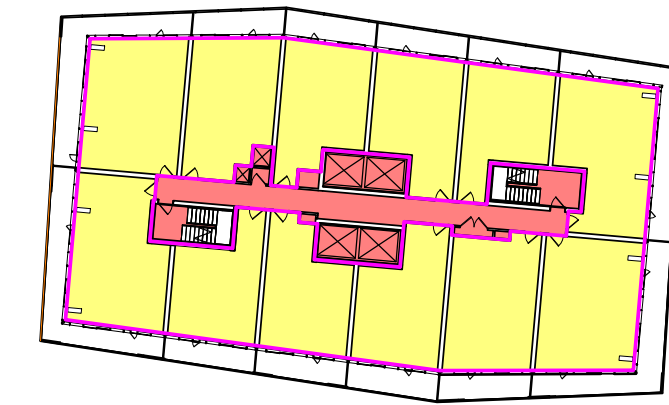
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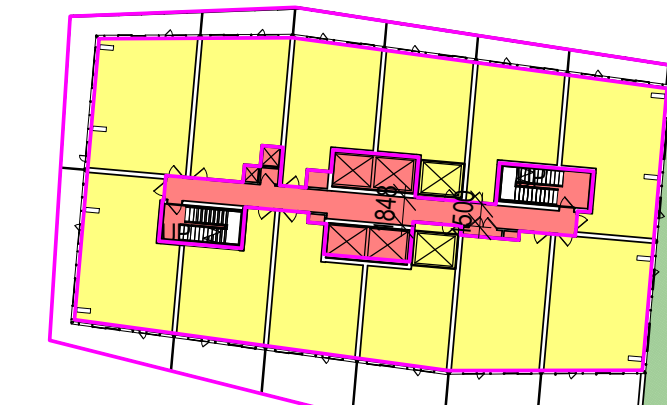
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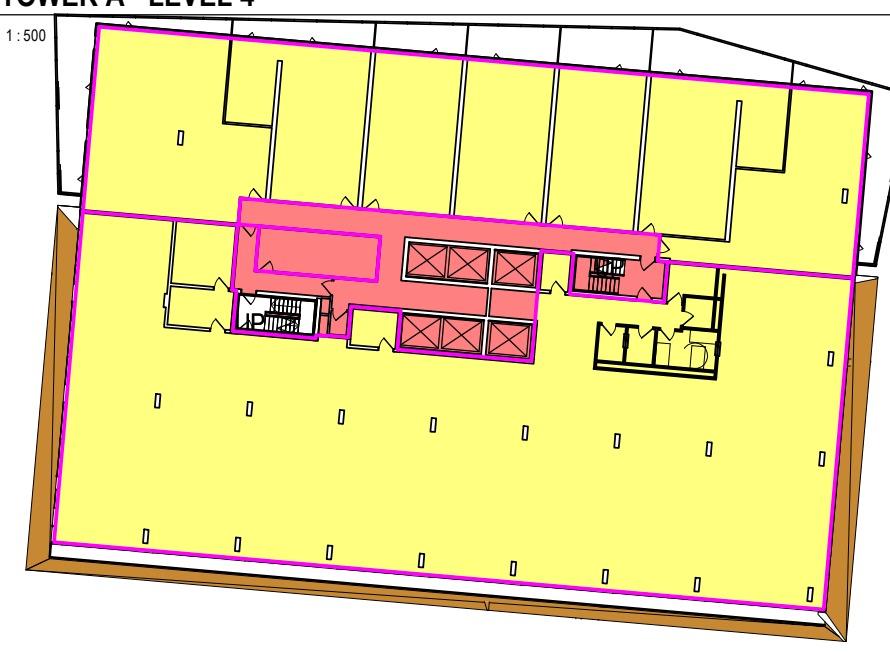
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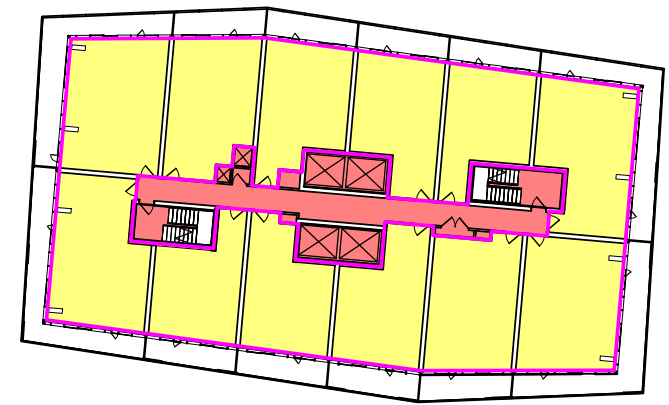
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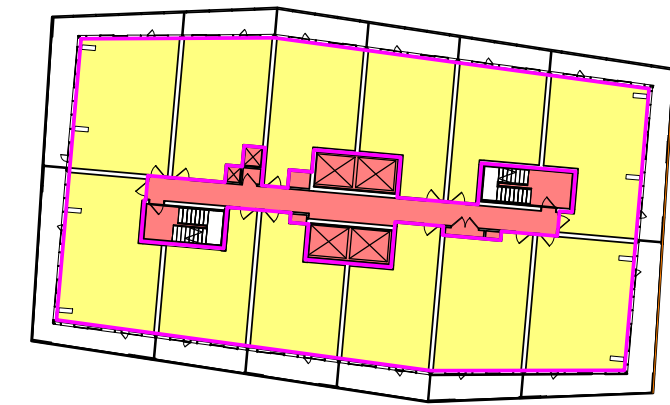
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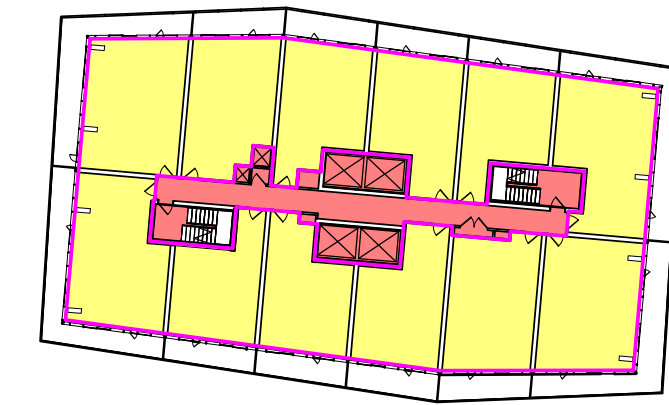
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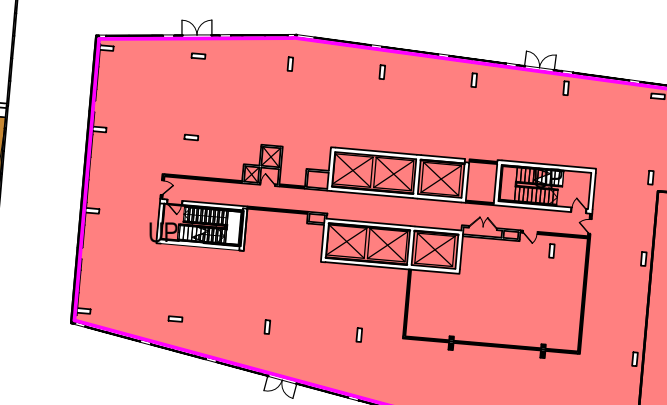
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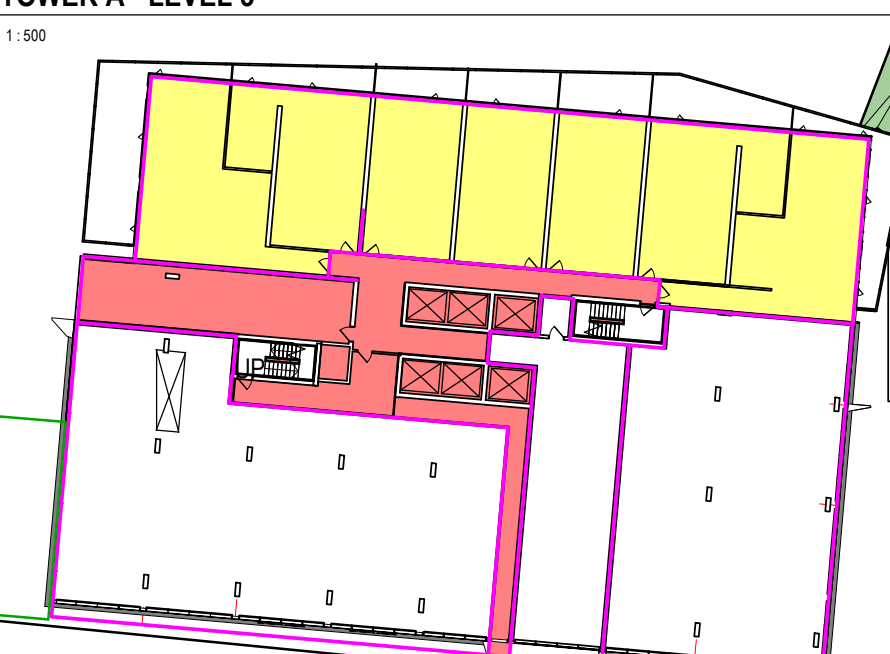
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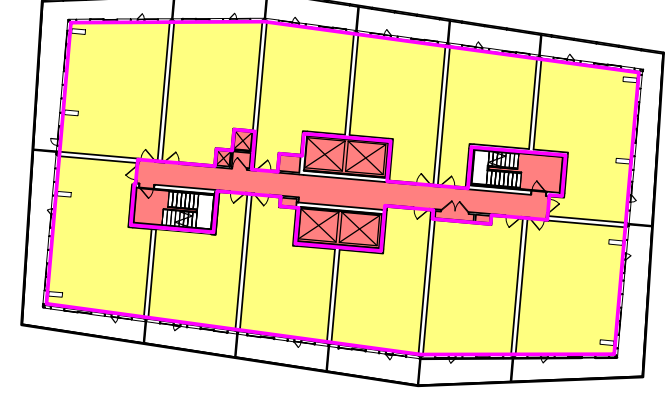
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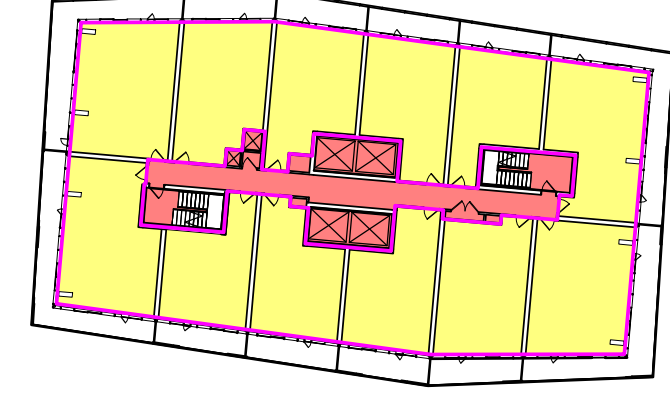
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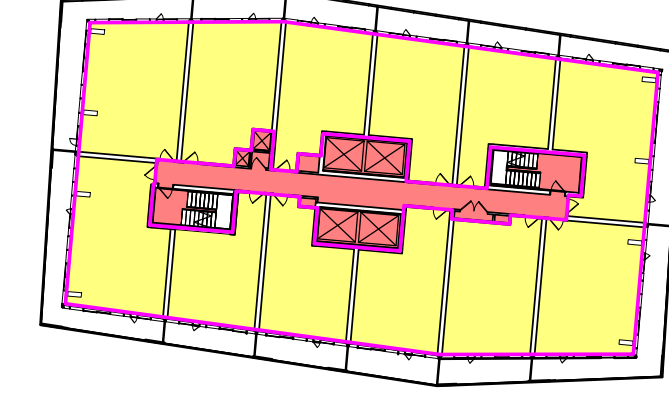
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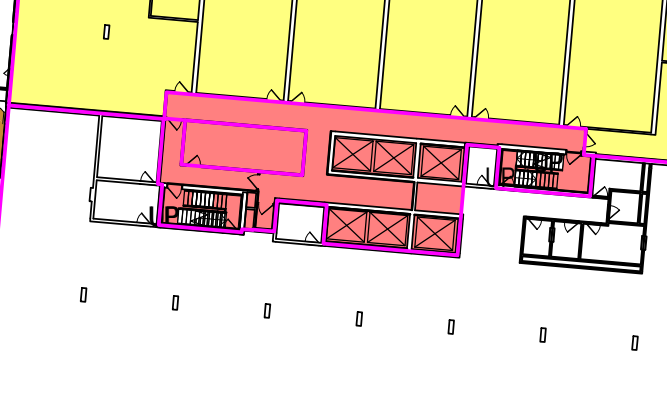
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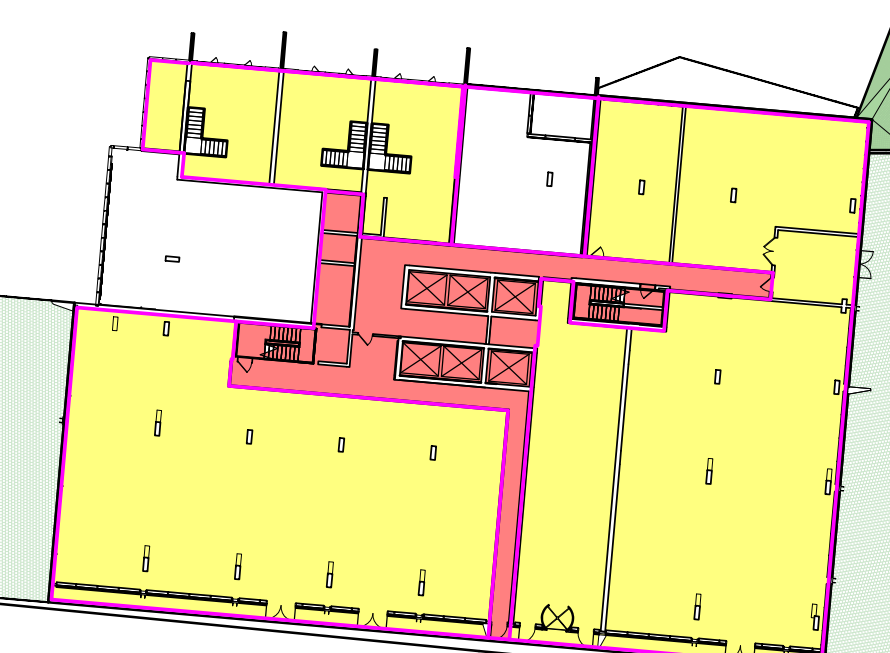
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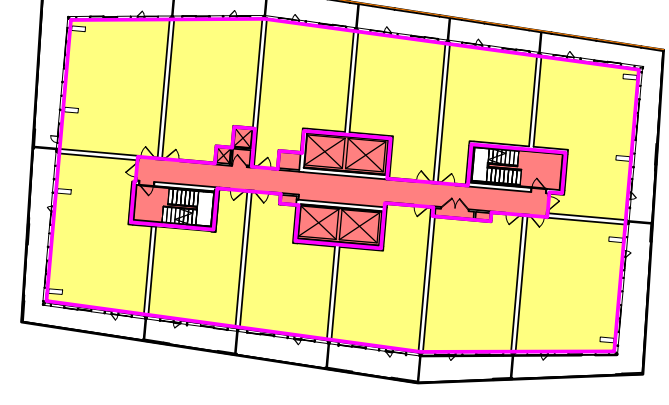
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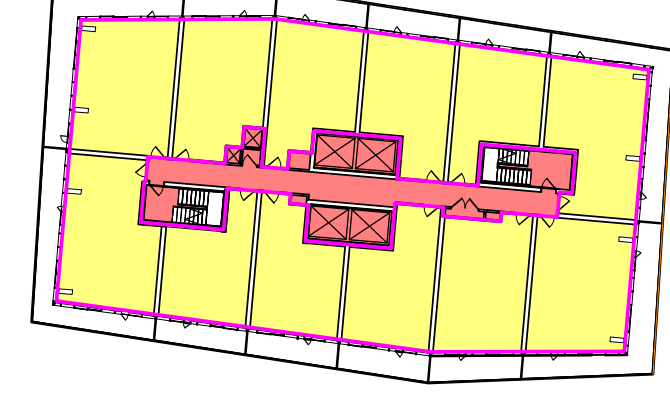
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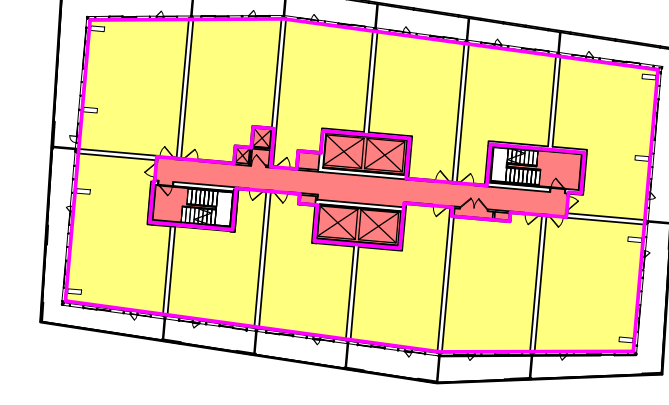
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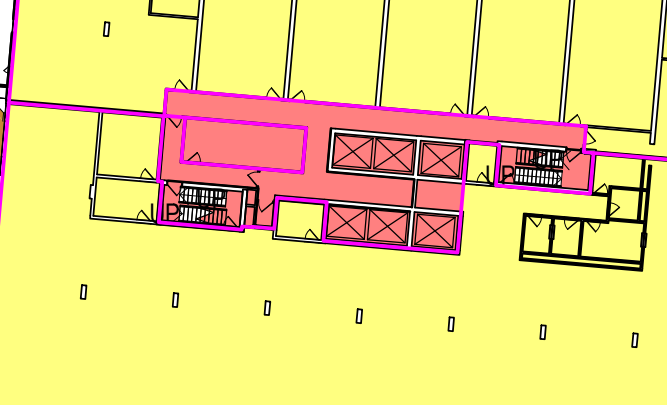
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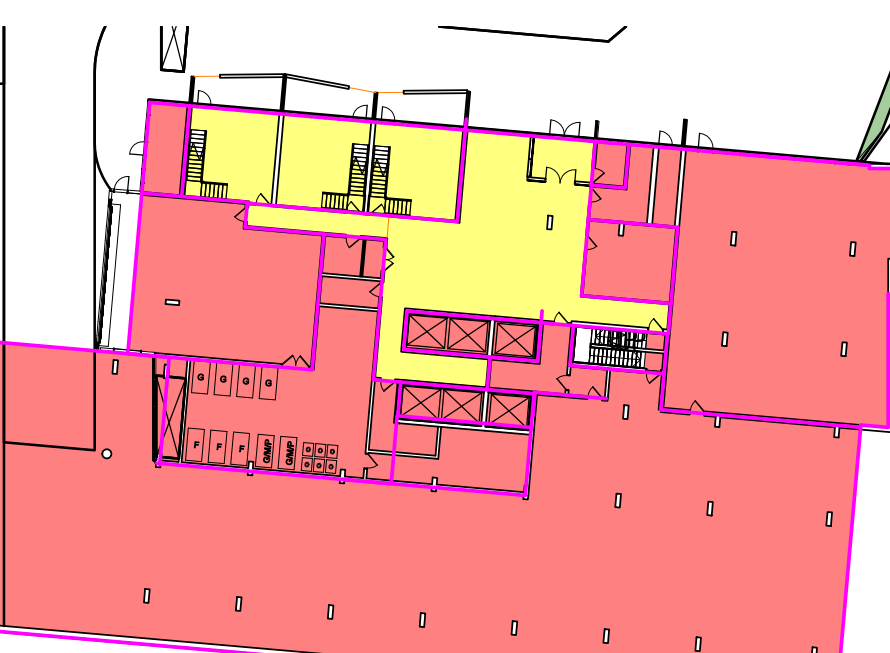
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1:500



11 TOWER A - LEVEL 10  
1:500



06 TOWER A - LEVEL 5  
1:500



01 TOWER A - LOWER GRADE  
1:500

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STRUCTURAL ENGINEER:  
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 171 Walgreen Rd  
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 T/613-836-0632

MECHANICAL ENGINEER:  
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ELECTRICAL ENGINEER:  
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WIND + NOISE CONSULTANT:  
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 Carp, K0A 1L0  
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PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**GFA TOWER A L1-L24**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**1 : 500**

DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 01/23/23

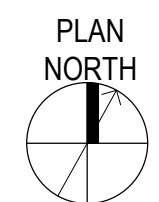
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 A128



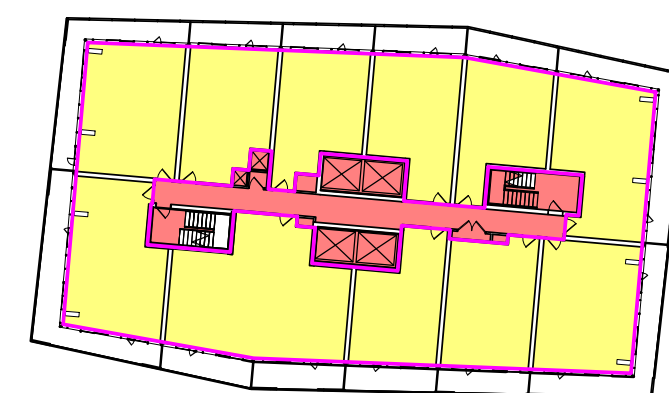
GFA Legend  
 Yellow GFA  
 Red Deductible

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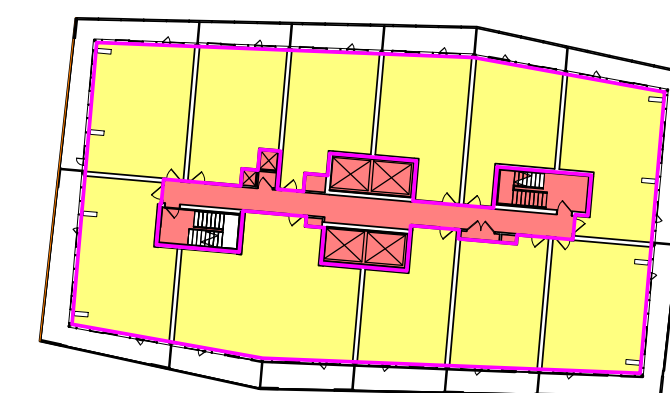


KEY PLAN

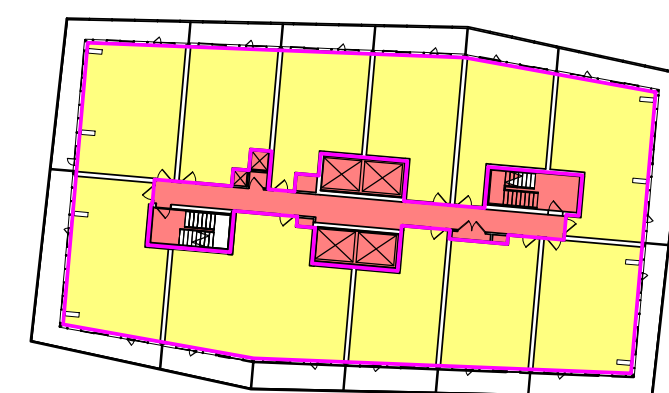
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



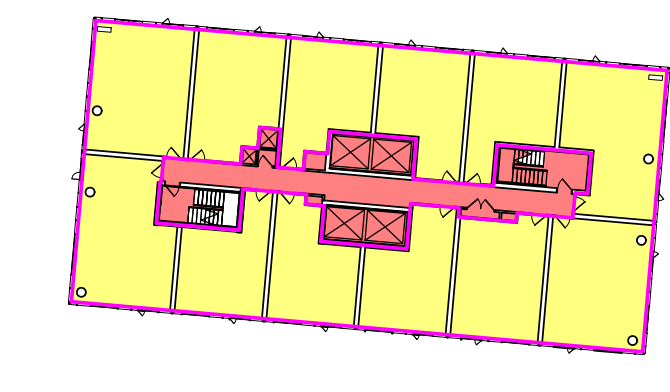
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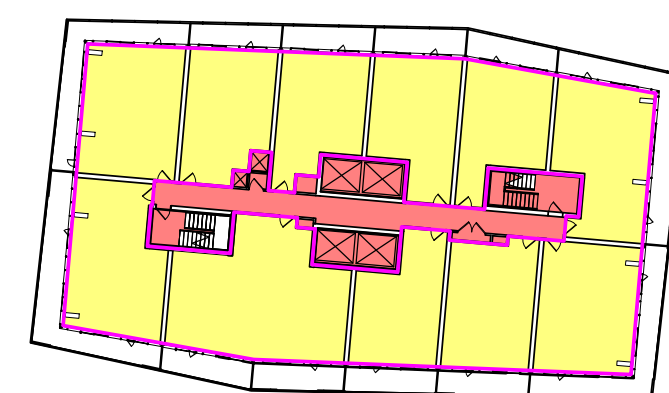
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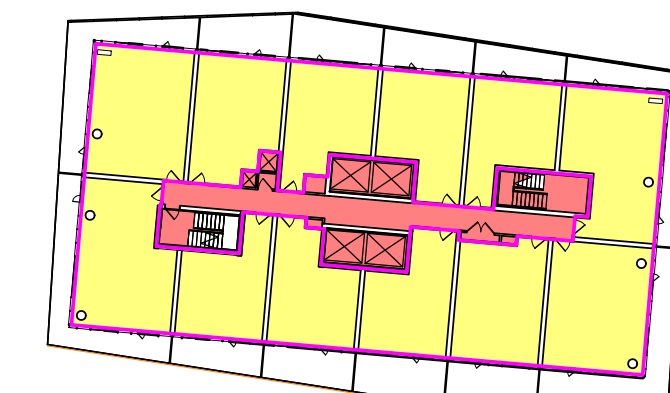
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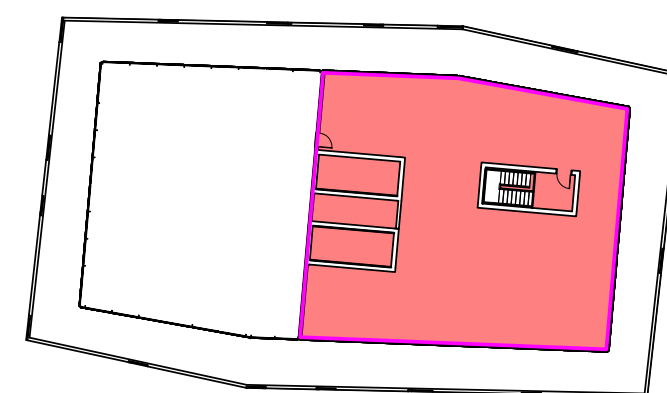
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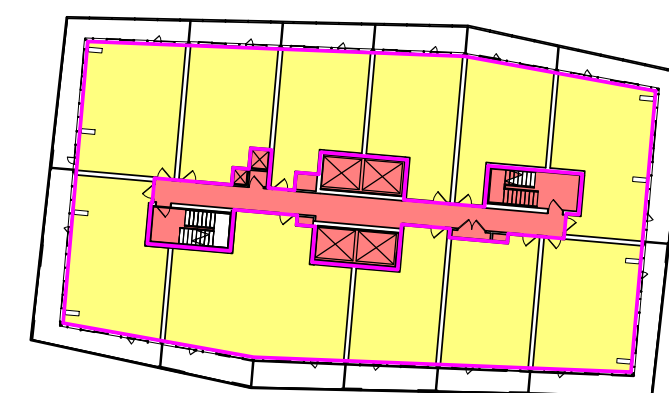
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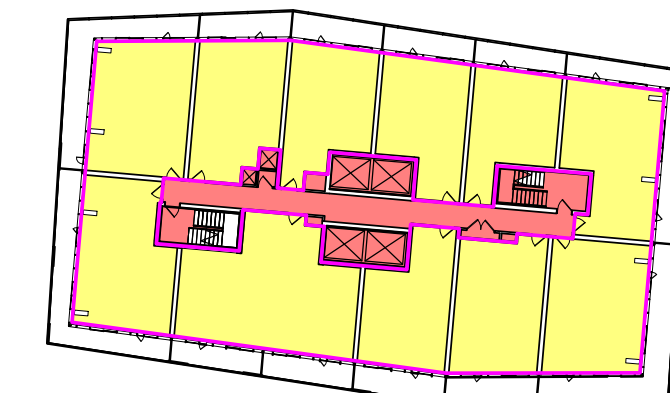
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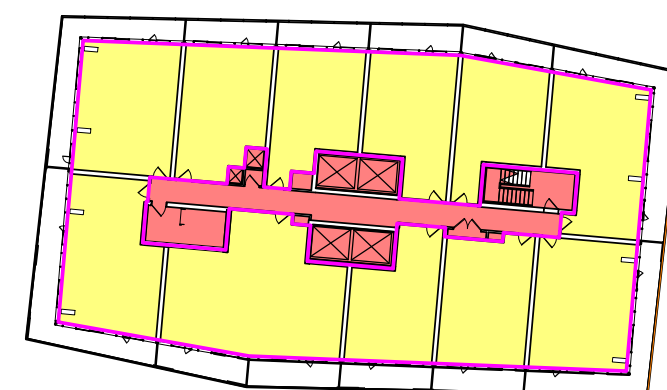
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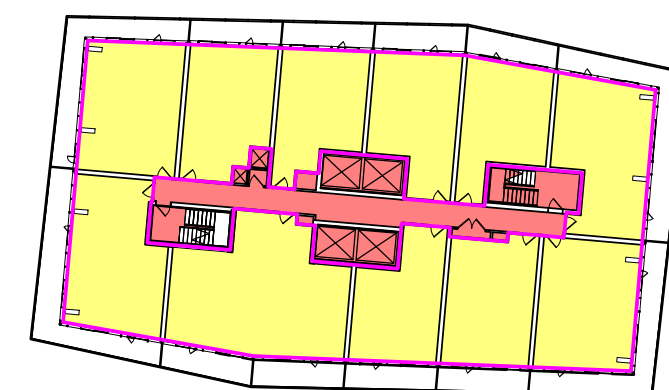
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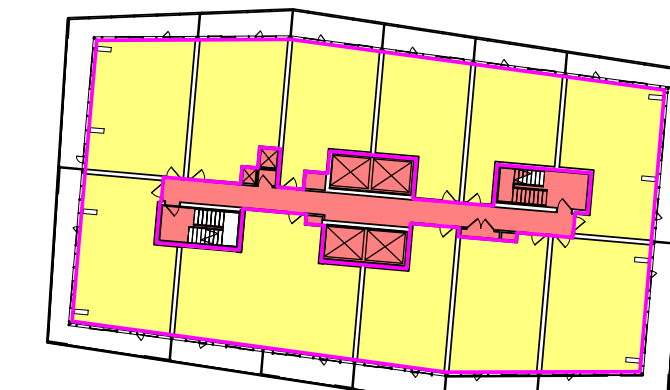
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11 TOWER A - LEVEL 35  
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06 TOWER A - LEVEL 30  
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01 TOWER A - LEVEL 25  
1:500

**B+H** B+H Architects  
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 T/416.596.2299 F/416.586.0599

SEAL :



STRUCTURAL ENGINEER :  
**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER :  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
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ELECTRICAL ENGINEER :  
**Electrical Consultant**  
 Street Address  
 City Post Code  
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WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean, K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :  
**Mcintosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184

PLANNING CONSULTANT :  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa, K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :  
**CGH**  
 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLEANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**GFA TOWER A L25-MPH**

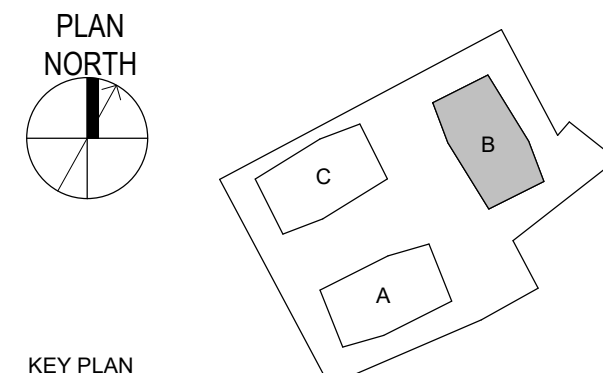
PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 500**

DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **01/24/23**

SHEET NO : **A129** REV : **1**

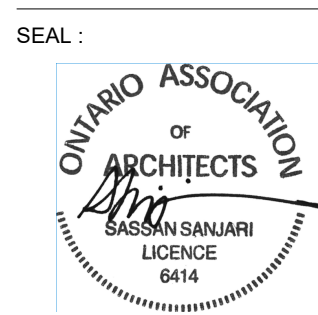




REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

GFA Legend  
 GFA  
 Deductible

**B+H Architects**  
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STRUCTURAL ENGINEER :  
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**Gradient Wind**  
 127 Walgreen Rd  
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 T/613-836-0934

LANDSCAPE ARCHITECT :  
**J. Lennox and Associates**  
 3332 Carling Ave  
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 T/613-722-5168

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 T/613-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**GFA TOWER B**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 500**

DRAWN BY :  
**Author**

CHECKED BY :  
**Checker**

DATE :  
**01/23/23**

SHEET NO :  
**A130**

REV :  
**1**



28 TOWER B - LEVEL 28  
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24 TOWER B - LEVEL 24  
1:500

20 TOWER B - LEVEL 20  
1:500

16 TOWER B - LEVEL 16  
1:500

12 TOWER B - LEVEL 12  
1:500

8 TOWER B - LEVEL 8  
1:500

4 TOWER B - LEVEL 4  
1:500

27 TOWER B - LEVEL 27  
1:500

23 TOWER B - LEVEL 23  
1:500

19 TOWER B - LEVEL 19  
1:500

15 TOWER B - LEVEL 15  
1:500

11 TOWER B - LEVEL 11  
1:500

7 LEVEL 07 B  
1:500

3 TOWER B - LEVEL 3  
1:500

26 TOWER B - LEVEL 26  
1:500

22 TOWER B - LEVEL 22  
1:500

18 TOWER B - LEVEL 18  
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14 TOWER B - LEVEL 14  
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10 TOWER B - LEVEL 10  
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6 TOWER B - LEVEL 6  
1:500

2 TOWER B - LEVEL 2  
1:500

25 TOWER B - LEVEL 25  
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21 TOWER B - LEVEL 21  
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17 TOWER B - LEVEL 17  
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13 TOWER B - LEVEL 13  
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9 TOWER B - LEVEL 9  
1:500

5 TOWER B - LEVEL 5  
1:500

1 TOWER B - LEVEL 1  
1:500

29 TOWER B - LEVEL 29  
1:500



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GFA Legend  
 GFA  
 Deductible

PLAN NORTH

KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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 T/343-996-2623
- OWNER :

**BAYVIEW GROUP**  
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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
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PROJECT NUMBER :  
**2211080**

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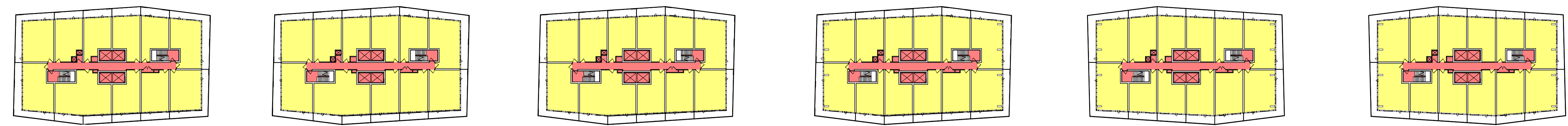
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**Author**

CHECKED BY :  
**Checker**

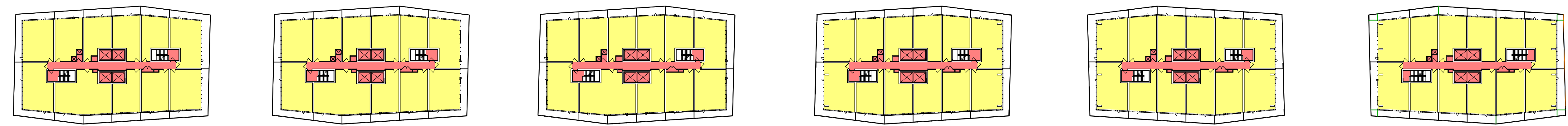
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**01/23/23**

SHEET NO :  
**A131**

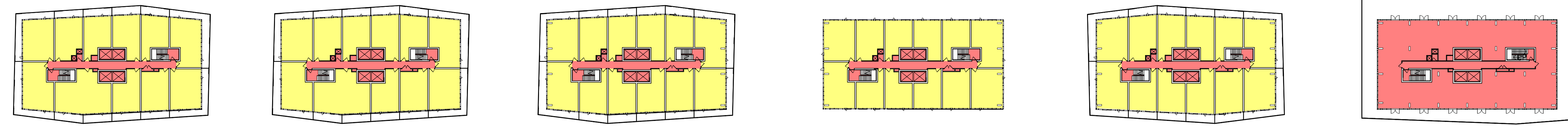
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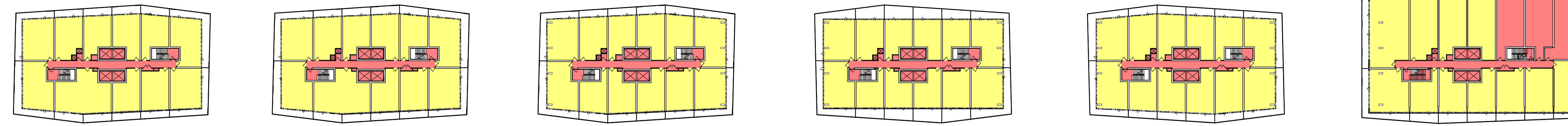
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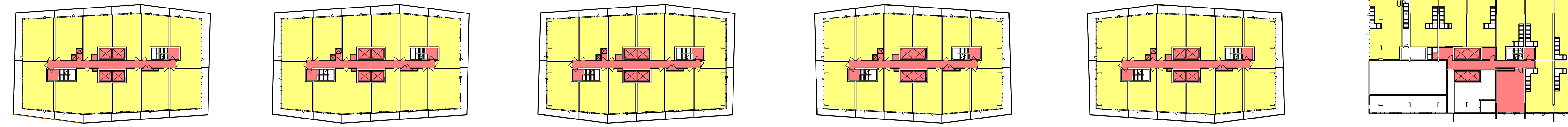
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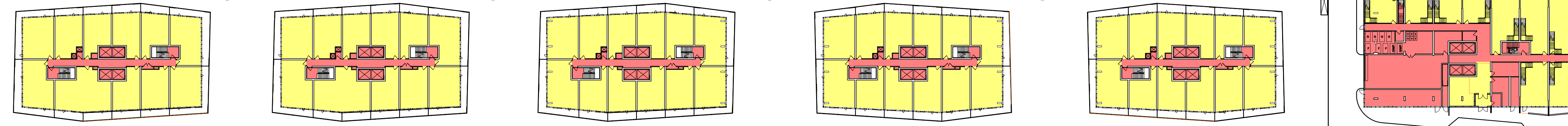
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33 TOWER C - LEVEL 33 1:500  
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32 TOWER C - LEVEL 32 1:500  
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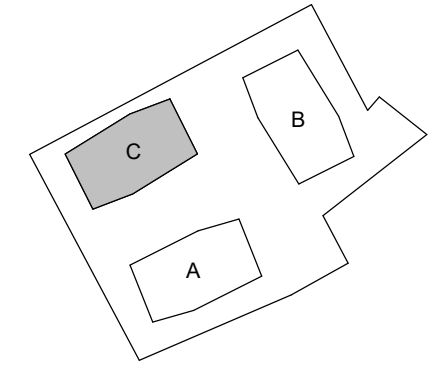
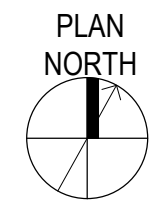
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 GFA TOWER C L1-L36  
 A131



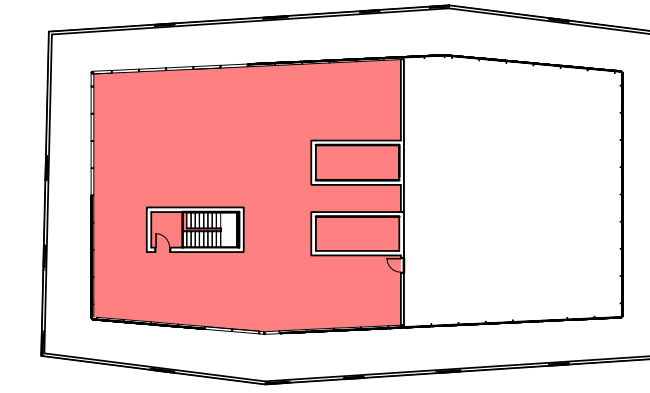
GFA Legend  
 GFA  
 Deductible

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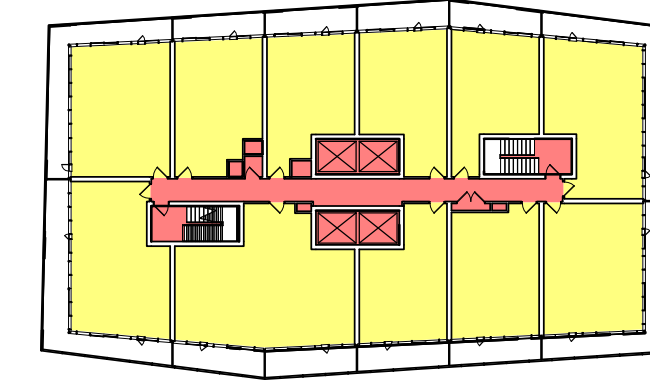


KEY PLAN

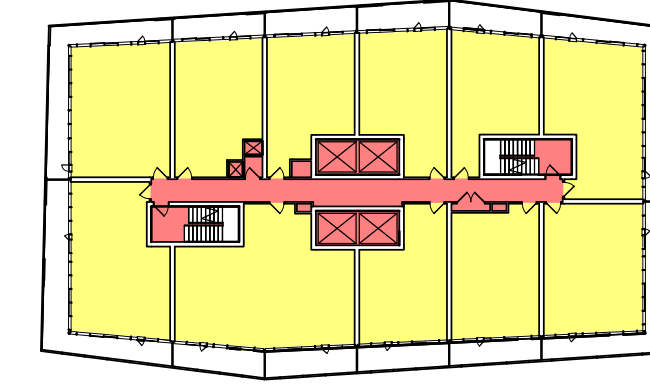
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



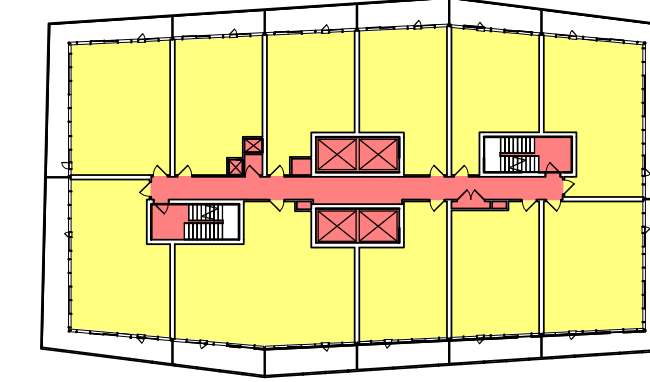
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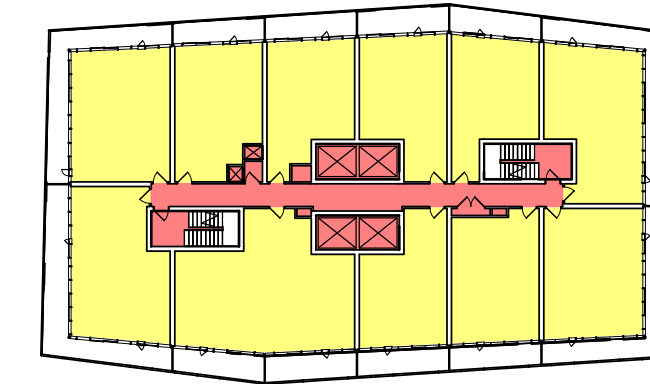
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3 TOWER C - LEVEL 39  
1:500



2 LEVEL 38 C  
1:500



1 TOWER C - LEVEL 37  
1:500

**B+H** B+H Architects  
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SEAL :



STRUCTURAL ENGINEER :  
**Art Engineering**  
 171 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER :  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER :  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :  
**Mcintosh Perry**  
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PLANNING CONSULTANT :  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :  
**CGH**  
 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**GFA TOWER C L37-MPH**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 500**

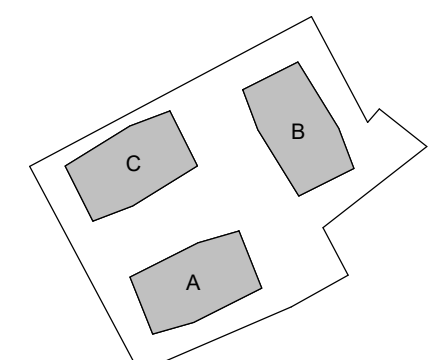
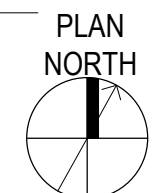
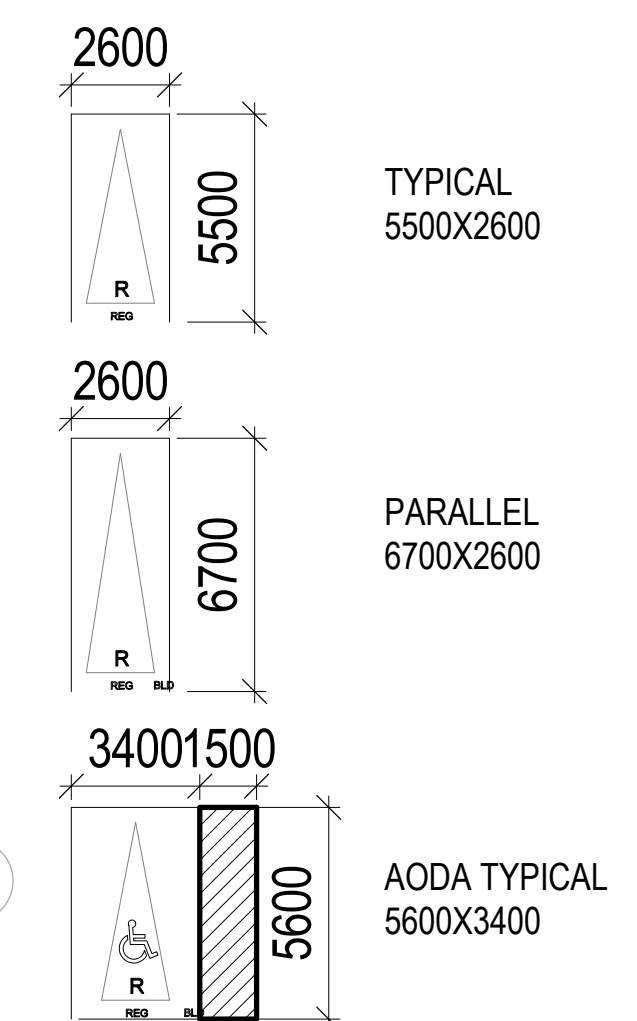
DRAWN BY : <b>Author</b>	CHECKED BY : <b>Checker</b>	DATE: <b>01/24/23</b>
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SHEET NO : <b>A132</b>	REV : <b>1</b>
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PARKING SPACE LEGEND



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
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- MECHANICAL ENGINEER:  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx
- ELECTRICAL ENGINEER:  
**Electrical Consultant**  
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 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx
- WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934
- LANDSCAPE ARCHITECT:  
**J. Lennox and Associates**  
 3332 Carling Ave  
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- PLANNING CONSULTANT:  
**Fotenn**  
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 T/613-730-5709
- TRAFFIC CONSULTANT:  
**CGH**  
 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623
- OWNER:

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**P3 FLOOR PLAN**

PROJECT NUMBER:  
**2211080**

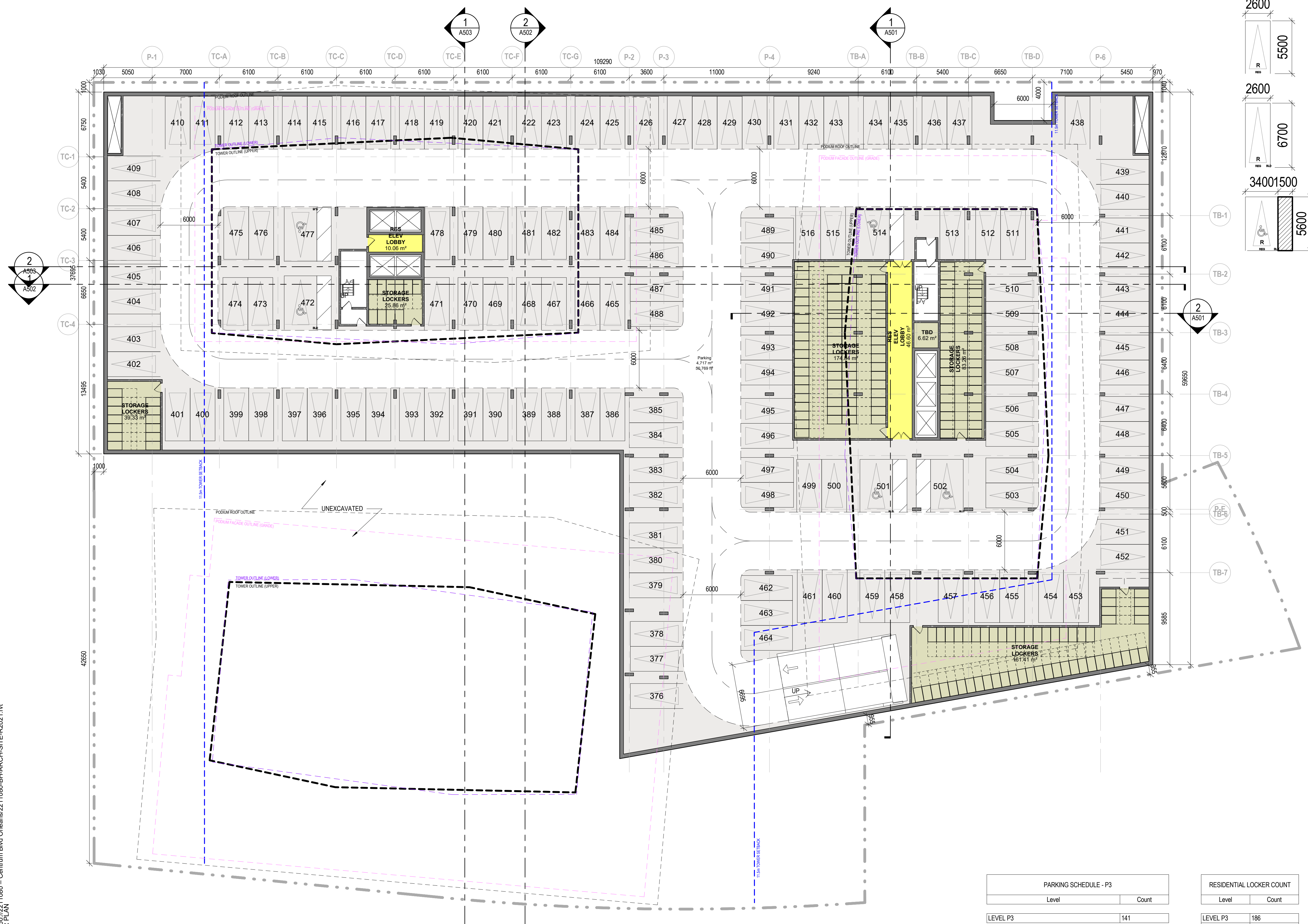
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DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 02/16/23

SHEET NO.: **A200**

REV: **1**

3/24/2023 1:44:11 PM BIM\_360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-SITE-R2021.rvt P3 FLOOR PLAN A200



PARKING SCHEDULE - P3	
Level	Count
LEVEL P3	141

PARKING SCHEDULE - TOTAL	
Level	Count
LEVEL P3	141
LEVEL P2	138
LEVEL P1	183
CENTRUM TOWER - LEVEL 01 (LOWER GRADE)	54
	516

RESIDENTIAL LOCKER COUNT	
Level	Count
LEVEL P3	186
LEVEL P2	139
Grand total:	325

1 LEVEL P3  
 1:200











BRISEBOIS CRESCENT



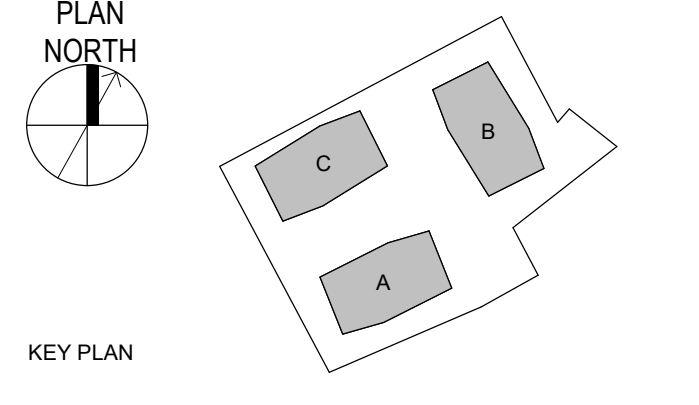
NOTES

- TO BE READ IN CONJUNCTION WITH DRAWINGS PREPARED BY SITE SERVING ENGINEER AND LANDSCAPE ARCHITECT. REFER TO SITE SERVICES/GRADING DRAWINGS FOR GRADING INFORMATION AND DRAINAGE.
- FIRE ROUTES SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE OBC REQUIREMENTS; MIN. WIDTH 6m AND MIN. TURNING RADIUS OF 12m; INTERIOR TURNING RADIUS OF 9m AND OUTSIDE TURNING RADIUS OF 15m.
- FIRE ROUTES OVER PARKING GARAGE SHALL BE DESIGNED TO SUPPORT THE 500 KPA LOADING REQUIREMENT IDENTIFIED IN NFPA 1301.
- FIRE ROUTES SHALL BE DESIGNED TO SUPPORT EXPECTED LOADS IMPOSED BY FIRE-FIGHTING EQUIPMENT AND MEET THE REQUIREMENTS OF THE CANADIAN HIGHWAY BRIDGE CODE, AND SHALL BE SURFACED IN ORDER TO BE ACCESSIBLE UNDER ALL CLIMATIC CONDITIONS.

LEGEND

- MAIN PEDESTRIAN ENTRY
- PEDESTRIAN ENTRY
- PEDESTRIAN EGRESS
- VEHICULAR ENTRY
- PROPOSED ELEVATION +100.000
- SIAMESE CONNECTION
- FIRE HYDRANT
- LIGHT POST
- CATCH BASIN / MAN-HOLE COVER
- FIRE ACCESS ROUTE
- OUTLINE OF UPPER TOWER FACADE
- OUTLINE OF LOWER TOWER FACADE
- OUTLINE OF PODIUM FACADE

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REVISION

NO.	DATE	DESCRIPTION
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 SASSAN SANIARI  
 LICENCE 6414

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 T/343-996-2623

OWNER:  
**BAYVIEW GROUP**  
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 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**LEVEL 01 (LOWER GRADE @ BRISEBOIS)**

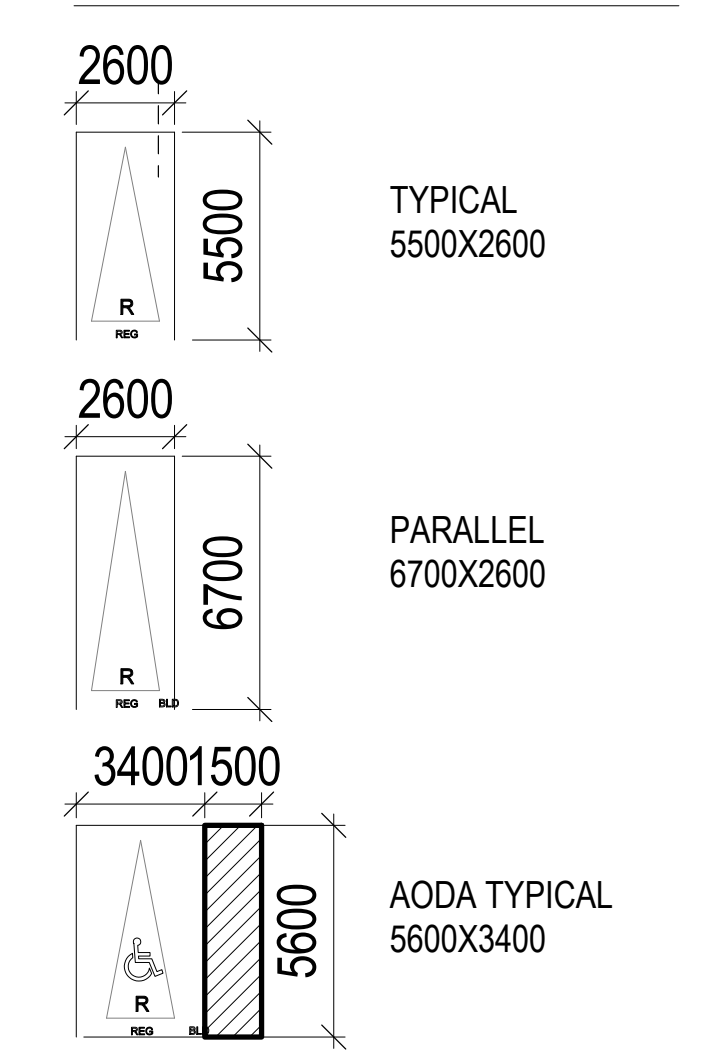
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**2211080**

DRAWING SCALE:  
**1 : 200**

DRAWN BY: **Author** CHECKED BY: **Checker** DATE: **02/13/23**

SHEET NO: **A203** REV: **1**

PARKING SPACE LEGEND



BIKE PARKING COUNT - TOTAL

TYPE	Individual Racks	Total Bikes
L1 STACKED VERTICAL	74	592
P1 STACKED VERTICAL	60	480
TOTAL	134	1072

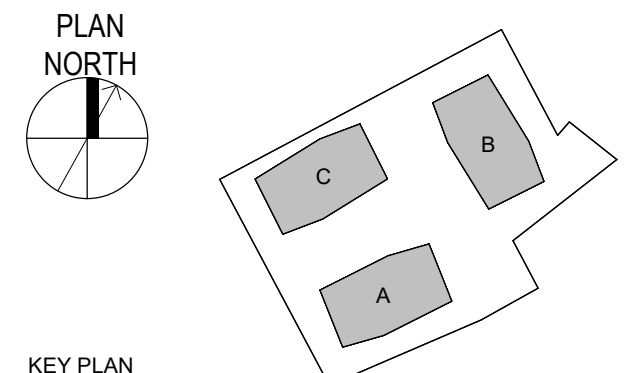
PARKING SCHEDULE - TOTAL

Level	Court
LEVEL P3	141
LEVEL P2	138
LEVEL P1	183
CENTRUM TOWER - LEVEL 01 (LOWER GRADE)	54
TOTAL	516



BRISEBOIS CRESCENT

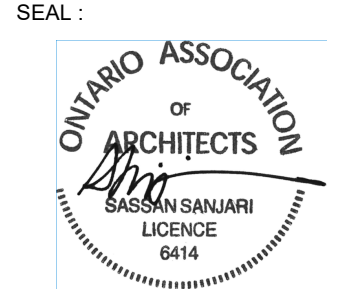
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.



REVISION

NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A6  
 T/416.596.2299 F/416.586.0599



- STRUCTURAL ENGINEER:  
**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632
- MECHANICAL ENGINEER:  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx
- ELECTRICAL ENGINEER:  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx
- WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934
- LANDSCAPE ARCHITECT:  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean, K2H 5A8  
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:  
**McIntosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184
- PLANNING CONSULTANT:  
**Fotenn**  
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 Ottawa, K2P 2H7  
 T/613-730-5709
- TRAFFIC CONSULTANT:  
**CGH**  
 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623
- OWNER:

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
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PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**LEVEL 02 (UPPER GRADE @ CENTRUM)**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**1 : 200**

DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 02/13/23

SHEET NO.: **A204**

BIM\_360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-SITE-R2021.rvt  
 LEVEL 02 (UPPER GRADE @ CENTRUM)  
 3/24/2023 1:48:51 PM  
 A204

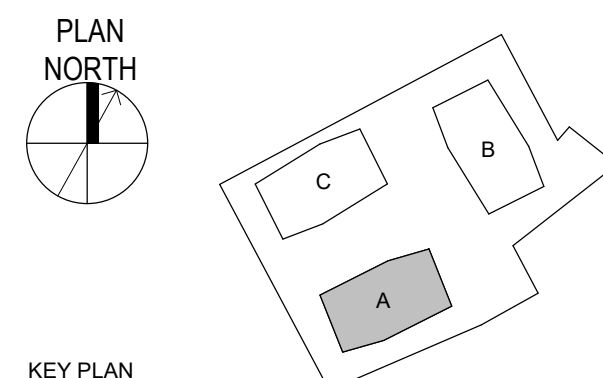


CENTRUM BOULEVARD

LEVEL 01. UPPER GRADE @ CENTRUM

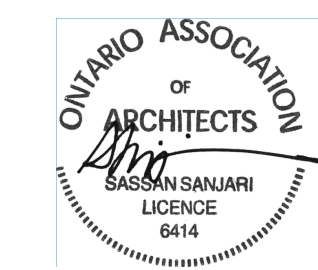
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REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
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**Art Engineering**  
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**MECHANICAL ENGINEER:**  
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**ELECTRICAL ENGINEER:**  
**Electrical Consultant**  
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 City Post Code  
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx

**WIND + NOISE CONSULTANT:**  
**Gradient Wind**  
 127 Walgreen Rd  
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 T/613-836-0934

**LANDSCAPE ARCHITECT:**  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean, K2H 5A8  
 T/613-722-5168

**SITE SERVICES/CIVIL ENGINEER:**  
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 T/613-836-2184

**PLANNING CONSULTANT:**  
**Fotenn**  
 396 Cooper St Suite 300  
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 T/613-730-5709

**TRAFFIC CONSULTANT:**  
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 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623

**OWNER:**

**BAYVIEW GROUP**  
 108 Chestnut Street  
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**PROJECT:**  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

**SHEET CONTENTS:**  
**TOWER A (CENTRUM) LEVELS 3-6**

**PROJECT NUMBER:**  
 2211080

**DRAWING SCALE:**  
 1 : 200

**DRAWN BY:** Author **CHECKED BY:** Checker **DATE:** 02/13/23

**SHEET NO.:** A205 **REV.:** 1



**4 TOWER A (CENTRUM) LEVEL 6**  
 1:200



**2 TOWER A (CENTRUM) LEVEL 5**  
 1:200

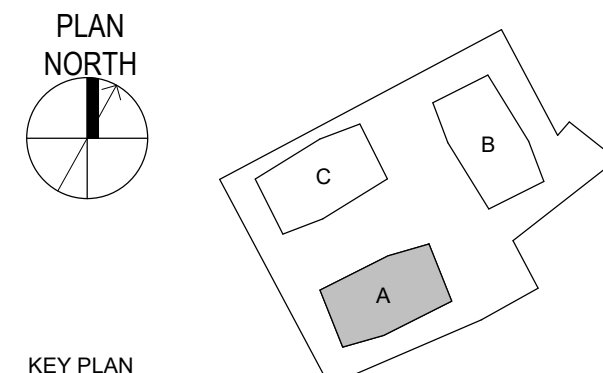


**3 TOWER A (CENTRUM) LEVEL 4**  
 1:200



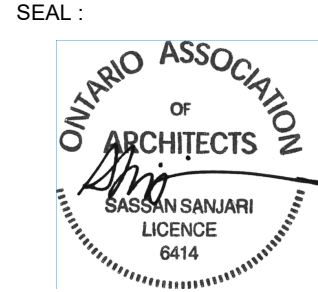
**1 TOWER A (CENTRUM) LEVEL 3**  
 1:200





REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
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**Mechanical Consultant**  
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**ELECTRICAL ENGINEER:**  
**Electrical Consultant**  
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**WIND + NOISE CONSULTANT:**  
**Gradient Wind**  
 127 Walgreen Rd  
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 T/613-836-0934

**LANDSCAPE ARCHITECT:**  
**J. Lennox and Associates**  
 3332 Carling Ave  
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**SITE SERVICES/CIVIL ENGINEER:**  
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**PLANNING CONSULTANT:**  
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**TRAFFIC CONSULTANT:**  
**CGH**  
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**OWNER:**

**BAYVIEW GROUP**  
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**PROJECT:**  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

**SHEET CONTENTS:**  
**TOWER A (CENTRUM) LEVELS 7-35**

**PROJECT NUMBER:**  
 2211080

**DRAWING SCALE:**  
 1 : 200

**DRAWN BY:** Author  
**CHECKED BY:** Checker  
**DATE:** 02/14/23

**SHEET NO.:** A206  
**REV.:** 1



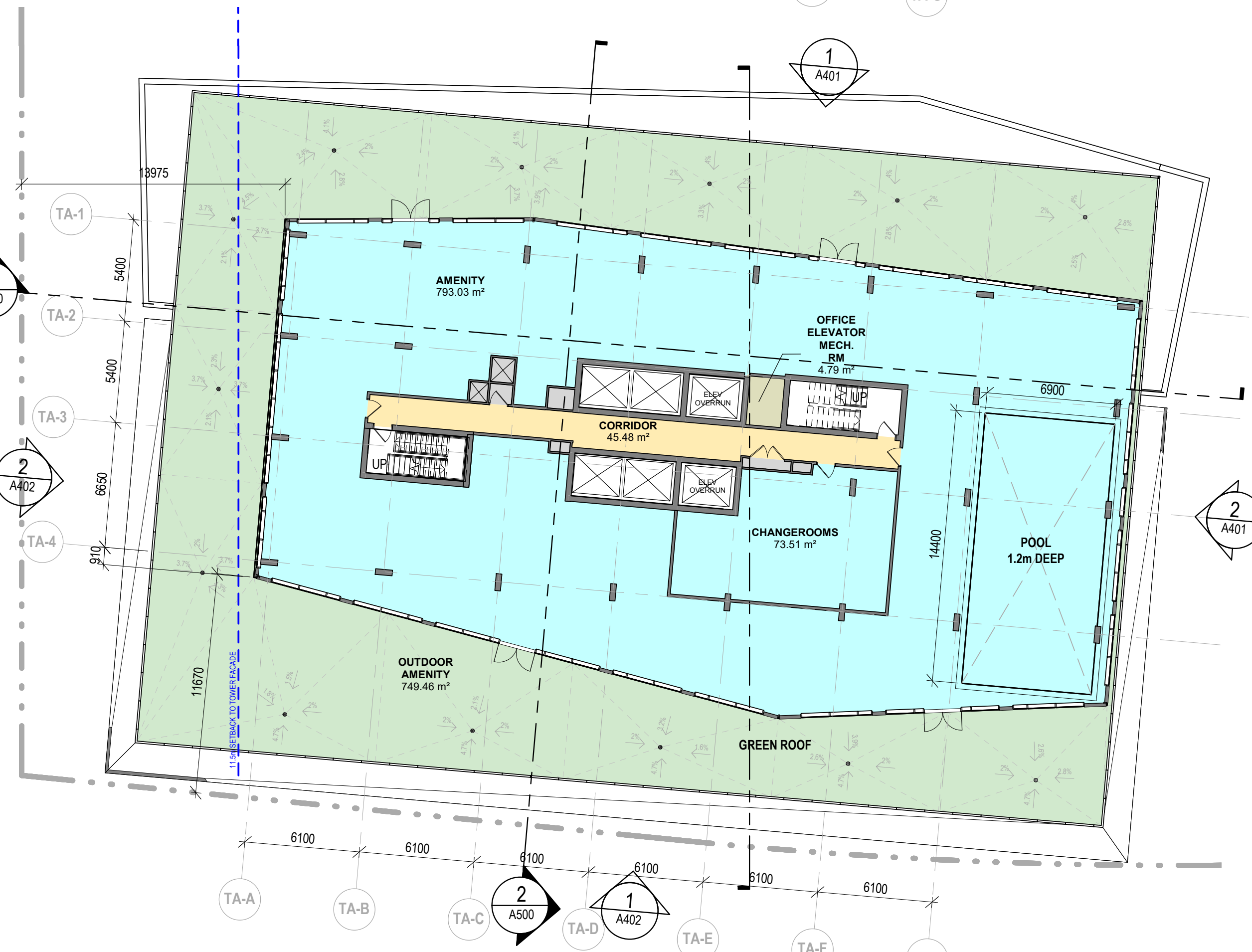
**4 TOWER A (CENTRUM) LEVEL 23**  
 1:200



**2 TOWER A (CENTRUM) LEVEL 8**  
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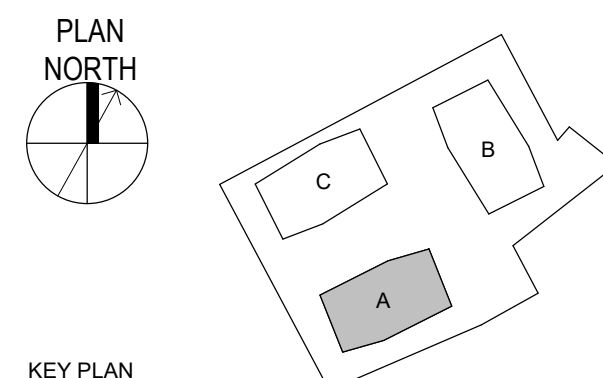


**3 TOWER A (CENTRUM) LEVEL 9-22**  
 1:200



**1 TOWER A (CENTRUM) LEVEL 7**  
 1:200





REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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 T/xxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER:  
**Electrical Consultant**  
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WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
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LANDSCAPE ARCHITECT:  
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 T/343-996-2623

OWNER:  
**BAYVIEW GROUP**  
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 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

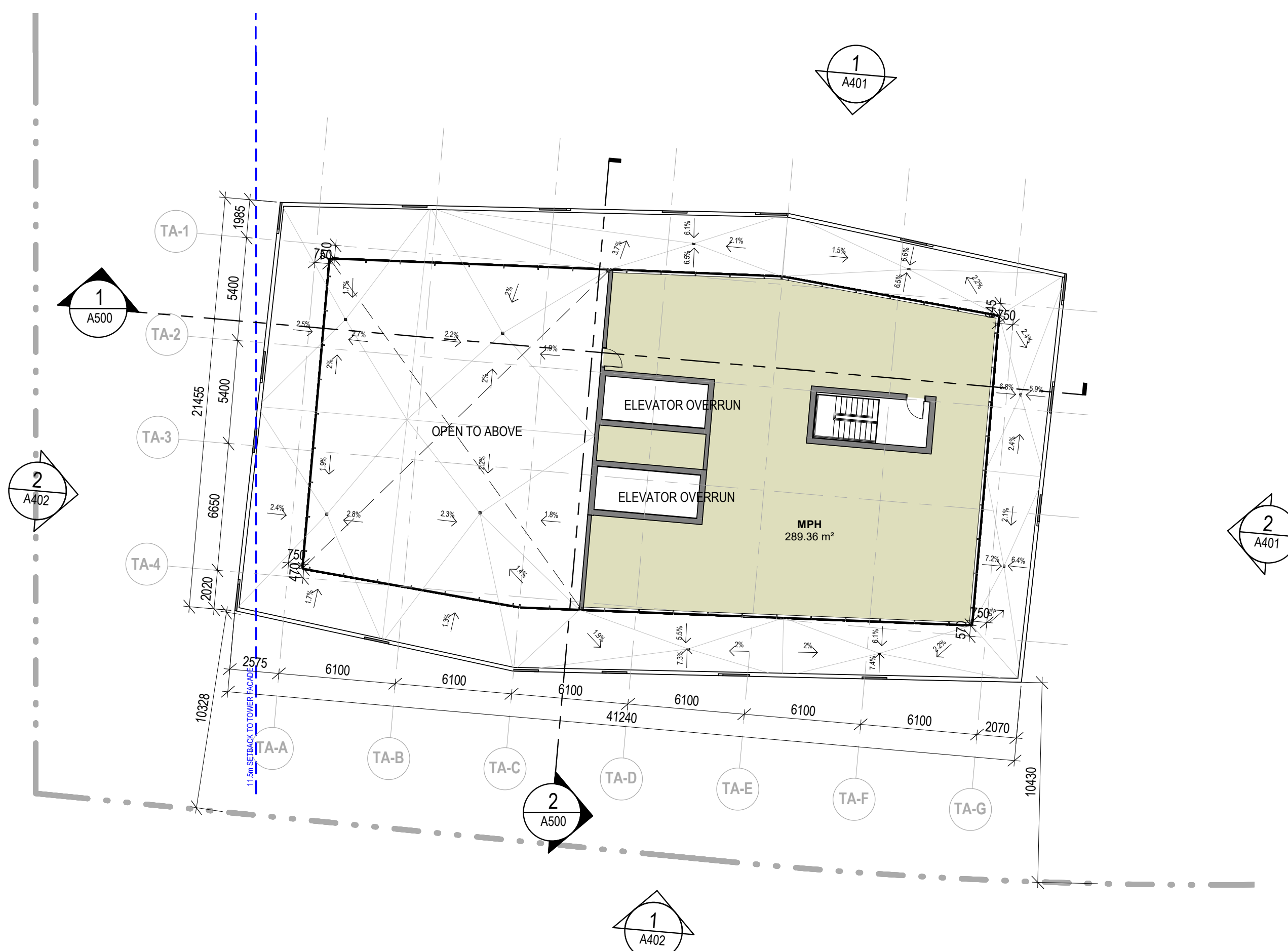
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**TOWER A (CENTRUM) LEVELS  
 MECH. - ROOF**

PROJECT NUMBER:  
**2211080**

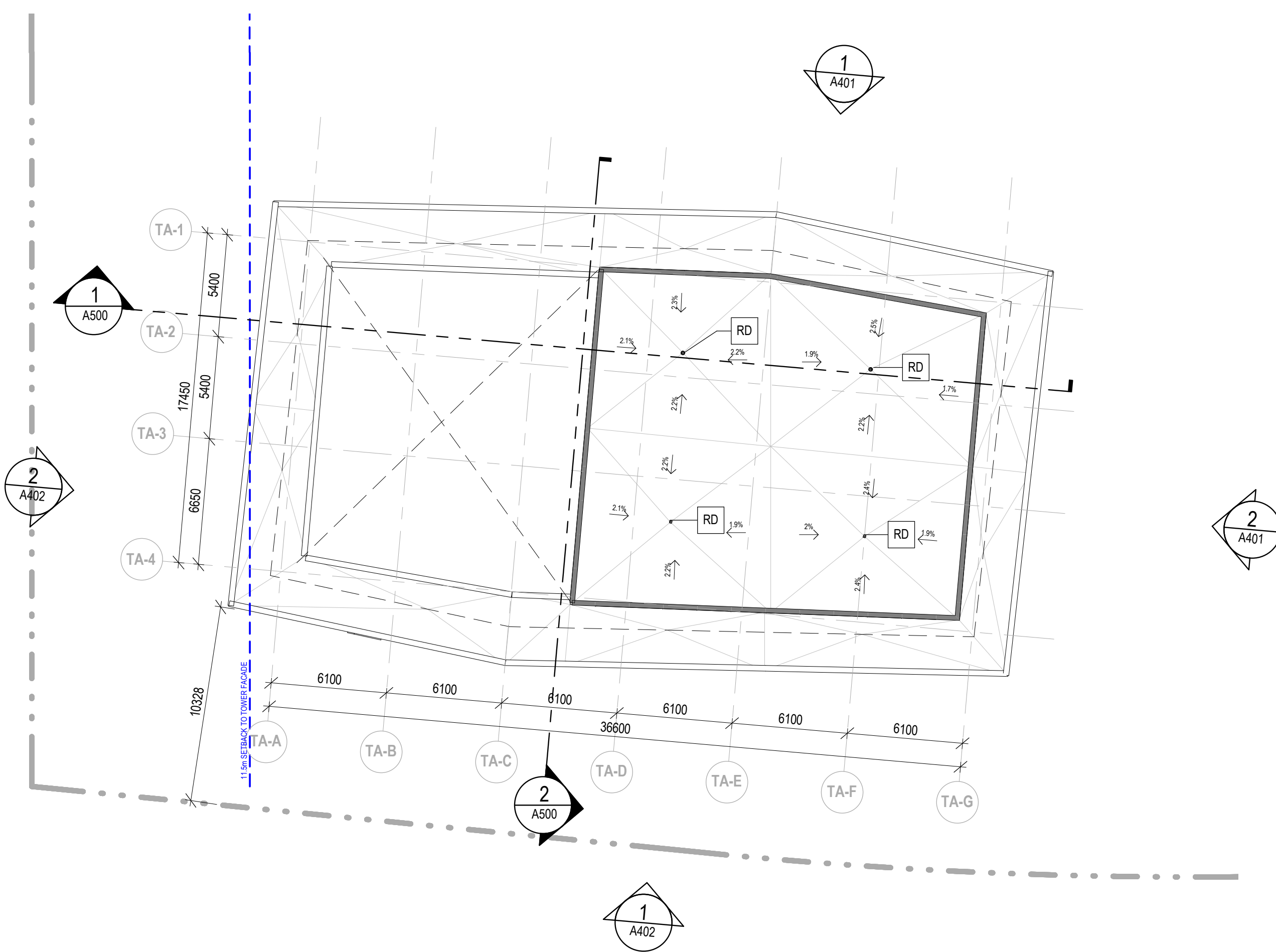
DRAWING SCALE:  
**1 : 200**

DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 02/14/23

SHEET NO: **A207** REV: **1**



**2 TOWER A (CENTRUM) - MECH. PENTHOUSE**  
 1:200



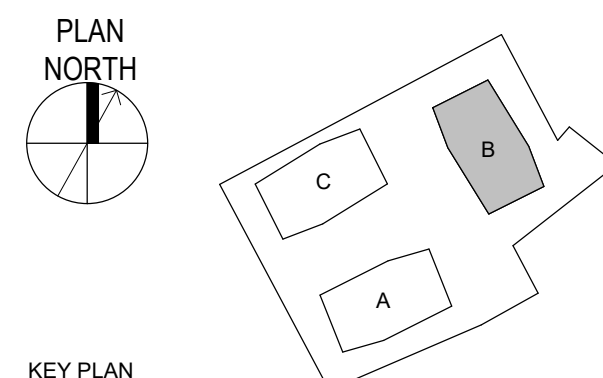
**3 TOWER A (CENTRUM) - ROOF**  
 1:200



**1 TOWER A (CENTRUM) LEVEL 29-35**  
 1:200



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KEY PLAN

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STRUCTURAL ENGINEER:  
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 171 Walgreen Rd  
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 T/613-836-0632

MECHANICAL ENGINEER:  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx

ELECTRICAL ENGINEER:  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT:  
**J. Lennox and Associates**  
 3332 Caring Ave  
 Nepean, K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:  
**McIntosh Perry**  
 115 Walgreen Rd  
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 T/613-836-2184

PLANNING CONSULTANT:  
**Fotenn**  
 396 Cooper St Suite 300  
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TRAFFIC CONSULTANT:  
**CGH**  
 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623

OWNER:  
**BAYVIEW GROUP**  
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PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**TOWER B LEVELS 3-4**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**1 : 200**

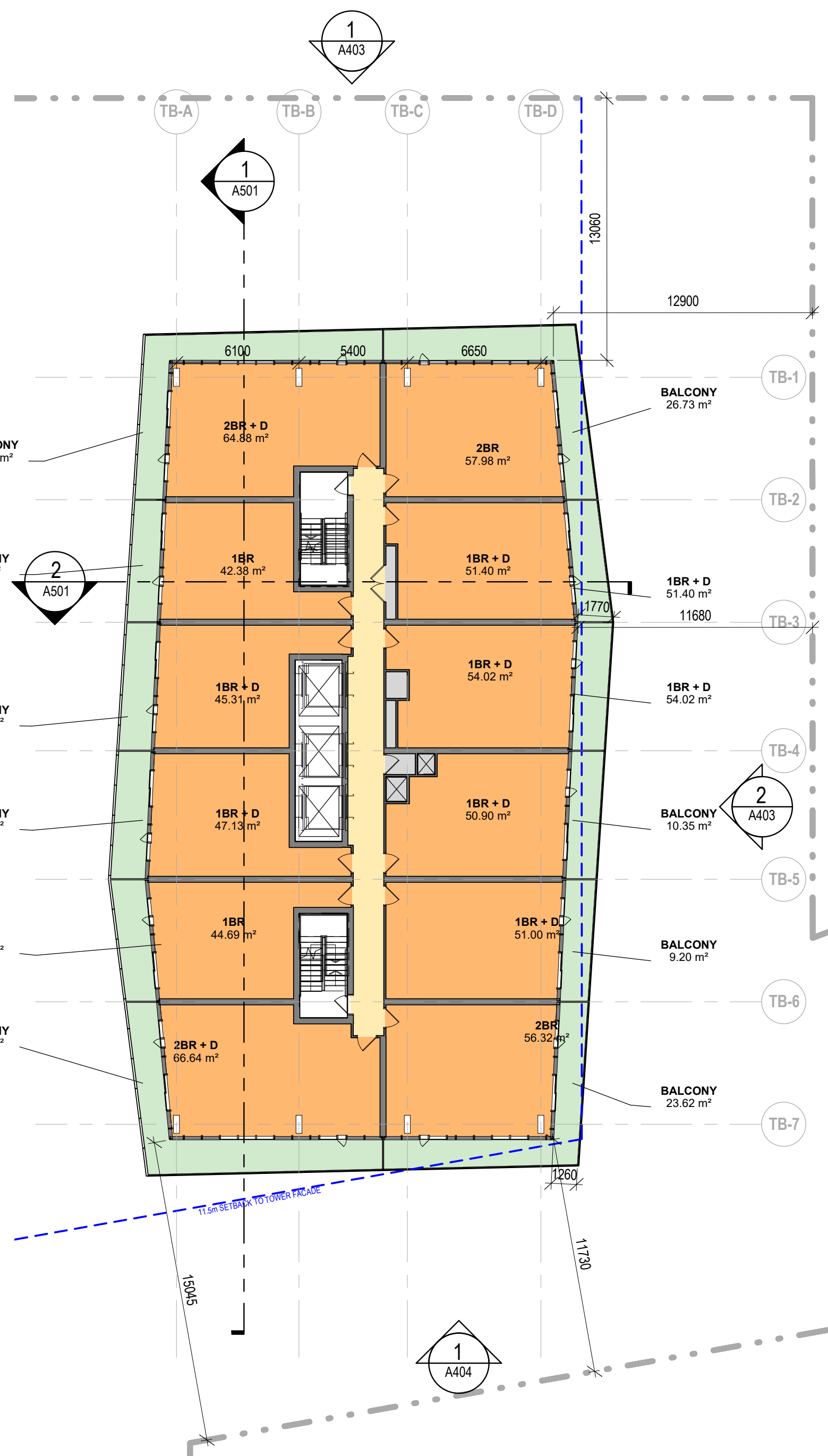
DRAWN BY:  
**Author**

CHECKED BY:  
**Checker**

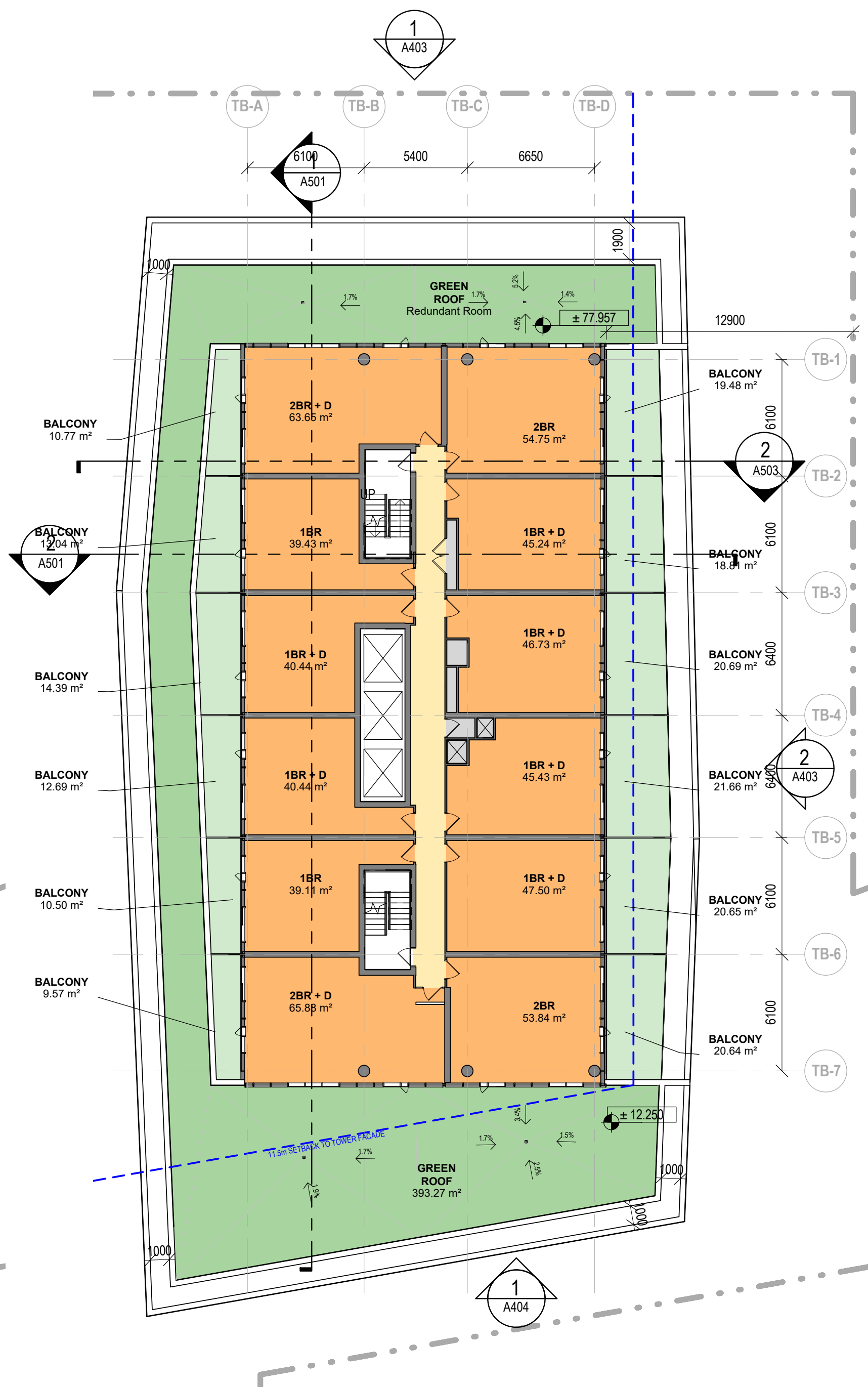
DATE:  
**02/14/23**

SHEET NO:  
**A208**

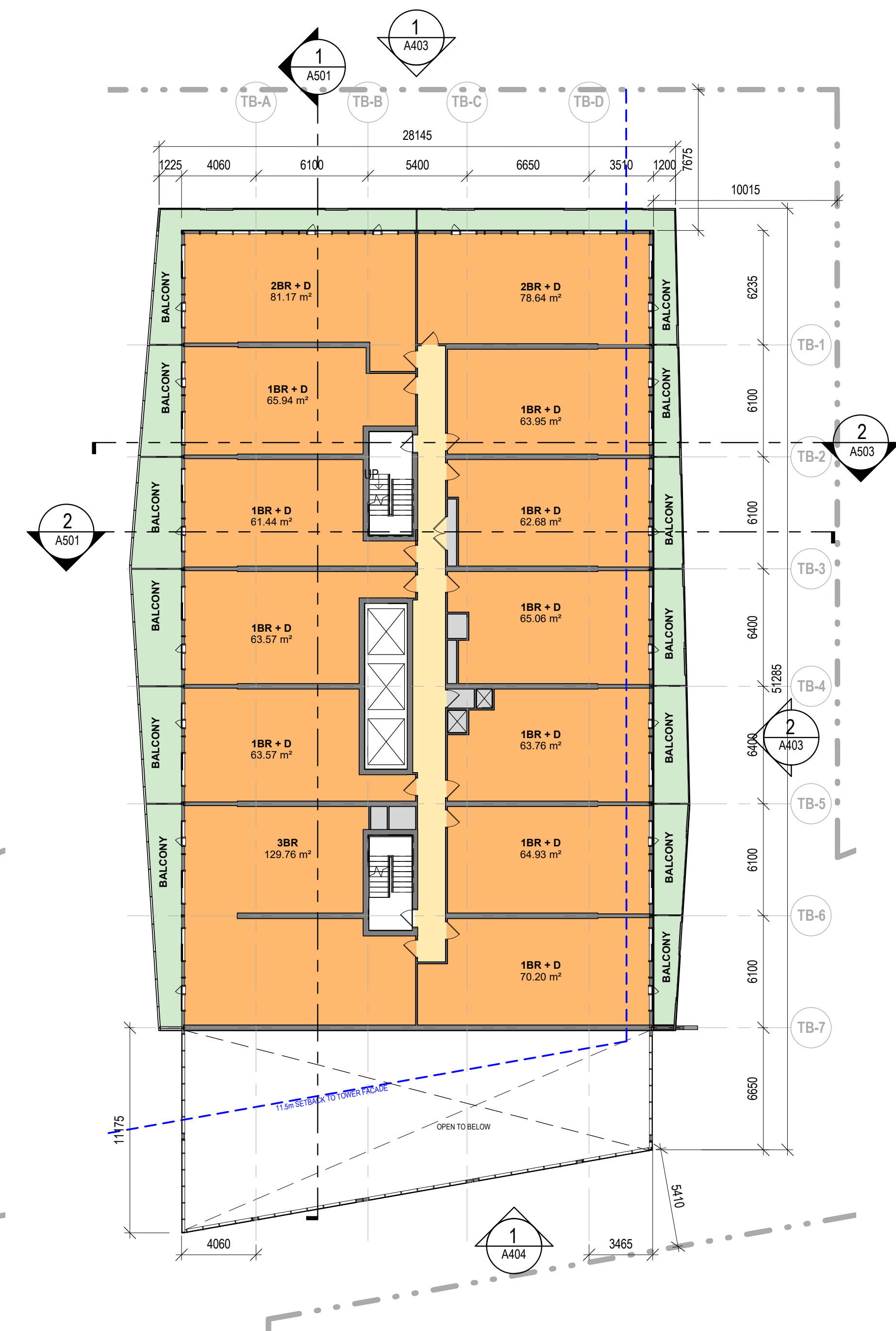
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 TOWER B LEVELS 3-4  
 3/24/2023 1:50:03 PM  
 A208



3 TOWER B - LEVEL 5-7  
 1:200



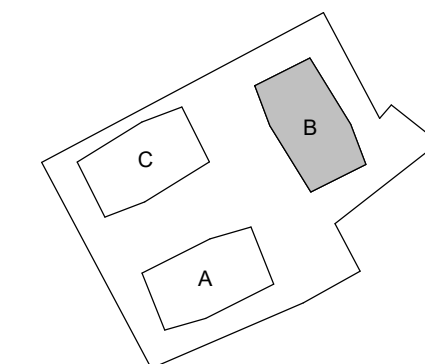
2 TOWER B - LEVEL 4  
 1:200



1 TOWER B - LEVEL 3  
 1:200



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KEY PLAN

REVISION		
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1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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SEAL :



STRUCTURAL ENGINEER :  
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MECHANICAL ENGINEER :  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
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ELECTRICAL ENGINEER :  
**Electrical Consultant**  
 Street Address  
 City Post Code  
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WIND + NOISE CONSULTANT :  
**Gradient Wind**  
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LANDSCAPE ARCHITECT :  
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 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :  
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OWNER :

**BAYVIEW GROUP**  
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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

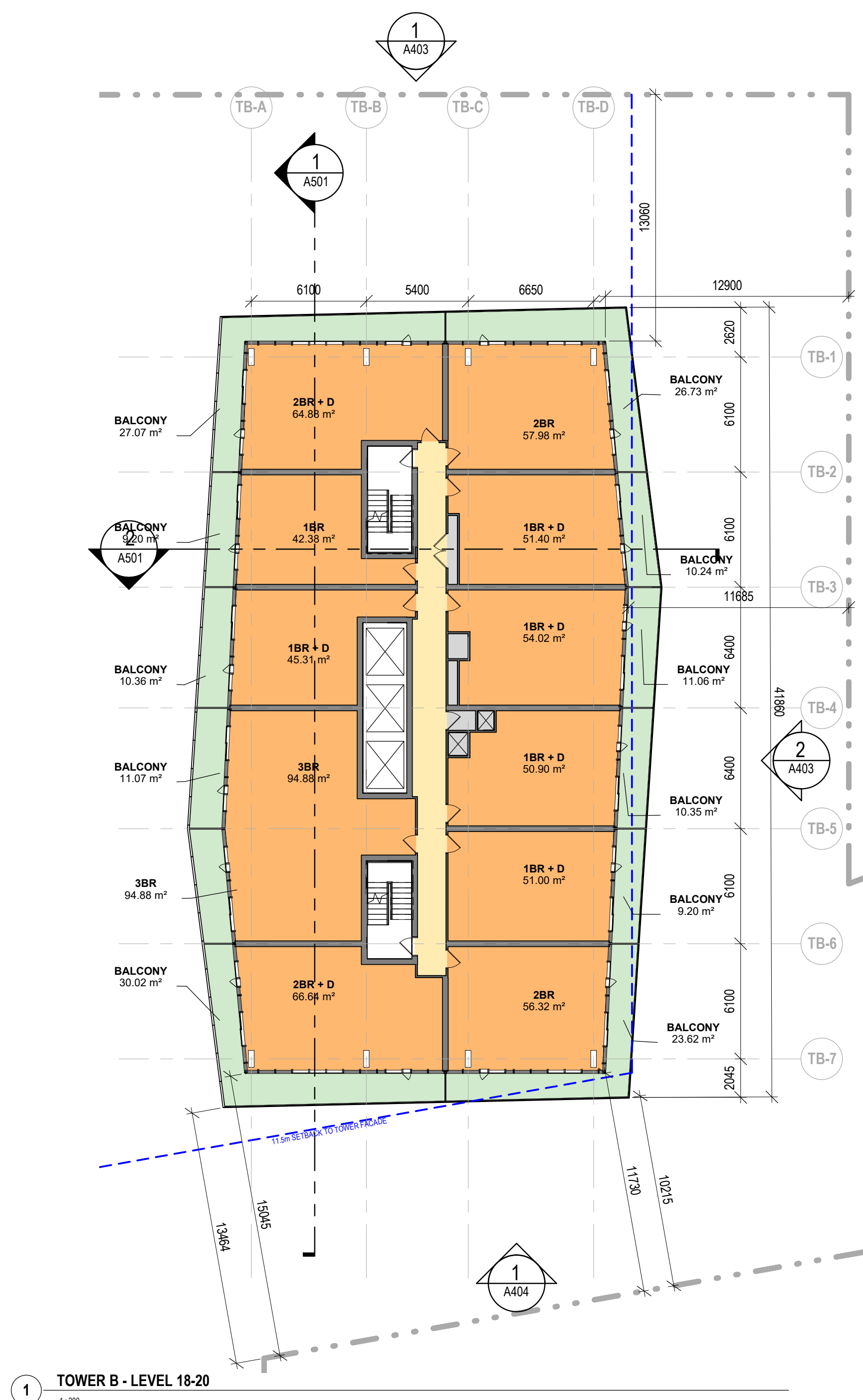
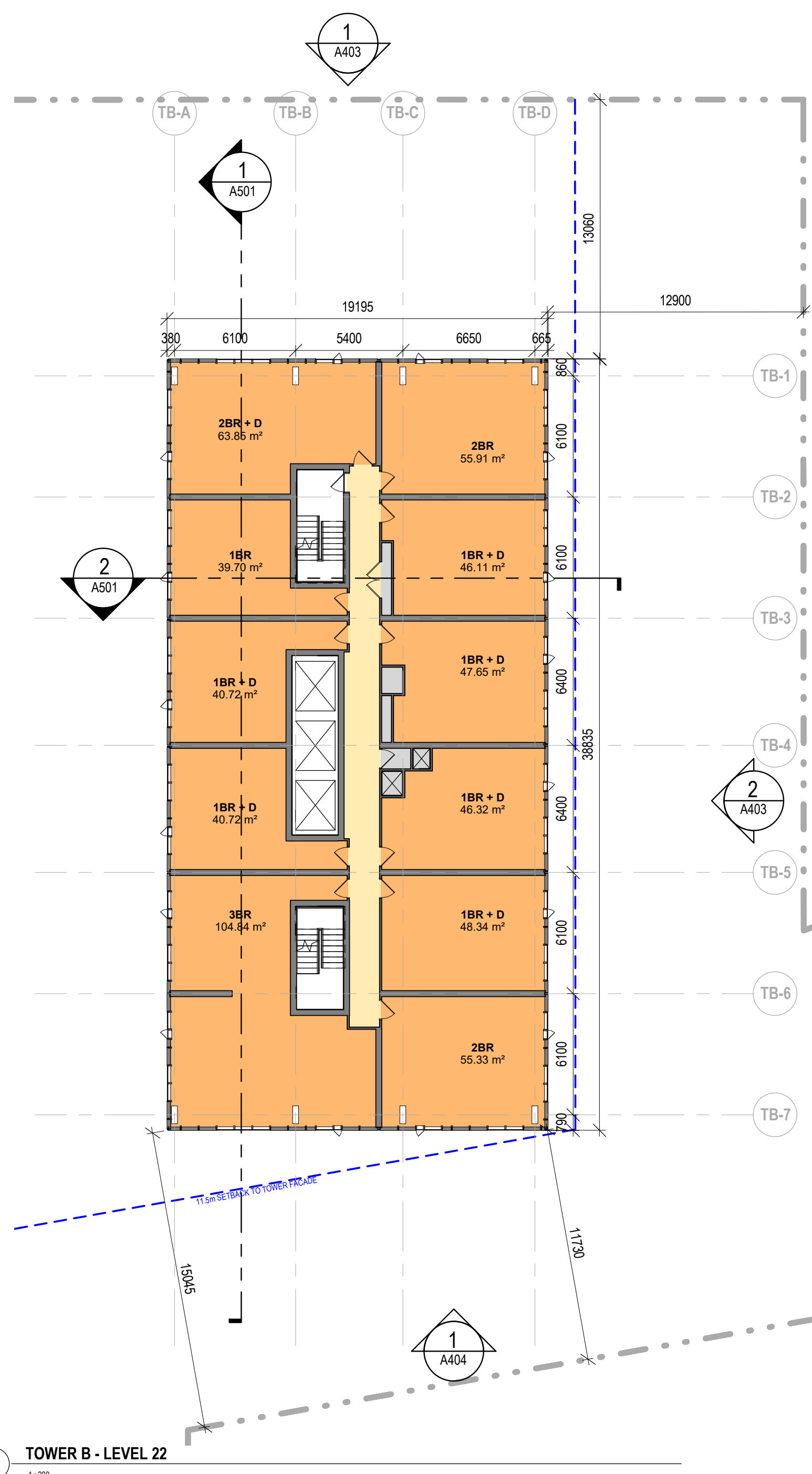
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**TOWER B LEVEL 5-30**

PROJECT NUMBER :  
**2211080**

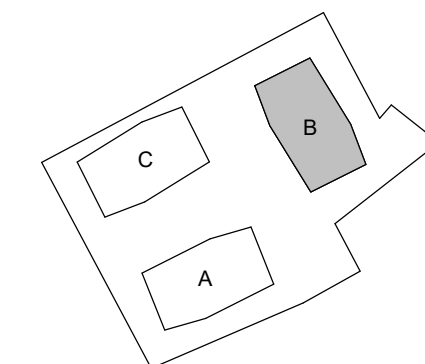
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**1 : 200**

DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **02/14/23**

SHEET NO : **A209** REV : **1**







KEY PLAN

REVISION		
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1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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SEAL :



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 T/613-836-0632

MECHANICAL ENGINEER :  
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ELECTRICAL ENGINEER :  
**Electrical Consultant**  
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 City Post Code  
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WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
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 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :  
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 T/613-836-2184

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OWNER :

**BAYVIEW GROUP**  
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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**TOWER B LEVELS MECH. - ROOF**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 200**

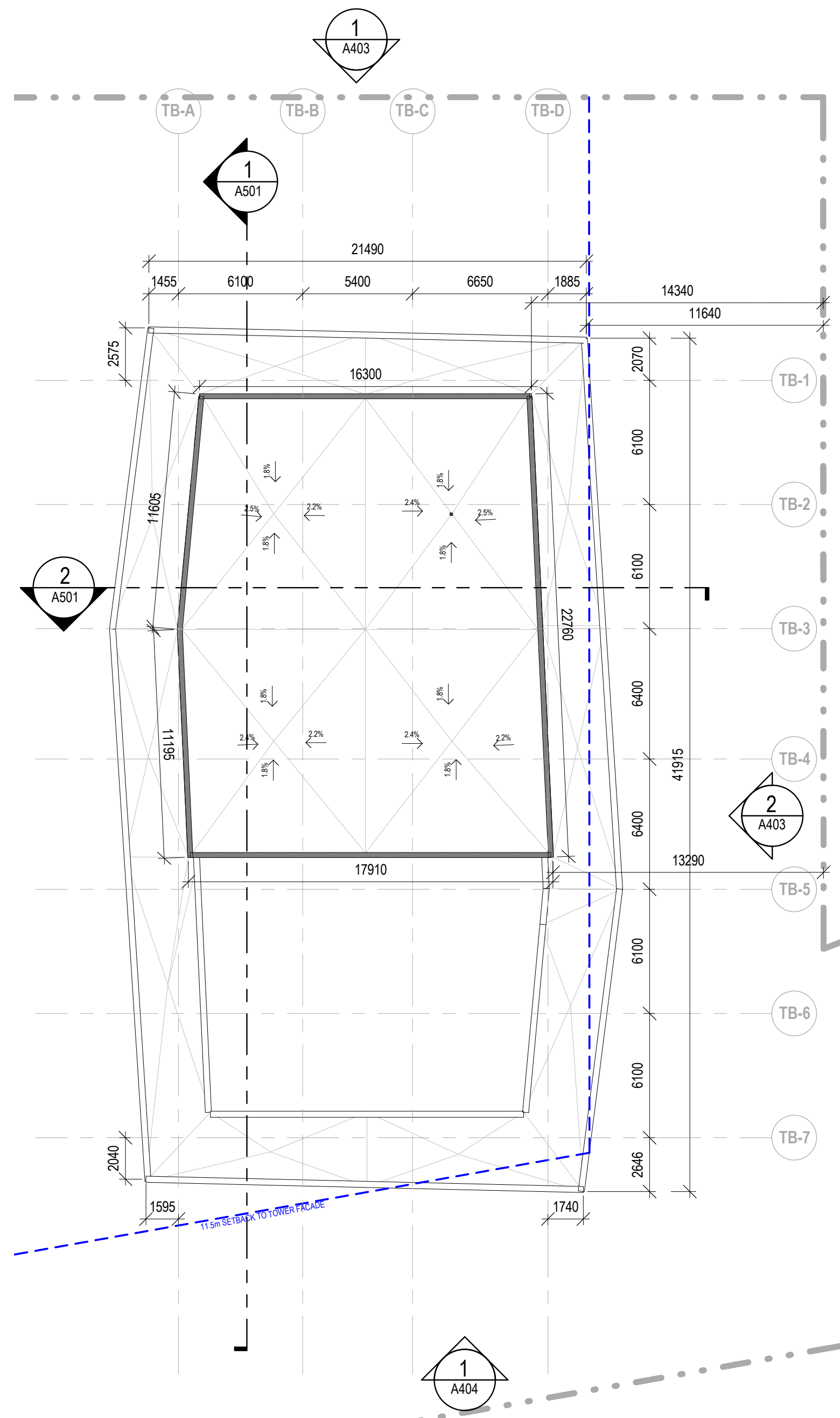
DRAWN BY :  
**Author**

CHECKED BY :  
**Checker**

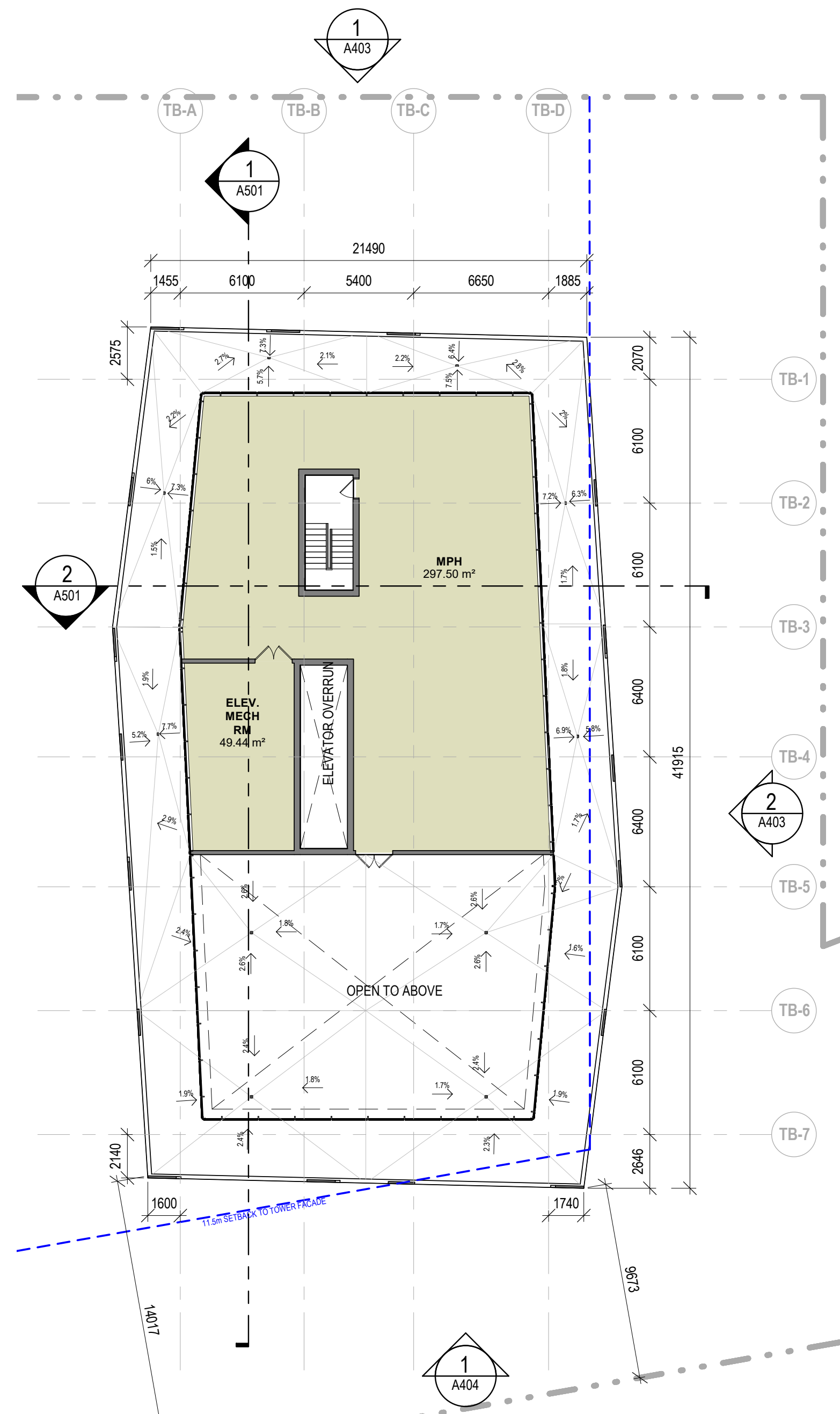
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SHEET NO :  
**A210**

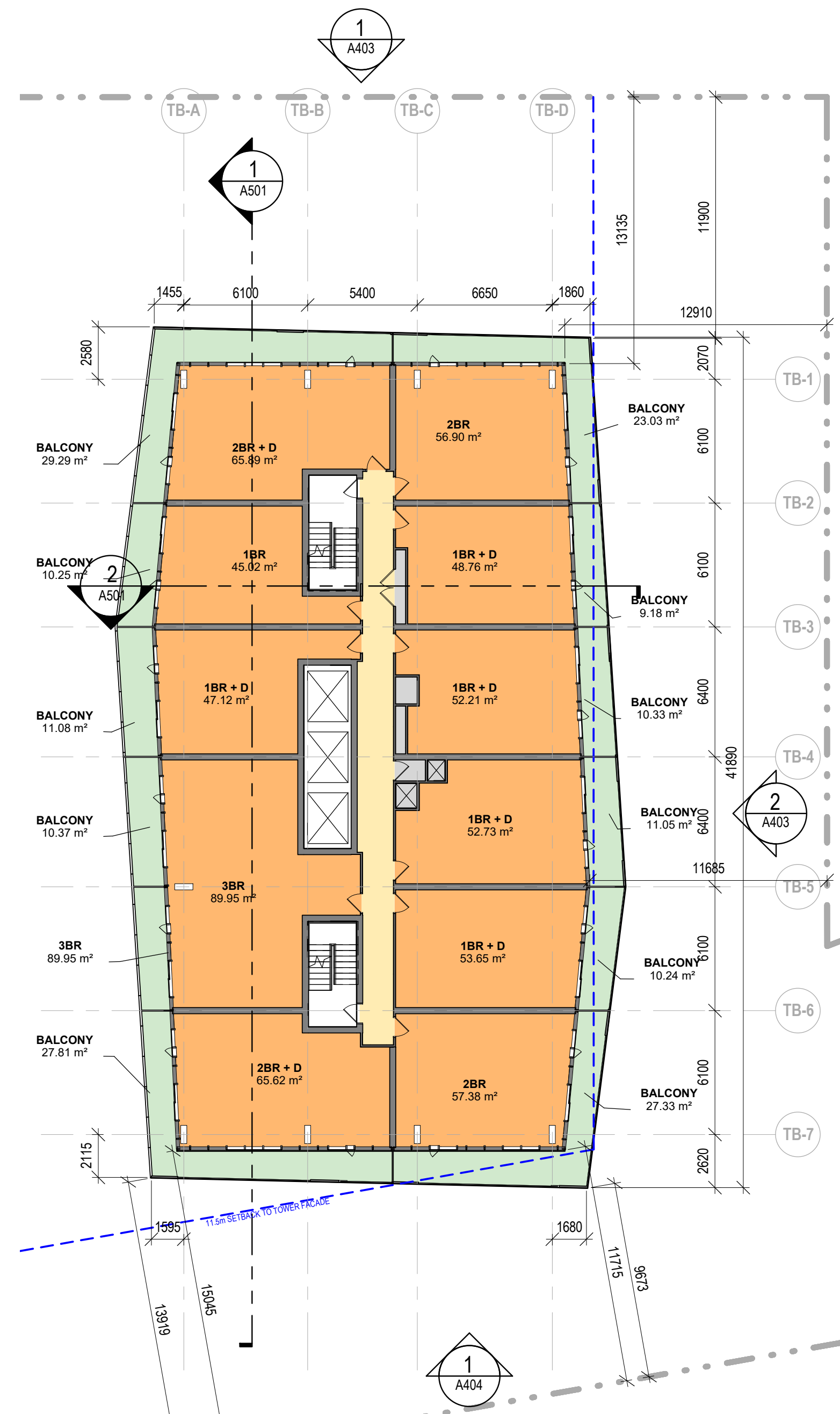
REV :  
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3 TOWER B - ROOF  
 1:200

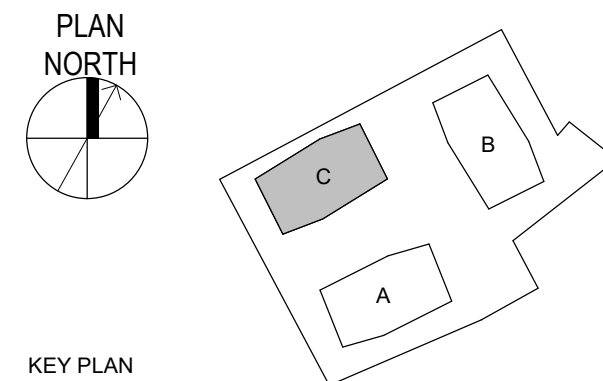


2 TOWER B - MECH. PENTHOUSE  
 1:200



1 TOWER B - LEVEL 23-30  
 1:200





KEY PLAN

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 T/613-836-0632

**Mechanical Consultant:**  
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 City Post Code  
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**Electrical Consultant:**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxxx F/xxxx.xxxx.xxxx

**WIND + NOISE CONSULTANT:**  
**Gradient Wind**  
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 Carp, K0A 1L0  
 T/613-836-0934

**LANDSCAPE ARCHITECT:**  
**J. Lennox and Associates**  
 3332 Carling Ave  
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**SITE SERVICES/CIVIL ENGINEER:**  
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OWNER:

**BAYVIEW GROUP**  
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 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

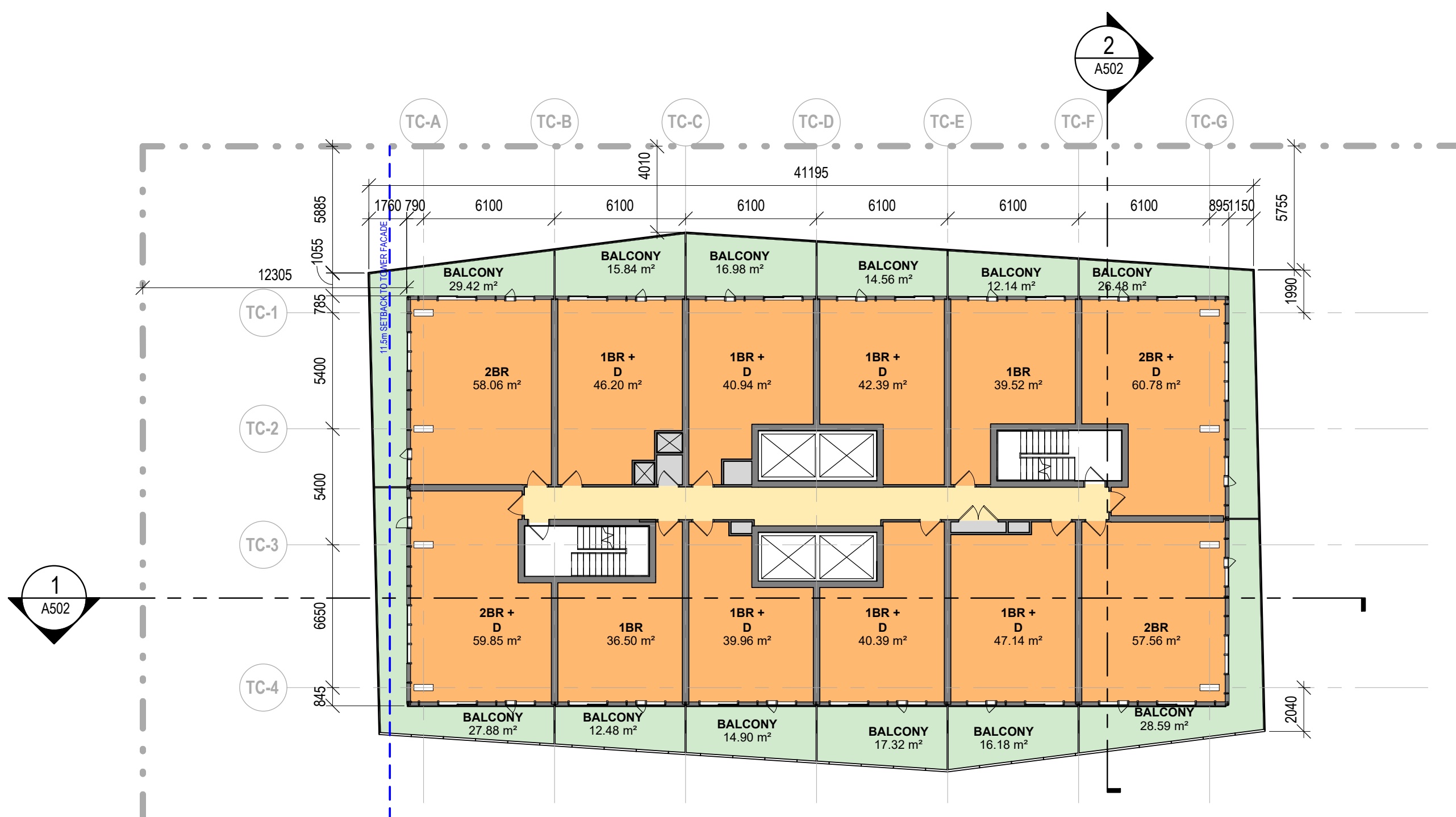
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**TOWER C LEVELS 3-15**

PROJECT NUMBER:  
**2211080**

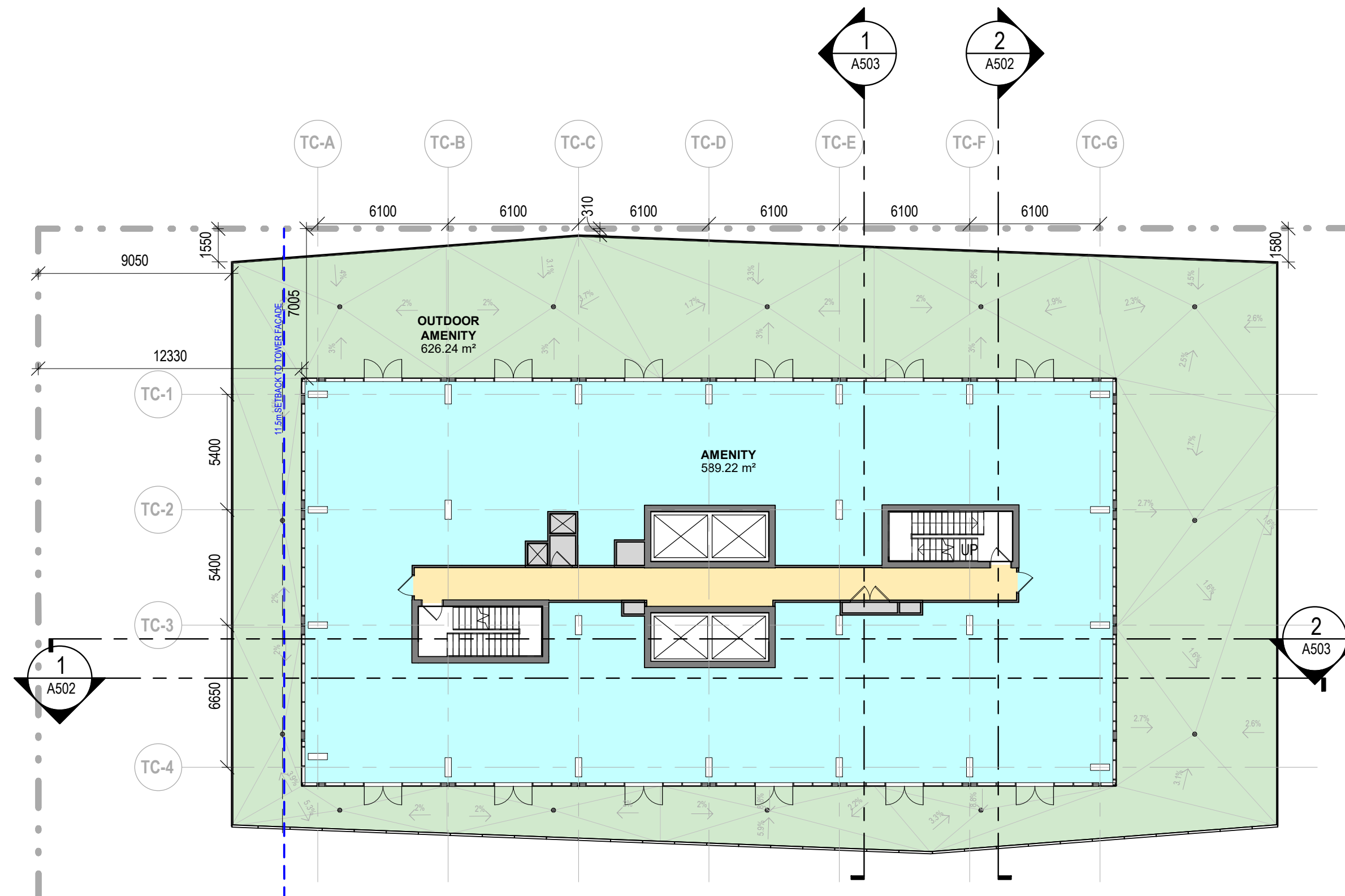
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DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 02/14/23

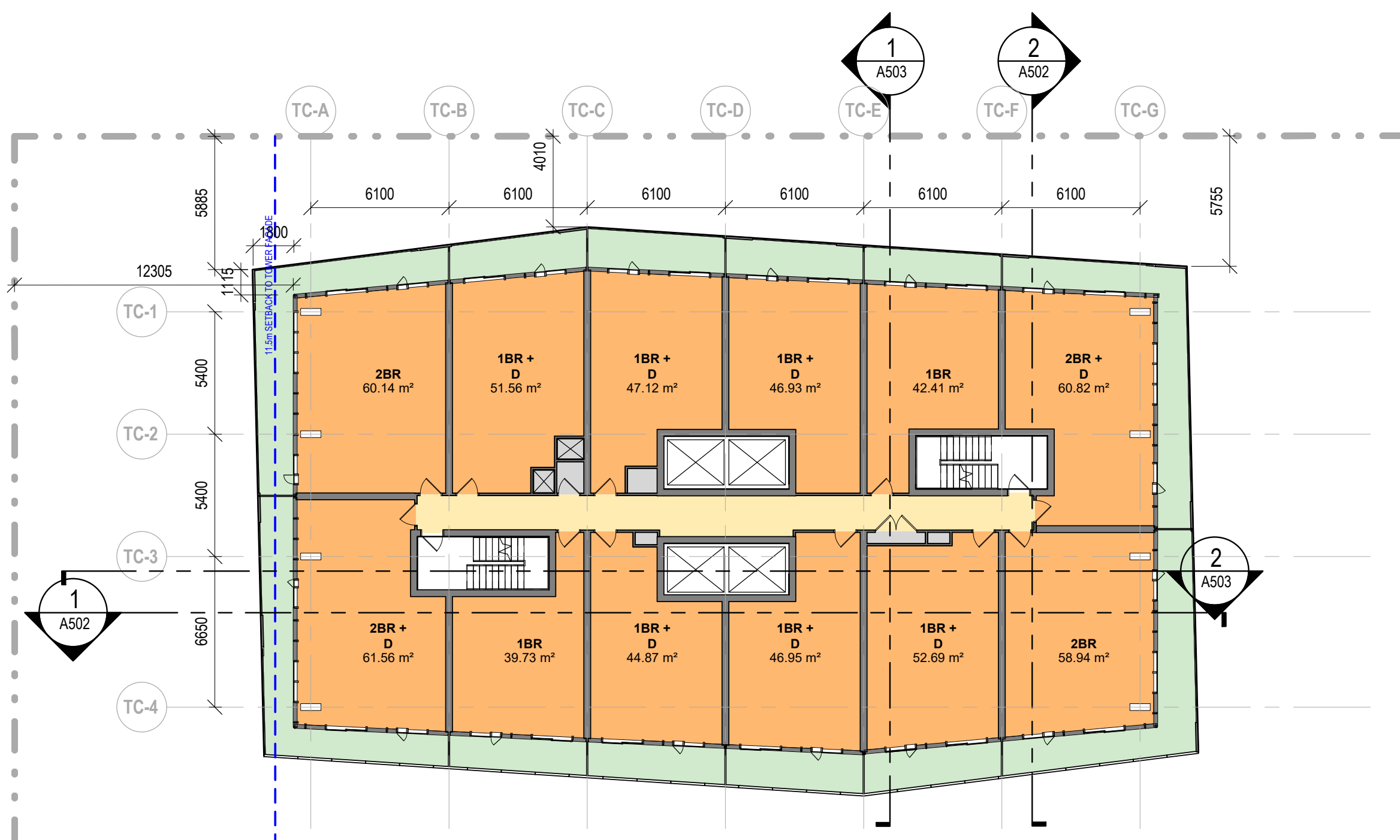
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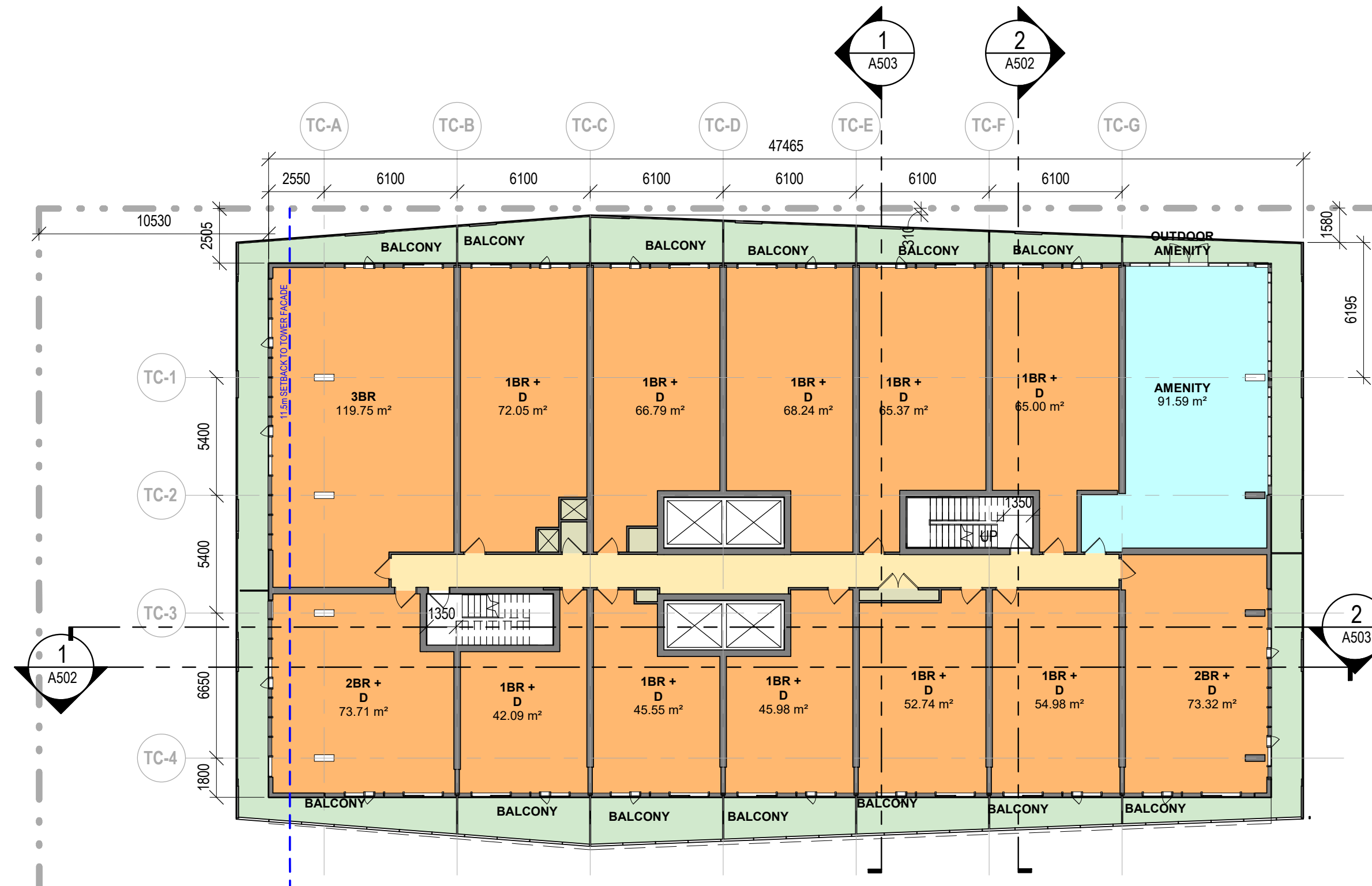
4 TOWER C (BRISEBOIS) - LEVEL 15  
 1:200



2 TOWER C (BRISEBOIS) - LEVEL 4  
 1:200

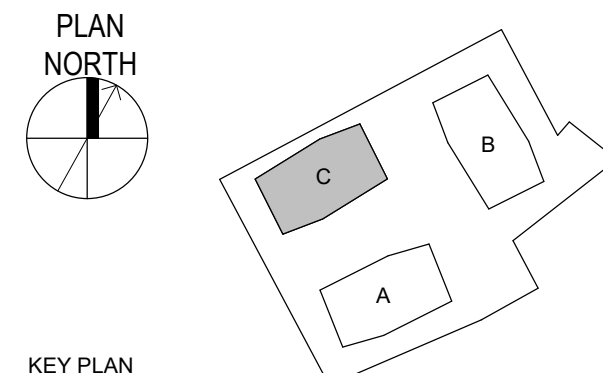


3 TOWER C (BRISEBOIS) - LEVEL 5-14  
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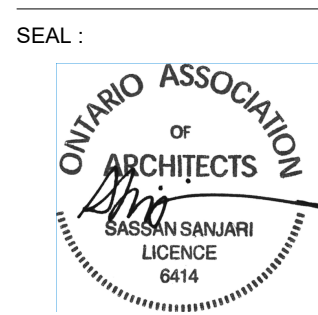
1 TOWER C (BRISEBOIS) - LEVEL 3  
 1:200





REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A5  
 T/416.596.2299 F/416.586.0599



STRUCTURAL ENGINEER:  
**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER:  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxxx F/xxxx.xxxx.xxxx

ELECTRICAL ENGINEER:  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxxx F/xxxx.xxxx.xxxx

WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT:  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean, K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:  
**McIntosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184

PLANNING CONSULTANT:  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa, K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT:  
**CGH**  
 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623

OWNER:  
**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

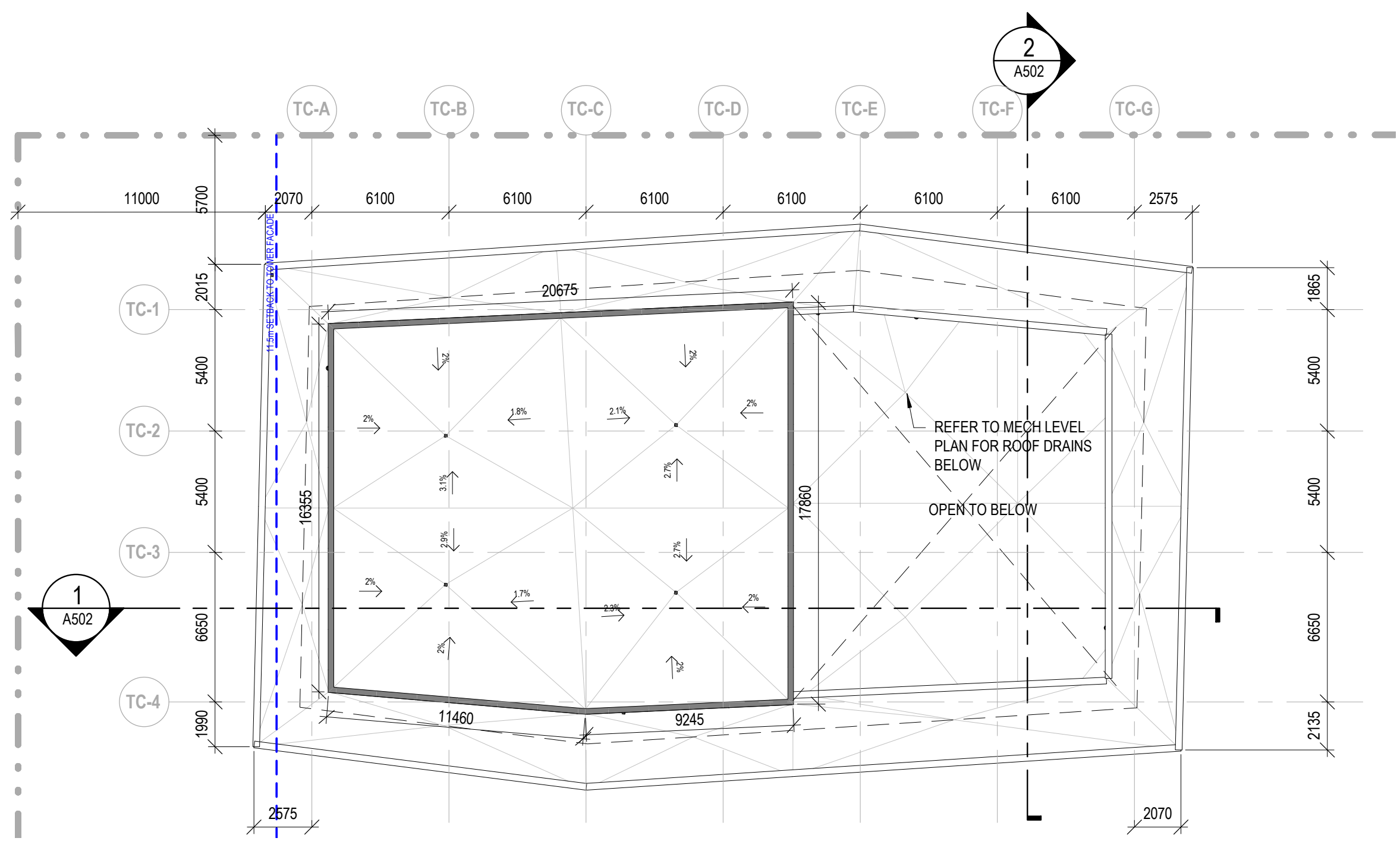
SHEET CONTENTS:  
**TOWER C LEVELS 16-ROOF**

PROJECT NUMBER:  
**2211080**

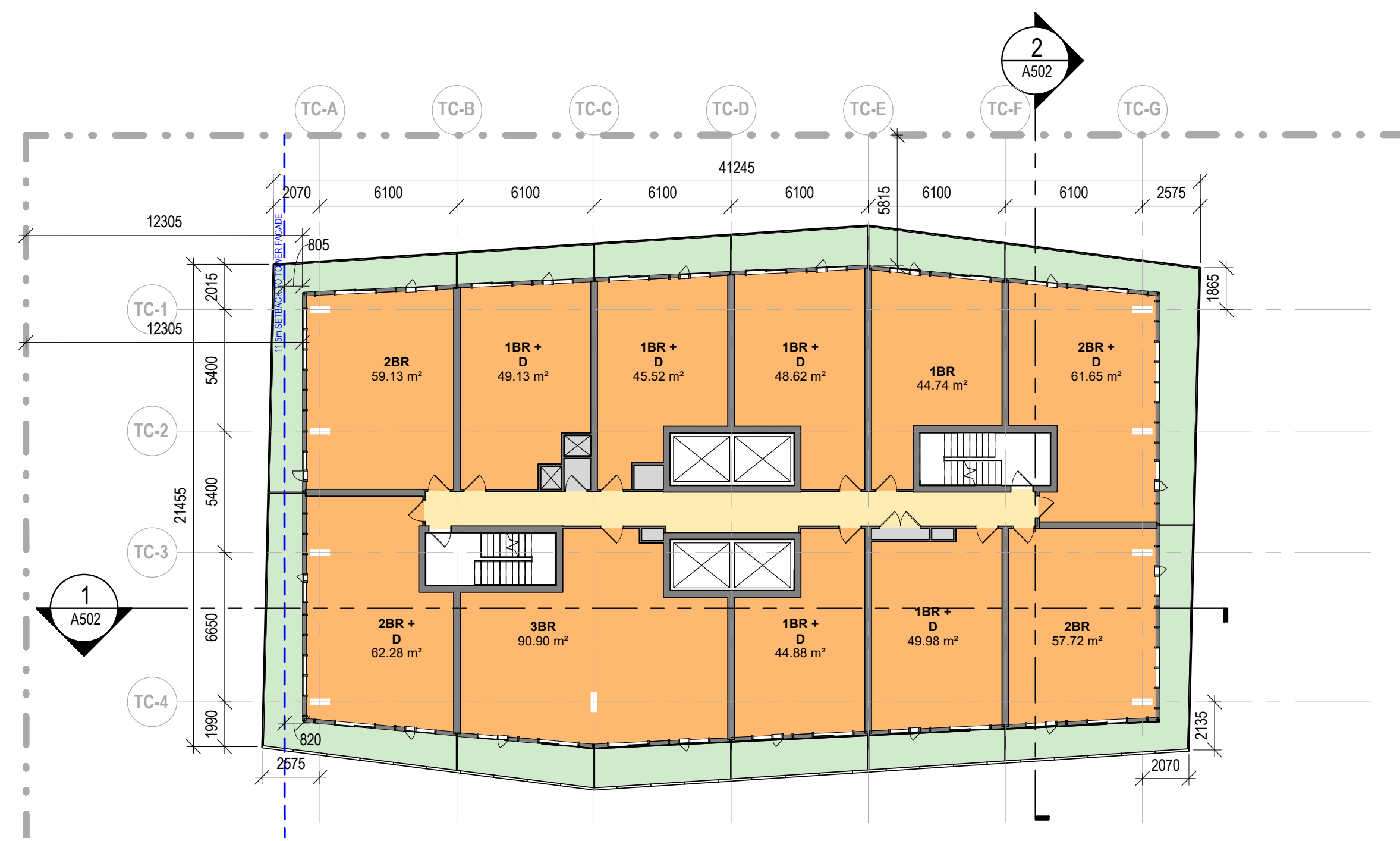
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**1 : 200**

DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 02/14/23

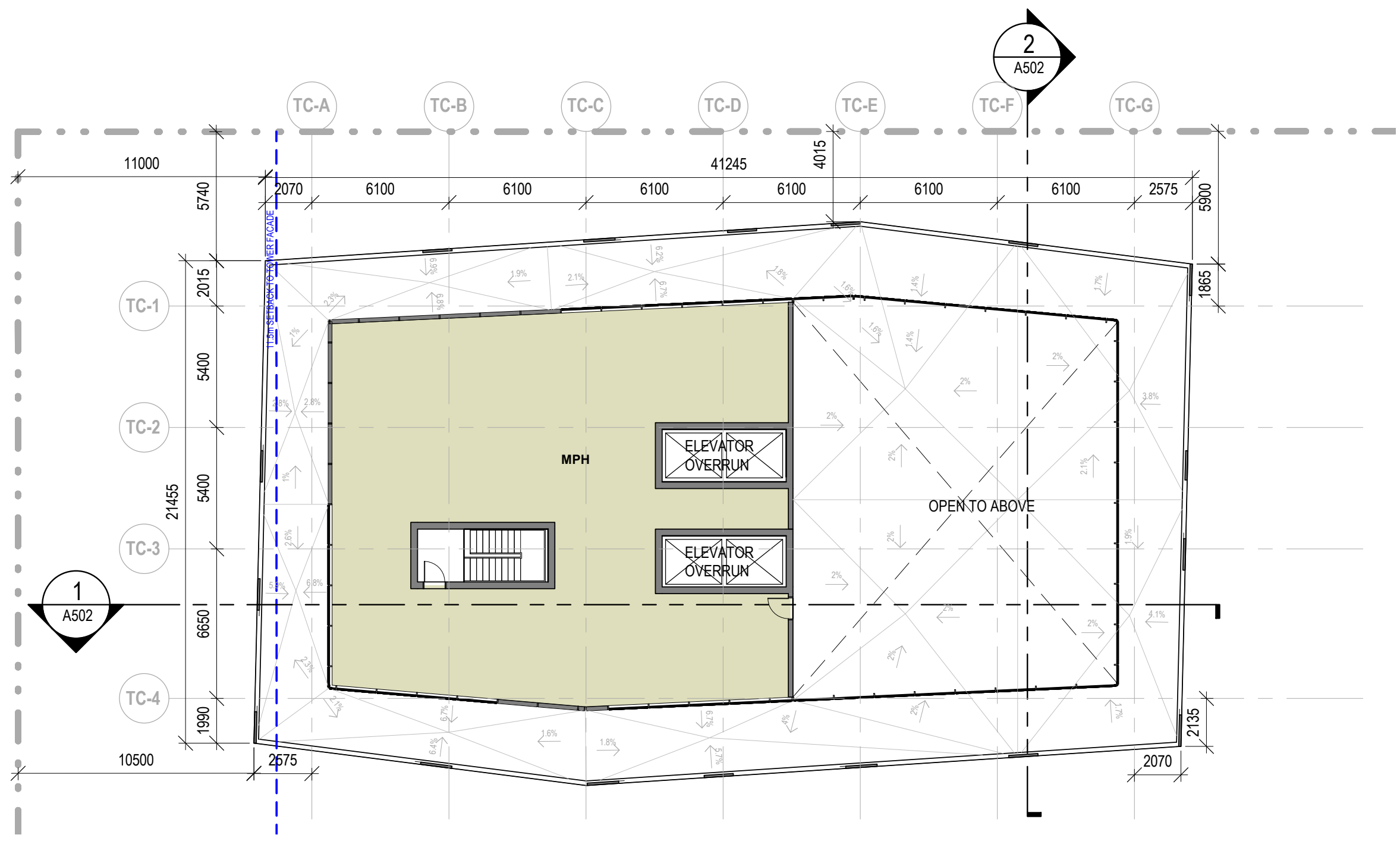
SHEET NO.: **A212**  
 REV: **1**



3 TOWER C (BRISEBOIS) - ROOF  
 1:200



4 TOWER C (BRISEBOIS) - LEVEL 17 - 0  
 1:200



2 TOWER C (BRISEBOIS) - MECH. PENTHOUSE  
 1:200

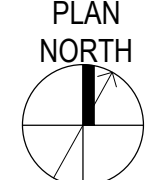


1 TOWER C (BRISEBOIS) - LEVEL 16  
 1:200



**MATERIAL LEGEND**

- VG-01A**  
PODIUM VISION GLASS (BIRD FRIENDLY)- CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**  
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**  
RES TOWER VISION GLASS - CLEAR IGU WITH LOWE E COATIN - SOLARBAN 67 ON ACUITY
- SG-02A**  
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**  
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**  
RES TOWER CLEAR TEMPERED GLASS GUARD
  
- WD-01**  
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
  
- MT-01**  
FLAT METAL PANEL - DARK GREY
- MT-02**  
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**  
METAL PANEL PERFORATED- CLEAR ANODIZED
- MT-04**  
METAL PANEL - BRONZE ANODIZED
- MT-05**  
METAL GUARD (TYP)
- LV**  
ARCHITECTURAL METAL LOUVRES
  
- STL-01**  
CANOPY STEEL
  
- CP-01**  
CAST-IN-PLACE CONCRETE



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H** **B+H Architects**  
 320 Bay Street, Suite 200  
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SEAL :



STRUCTURAL ENGINEER :  
**Art Engineering**  
 171 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER :  
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WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
**J. Lennox and Associates**  
 3332 Carling Ave  
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SITE SERVICES/CIVIL ENGINEER :  
**Mcintosh Perry**  
 115 Walgreen Rd  
 Carp K0A 1L0  
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PLANNING CONSULTANT :  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :  
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 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**MATERIAL BOARD**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 250**

DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **03/15/23**

SHEET NO : **A400** REV : **1**

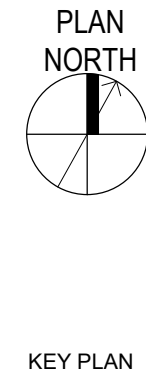




CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.

**MATERIAL LEGEND**

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PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**  
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**  
RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATING - SOLARBAN 67 ON ACUITY
- SG-02A**  
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**  
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**  
RES TOWER CLEAR TEMPERED GLASS GUARD
- WD-01**  
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
- MT-01**  
FLAT METAL PANEL - DARK GREY
- MT-02**  
METAL PANEL BENT/CORRUGATED - DARK GREY
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METAL PANEL PERFORATED - CLEAR ANODIZED
- MT-04**  
METAL PANEL - BRONZE ANODIZED
- MT-05**  
METAL GUARD (TYP)
- LV**  
ARCHITECTURAL METAL LOUVRES
- STL-01**  
CANOPY STEEL
- CP-01**  
CAST-IN-PLACE CONCRETE



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**Mechanical Consultant**  
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- OWNER :

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T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS :  
**TOWER A ELEVATIONS**

PROJECT NUMBER :  
**2211080**

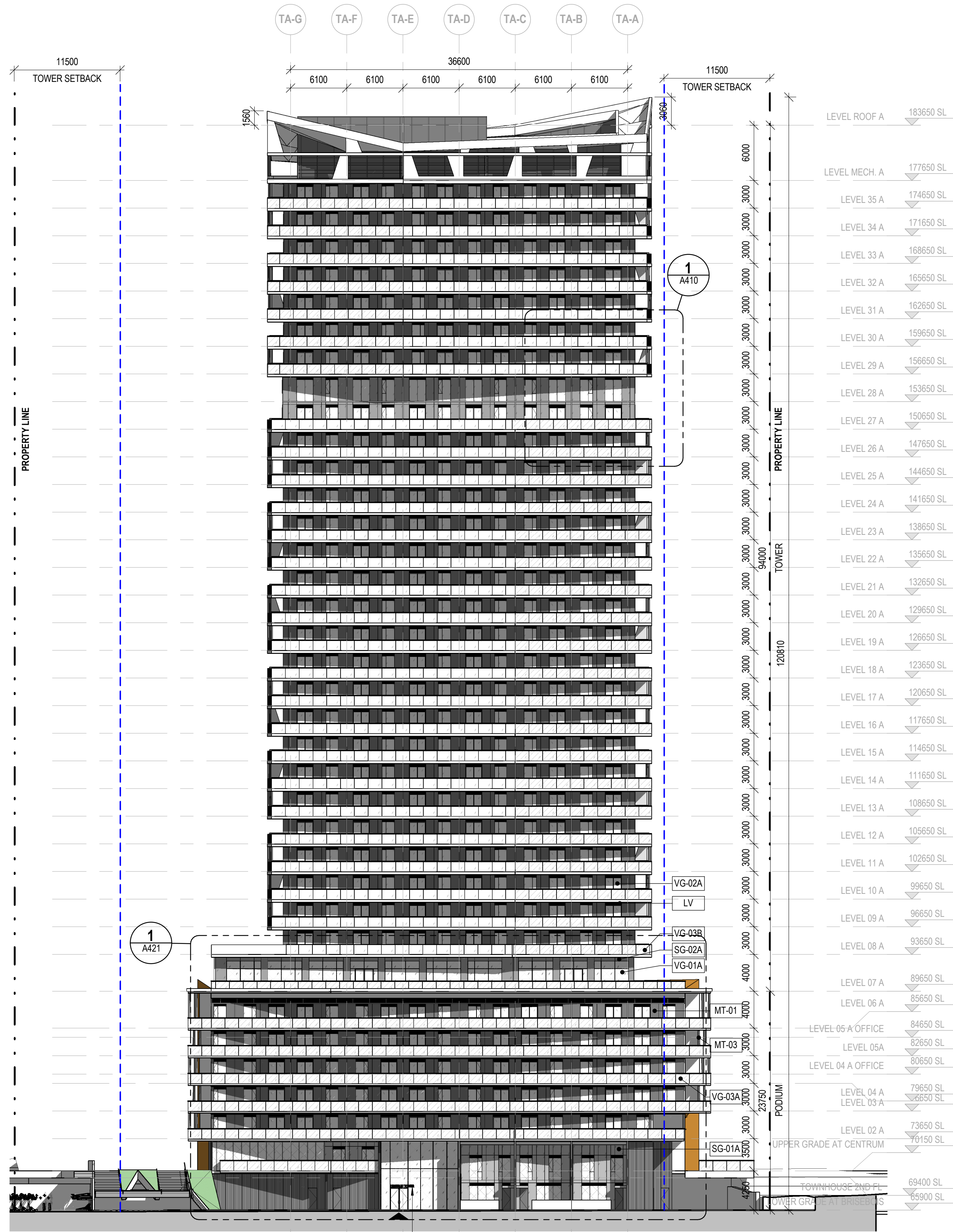
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**As indicated**

DRAWN BY : Author CHECKED BY : Checker DATE: 03/01/23

SHEET NO : **A401** REV : **1**



**2 TOWER A EAST ELEVATION**  
1:300



**1 TOWER A NORTH ELEVATION**  
1:300

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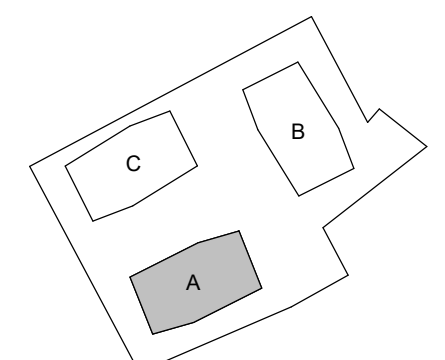


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**MATERIAL LEGEND**

- VG-01A**  
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**  
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**  
RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATING - SOLARBAN 67 ON ACUITY
- SG-02A**  
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**  
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**  
RES TOWER CLEAR TEMPERED GLASS GUARD
- WD-01**  
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
- MT-01**  
FLAT METAL PANEL - DARK GREY
- MT-02**  
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**  
METAL PANEL PERFORATED - CLEAR ANODIZED
- MT-04**  
METAL PANEL - BRONZE ANODIZED
- MT-05**  
METAL GUARD (TYP)
- LV**  
ARCHITECTURAL METAL LOUVRES
- STL-01**  
CANOPY STEEL
- CP-01**  
CAST-IN-PLACE CONCRETE

**PLAN NORTH**



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
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- STRUCTURAL ENGINEER:**  
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- MECHANICAL ENGINEER:**  
**Mechanical Consultant**  
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City Post Code  
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- ELECTRICAL ENGINEER:**  
**Electrical Consultant**  
Street Address  
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T/xxxx.xxxx.xxxx F/xxxx.xxxx.xxxx
- WIND + NOISE CONSULTANT:**  
**Gradient Wind**  
127 Walgreen Rd  
Carp, K0A 1L0  
T/613-836-0934
- LANDSCAPE ARCHITECT:**  
**J. Lennox and Associates**  
3332 Carling Ave  
Nepean K2H 5A8  
T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:**  
**McIntosh Perry**  
115 Walgreen Rd  
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T/613-836-2184
- PLANNING CONSULTANT:**  
**Fotenn**  
396 Cooper St Suite 300  
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T/613-730-5709
- TRAFFIC CONSULTANT:**  
**CGH**  
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Nepean K2G 3Z1  
T/343-996-2623
- OWNER:

**BAYVIEW GROUP**  
108 Chestnut Street  
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**PROJECT:**  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

**SHEET CONTENTS:**  
**TOWER A ELEVATIONS**

PROJECT NUMBER:  
**2211080**

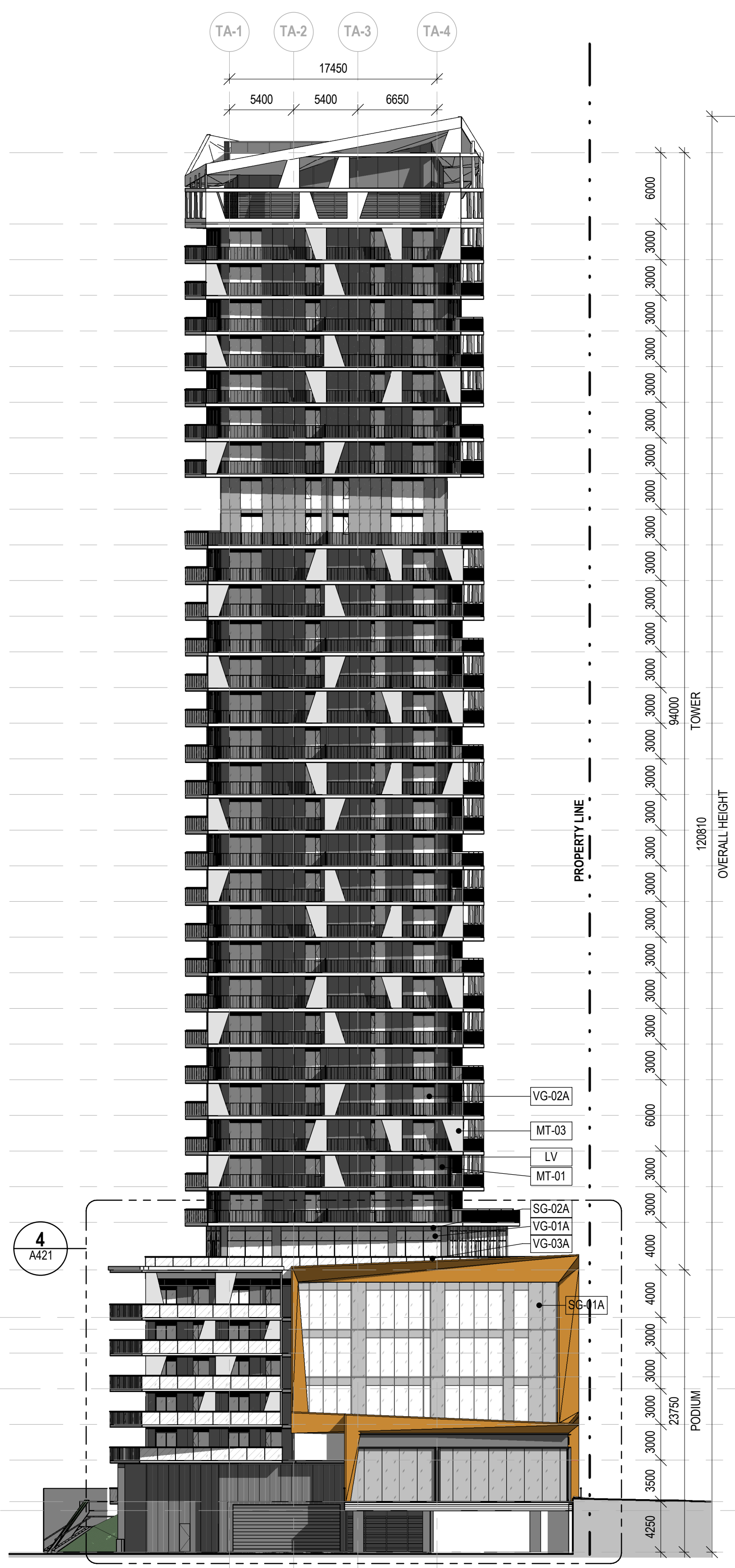
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**As indicated**

DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 03/01/23

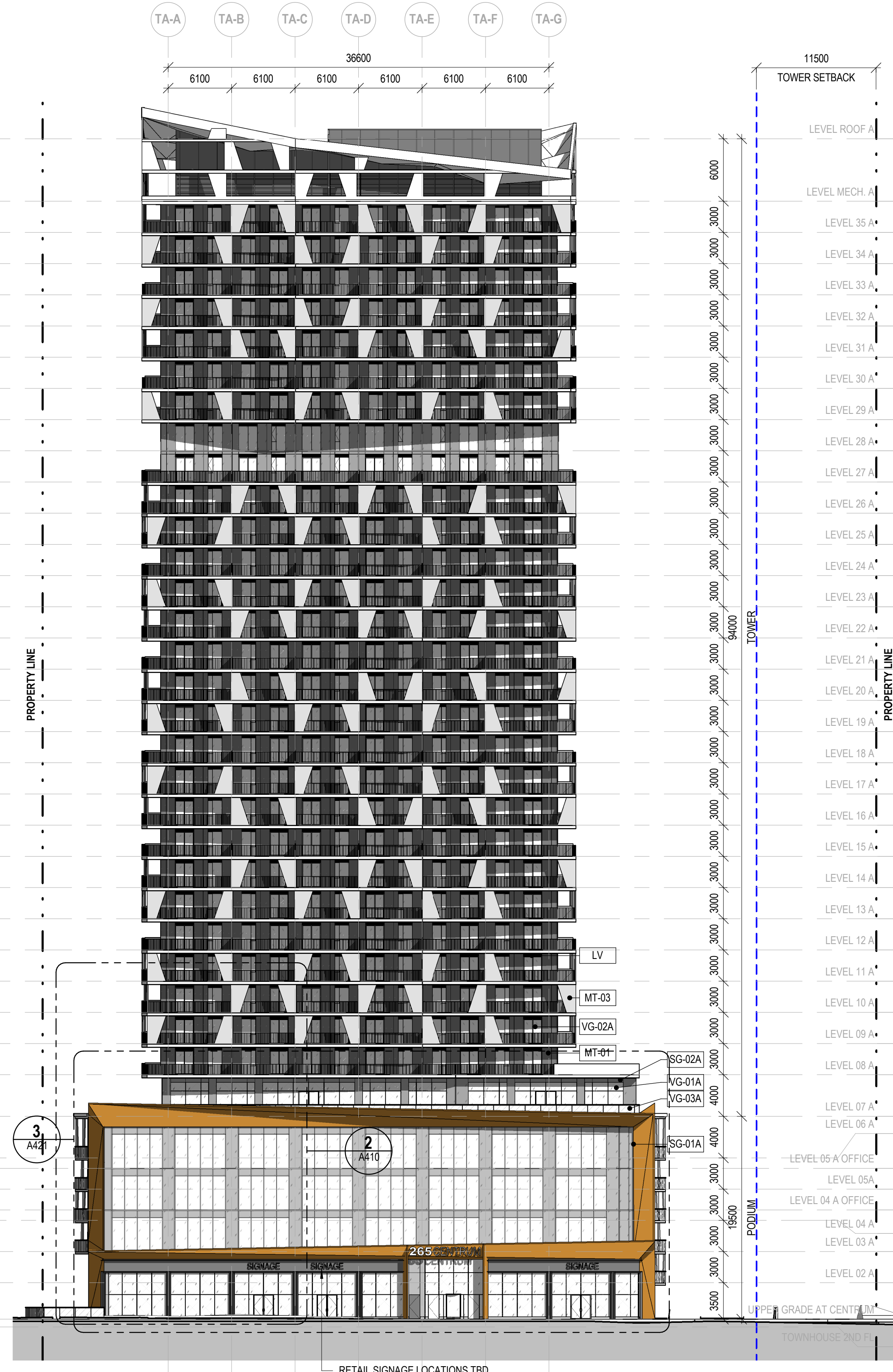
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REV: **1**

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TOWER A ELEVATIONS



**2 TOWER A WEST ELEVATION**  
1:300



**1 TOWER A SOUTH ELEVATION**  
1:300

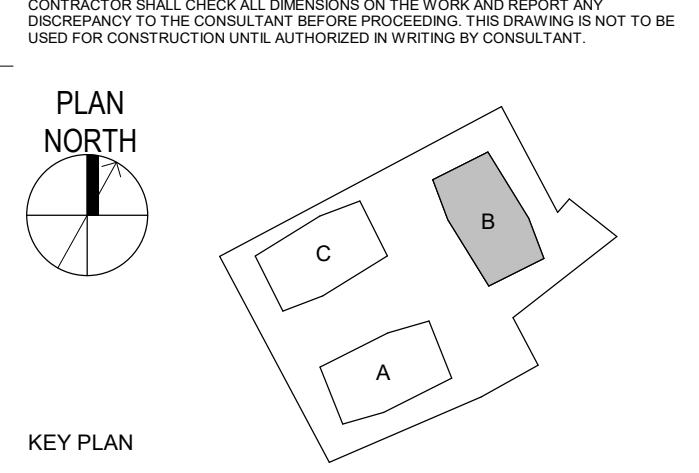
RETAIL SIGNAGE LOCATIONS TBD



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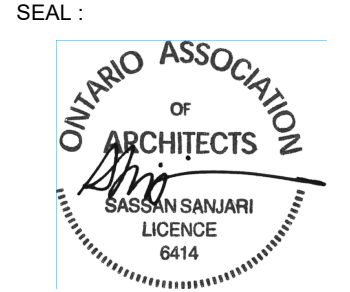
**MATERIAL LEGEND**

- VG-01A**  
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**  
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**  
RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATING - SOLARBAN 67 ON ACUITY
- SG-02A**  
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**  
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**  
RES TOWER CLEAR TEMPERED GLASS GUARD
- WD-01**  
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
- MT-01**  
FLAT METAL PANEL - DARK GREY
- MT-02**  
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**  
METAL PANEL PERFORATED - CLEAR ANODIZED
- MT-04**  
METAL PANEL - BRONZE ANODIZED
- MT-05**  
METAL GUARD (TYP)
- LV**  
ARCHITECTURAL METAL LOUVRES
- STL-01**  
CANOPY STEEL
- CP-01**  
CAST-IN-PLACE CONCRETE



REVISION		
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**Fotenn**  
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**CGH**  
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- OWNER :

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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS :  
**TOWER B ELEVATIONS**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**As indicated**

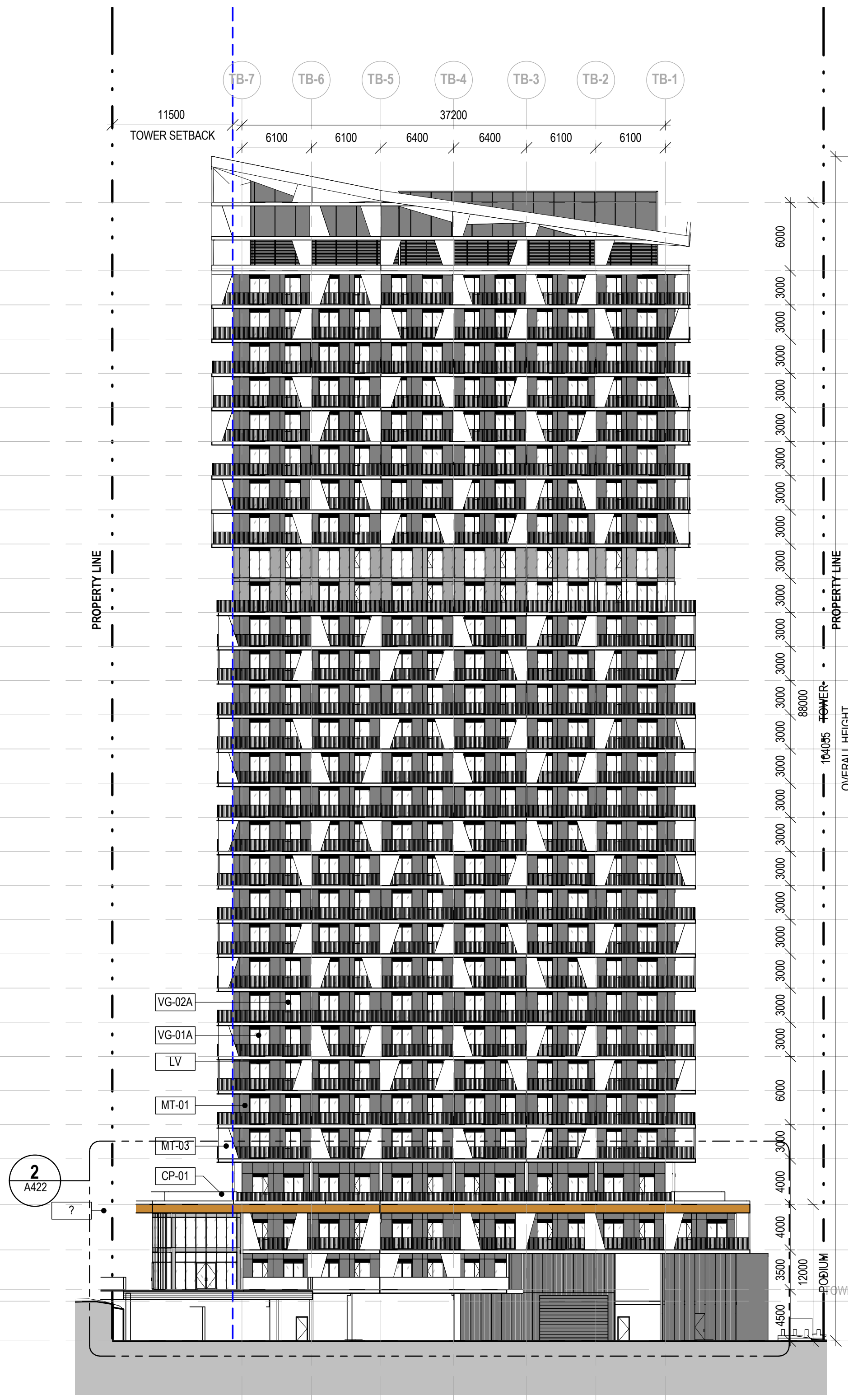
DRAWN BY :  
**Author**

CHECKED BY :  
**Checker**

DATE :  
**3/1/2023**

SHEET NO :  
**A403**

REV :  
**1**



**2 TOWER B EAST ELEVATION**  
1:300



**1 TOWER B NORTH ELEVATION**  
1:300

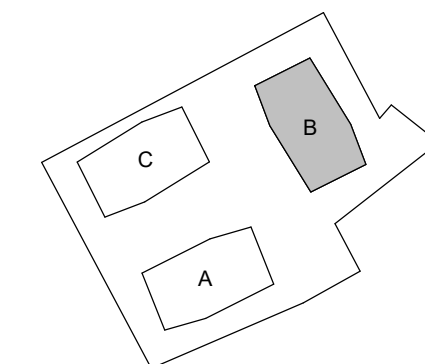


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- STL-01**  
CANOPY STEEL
- CP-01**  
CAST-IN-PLACE CONCRETE

**PLAN NORTH**

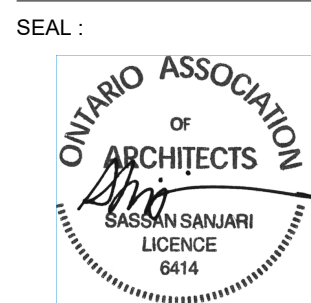


KEY PLAN

**REVISION**

NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
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OWNER:

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PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS:  
**TOWER B ELEVATIONS**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**As indicated**

As indicated

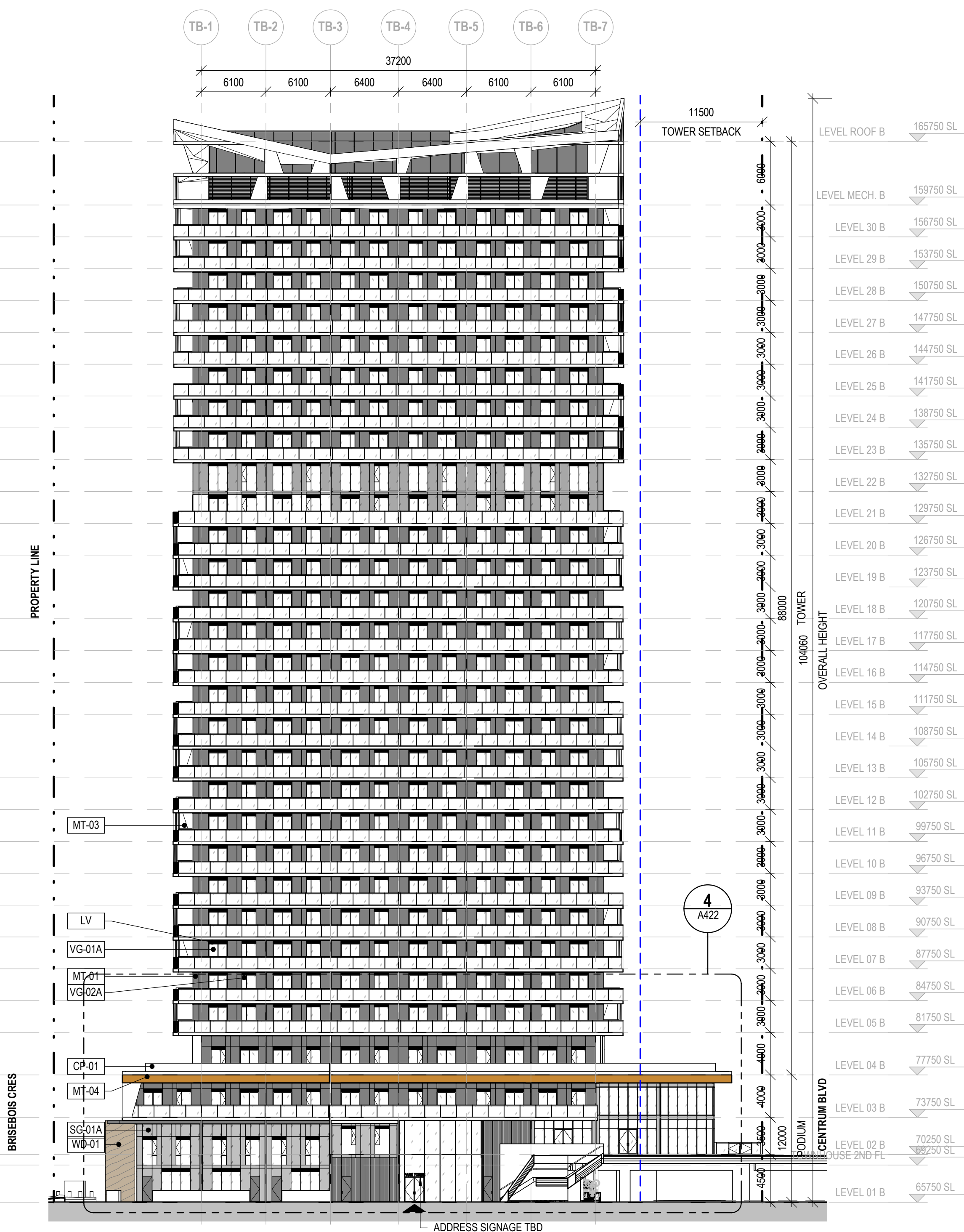
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 3/1/2023

SHEET NO: **A404**

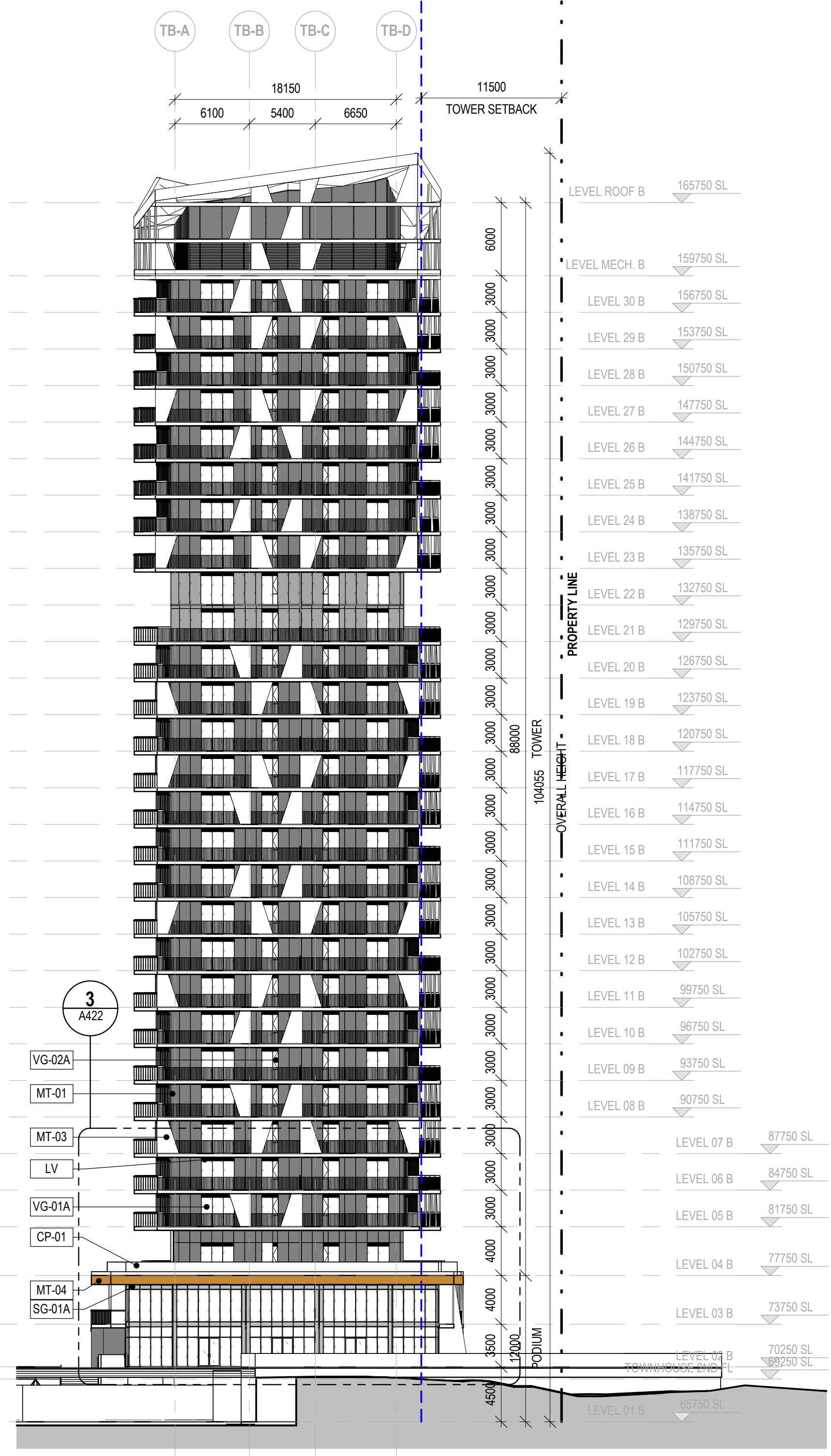
REV: **1**

BIM 360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-SITE-R2021.rvt  
TOWER B ELEVATIONS

3/24/2023 2:26:27 PM  
A404



**2 TOWER B WEST ELEVATION**  
1:300



**1 TOWER B SOUTH ELEVATION**  
1:300

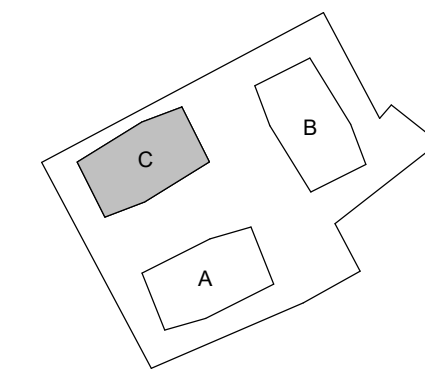


CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.

**MATERIAL LEGEND**

- VG-01A** PODIUM VISION GLASS (BIRD FRIENDLY); CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A** PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A** RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATIN - SOLARBAN 67 ON ACUITY
- SG-02A** RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A** PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B** RES TOWER CLEAR TEMPERED GLASS GUARD
- WD-01** EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
- MT-01** FLAT METAL PANEL - DARK GREY
- MT-02** METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03** METAL PANEL PERFORATED- CLEAR ANODIZED
- MT-04** METAL PANEL - BRONZE ANODIZED
- MT-05** METAL GUARD (TYP)
- LV** ARCHITECTURAL METAL LOUVRES
- STL-01** CANOPY STEEL
- CP-01** CAST-IN-PLACE CONCRETE

**PLAN NORTH**



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A6  
 T/416.596.2299 F/416.586.0599

SEAL :



STRUCTURAL ENGINEER :

**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER :

**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxxx F/xxxx.xxxx.xxxx

ELECTRICAL ENGINEER :

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WIND + NOISE CONSULTANT :

**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :

**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :

**Mcintosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184

PLANNING CONSULTANT :

**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :

**CGH**  
 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**

108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :

**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :

**TOWER C ELEVATIONS**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**As indicated**

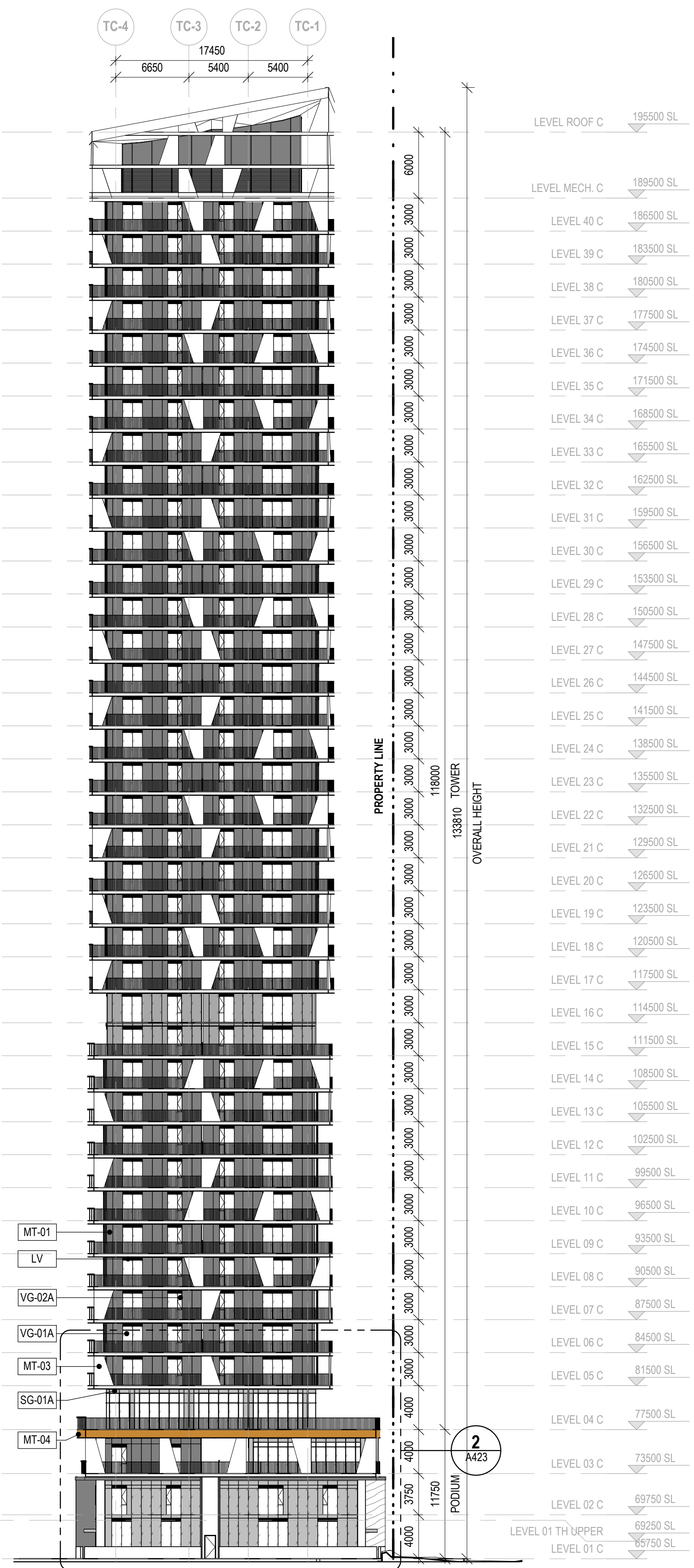
DRAWN BY :  
**Author**

CHECKED BY :  
**Checker**

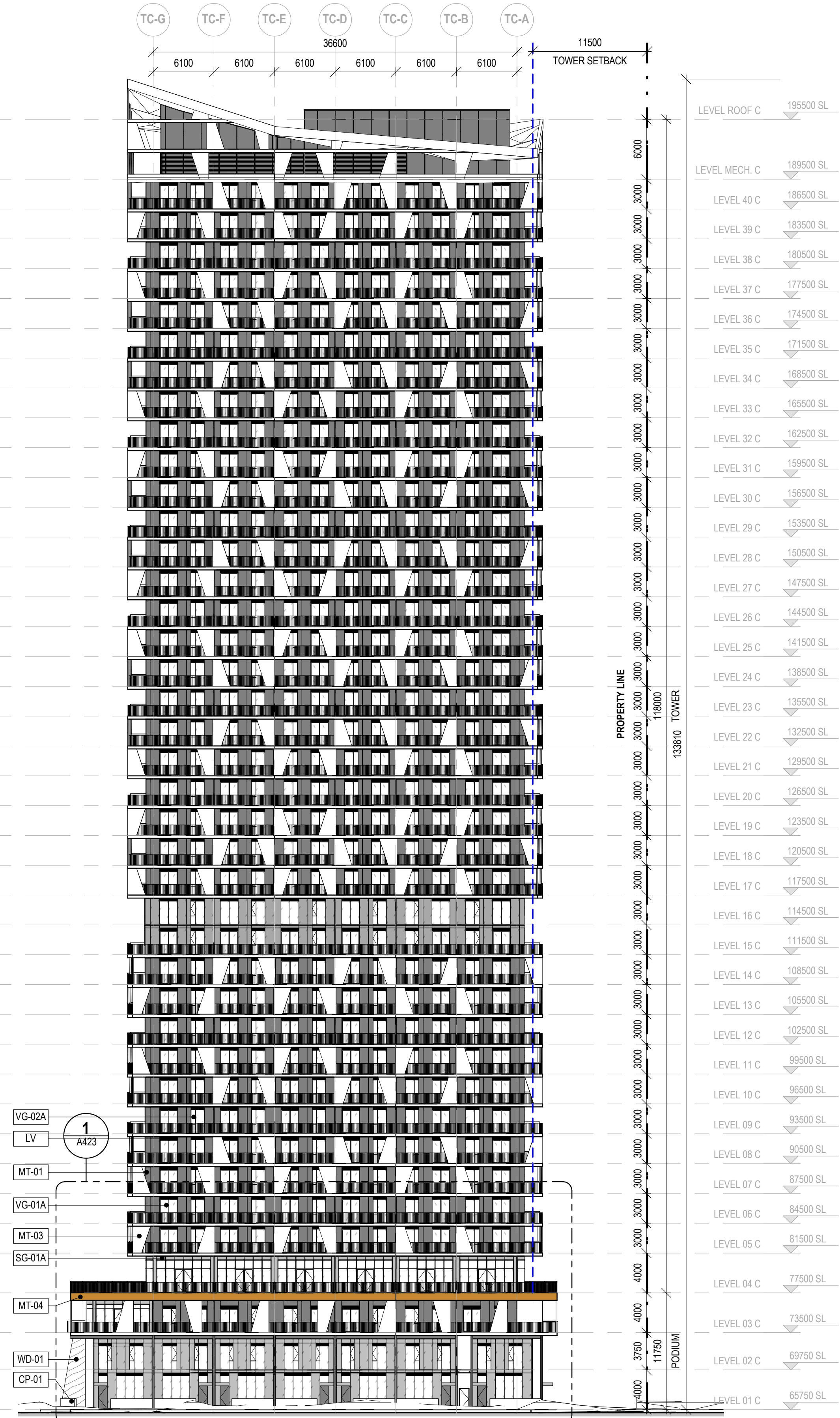
DATE :  
**3/1/2023**

SHEET NO :  
**A405**

REV :  
**1**



**2 TOWER C EAST ELEVATION**  
 1:300



**1 TOWER C NORTH ELEVATION**  
 1:300

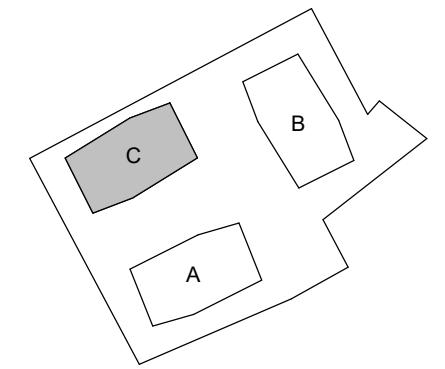
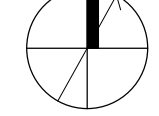


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**MATERIAL LEGEND**

- VG-01A**  
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**  
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- VG-02A**  
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METAL PANEL - BRONZE ANODIZED
- MT-05**  
METAL GUARD (TYP)
- LV**  
ARCHITECTURAL METAL LOUVRES
- STL-01**  
CANOPY STEEL
- CP-01**  
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**PLAN NORTH**



KEY PLAN

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1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

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- WIND + NOISE CONSULTANT :**  
**Gradient Wind**  
127 Walgreen Rd  
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- LANDSCAPE ARCHITECT :**  
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- OWNER :**

**BAYVIEW GROUP**  
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**PROJECT :**  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

**SHEET CONTENTS :**  
**TOWER C ELEVATIONS**

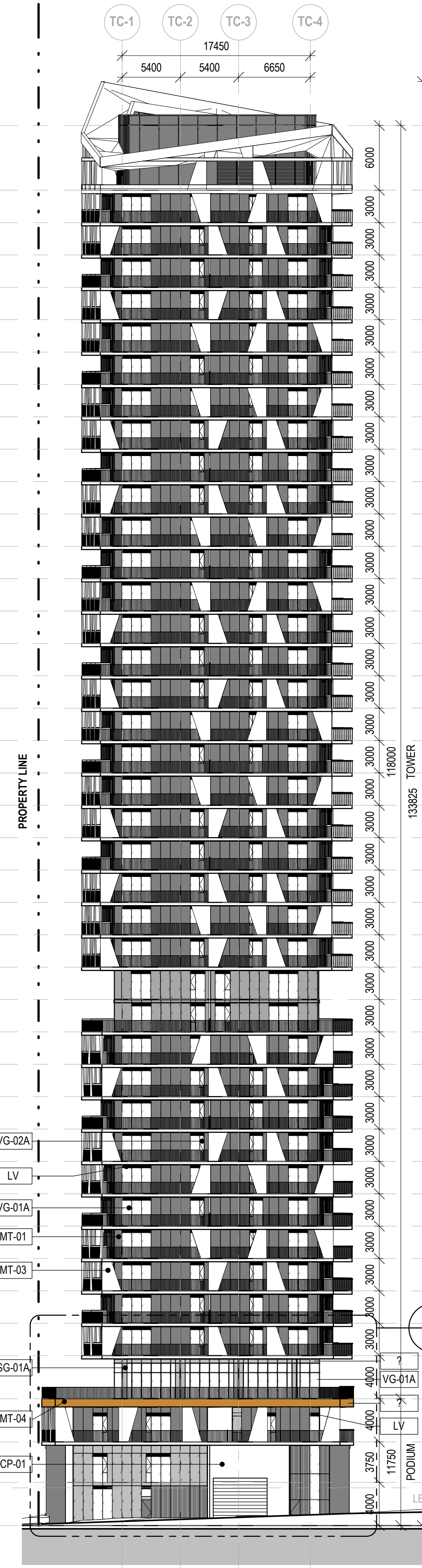
**PROJECT NUMBER :**  
**2211080**

**DRAWING SCALE :**  
**As indicated**

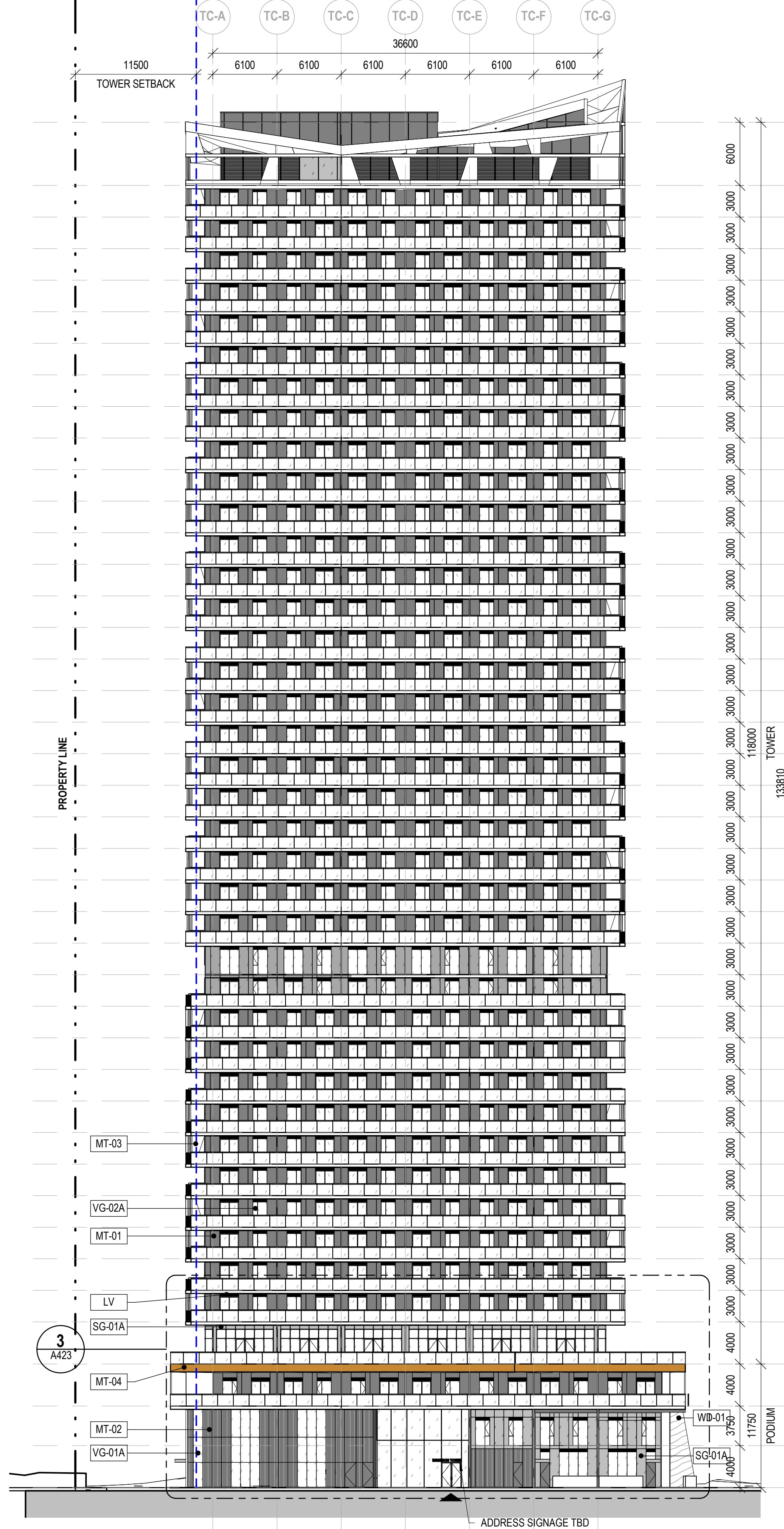
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**2 TOWER C WEST ELEVATION**  
1:300



**1 TOWER C SOUTH ELEVATION**  
1:300





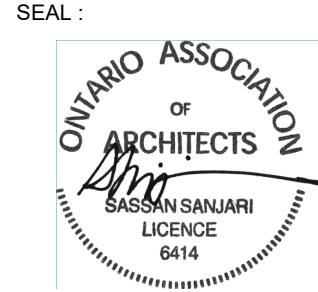
KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**MATERIAL LEGEND**

- VG-01A**  
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- SG-01A**  
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OWNER :

**BAYVIEW GROUP**  
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PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS :  
**ENLARGED COLOURED ELEVATIONS**

PROJECT NUMBER :  
**2211080**

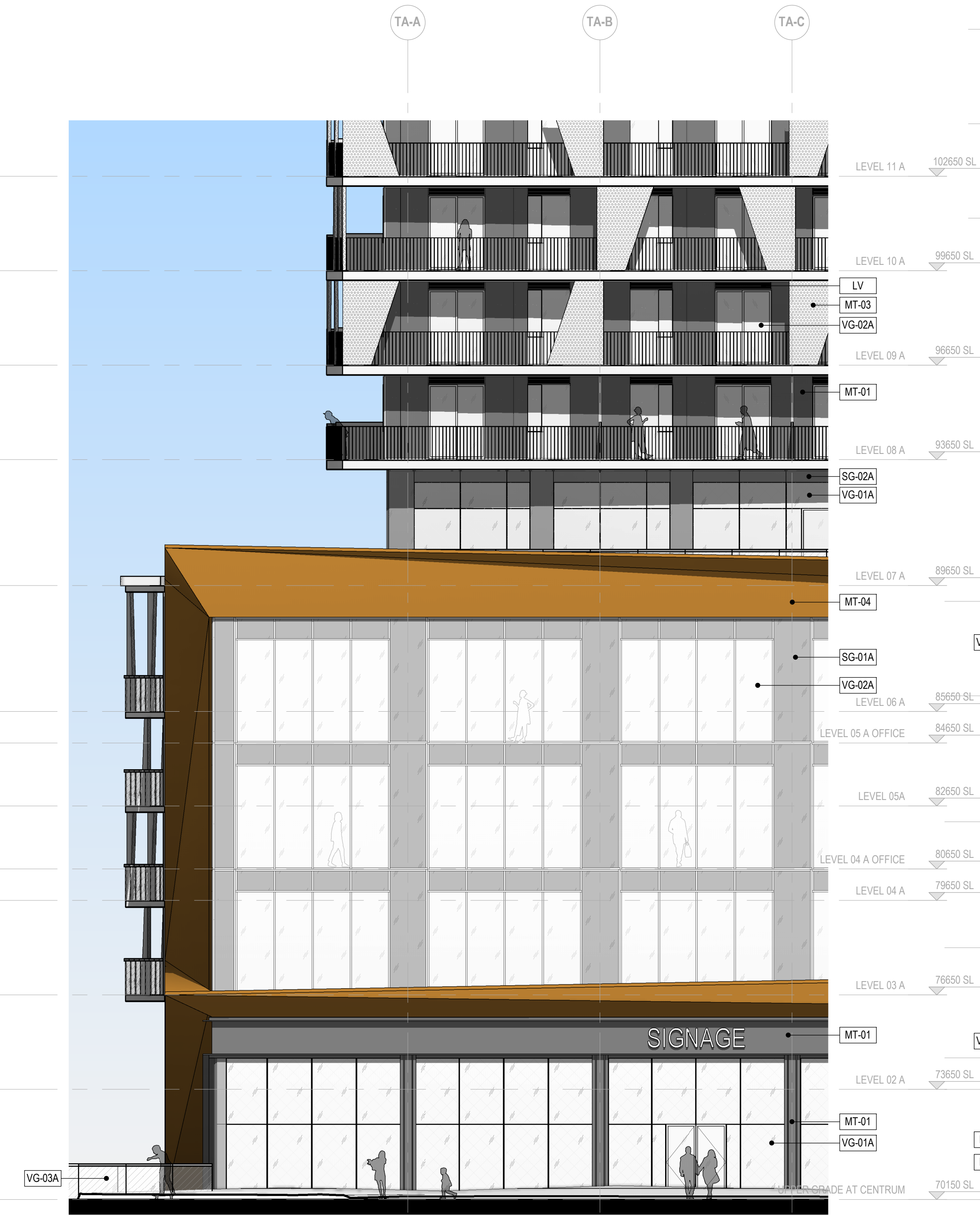
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**As indicated**

DRAWN BY : CA CHECKED BY : Checker DATE: 03/20/23

SHEET NO : **A410** REV : **1**



**1 A4 COLOUR ELEVATION - INTERIOR TOWER SIDE**  
1:100



**2 A4 COLOUR ELEVATION - OFFICE**  
1:100



**3 A4 COLOUR ELEVATION - TOWNHOUSE**  
1:100



### TOWER A (CENTRUM)

### BIRD FRIENDLY GLAZING TOWER B (PARK)

### TOWER C (BRISEBOIS)

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	657.4 m <sup>2</sup>	827.2 m <sup>2</sup>	477.7 m <sup>2</sup>	421.4 m <sup>2</sup>	<b>2383.7 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	657.4 m <sup>2</sup>	827.2 m <sup>2</sup>	477.7 m <sup>2</sup>	421.4 m <sup>2</sup>	<b>2383.7 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	77.3 m <sup>2</sup>	238.9 m <sup>2</sup>	97.8 m <sup>2</sup>	206.6 m <sup>2</sup>	<b>620.6 m<sup>2</sup></b>	26%
Visual Markers (m2)	424.8 m <sup>2</sup>	588.3 m <sup>2</sup>	348.4 m <sup>2</sup>	214.7 m <sup>2</sup>	<b>1576.3 m<sup>2</sup></b>	66%
Shaded (m2)	155.3 m <sup>2</sup>	0.0 m <sup>2</sup>	31.5 m <sup>2</sup>	30.4 m <sup>2</sup>	<b>217.1 m<sup>2</sup></b>	9%

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	150.2 m <sup>2</sup>	168.2 m <sup>2</sup>	73.3 m <sup>2</sup>	81.7 m <sup>2</sup>	<b>473.4 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	150.2 m <sup>2</sup>	168.2 m <sup>2</sup>	73.3 m <sup>2</sup>	81.7 m <sup>2</sup>	<b>473.4 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	35.6 m <sup>2</sup>	33.6 m <sup>2</sup>	17.7 m <sup>2</sup>	11.9 m <sup>2</sup>	<b>98.7 m<sup>2</sup></b>	21%
Visual Markers (m2)	114.5 m <sup>2</sup>	134.6 m <sup>2</sup>	55.7 m <sup>2</sup>	69.8 m <sup>2</sup>	<b>374.7 m<sup>2</sup></b>	79%
Shaded (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%

\* Include this section only when applicable and provide relevant floor numbers for reference

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	154.4 m <sup>2</sup>	262.0 m <sup>2</sup>	140.1 m <sup>2</sup>	404.6 m <sup>2</sup>	<b>961.0 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	154.4 m <sup>2</sup>	262.0 m <sup>2</sup>	140.1 m <sup>2</sup>	404.6 m <sup>2</sup>	<b>961.0 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	93.9 m <sup>2</sup>	65.0 m <sup>2</sup>	7.6 m <sup>2</sup>	103.1 m <sup>2</sup>	<b>269.5 m<sup>2</sup></b>	28%
Visual Markers (m2)	34.3 m <sup>2</sup>	155.9 m <sup>2</sup>	76.3 m <sup>2</sup>	301.5 m <sup>2</sup>	<b>568.1 m<sup>2</sup></b>	59%
Shaded (m2)	26.1 m <sup>2</sup>	41.1 m <sup>2</sup>	56.2 m <sup>2</sup>	27.5 m <sup>2</sup>	<b>150.9 m<sup>2</sup></b>	16%

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Untreated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Treated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Visual Markers (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Shaded (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	

\* Include this section only when applicable and provide relevant floor numbers for reference

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	420.2 m <sup>2</sup>	467.6 m <sup>2</sup>	218.9 m <sup>2</sup>	145.1 m <sup>2</sup>	<b>1251.7 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	420.2 m <sup>2</sup>	467.6 m <sup>2</sup>	218.9 m <sup>2</sup>	145.1 m <sup>2</sup>	<b>1251.7 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	164.9 m <sup>2</sup>	123.8 m <sup>2</sup>	102.3 m <sup>2</sup>	61.2 m <sup>2</sup>	<b>452.1 m<sup>2</sup></b>	36%
Visual Markers (m2)	196.6 m <sup>2</sup>	317.7 m <sup>2</sup>	111.5 m <sup>2</sup>	70.8 m <sup>2</sup>	<b>696.5 m<sup>2</sup></b>	56%
Shaded (m2)	58.7 m <sup>2</sup>	26.1 m <sup>2</sup>	5.0 m <sup>2</sup>	13.1 m <sup>2</sup>	<b>103.0 m<sup>2</sup></b>	8%

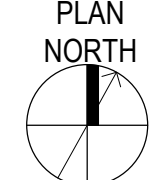
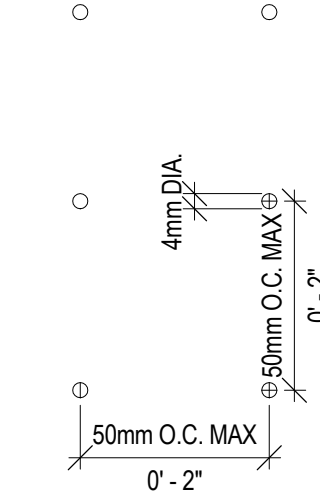
  

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Untreated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Treated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Visual Markers (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Shaded (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	

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#### GLASS FRIT PATTERN

- LOW REFLECTANCE MATERIALS (<15% REFLECTANCE OPAQUE GLASS)
- VISIBLE MARKERS (FRIT PATTERN)
- VISIBLE MARKERS (FRIT PATTERN AT ROOF TERRACE/GREEN ROOF)
- SHADED AREA (BALCONY/CANOPY OVERHANG)



KEY PLAN

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#### CITY OF OTTAWA BIRD-SAFE GUIDELINES

Treatments should be applied to a minimum of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.

Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m from the surface of the roof or terrace or the height of the adjacent mature vegetation, whichever is greater.

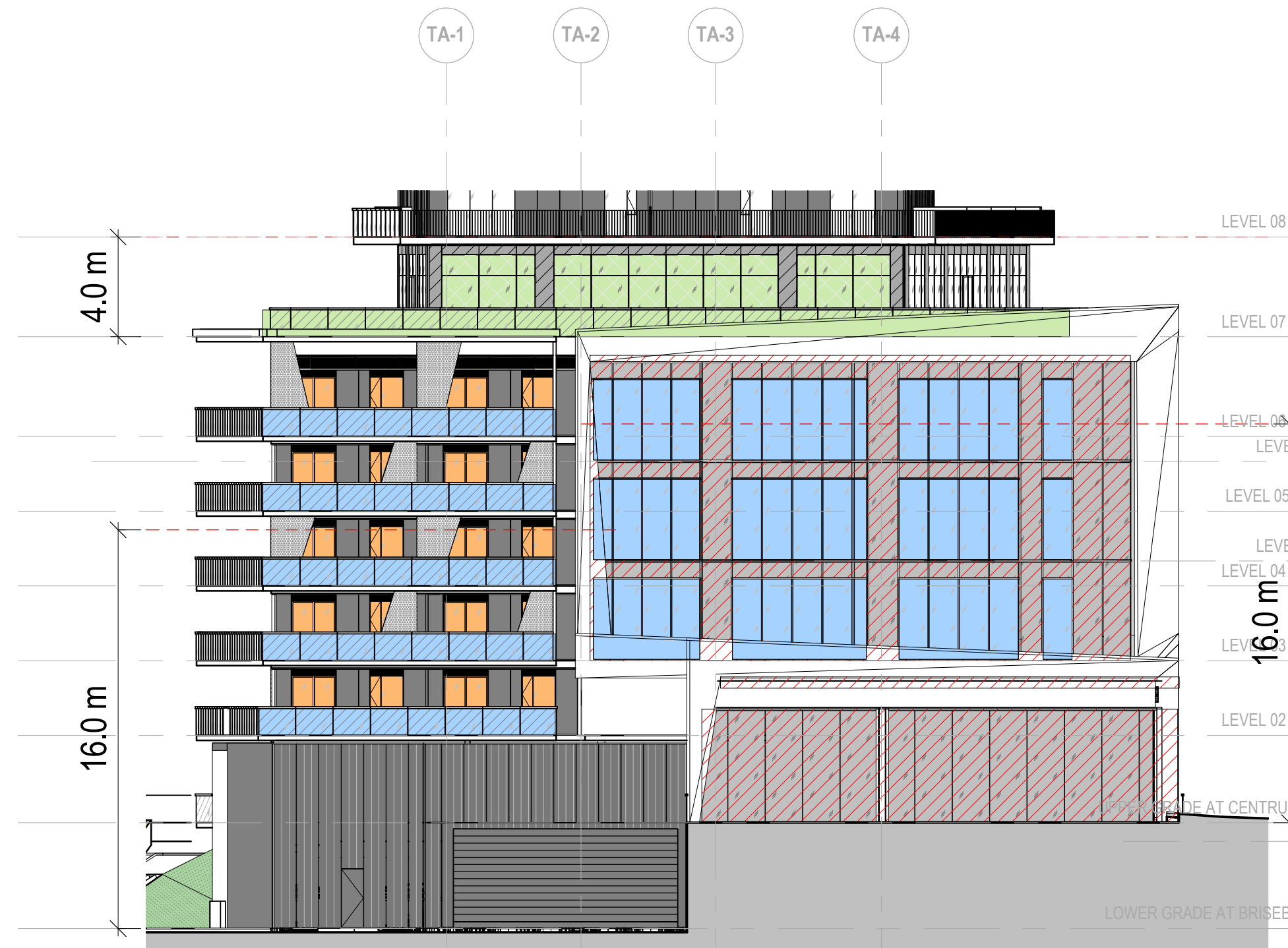
In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

- Specifications for effective visual markers:
- High colour contrast to the glass surface.
  - Must be applied to the exterior (first) surface of the glass.
  - Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used.
  - Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

**B+H Architects**  
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- PLANNING CONSULTANT:  
**Fotenn**  
396 Cooper St Suite 300  
Ottawa K2P 2H7  
T/613-730-5709
- TRAFFIC CONSULTANT:  
**CGH**  
13 Markham Ave  
Nepean K2G 3Z1  
T/343-996-2623
- OWNER:  
**BAYVIEW GROUP**  
108 Chestnut Street  
Toronto M5G 1R3  
T/(416)-597-6368



4 BF - TOWER A WEST ELEVATION 1:200



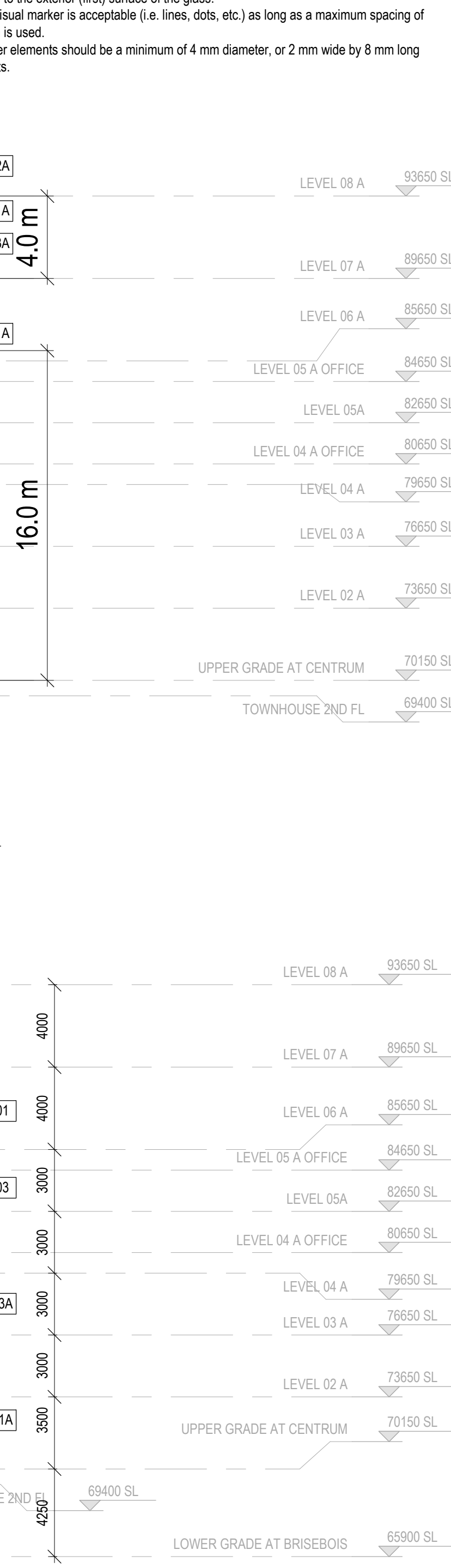
3 BF - TOWER A SOUTH ELEVATION 1:200



2 BF - TOWER A EAST ELEVATION 1:200



1 BF - TOWER A NORTH ELEVATION 1:200



#### BAYVIEW GROUP

108 Chestnut Street  
Toronto M5G 1R3  
T/(416)-597-6368

#### PROJECT: CENTRUM

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

#### SHEET CONTENTS: BIRD FRIENDLY ELEVATIONS - TOWER A

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**1 : 200**

DRAWN BY:  
**Author**

CHECKED BY:  
**Checker**

DATE:  
**03/06/23**

SHEET NO:  
**A421**

REV:  
**1**



### BIRD FRIENDLY GLAZING TOWER B (PARK)

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	657.4 m <sup>2</sup>	827.2 m <sup>2</sup>	477.7 m <sup>2</sup>	421.4 m <sup>2</sup>	<b>2383.7 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	657.4 m <sup>2</sup>	827.2 m <sup>2</sup>	477.7 m <sup>2</sup>	421.4 m <sup>2</sup>	<b>2383.7 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	77.3 m <sup>2</sup>	238.9 m <sup>2</sup>	97.8 m <sup>2</sup>	206.6 m <sup>2</sup>	<b>620.6 m<sup>2</sup></b>	26%
Visual Markers (m2)	424.8 m <sup>2</sup>	588.3 m <sup>2</sup>	348.4 m <sup>2</sup>	214.7 m <sup>2</sup>	<b>1576.3 m<sup>2</sup></b>	66%
Shaded (m2)	155.3 m <sup>2</sup>	0.0 m <sup>2</sup>	31.5 m <sup>2</sup>	30.4 m <sup>2</sup>	<b>217.1 m<sup>2</sup></b>	9%

	Elevation First 4m Above Rooftop Vegetation*					
	North... (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	150.2 m <sup>2</sup>	168.2 m <sup>2</sup>	73.3 m <sup>2</sup>	81.7 m <sup>2</sup>	<b>473.4 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	150.2 m <sup>2</sup>	168.2 m <sup>2</sup>	73.3 m <sup>2</sup>	81.7 m <sup>2</sup>	<b>473.4 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	35.6 m <sup>2</sup>	33.6 m <sup>2</sup>	17.7 m <sup>2</sup>	11.9 m <sup>2</sup>	<b>98.7 m<sup>2</sup></b>	21%
Visual Markers (m2)	114.5 m <sup>2</sup>	134.6 m <sup>2</sup>	55.7 m <sup>2</sup>	69.8 m <sup>2</sup>	<b>374.7 m<sup>2</sup></b>	79%
Shaded (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%

\* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	154.4 m <sup>2</sup>	262.0 m <sup>2</sup>	140.1 m <sup>2</sup>	404.6 m <sup>2</sup>	<b>961.0 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	154.4 m <sup>2</sup>	262.0 m <sup>2</sup>	140.1 m <sup>2</sup>	404.6 m <sup>2</sup>	<b>961.0 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	93.9 m <sup>2</sup>	65.0 m <sup>2</sup>	7.6 m <sup>2</sup>	103.1 m <sup>2</sup>	<b>269.5 m<sup>2</sup></b>	28%
Visual Markers (m2)	34.3 m <sup>2</sup>	155.9 m <sup>2</sup>	76.3 m <sup>2</sup>	301.5 m <sup>2</sup>	<b>568.1 m<sup>2</sup></b>	59%
Shaded (m2)	26.1 m <sup>2</sup>	41.1 m <sup>2</sup>	56.2 m <sup>2</sup>	27.5 m <sup>2</sup>	<b>150.9 m<sup>2</sup></b>	16%

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Untreated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Treated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Visual Markers (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Shaded (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	

\* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	420.2 m <sup>2</sup>	467.6 m <sup>2</sup>	218.9 m <sup>2</sup>	145.1 m <sup>2</sup>	<b>1251.7 m<sup>2</sup></b>	100%
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	<b>0.0 m<sup>2</sup></b>	0%
Treated Area (m2)	420.2 m <sup>2</sup>	467.6 m <sup>2</sup>	218.9 m <sup>2</sup>	145.1 m <sup>2</sup>	<b>1251.7 m<sup>2</sup></b>	100%
Low-Reflectance Opaque Glass (m2)	164.9 m <sup>2</sup>	123.8 m <sup>2</sup>	102.3 m <sup>2</sup>	61.2 m <sup>2</sup>	<b>452.1 m<sup>2</sup></b>	36%
Visual Markers (m2)	196.6 m <sup>2</sup>	317.7 m <sup>2</sup>	111.5 m <sup>2</sup>	70.8 m <sup>2</sup>	<b>696.5 m<sup>2</sup></b>	56%
Shaded (m2)	58.7 m <sup>2</sup>	26.1 m <sup>2</sup>	5.0 m <sup>2</sup>	13.1 m <sup>2</sup>	<b>103.0 m<sup>2</sup></b>	8%

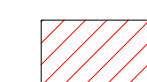
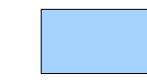


  

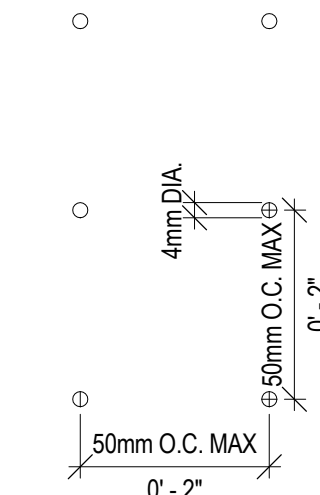
	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Untreated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Treated Area (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Visual Markers (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	
Shaded (m2)	na	na	na	na	<b>0.0 m<sup>2</sup></b>	

\* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

#### GLASS FRIT PATTERN

-  LOW REFLECTANCE MATERIALS (<15% REFLECTANCE OPAQUE GLASS)
-  VISIBLE MARKERS (FRIT PATTERN)
-  VISIBLE MARKERS (FRIT PATTERN AT ROOF TERRACE/GREEN ROOF)
-  SHADED AREA (BALCONY/CANOPY OVERHANG)



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

#### CITY OF OTTAWA BIRD-SAFE GUIDELINES

Treatments should be applied to a minimum of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.

Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m from the surface of the roof or terrace or the height of the adjacent mature vegetation, whichever is greater.

In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

#### Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the exterior (first) surface of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used.
- Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

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Carp, K0A 1L0  
T/613-836-0632

#### MECHANICAL ENGINEER :

**Mechanical Consultant**  
Street Address  
City Post Code  
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#### ELECTRICAL ENGINEER :

**Electrical Consultant**  
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City Post Code  
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#### WIND + NOISE CONSULTANT :

**Gradient Wind**  
127 Walgreen Rd  
Carp, K0A 1L0  
T/613-836-0934

#### LANDSCAPE ARCHITECT :

**J. Lennox and Associates**  
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Nepean K2H 5A8  
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Carp, K0A 1L0  
T/613-836-2184

#### PLANNING CONSULTANT :

**Fotenn**  
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#### TRAFFIC CONSULTANT :

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T/343-996-2623

#### OWNER :

#### BAYVIEW GROUP

108 Chestnut Street  
Toronto M5G 1R3  
T/(416)-597-6368

#### PROJECT :

**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

#### SHEET CONTENTS :

**BIRD FRIENDLY ELEVATIONS -  
TOWER B**

#### PROJECT NUMBER :

**2211080**

#### DRAWING SCALE :

**1 : 200**

#### DRAWN BY :

**Author**

#### CHECKED BY :

**Checker**

#### DATE :

**03/06/23**

#### SHEET NO :

**A422**

#### REV :

**1**



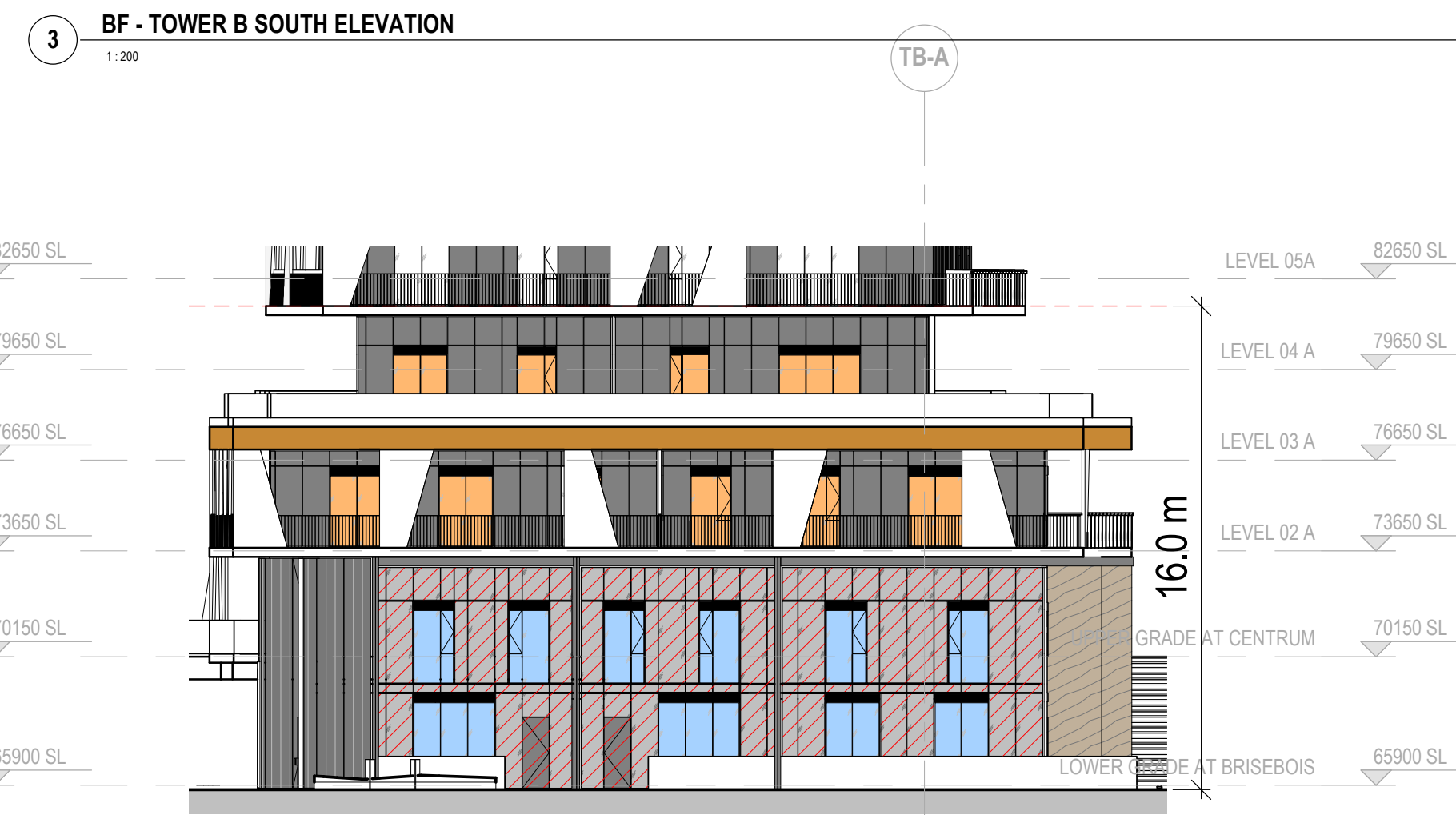
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1:200



**3 BF - TOWER B SOUTH ELEVATION**  
1:200



**2 BF - TOWER B EAST ELEVATION**  
1:200



**1 BF - TOWER B NORTH ELEVATION**  
1:200



### TOWER A (CENTRUM)

	Elevation First 16m Above Grade					Total (m2)	Total (%)
	North	South	East	West	Total (m2)		
Glazing Area (m2)	657.4 m <sup>2</sup>	827.2 m <sup>2</sup>	477.7 m <sup>2</sup>	421.4 m <sup>2</sup>	2383.7 m <sup>2</sup>	100%	
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0%	
Treated Area (m2)	657.4 m <sup>2</sup>	827.2 m <sup>2</sup>	477.7 m <sup>2</sup>	421.4 m <sup>2</sup>	2383.7 m <sup>2</sup>	100%	
Low-Reflectance Opaque Glass (m2)	77.3 m <sup>2</sup>	238.9 m <sup>2</sup>	97.8 m <sup>2</sup>	206.6 m <sup>2</sup>	620.6 m <sup>2</sup>	26%	
Visual Markers (m2)	424.8 m <sup>2</sup>	588.3 m <sup>2</sup>	348.4 m <sup>2</sup>	214.7 m <sup>2</sup>	1576.3 m <sup>2</sup>	66%	
Shaded (m2)	155.3 m <sup>2</sup>	0.0 m <sup>2</sup>	31.5 m <sup>2</sup>	30.4 m <sup>2</sup>	217.1 m <sup>2</sup>	9%	

	Elevation First 4m Above Rooftop Vegetation*					Total (m2)	Total (%)
	North... (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)		
Glazing Area (m2)	150.2 m <sup>2</sup>	168.2 m <sup>2</sup>	73.3 m <sup>2</sup>	81.7 m <sup>2</sup>	473.4 m <sup>2</sup>	100%	
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0%	
Treated Area (m2)	150.2 m <sup>2</sup>	168.2 m <sup>2</sup>	73.3 m <sup>2</sup>	81.7 m <sup>2</sup>	473.4 m <sup>2</sup>	100%	
Low-Reflectance Opaque Glass (m2)	35.6 m <sup>2</sup>	33.6 m <sup>2</sup>	17.7 m <sup>2</sup>	11.9 m <sup>2</sup>	98.7 m <sup>2</sup>	21%	
Visual Markers (m2)	114.5 m <sup>2</sup>	134.6 m <sup>2</sup>	55.7 m <sup>2</sup>	69.8 m <sup>2</sup>	374.7 m <sup>2</sup>	79%	
Shaded (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0%	

\* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

### BIRD FRIENDLY GLAZING TOWER B (PARK)

	Elevation First 16m Above Grade					Total (m2)	Total (%)
	North	South	East	West	Total (m2)		
Glazing Area (m2)	154.4 m <sup>2</sup>	262.0 m <sup>2</sup>	140.1 m <sup>2</sup>	404.6 m <sup>2</sup>	961.0 m <sup>2</sup>	100%	
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0%	
Treated Area (m2)	154.4 m <sup>2</sup>	262.0 m <sup>2</sup>	140.1 m <sup>2</sup>	404.6 m <sup>2</sup>	961.0 m <sup>2</sup>	100%	
Low-Reflectance Opaque Glass (m2)	93.9 m <sup>2</sup>	65.0 m <sup>2</sup>	7.6 m <sup>2</sup>	103.1 m <sup>2</sup>	269.5 m <sup>2</sup>	28%	
Visual Markers (m2)	34.3 m <sup>2</sup>	155.9 m <sup>2</sup>	76.3 m <sup>2</sup>	301.5 m <sup>2</sup>	568.1 m <sup>2</sup>	59%	
Shaded (m2)	26.1 m <sup>2</sup>	41.1 m <sup>2</sup>	56.2 m <sup>2</sup>	27.5 m <sup>2</sup>	150.9 m <sup>2</sup>	16%	

	Elevation First 4m Above Rooftop Vegetation*					Total (m2)	Total (%)
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)		
Glazing Area (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Untreated Area (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Treated Area (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Visual Markers (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Shaded (m2)	na	na	na	na	0.0 m <sup>2</sup>		

\* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

### TOWER C (BRISEBOIS)

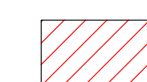
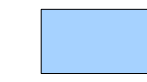


	Elevation First 16m Above Grade					Total (m2)	Total (%)
	North	South	East	West	Total (m2)		
Glazing Area (m2)	420.2 m <sup>2</sup>	467.6 m <sup>2</sup>	218.9 m <sup>2</sup>	145.1 m <sup>2</sup>	1251.7 m <sup>2</sup>	100%	
Untreated Area (m2)	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0.0 m <sup>2</sup>	0%	
Treated Area (m2)	420.2 m <sup>2</sup>	467.6 m <sup>2</sup>	218.9 m <sup>2</sup>	145.1 m <sup>2</sup>	1251.7 m <sup>2</sup>	100%	
Low-Reflectance Opaque Glass (m2)	164.9 m <sup>2</sup>	123.8 m <sup>2</sup>	102.3 m <sup>2</sup>	61.2 m <sup>2</sup>	452.1 m <sup>2</sup>	36%	
Visual Markers (m2)	196.6 m <sup>2</sup>	317.7 m <sup>2</sup>	111.5 m <sup>2</sup>	70.8 m <sup>2</sup>	696.5 m <sup>2</sup>	56%	
Shaded (m2)	58.7 m <sup>2</sup>	26.1 m <sup>2</sup>	5.0 m <sup>2</sup>	13.1 m <sup>2</sup>	103.0 m <sup>2</sup>	8%	

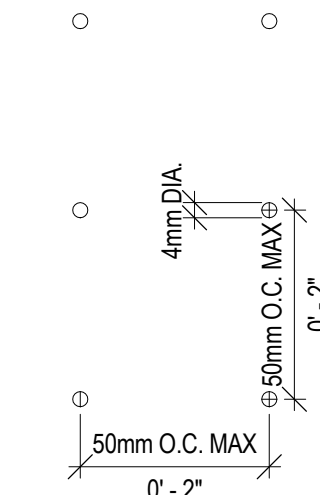
	Elevation First 4m Above Rooftop Vegetation*					Total (m2)	Total (%)
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)		
Glazing Area (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Untreated Area (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Treated Area (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Visual Markers (m2)	na	na	na	na	0.0 m <sup>2</sup>		
Shaded (m2)	na	na	na	na	0.0 m <sup>2</sup>		

\* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

### GLASS FRIT PATTERN

-  LOW REFLECTANCE MATERIALS (<15% REFLECTANCE OPAQUE GLASS)
-  VISIBLE MARKERS (FRIT PATTERN)
-  VISIBLE MARKERS (FRIT PATTERN AT ROOF TERRACE/GREEN ROOF)
-  SHADED AREA (BALCONY/CANOPY OVERHANG)



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

### CITY OF OTTAWA BIRD-SAFE GUIDELINES

Treatments should be applied to a minimum of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.

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In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

### Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the exterior (first) surface of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used.
- Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

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**Mechanical Consultant**  
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 City Post Code  
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx

ELECTRICAL ENGINEER :  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean, K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :  
**McIntosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184

PLANNING CONSULTANT :  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa, K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :  
**CGH**  
 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS :  
**BIRD FRIENDLY ELEVATIONS - TOWER C**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 200**

DRAWN BY : Author  
 CHECKED BY : Checker  
 DATE : 03/06/23

SHEET NO :  
**A423**

REV :  
**1**



3 BF - TOWER C WEST ELEVATION  
 1 : 200



3 BF - TOWER C SOUTH ELEVATION  
 1 : 200



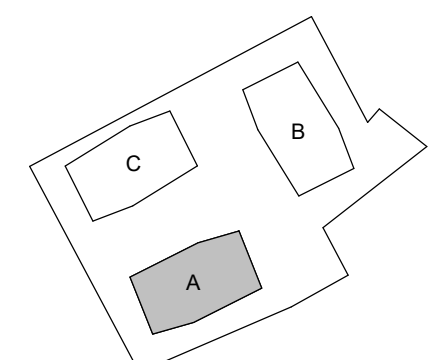
2 BF - TOWER C EAST ELEVATION  
 1 : 200



1 BF - TOWER C NORTH ELEVATION  
 1 : 200



- Department
- Amenity
  - Bike Parking
  - Circulation
  - Elevator
  - Loading
  - Other
  - OFFICE
  - Other
  - OUTDOOR AMENITY
  - PARK
  - Parking
  - Residential Lobby
  - Retail
  - Service
  - Stair



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A5  
 T/416.596.2299 F/416.586.0599



- STRUCTURAL ENGINEER:  
**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632
- MECHANICAL ENGINEER:  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxxxx F/xxxx.xxxxxx
- ELECTRICAL ENGINEER:  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxxx.xxxx F/xxxx.xxxx.xxxx
- WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934
- LANDSCAPE ARCHITECT:  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean, K2H 5A8  
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:  
**Mcintosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184
- PLANNING CONSULTANT:  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa, K2P 2H7  
 T/613-730-5709
- TRAFFIC CONSULTANT:  
**CGH**  
 13 Markham Ave  
 Nepean, K2G 3Z1  
 T/343-996-2623
- OWNER:

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLEANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**TOWER A SECTIONS**

PROJECT NUMBER:  
**2211080**

DRAWING SCALE:  
**1 : 300**

DRAWN BY:  
**Author**

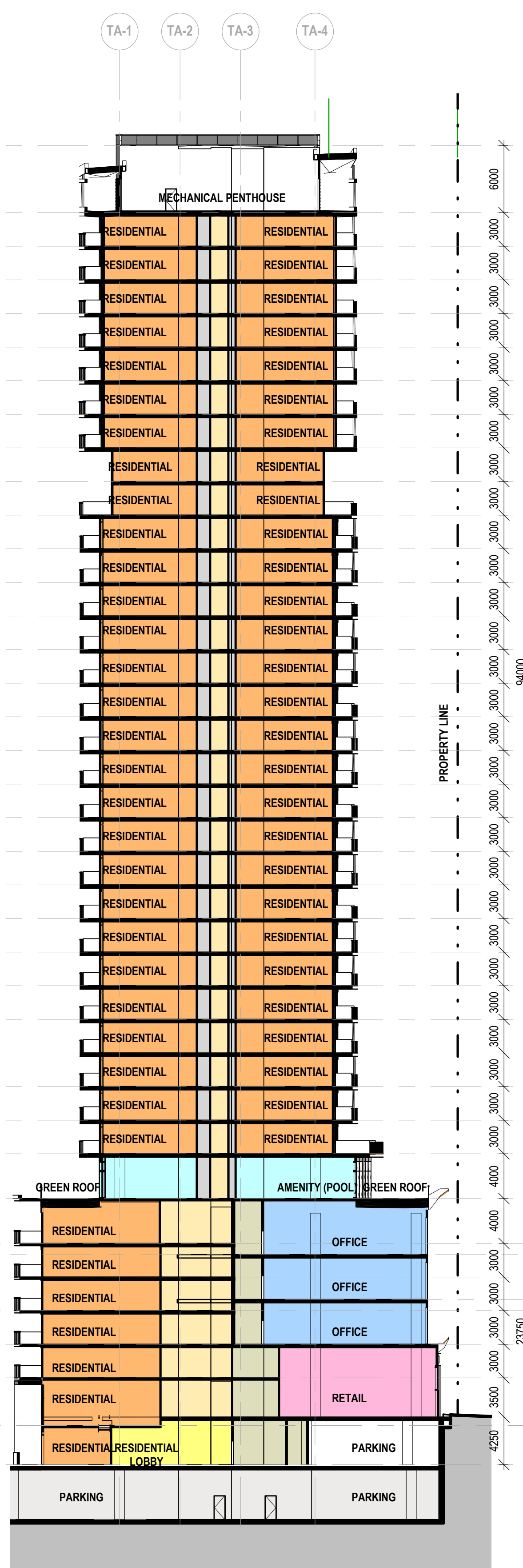
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**Checker**

DATE:  
**01/05/23**

SHEET NO:  
**A500**

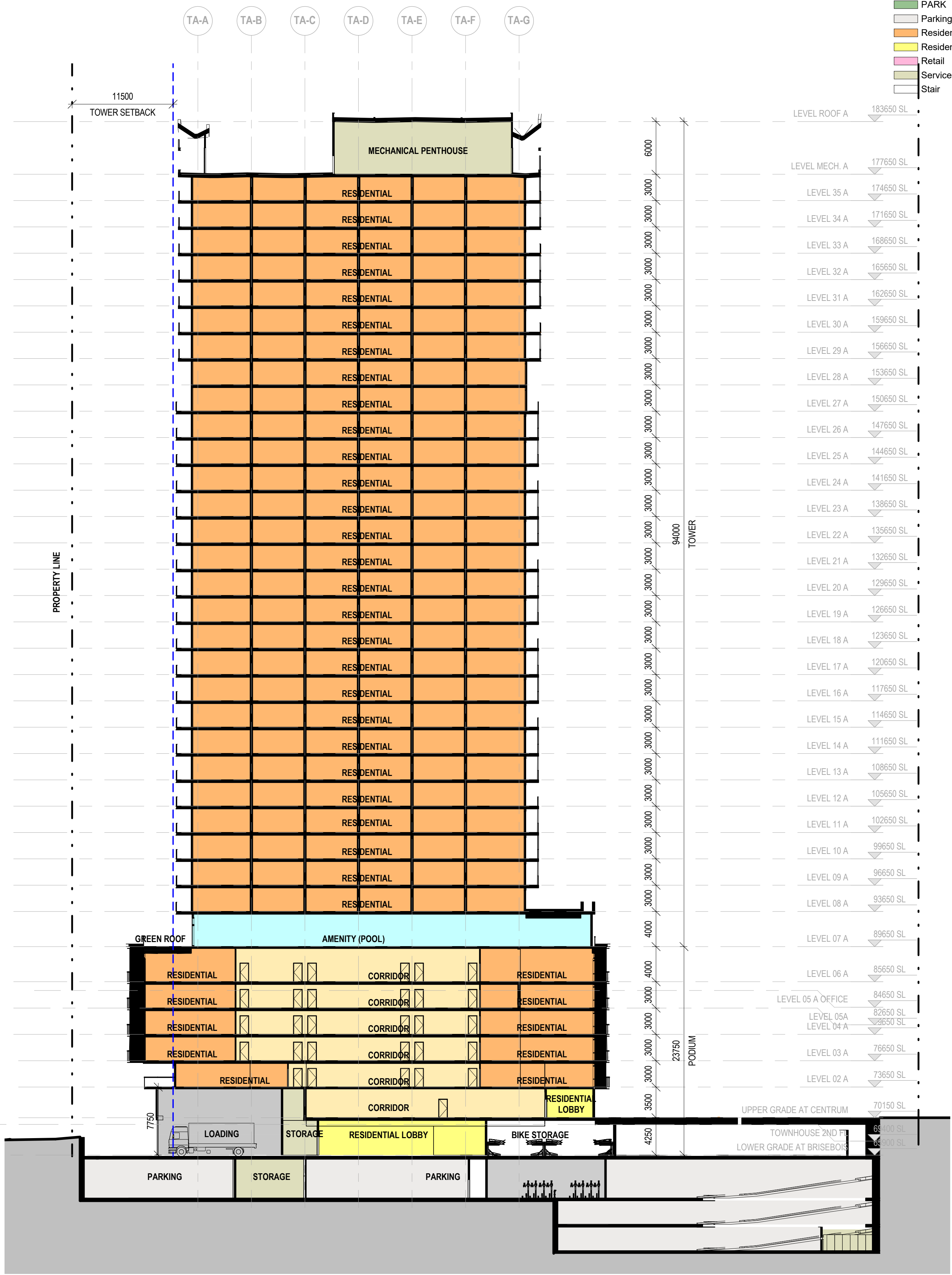
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**1**

3/24/2023 2:31:51 PM BIM 360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-SITE-R2021.rvt TOWER A SECTIONS A500



LEVEL ROOF A	183650 SL
LEVEL MECH. A	177650 SL
LEVEL 35 A	174650 SL
LEVEL 34 A	171650 SL
LEVEL 33 A	168650 SL
LEVEL 32 A	165650 SL
LEVEL 31 A	162650 SL
LEVEL 30 A	159650 SL
LEVEL 29 A	156650 SL
LEVEL 28 A	153650 SL
LEVEL 27 A	150650 SL
LEVEL 26 A	147650 SL
LEVEL 25 A	144650 SL
LEVEL 24 A	141650 SL
LEVEL 23 A	138650 SL
LEVEL 22 A	135650 SL
LEVEL 21 A	132650 SL
LEVEL 20 A	129650 SL
LEVEL 19 A	126650 SL
LEVEL 18 A	123650 SL
LEVEL 17 A	120650 SL
LEVEL 16 A	117650 SL
LEVEL 15 A	114650 SL
LEVEL 14 A	111650 SL
LEVEL 13 A	108650 SL
LEVEL 12 A	105650 SL
LEVEL 11 A	102650 SL
LEVEL 10 A	99650 SL
LEVEL 09 A	96650 SL
LEVEL 08 A	93650 SL
LEVEL 07 A	89650 SL
LEVEL 06 A	85650 SL
LEVEL 05 A OFFICE	84650 SL
LEVEL 05A	82650 SL
LEVEL 04 A OFFICE	80650 SL
LEVEL 04 A	79650 SL
LEVEL 03 A	78650 SL
LEVEL 02 A	73650 SL
UPPER GRADE AT CENTRUM	70150 SL
TOWNHOUSE 2ND FL	69400 SL
LOWER GRADE AT BRISEBOIS	65900 SL

2 TOWER A SECTION 2  
 1:300



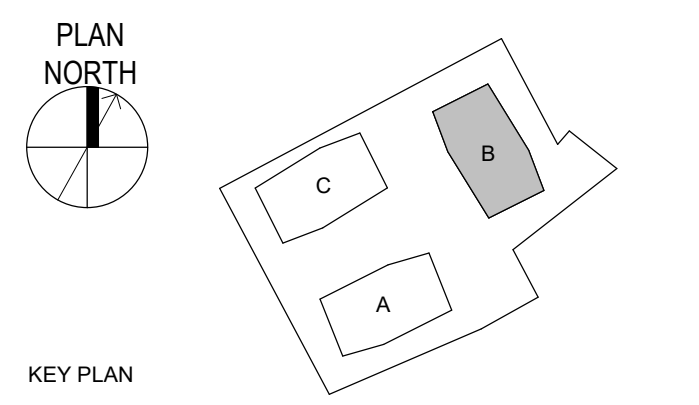
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LEVEL MECH. A	177650 SL
LEVEL 35 A	174650 SL
LEVEL 34 A	171650 SL
LEVEL 33 A	168650 SL
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LEVEL 31 A	162650 SL
LEVEL 30 A	159650 SL
LEVEL 29 A	156650 SL
LEVEL 28 A	153650 SL
LEVEL 27 A	150650 SL
LEVEL 26 A	147650 SL
LEVEL 25 A	144650 SL
LEVEL 24 A	141650 SL
LEVEL 23 A	138650 SL
LEVEL 22 A	135650 SL
LEVEL 21 A	132650 SL
LEVEL 20 A	129650 SL
LEVEL 19 A	126650 SL
LEVEL 18 A	123650 SL
LEVEL 17 A	120650 SL
LEVEL 16 A	117650 SL
LEVEL 15 A	114650 SL
LEVEL 14 A	111650 SL
LEVEL 13 A	108650 SL
LEVEL 12 A	105650 SL
LEVEL 11 A	102650 SL
LEVEL 10 A	99650 SL
LEVEL 09 A	96650 SL
LEVEL 08 A	93650 SL
LEVEL 07 A	89650 SL
LEVEL 06 A	85650 SL
LEVEL 05 A OFFICE	84650 SL
LEVEL 05A	82650 SL
LEVEL 04 A	80650 SL
LEVEL 04 A	79650 SL
LEVEL 03 A	78650 SL
LEVEL 02 A	73650 SL
UPPER GRADE AT CENTRUM	70150 SL
TOWNHOUSE 2ND FL	69400 SL
LOWER GRADE AT BRISEBOIS	65900 SL

1 TOWER A SECTION 1  
 1:300



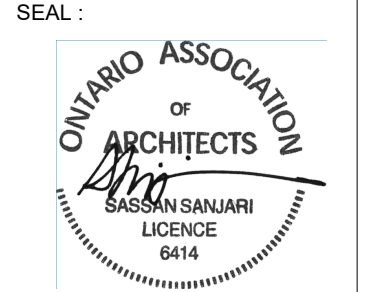
- Department
- Amenity
  - Bike Parking
  - Circulation
  - Elevator
  - Loading
  - OFFICE
  - Other
  - OUTDOOR AMENITY
  - PARK
  - Parking
  - Residential
  - Residential Lobby
  - Retail
  - Service
  - Stair

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A6  
 T/416.596.2299 F/416.586.0599



- STRUCTURAL ENGINEER:  
**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632
- MECHANICAL ENGINEER:  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx
- ELECTRICAL ENGINEER:  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxxx.xxx F/xxxx.xxxx.xxxx
- WIND + NOISE CONSULTANT:  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934
- LANDSCAPE ARCHITECT:  
**J. Lennox and Associates**  
 3332 Caring Ave  
 Nepean K2H 5A8  
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:  
**Mcintosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184
- PLANNING CONSULTANT:  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa K2P 2H7  
 T/613-730-5709
- TRAFFIC CONSULTANT:  
**CGH**  
 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623
- OWNER:

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT:  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

SHEET CONTENTS:  
**TOWER B SECTIONS**

PROJECT NUMBER:  
**2211080**

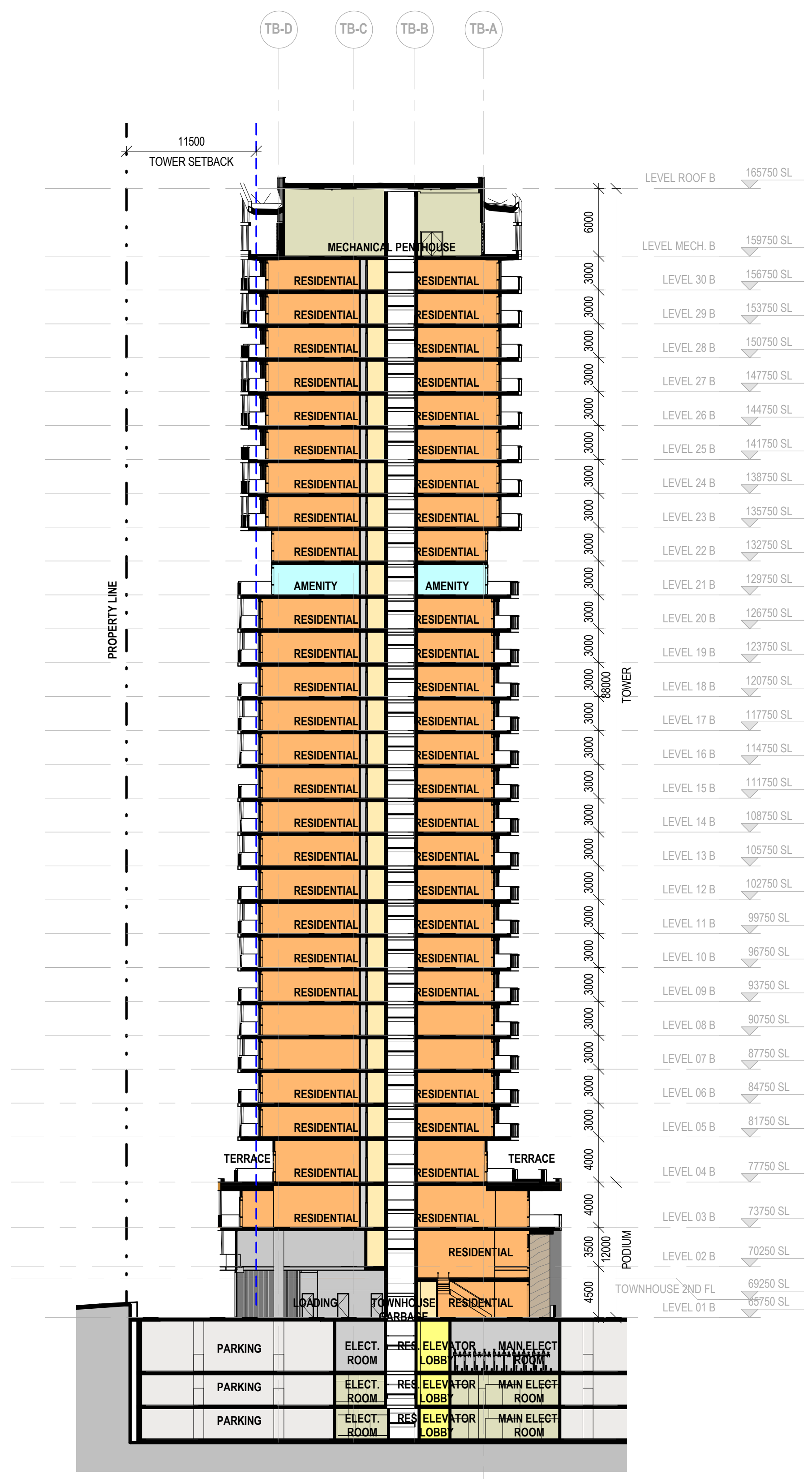
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DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 01/19/23

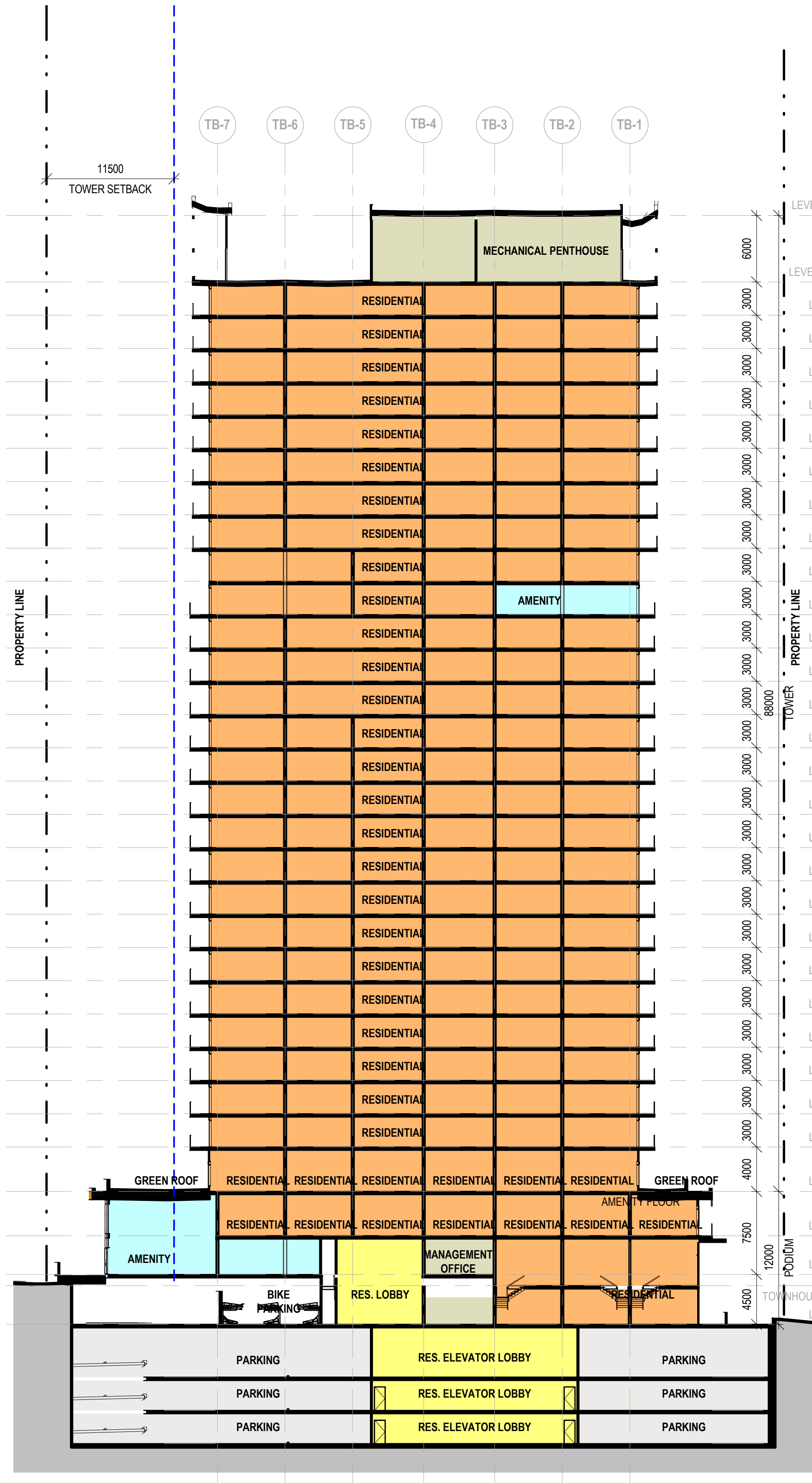
SHEET NO:  
**A501**

REV: **1**

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 A501



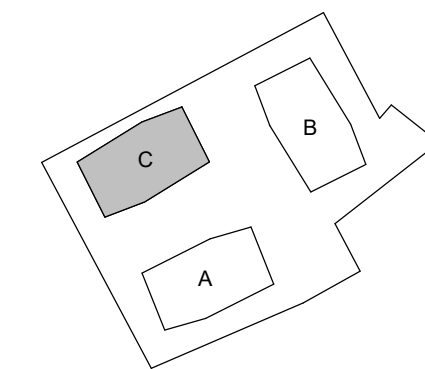
2 TOWER B SECTION 2  
 1:300



1 TOWER B SECTION 1  
 1:300



- Department**
- Amenity
  - Bike Parking
  - Circulation
  - Elevator
  - Loading
  - OFFICE
  - Other
  - OUTDOOR AMENITY
  - PARK
  - Parking
  - Residential
  - Residential Lobby
  - Retail
  - Service
  - Stair



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL

**B+H Architects**  
 320 Bay Street, Suite 200  
 Toronto, ON M5H 4A6  
 T/416.596.2299 F/416.586.0599

SEAL :



STRUCTURAL ENGINEER :  
**Art Engineering**  
 171 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0632

MECHANICAL ENGINEER :  
**Mechanical Consultant**  
 Street Address  
 City Post Code  
 T/xxxx.xxxx.xxxx F/xxxx.xxxx.xxxx

ELECTRICAL ENGINEER :  
**Electrical Consultant**  
 Street Address  
 City Post Code  
 T/xxx.xxxx.xxxx F/xxxx.xxxx.xxxx

WIND + NOISE CONSULTANT :  
**Gradient Wind**  
 127 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-0934

LANDSCAPE ARCHITECT :  
**J. Lennox and Associates**  
 3332 Carling Ave  
 Nepean K2H 5A8  
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :  
**McIntosh Perry**  
 115 Walgreen Rd  
 Carp, K0A 1L0  
 T/613-836-2184

PLANNING CONSULTANT :  
**Fotenn**  
 396 Cooper St Suite 300  
 Ottawa K2P 2H7  
 T/613-730-5709

TRAFFIC CONSULTANT :  
**CGH**  
 13 Markham Ave  
 Nepean K2G 3Z1  
 T/343-996-2623

OWNER :

**BAYVIEW GROUP**  
 108 Chestnut Street  
 Toronto M5G 1R3  
 T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
 ORLÉANS, ON  
 K1E 3X7

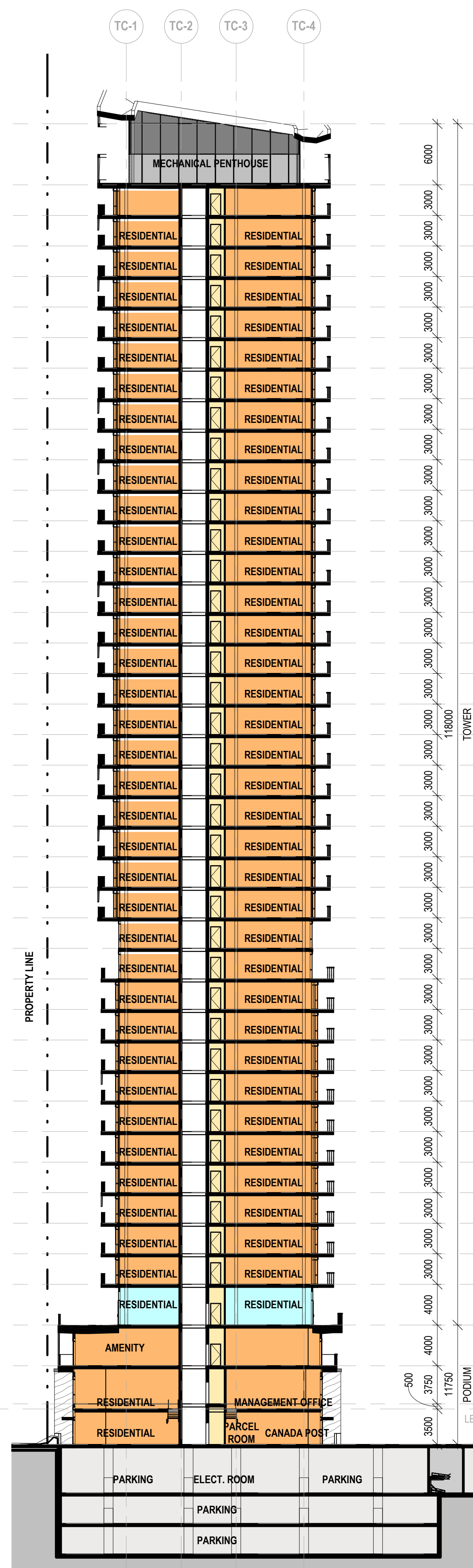
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**TOWER C SECTIONS**

PROJECT NUMBER :  
**2211080**

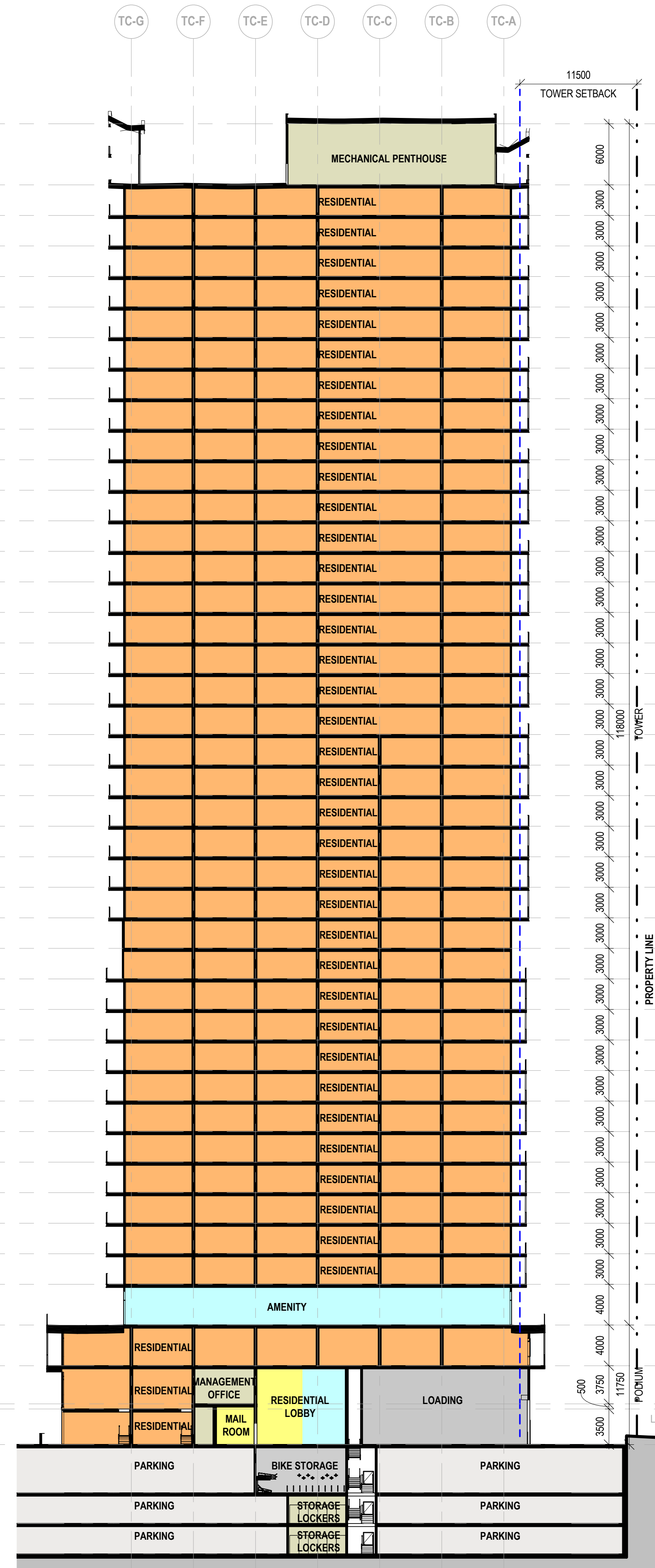
DRAWING SCALE :  
**1 : 300**

DRAWN BY : Author  
 CHECKED BY : Checker  
 DATE: 01/19/23

SHEET NO :  
**A502**



2 TOWER C SECTION 2  
 1:300



1 TOWER C SECTION 1  
 1:300

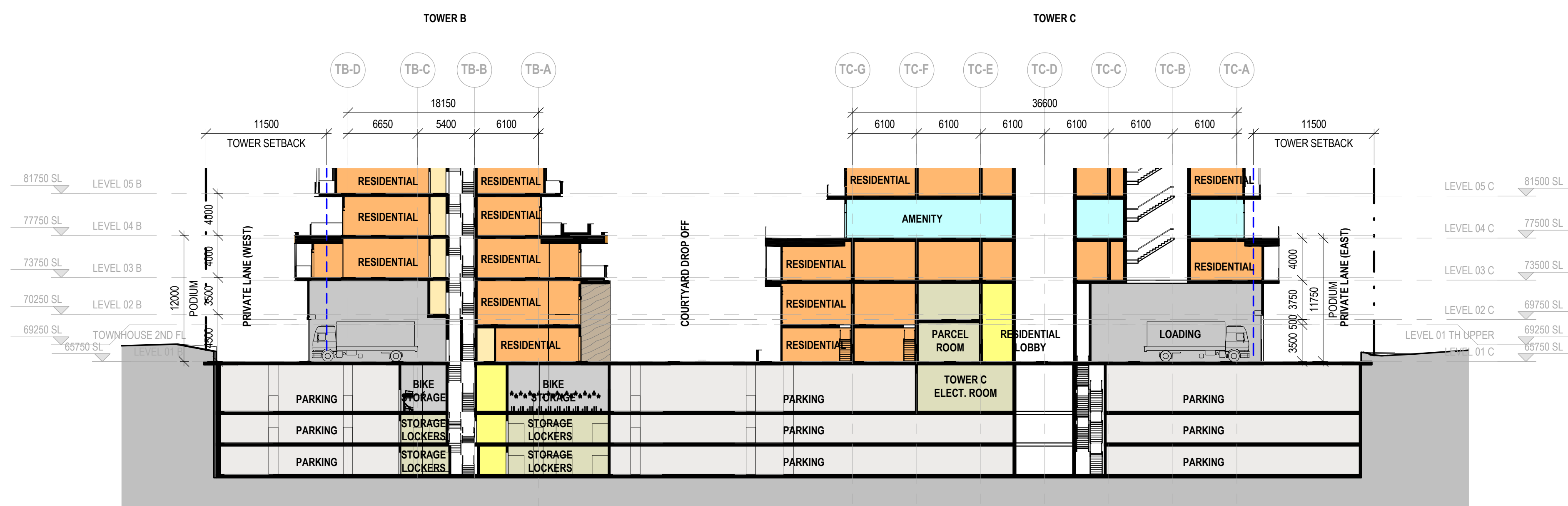


- Department
- Amenity
  - Bike Parking
  - Circulation
  - Elevator
  - Loading
  - OFFICE
  - Other
  - OUTDOOR AMENITY
  - PARK
  - Parking
  - Residential
  - Residential Lobby
  - Retail
  - Service
  - Stair

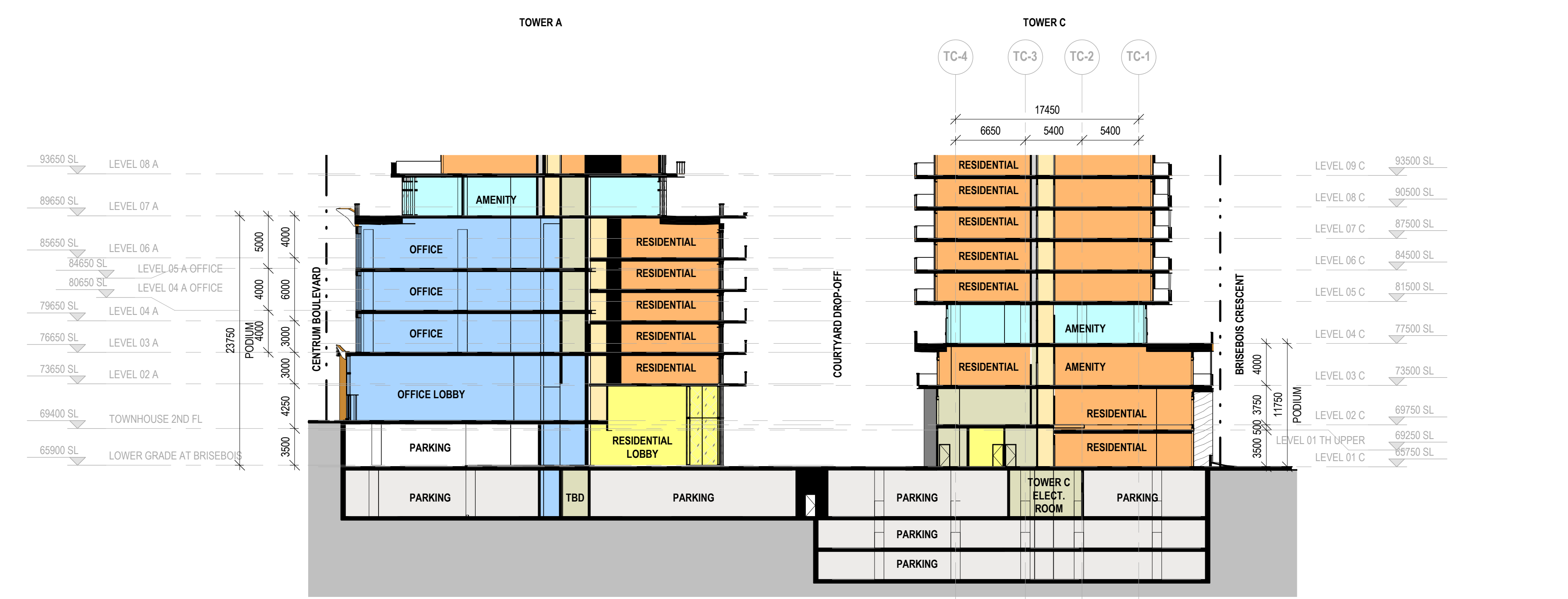


KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL



2 NORTH SECTION  
1:300



1 SITE EAST SECTION  
1:300

**B+H Architects**  
320 Bay Street, Suite 200  
Toronto, ON M5H 4A6  
T/416.596.2299 F/416.586.0599



STRUCTURAL ENGINEER :  
**Art Engineering**  
171 Walgreen Rd  
Carp, K0A 1L0  
T/613-836-0632

MECHANICAL ENGINEER :  
**Mechanical Consultant**  
Street Address  
City Post Code  
T/xxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER :  
**Electrical Consultant**  
Street Address  
City Post Code  
T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT :  
**Gradient Wind**  
127 Walgreen Rd  
Carp, K0A 1L0  
T/613-836-0934

LANDSCAPE ARCHITECT :  
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Nepean K2H 5A8  
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T/613-836-2184

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396 Cooper St Suite 300  
Ottawa K2P 2H7  
T/613-730-5709

TRAFFIC CONSULTANT :  
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OWNER :

**BAYVIEW GROUP**  
108 Chestnut Street  
Toronto M5G 1R3  
T/(416)-597-6368

PROJECT :  
**CENTRUM**

265 CENTRUM BLVD  
ORLÉANS, ON  
K1E 3X7

SHEET CONTENTS :  
**SITE SECTIONS**

PROJECT NUMBER :  
**2211080**

DRAWING SCALE :  
**1 : 300**

DRAWN BY :  
**Author**

CHECKED BY :  
**Checker**

DATE:  
**01/05/23**

SHEET NO :  
**A503**

REV :  
**1**