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PREPARED FOR THE URBAN DESIGN REVIEW PANEL FORMAL SUBMISSION: NOVEMBER 16, 2023

INTRODUCTION

The Site

The subject site is located in the southwest corner of the intersection of St. Joseph Boulevard and Duford Drive. The triangular-shaped property has an area of 2,644 square metres (0.26 hectares), with frontage on both St. Joseph Boulevard and Duford Drive.

St. Joseph Boulevard runs along the base of an escarpment, with intersecting north-south roads climbing southwards to the top of the hill. The slope is the steepest in the southwest corner of the subject site, in the location of an existing treed area.

Surrounding Area

North

- / Place d'Orléans, a regional shopping centre
- / Several stand-alone retail (ie. retail food store)
- / A few automobile-related uses
- / The Place d'Orléans Bus Rapid Transit (BRT) Station
- / Highway 174 (a City freeway)
- / The Ottawa River Pathway trails

East

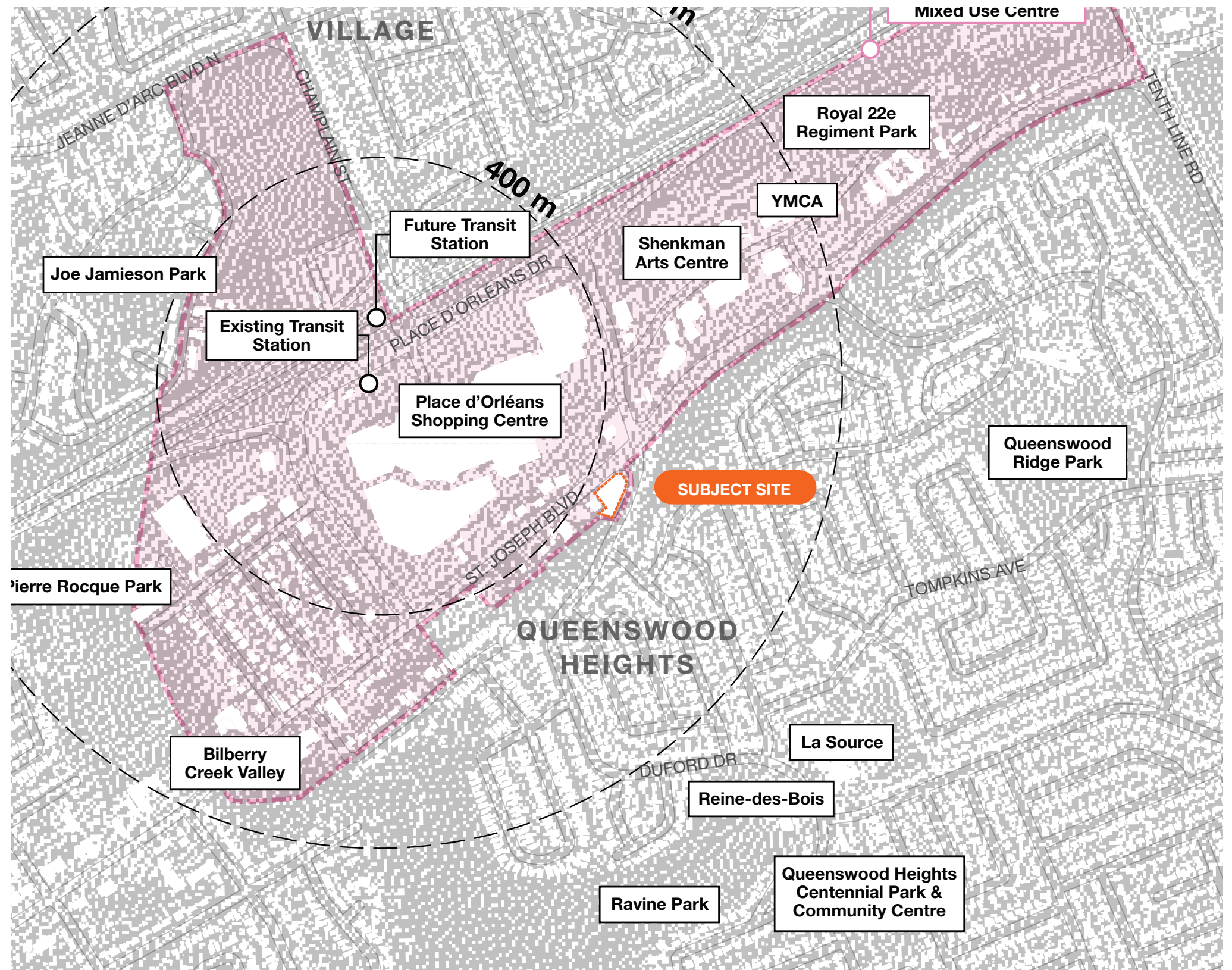
- / Area of green space along the south site of Duford Drive that is designated "Major Open Space" in the Official Plan and zoned "Parks and Open Space Zone (O1)" in the Zoning By-law
- / Community service and cultural centres (ie. Shenkman Arts Centre and the YMCA)

South

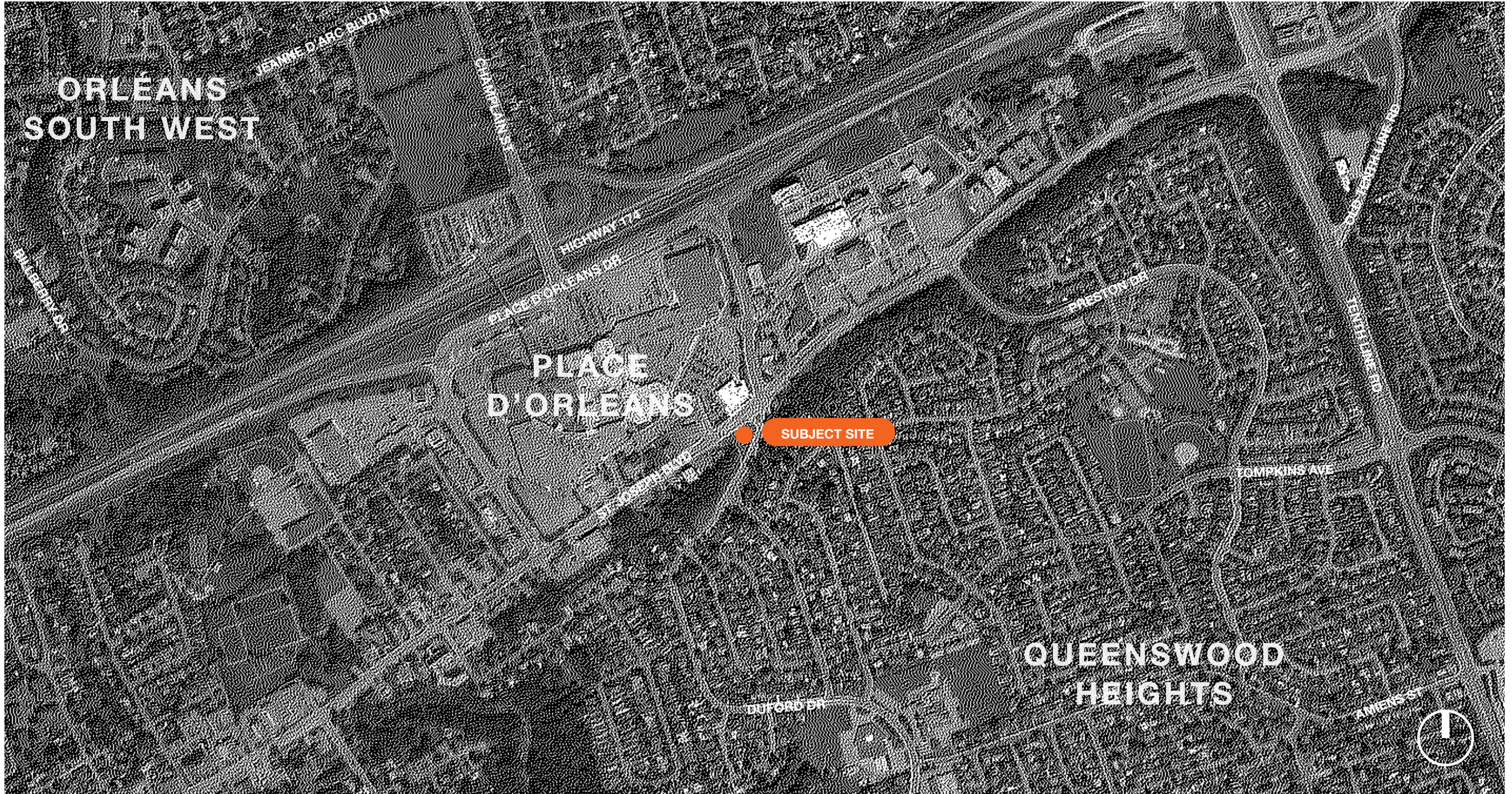
- / Area of green space along the north site of Duford Drive that is designated "Major Open Space" in the Official Plan and zoned "Parks and Open Space Zone (O1)" in the Zoning By-law
- / Bilberry Creek ravine
- / Queenswood Heights neighbourhood, comprised of detached homes built in the 1960s/70s and several parks and schools

West

- / Subject site forms eastern terminus of the St. Joseph Arterial Mainstreet, the original commercial corridor in Orléans
- / Small, commercial plaza containing a convenience store, a barber shop and a take-out restaurant
- / Commercial uses along St. Joseph Blvd continue 3.5km west

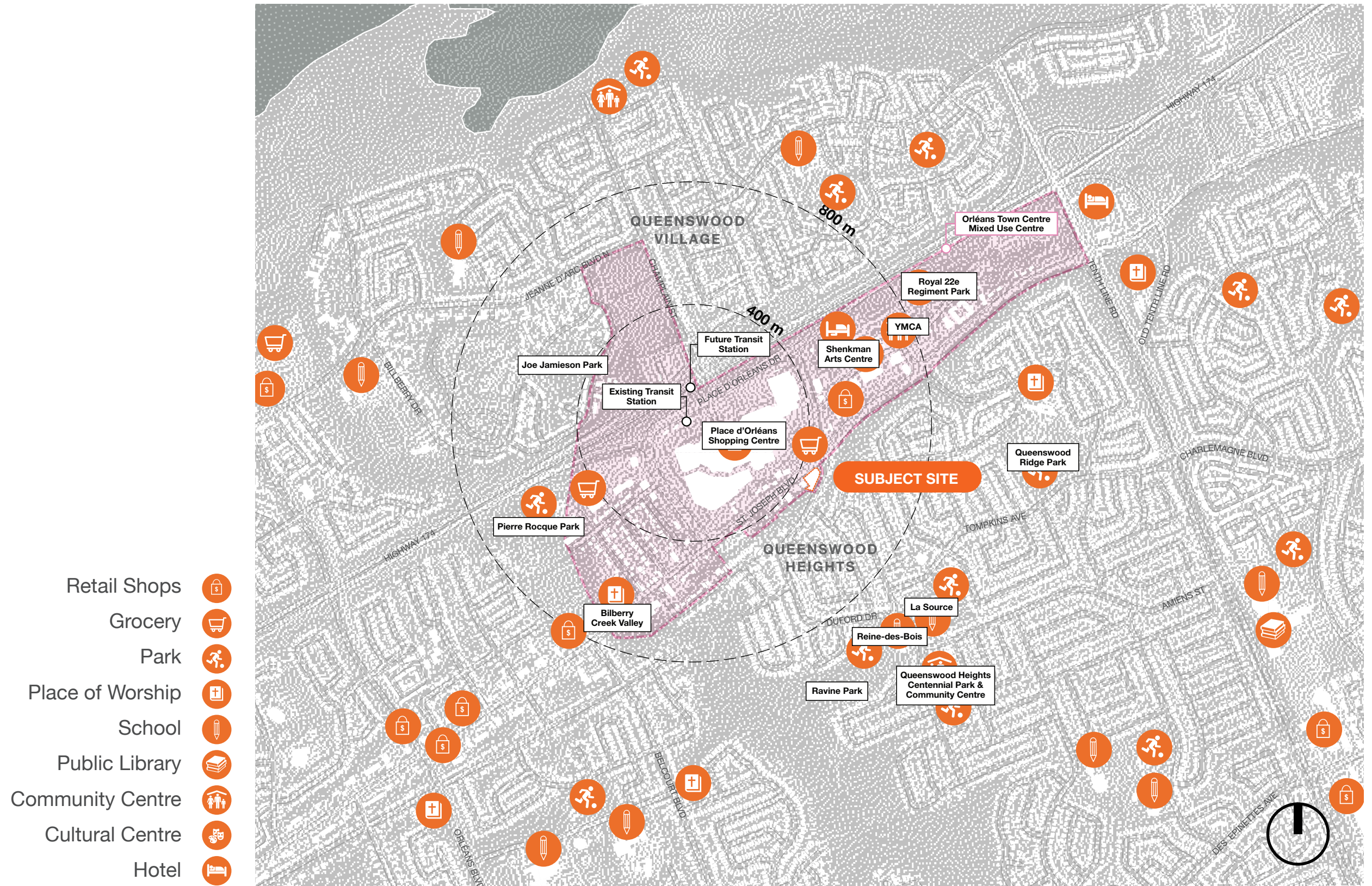


SITE LOCATION



SITE INVENTORY AND ANALYSIS

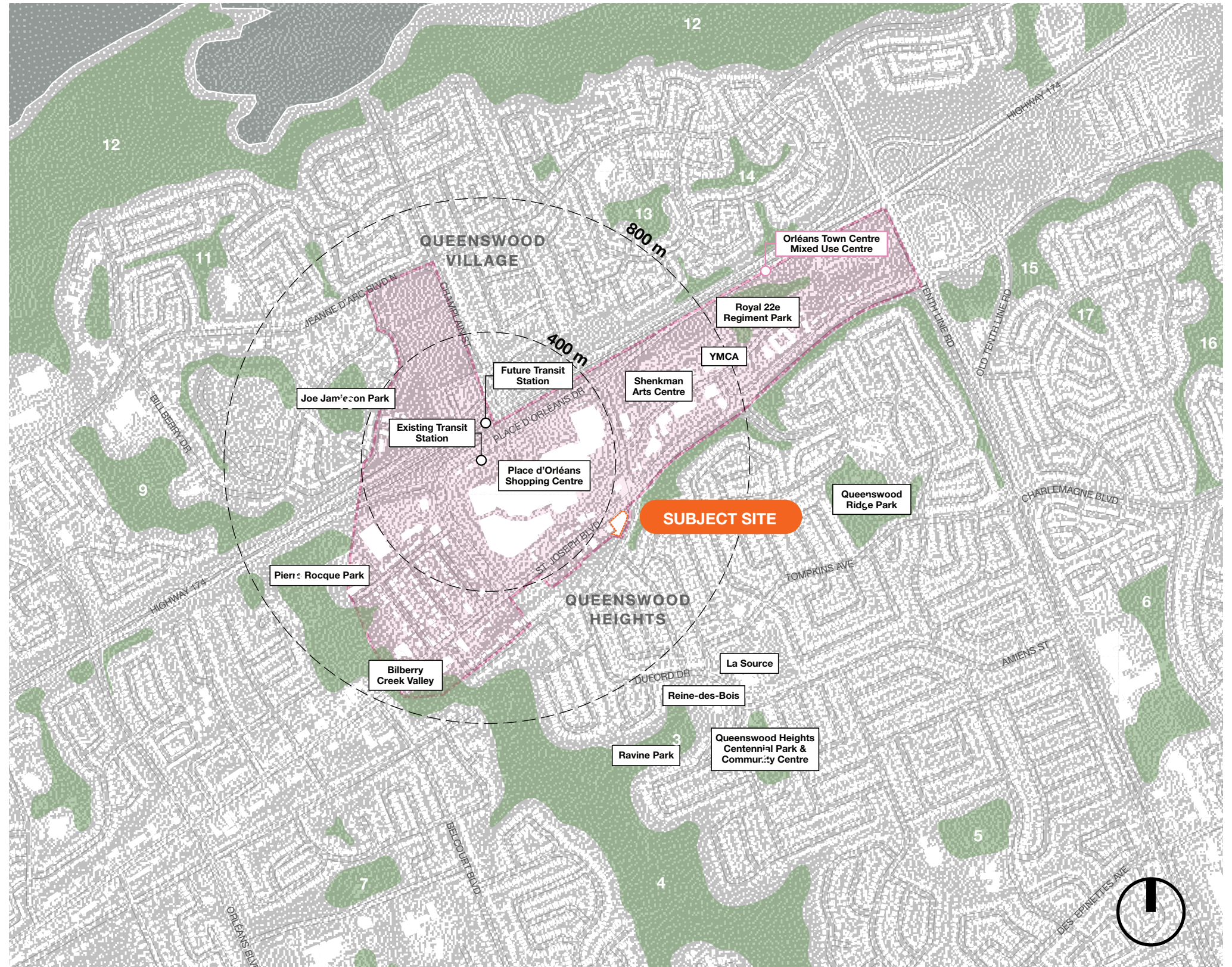
Points of Interest



SITE INVENTORY AND ANALYSIS

Parks and Open Space

- Queenswood Ridge Park 1
- Queenswood Heights Centennial Park 2
- Ravine Park 3
- Bilberry Creek Valley 4
- Kinsella Park 5
- Ray Friel Recreation Complex and Park 6
- Carriere Park 7
- Pierre Rocque Park 8
- Bilberry Park 9
- Joe Jamieson Park 10
- Décarie Park 11
- Ottawa River Pathway 12
- Marsha Park 13
- Big Bird Park 14
- St. Joseph Boulevard Woods 15
- Fallingbrook Park 16
- Princess Louise Park 17



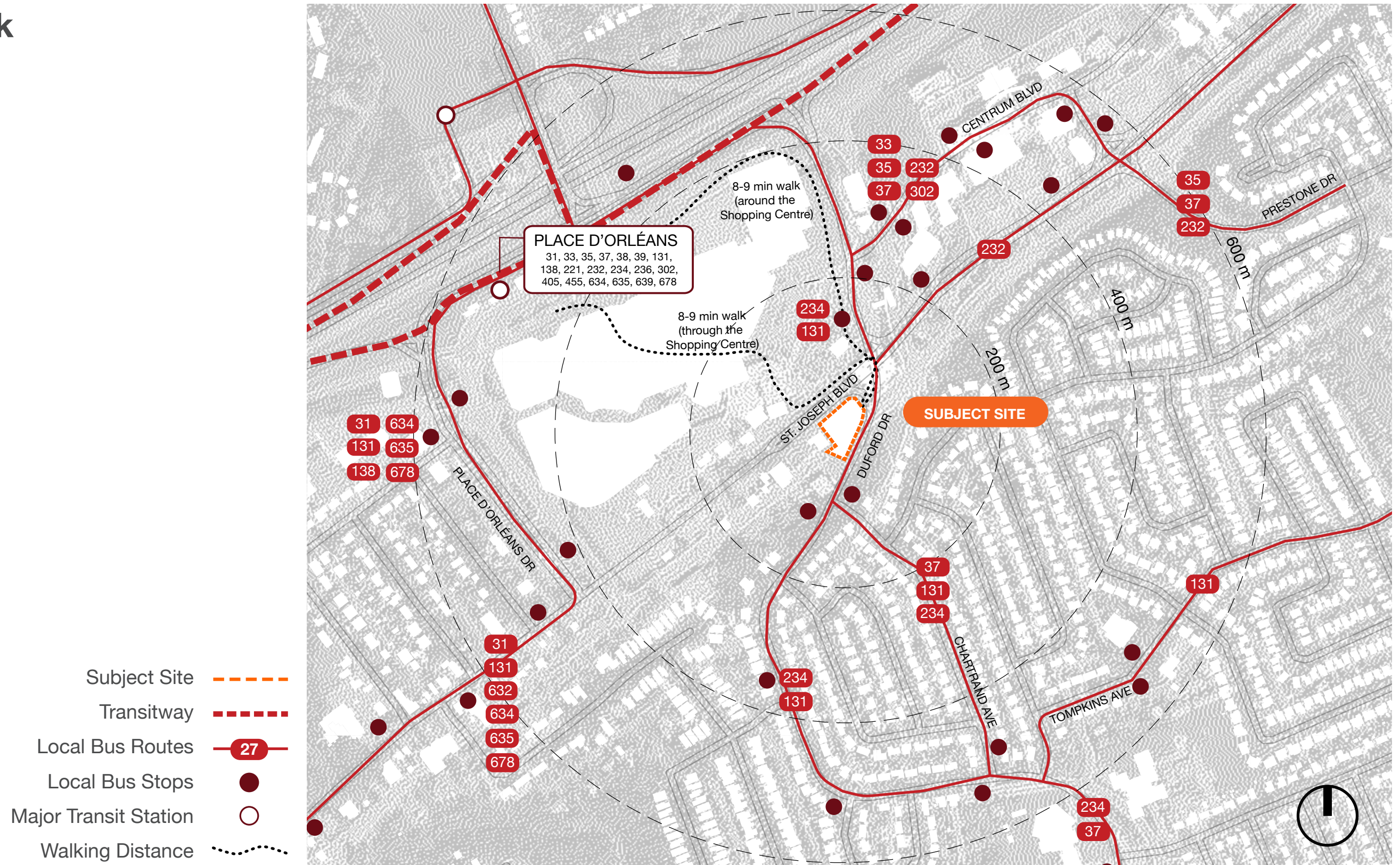
SITE INVENTORY AND ANALYSIS

Road Network

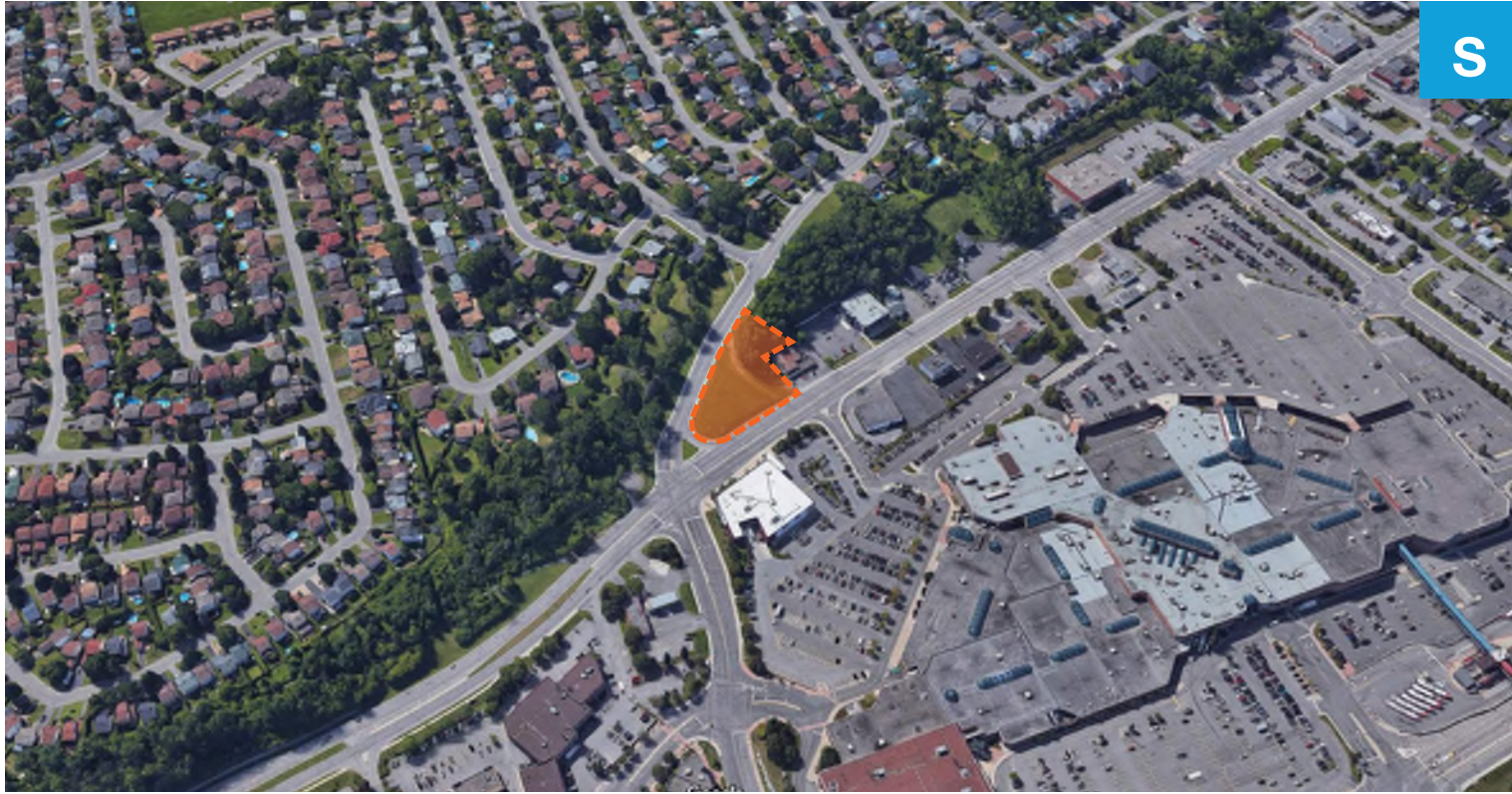


SITE INVENTORY AND ANALYSIS

Transit Network

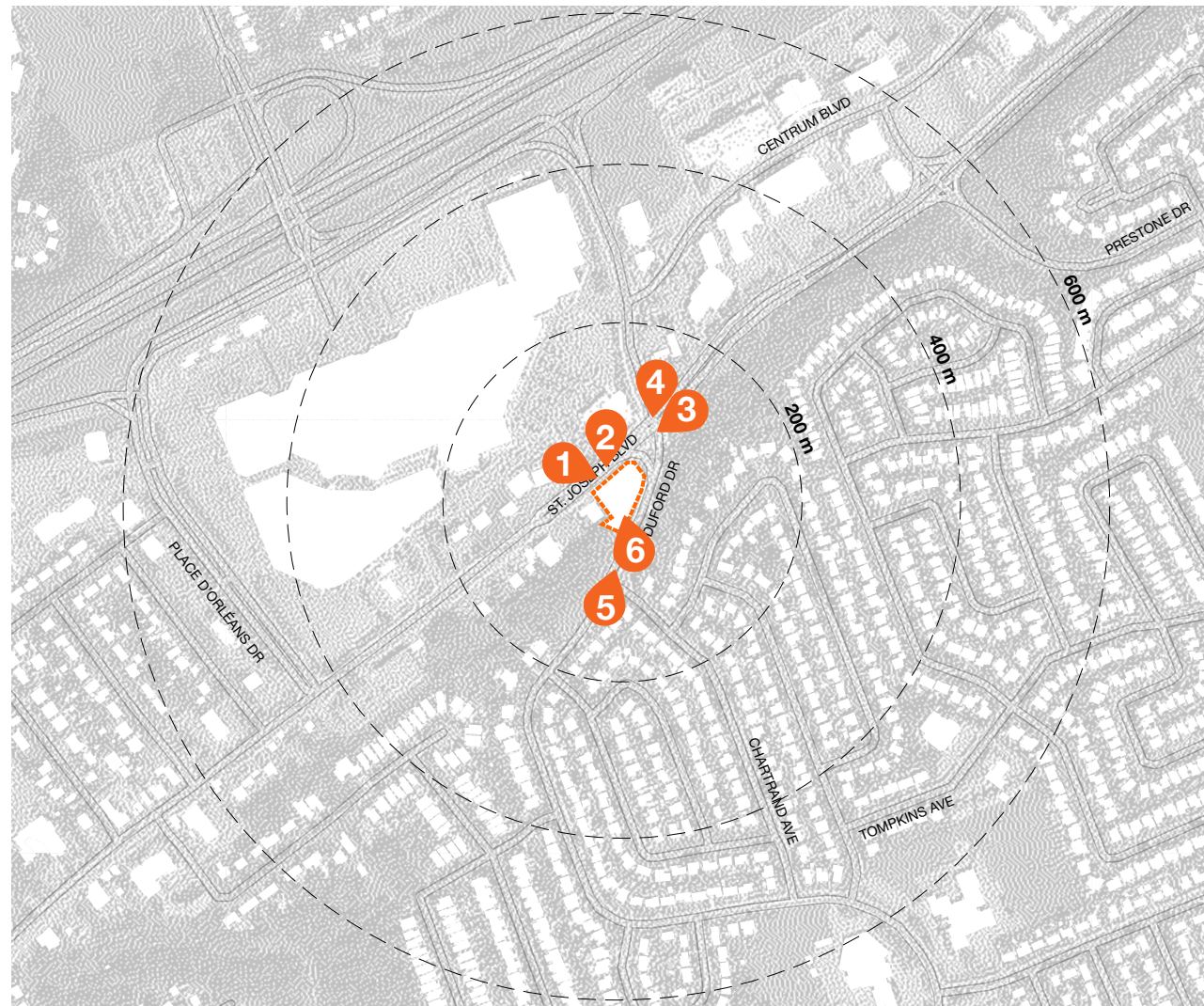


SITE INVENTORY AND ANALYSIS



THE SITE TODAY

Site Photos



Looking southeast from north side of St. Joseph Boulevard



Looking south from north side of St. Joseph Boulevard



Looking west from south side of St. Joseph Boulevard



Looking southwest from corner of Place d'Orléans Drive and St. Joseph Boulevard



Looking northeast towards intersection from Duford Drive



Looking north from top of informal path

THE SITE TODAY

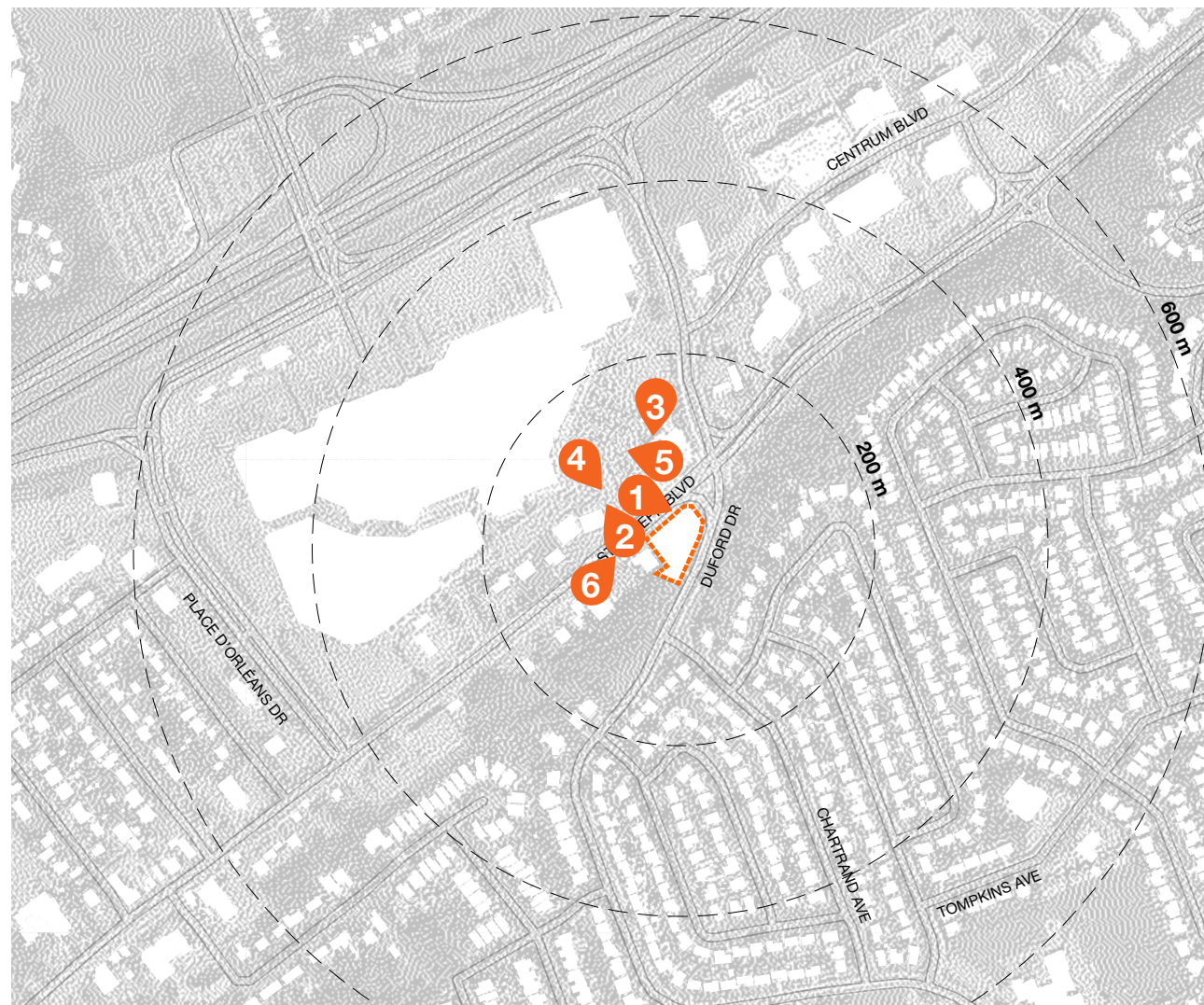
Site Photos



Looking southeast from north side of Duford Drive



Looking north from south side of Duford Drive



Looking south up Duford Drive



Looking south from base of informal path



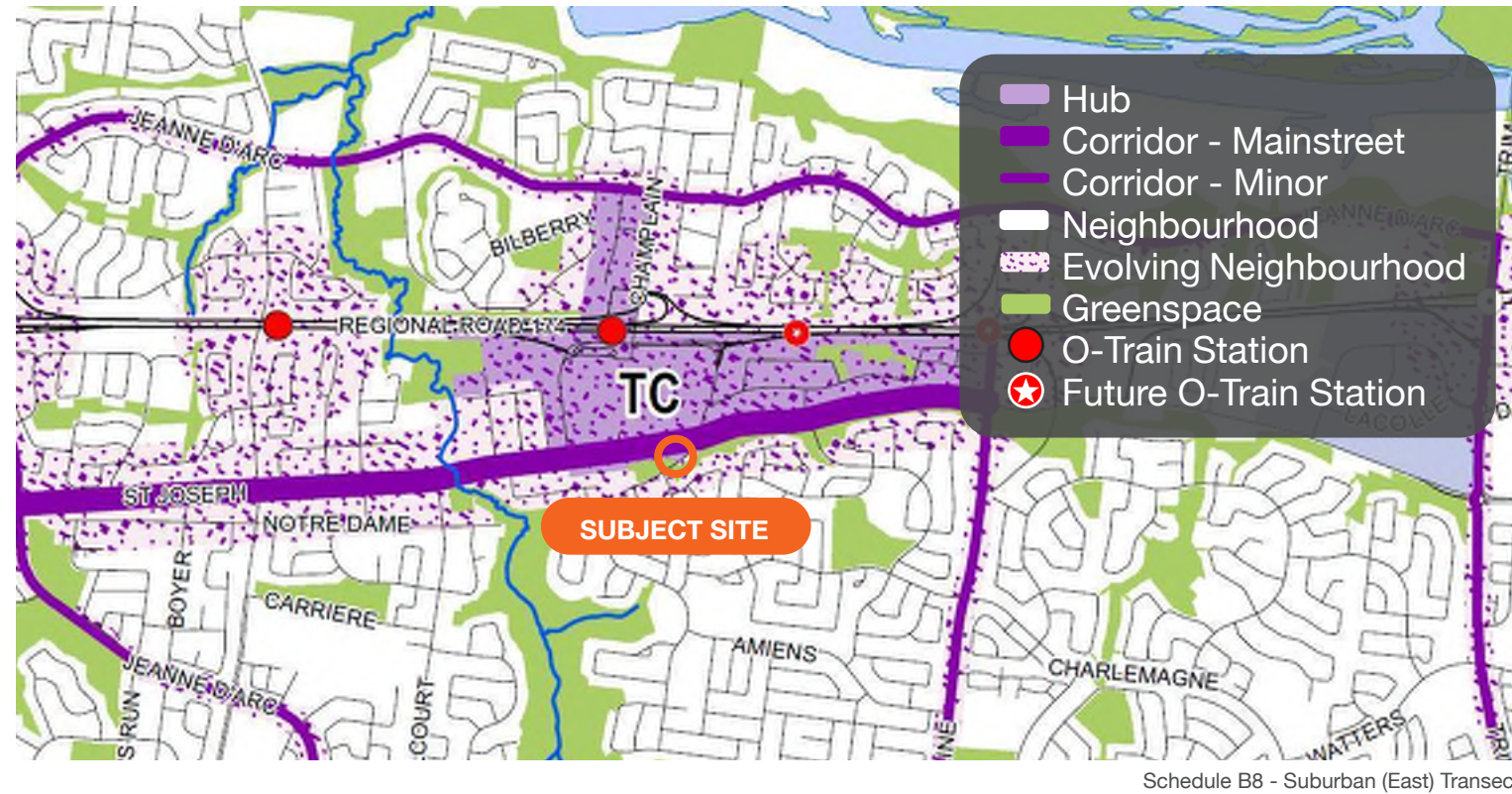
Looking northwest from corner of Duford Drive and St. Joseph Boulevard



Looking towards intersection of Duford Drive and St. Joseph Boulevard

PLANNING CONTEXT

City of Ottawa Official Plan



Schedule B8 - Suburban (East) Transect

The subject site is located in the Suburban Transect and is designated “Hub”.

Hubs are defined areas that may include lands adjacent to, or within a short walking distance of an identified rapid transit station or major frequent street transit stop.

Within the Suburban Transect, development in Hubs shall be:

- / High-rise in the central area of a Town Centre, and for areas designated as Hub and without the Town Centre notation, generally within 400 metres of a rapid transit station;
- / Mid-rise in the periphery of a Town

Centre, and for areas designated as Hub and without the Town Centre notation, generally within 800 metres of a rapid transit station; and

- / Low-rise buildings may be required in the Zoning By-law for a Hub, including Town Centre, on lots which are too small to accommodate an appropriate height transition towards a Lowrise area.

While the site is designated as a Hub, it is also located on St. Joseph Boulevard which is a Mainstreet Corridor. The Official Plan specifies that where Corridors intersect or overlap with Hubs, the building height policies governing Hubs shall prevail;

however, vehicular traffic along the Corridor shall be managed with street design and measures including traffic calming so as not to undermine the pedestrian-, cyclist- and transit user-focused environment of the Hub; and transit shall be prioritized along Corridors.

Development within a Hub:

- / Shall direct the highest density close to the transit station or stop;
- / Shall encourage large employment, commercial or institutional uses locate close to the transit station;
- / Shall establish safe, direct and easy-to-follow public routes for pedestrians and cyclists between transit stations;
- / Shall create a high-quality, comfortable public realm throughout the Hub that prioritizes the needs of pedestrians, cyclists and transit users;
- / Shall establish buildings that:
 - Edge, define, address and enhance the public realm through building placement, entrances, fenestration, signage and building facade design;
 - Place principal entrances so as to prioritize convenient pedestrian access to the transit station and the public realm; and

- Place parking, loading, vehicle access, service entrances and similar facilities so as to minimize their impact on the public realm.

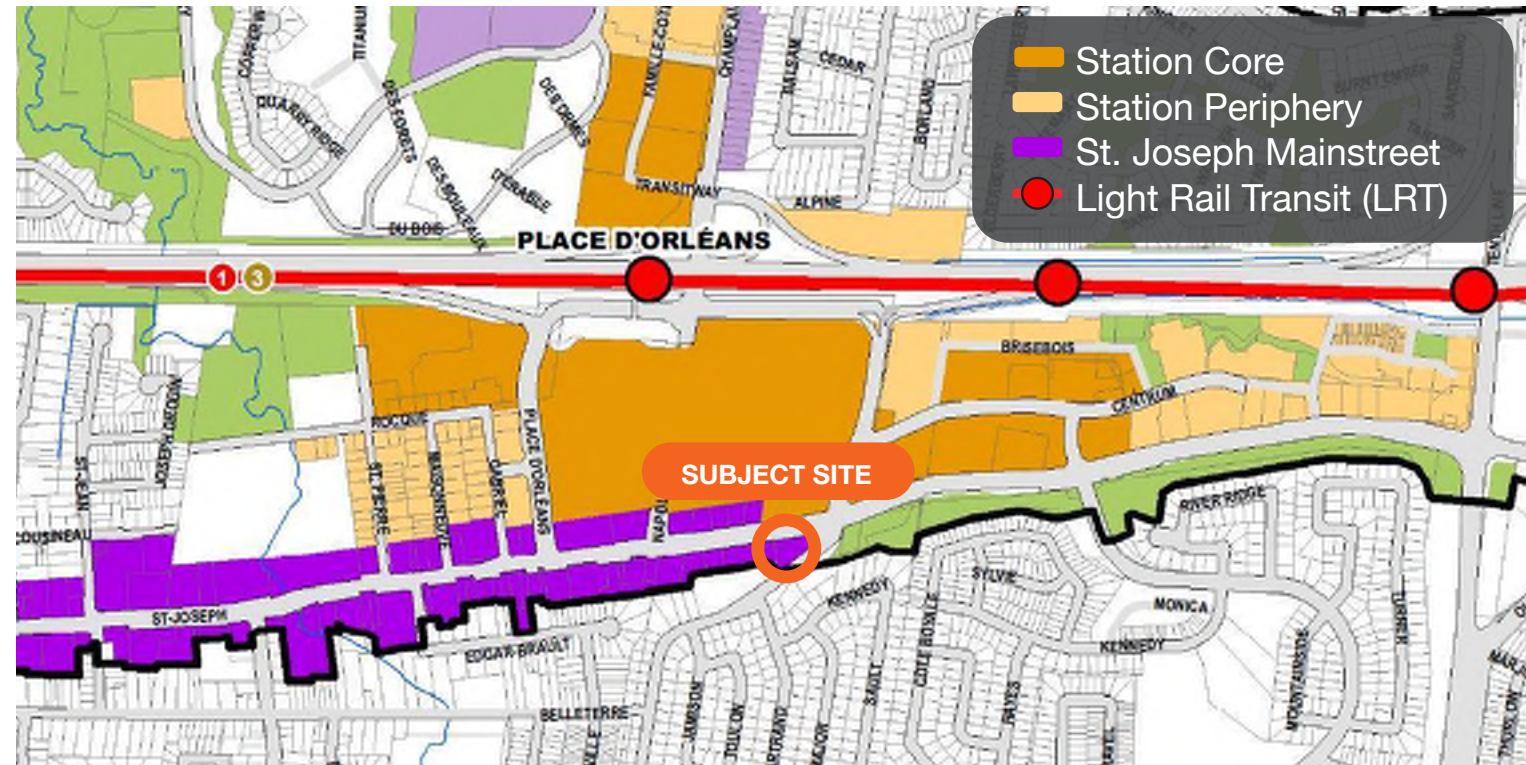
/ Shall be subject, through the Zoning By-law, to motor vehicle parking regulations that support the Hub’s prioritizing of transit, walking and cycling, including as appropriate:

- Reduction or elimination of on-site minimum parking requirements;
- Maximum limits on parking supply;
- Prohibition of surface parking lots as a main or accessory use, other than publicly-operated park-and-ride facilities;
- Regulation, pricing, metering and enforcement of public on- and off-street parking to balance supply and demand;
- Establishment of residential on-street parking permit zones; and
- Despite the above, visitor parking shall continue to be required for high-density residential uses, in order to prevent visitor demand for parking from creating undue demand on public parking facilities; and

/ Prohibit uses causing or likely to cause nuisance due to noise, odour, dust, fumes, vibration, radiation, glare or high levels of heavy truck traffic.

PLANNING CONTEXT

Orléans Corridor Secondary Plan (2022)



Schedule A - Designation Plan

The Orléans Corridor Secondary Plan is primarily intended to provide specific policy direction and guidance for medium- and high-density development directly associated with transit stations and corridors within Secondary Plan Area. The impetus for this plan is the construction of the O-Train extension to Orléans, and the intended purpose of this plan is to address the need to coordinate transit-oriented development and guide the creation of 15-minute neighbourhoods in the Orléans Corridor.

The subject site is designated St. Joseph Mainstreet and has a maximum height of 16 storeys due to a site-specific policy.

The vision is for St. Joseph Boulevard to evolve into a vibrant pedestrian-oriented mainstreet and see the street return to prominence as the mainstreet of Orléans that started with the founding of the original Village of St-Joseph d'Orléans.

St. Joseph Mainstreet Designation Policies

New development on St. Joseph Boulevard will include the following characteristics: be located close to the mainstreet with minimal to zero front yard setbacks; primary building façades and commercial entrances front onto the mainstreet; vehicular parking is either located underground or in a surface parking lot at the rear of the lot; and

signage reflects a pedestrian scale.

The minimum building height is two storeys. Maximum building heights are primarily informed by mainstreet character, lot depth, proximity to low-rise residential, and access to rapid transit. Modest high-rise buildings, ranging between 10- and 18-storeys, are permitted in specific locations on the mainstreet, as identified in Schedule B – Maximum Building Heights provided they meet the following:

- / Buildings must fit within the planned urban context of a predominantly mid-rise mainstreet and are generally limited to the deepest and largest properties along the mainstreet;
- / May require deeper front setbacks above the podium in order to move the tower further away from the mainstreet to reinforce a low-rise or mid-rise street wall; and
- / Precise maximum building heights will be determined through a Zoning By-law Amendment process and will depend on numerous site-specific conditions, such as the ability to achieve building height transitions and proximity to transit.

Investments in the St. Joseph Boulevard right-of-way shall accommodate safe and comfortable active transportation facilities, including wide sidewalks and separated cycling facilities and ensure a consistent row of street trees on each side of the street,

with conditions to support the long-term health and growth of the trees to contribute to the urban canopy.

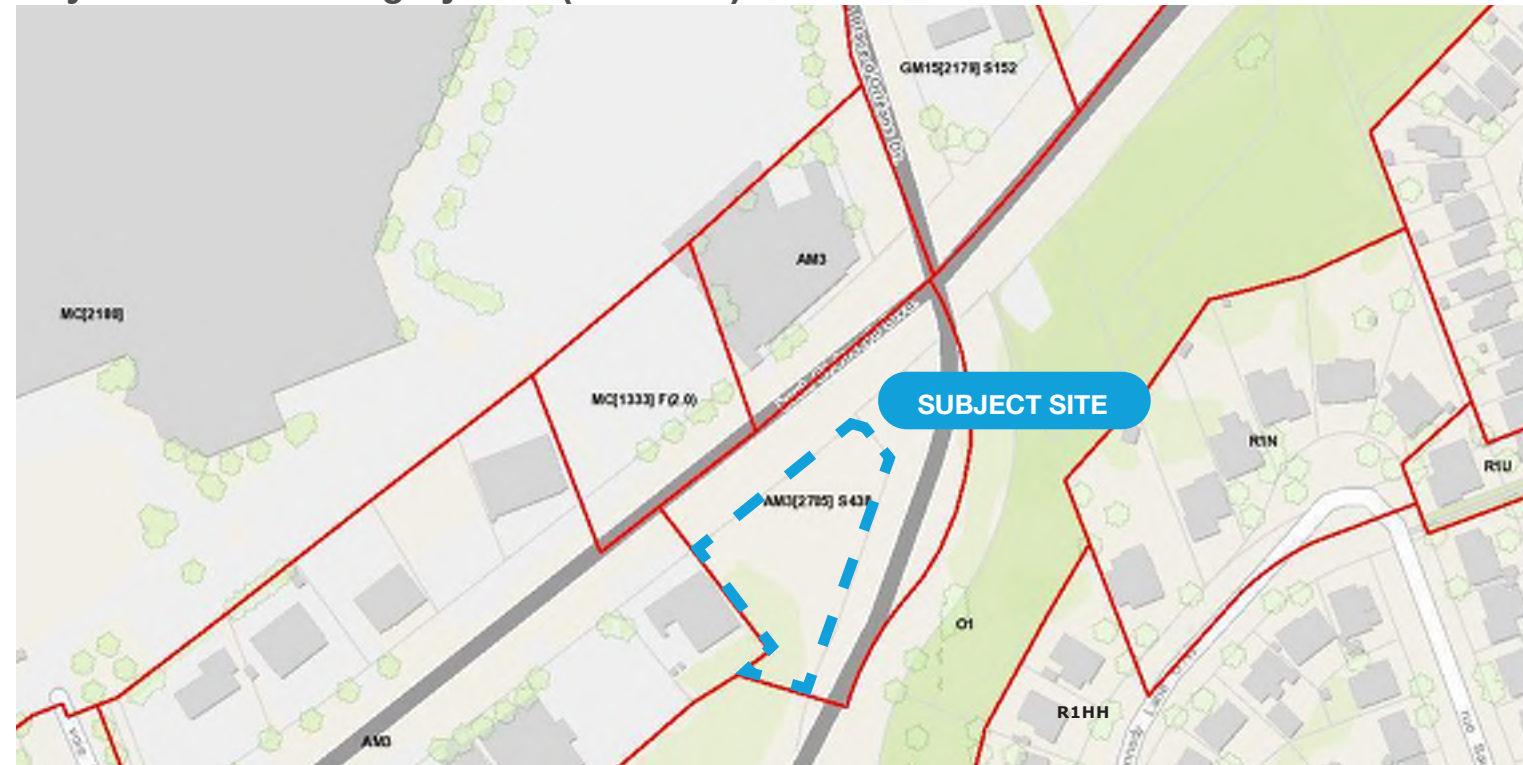
Corridor-Wide Policies

The general policies that apply corridor-wide, outlined below, in combination with the station-area specific and land use designation policies, outlined above, address the vision, goals, and objectives of this Secondary Plan. The following general policies should be considered for future redevelopment of the site:

- / New buildings shall, wherever possible, include active frontages facing the public realm, such as along public or private streets, multi-use pathways, City parks (including linear parks and the Voyageur Creek Greenway) and Privately-Owned Public Spaces (POPS).
- / Buildings will locate the main entrance fronting an adjacent street with a direct connection to the nearest sidewalk.
- / Residential units at-grade that face a public or private street will each be designed with an individual entrance.
- / Mid-rise and high-rise buildings are required to provide a height transition to abutting Neighbourhood designated properties to create a liveable environment with a gradual change in height and massing, through setbacks and stepbacks generally guided by the application of an angular plane in accordance with Council-approved Plans and design guidelines.

PLANNING CONTEXT

City of Ottawa Zoning By-Law (2008-250)



The site is zoned “Arterial Mainstreet, Subzone 3, Urban Exception 2705, Schedule 438” (AM3[2705] S438). The purpose of the AM zone is to:

- / Accommodate a broad range of uses including retail, service commercial, offices, residential and institutional uses in mixed-use buildings or side by side in separate buildings in areas designated Arterial Mainstreet in the Official Plan; and
- / Impose development standards that will promote intensification while ensuring that they are compatible with the surrounding uses.

The proposed Zoning By-law Amendment is intended to maintain the existing Arterial Mainstreet zoning while revising the Urban Exception and Zoning Schedule to reflect the revised development proposal.

Despite not being considered a gateway site under the AM3 zoning provisions, the lands are located at the eastern terminus of the St. Joseph Boulevard Arterial Mainstreet and have the ability to anchor the redevelopment of the corridor.

It is proposed that the Urban Exception 2705 and Schedule 438 be modified relative to the current proposal. The following provisions would be included:

- / Minimum required yard setbacks and building setbacks and maximum permitted building heights are as per Schedule 438.
Fotenn and the project architect would work with City staff to template a new zoning schedule that facilitates the establishment of the proposal as laid out in the site plan and supporting drawings.
- / Maximum building heights of S438 do not apply to permitted projections under Section 65.
This exception is proposed to be carried over from the originally approved zoning exception.
- / An indoor rooftop amenity space is not considered a storey for the purposes of zoning;
It is proposed that the rooftop amenity area incorporate both indoor and outdoor portions. No living area is proposed as part of this level.

- / Maximum floor space index does not apply
Floor space index is no longer commonly used as a metric for assessing density. Density for this site will be managed by the zoning schedule applicable to the site.
- / Table 186A does not apply
Table 186A provides setbacks and other built form provisions specific to the AM3 zone. In order to illustrate that Schedule 438 takes precedence over these provisions, it is recommended that it is noted clearly that it does not apply.

PLANNING CONTEXT

Urban Design Guidelines for Development along Arterial Mainstreets (2006)

In May 2006, Ottawa City Council approved the Urban Design Guidelines for Development along Arterial Mainstreets. These guidelines serve to “provide urban design guidance...to assess, promote and achieve appropriate development along Arterial Mainstreets”. Relevant guidelines for consideration include:

- / The proposal incorporates a podium along the public street edge, and, along with landscaping and the provision of perimeter trees, serve to create a continuous streetscape;
- / Streetscape elements such as trees, decorative paving, benches and bicycle parking have been included in site plan design between the building and the curb;
- / As the site is located on a corner, the podium is situated to frame the lot lines with the entrances that are visible and contribute to the animation of the public realm;
- / The façades face public streets, with the front doors of the commercial and residential uses being located at grade along St. Joseph Boulevard;
- / Clear windows and doors have been included in the design to ensure the pedestrian level façade of walls, facing the street are highly transparent; and
- / A consistent width of landscape and pedestrian areas have been included across the front of the site.



View West down St. Joseph Boulevard

PLANNING CONTEXT

Urban Design Guidelines for High-Rise Buildings (2018)

In May 2018, City Council approved Urban Design Guidelines for High-rise Buildings, defined as buildings that are 10 or more storeys in height. The subject site meets the majority of the criteria identified in the guidelines for a high-rise site, including:

- / The lot should abut the public realm, including streets, parks, plazas, and privately owned public spaces (POPS) on at least two sides (the subject site has extensive frontage on two municipal streets)
- / When abutting other potential high-rise properties (such as the lands to the west), a minimum lot area of 1,350 square metres should be provided for corner lots in order to be able to provide adequate tower setbacks (the subject site has an area of 2,644 square metres)

The proposed development meets the following guidelines:

- / The base of the buildings relate directly to the height and typology of the planned street wall context along St. Joseph Boulevard
- / The site is of a sufficient size to accommodate a high-rise building, and provides sufficient separation to potential future high-rises in the area;
- / The lot is sufficiently sized to accommodate a high-rise building

with appropriate transition to the low-rise industrial area to the east through setbacks and stepbacks;

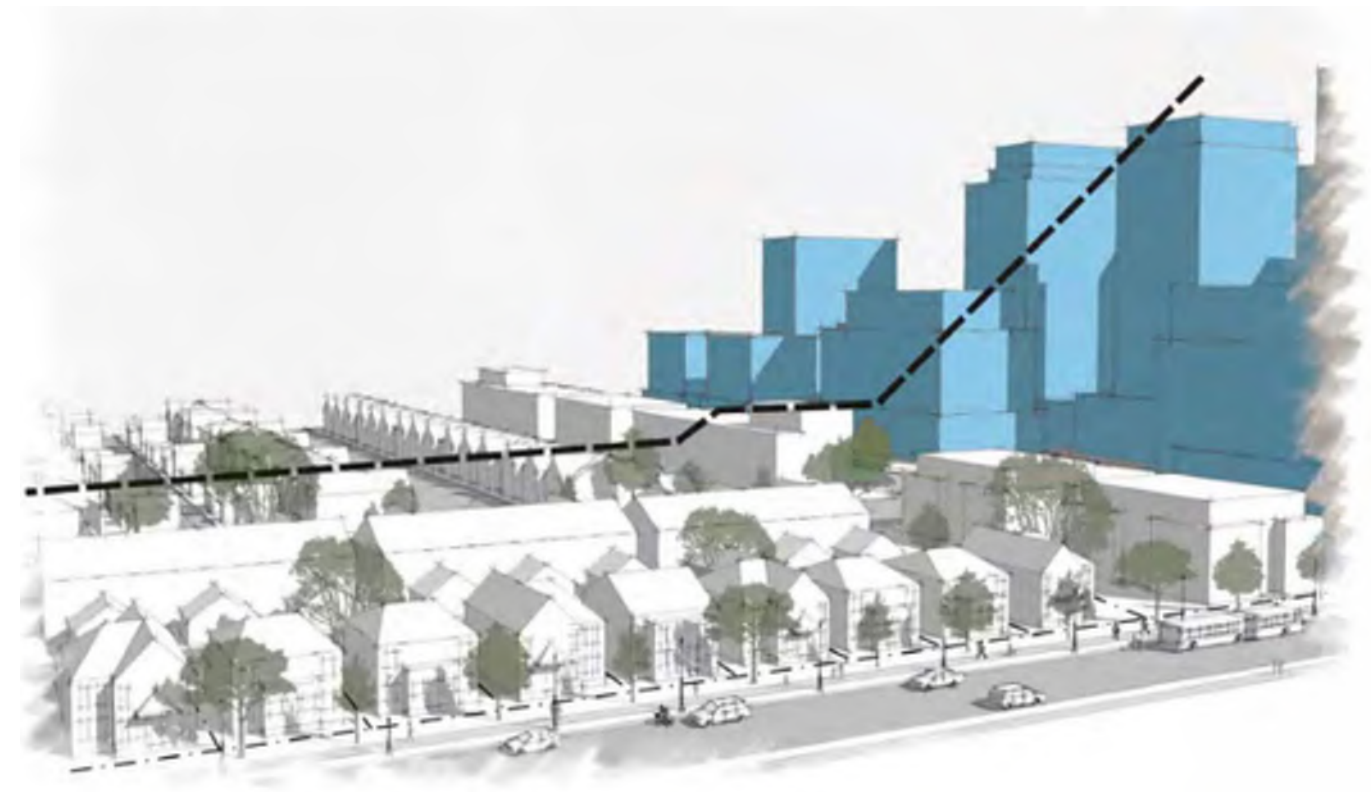
- / The proposed development enhances the overall pedestrian experience in the immediate surrounding public realm through a well-designed podium with high-quality materiality and glazing and the design of the lower portion which animates the existing street edges;
- / The proposed buildings enhance and create the image of a community and a city through the design of the upper portion of the buildings that creates views and enhances the skyline;
- / The proposal places the base of the building to form a continuous building edge along the street which will appropriately frame the public realm on St. Joseph Boulevard and along the Duford Drive;
- / The podium height provides enclosure along the street at an appropriate scale;
- / The proposed height provides stepbacks and architectural articulation on a wide street with a corner lot;
- / The base of the podium has a height ranging from 4 to 5.5 storeys;
- / The podium and tower represent a beneficial contribution to the public realm along St. Joseph Boulevard that improves the existing edge. The podium materiality, significant glazing,

and active entrances help to promote an improved scale and rhythm to public realm;

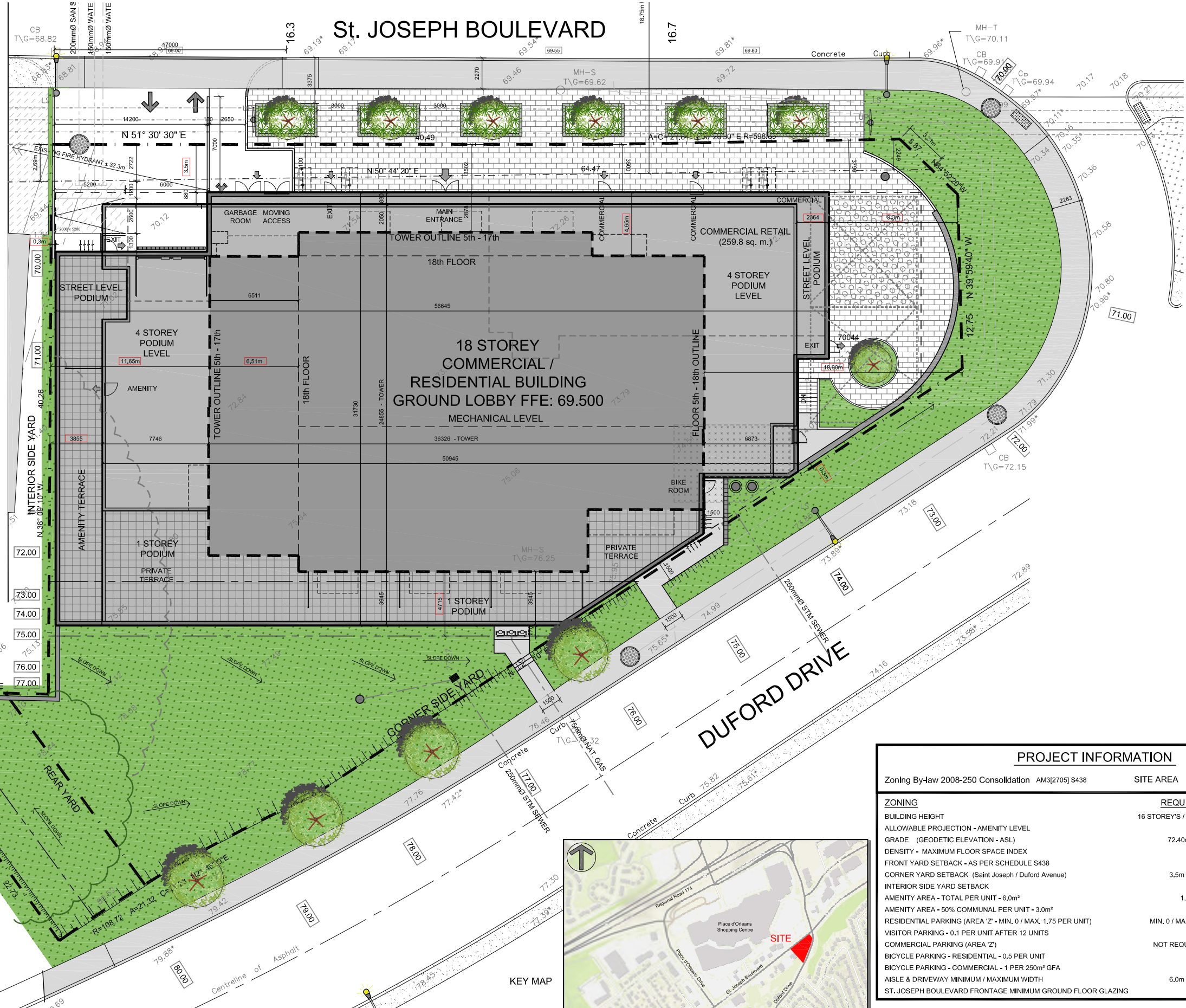
- / The proposed design uses high-quality, durable, and environmentally sustainable materials, an appropriate variety in texture, and carefully crafted details to achieve visual interest and longevity for the facade;
- / The ground floor of the base has been designed to be animated and transparent with pedestrian access to both the residential and commercial portions of the proposed development;

/ The proposed tower provides proper separation distance to adjacent property lines to minimize shadow and wind impacts, loss of sky views, and to allow for natural light into interior spaces;

/ The location of tower and floorplate have been oriented and shaped to minimize shadow and wind impacts on the public and private spaces. The tower design and ample setbacks from abutting properties ensures any shadows move quickly across impacted areas; among others.



Transition diagram from the Urban Design Guidelines for High-Rise Buildings



1 SITE PLAN
SP-1
SCALE = 1:125



PROJECT INFORMATION		
Zoning By-law 2008-250 Consolidation AM3(2705) S438	SITE AREA	0.264 ha, 2,643.97 sq. m. (28,459) sq. ft.
ZONING	REQUIRED	PROVIDED
BUILDING HEIGHT	16 STOREYS / 52.4m	18 STOREYS / 59.5m
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0m	4.0m
GRADE (GEODETIC ELEVATION - ASL)	72.40m ASL	72.40m ASL
DENSITY - MAXIMUM FLOOR SPACE INDEX	4.25	5.1
FRONT YARD SETBACK - AS PER SCHEDULE S438	9.0m	9.3m
CORNER YARD SETBACK (Saint Joseph / Duford Avenue)	3.5m / 0.0m	3.5m / 0.3m
INTERIOR SIDE YARD SETBACK	0.0m	0.3m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²	1,212m ²	1,635m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	606m ²	785m ²
RESIDENTIAL PARKING (AREA 'Z' - MIN. 0 / MAX. 1.75 PER UNIT)	MIN. 0 / MAX. 354	141
VISITOR PARKING - 0.1 PER UNIT AFTER 12 UNITS	19	19
COMMERCIAL PARKING (AREA 'Z')	NOT REQUIRED	0
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	101	205
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA	2	8
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m / 6.7m
ST. JOSEPH BOULEVARD FRONTAGE MINIMUM GROUND FLOOR GLAZING	50%	±65%

PROJECT STATISTICS		
GROSS BUILDING (CITY OF OTTAWA'S DEFINITION)		
PARKING LEVELS (3 TYPICAL)		N/A
GROUND FLOOR	259.8 sq. m. (2,796) sq. ft.	
1st FLOOR	452.4 sq. m. (4,870) sq. ft.	
2nd FLOOR	1,042.5 sq. m. (11,221) sq. ft.	
3th & 4th FLOOR	2 x 1,042.5 sq. m. 2 x (11,221) sq. ft.	2,085.0 sq. m. (22,442) sq. ft.
5th to 17th FLOOR	13 x 689.25 sq. m. 13 x (7,419) sq. ft.	8,960.2 sq. m. (96,447) sq. ft.
18th FLOOR	517.5 sq. m. (5,641) sq. ft.	
MECHANICAL LEVEL		N/A
TOTAL AREA	13,261.4 sq. m. (142,745) sq. ft.	
UNIT STATISTICS		
STUDIO UNIT		4
1 BEDROOM UNIT		46
1 BEDROOM + DEN UNIT		39
2 BEDROOM UNIT		103
2 BEDROOM + DEN UNIT		8
3 BEDROOM UNIT		4
TOTAL		204
COMMERCIAL RETAIL	259.8 sq. m. (2,796) sq. ft.	
CAR PARKING		
REQUIRED by ZONING BY-LAW		
RESIDENCE	- AREA 'Z' NONE REQUIRED	0
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)	19
COMMERCIAL RETAIL (RETAIL FOOD BANK & CONVENIENCE STORE)	- AREA 'Z' NONE REQUIRED	0
TOTAL		19
PROVIDED		
RESIDENCE	- 0.6 PER UNIT	126
VISITOR	- 0.1 PER UNIT	19
TOTAL		145
LOCATION		
P3 LEVEL UNDER GROUND PARKING		46
P2 LEVEL UNDER GROUND PARKING		44
P1 LEVEL PARKING		39
STREET LEVEL PARKING		16
TOTAL		145
BICYCLE PARKING		
REQUIRED		
RESIDENCE	- 0.5 PER UNIT (204 UNITS)	101
COMMERCIAL RETAIL	- 1.0 PER 250m ² OF G.F.A.	2
TOTAL		103
PROVIDED		
EXTERIOR		8
INDOOR ON L1 FLOOR		205
TOTAL		213
LOT COVERAGE		
PAVED SURFACE =	43.7 sq. m.	1.6%
BUILDING FOOTPRINT =	1,618.9 sq. m.	61.2%
LANDSCAPE OPEN SPACE =	981.4 sq. m.	37.2%
TOTAL =	2,643.97 sq. m.	100.0%




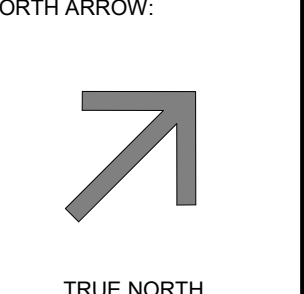



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No.	DESCRIPTION	DATE
4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09

No.	DESCRIPTION	DATE

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT: **MASTERCRAFT STARWOOD**
 Investment Builders Since 1951


ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahay.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.
 OTTAWA, ON. K1E 1E2

SHEET TITLE:
CONTEXT PLAN

DRAWN: S.S.	CHECKED: R.V.
SCALE: 1 : 550	SHEET No: 16
PROJECT No: 2222	

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No.	DESCRIPTION	YYYY-MM-DD

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

MASTERCRAFT STARWOOD
Investment Builders Since 1951

ARCHITECT:

rla/architecture
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.roderickrlahey.ca

PROJECT TITLE:

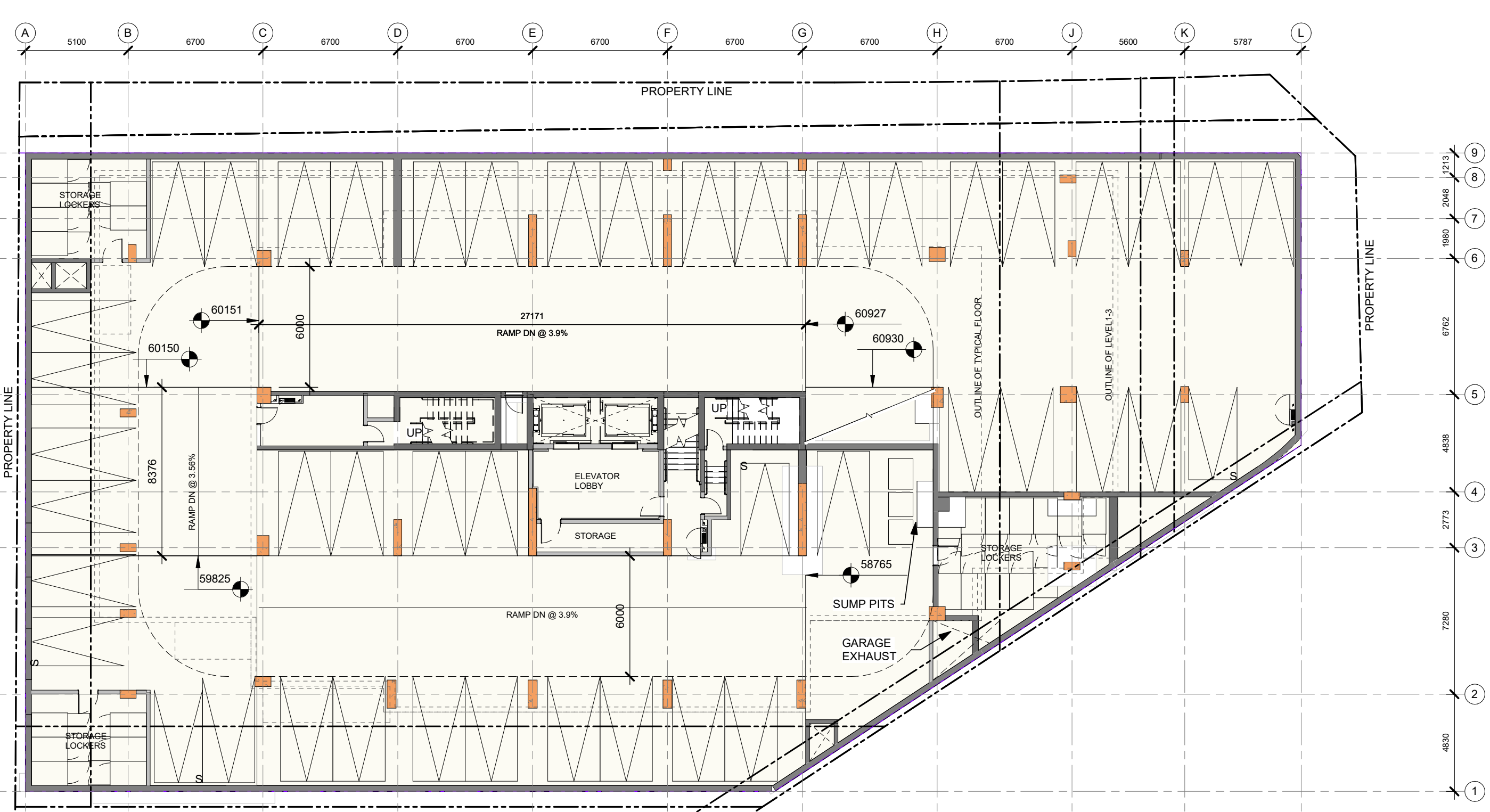
3030 ST. JOSEPH BLVD.

OTTAWA, ON. K1E 1E2

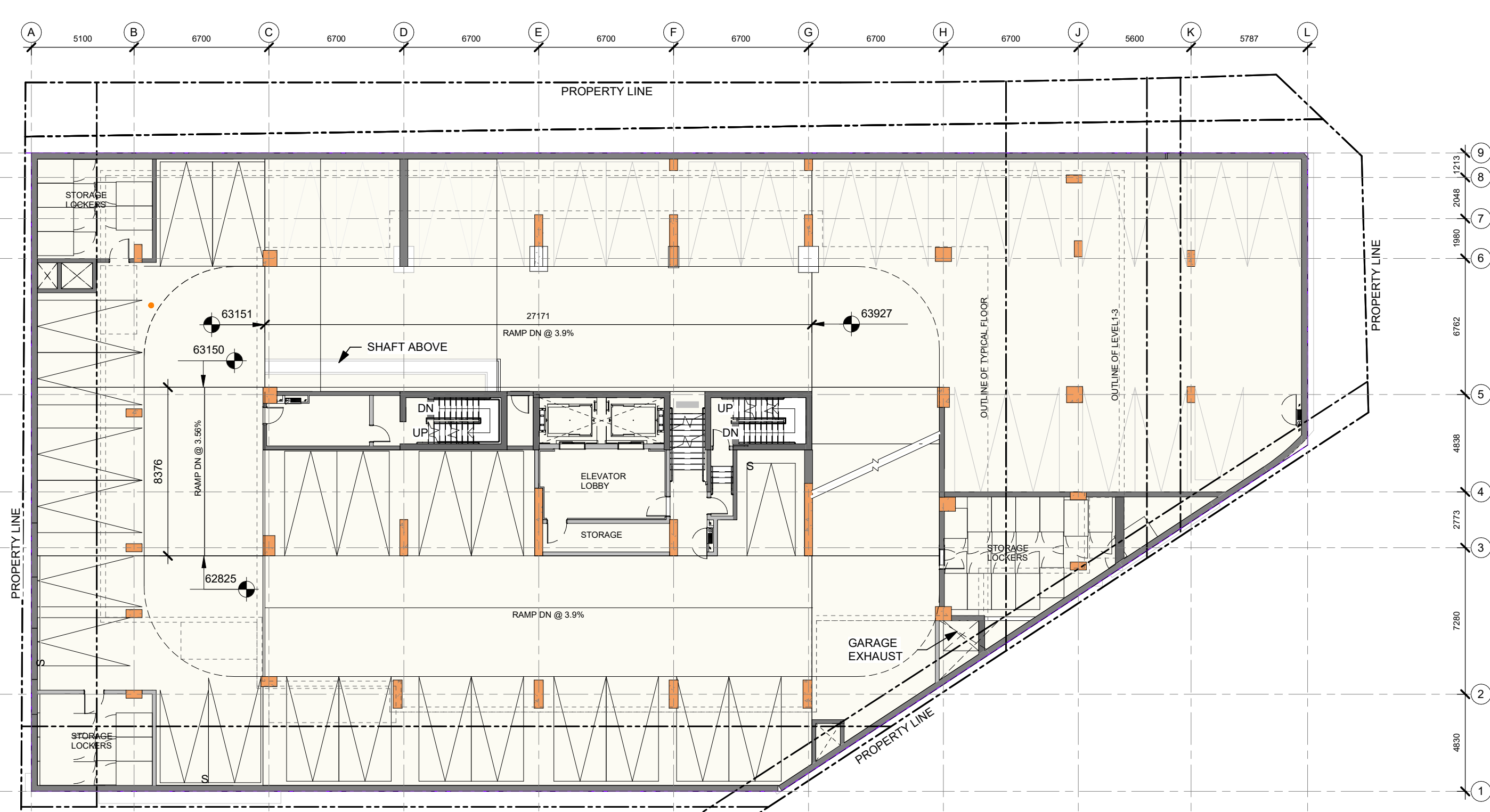
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FLOOR PLANS

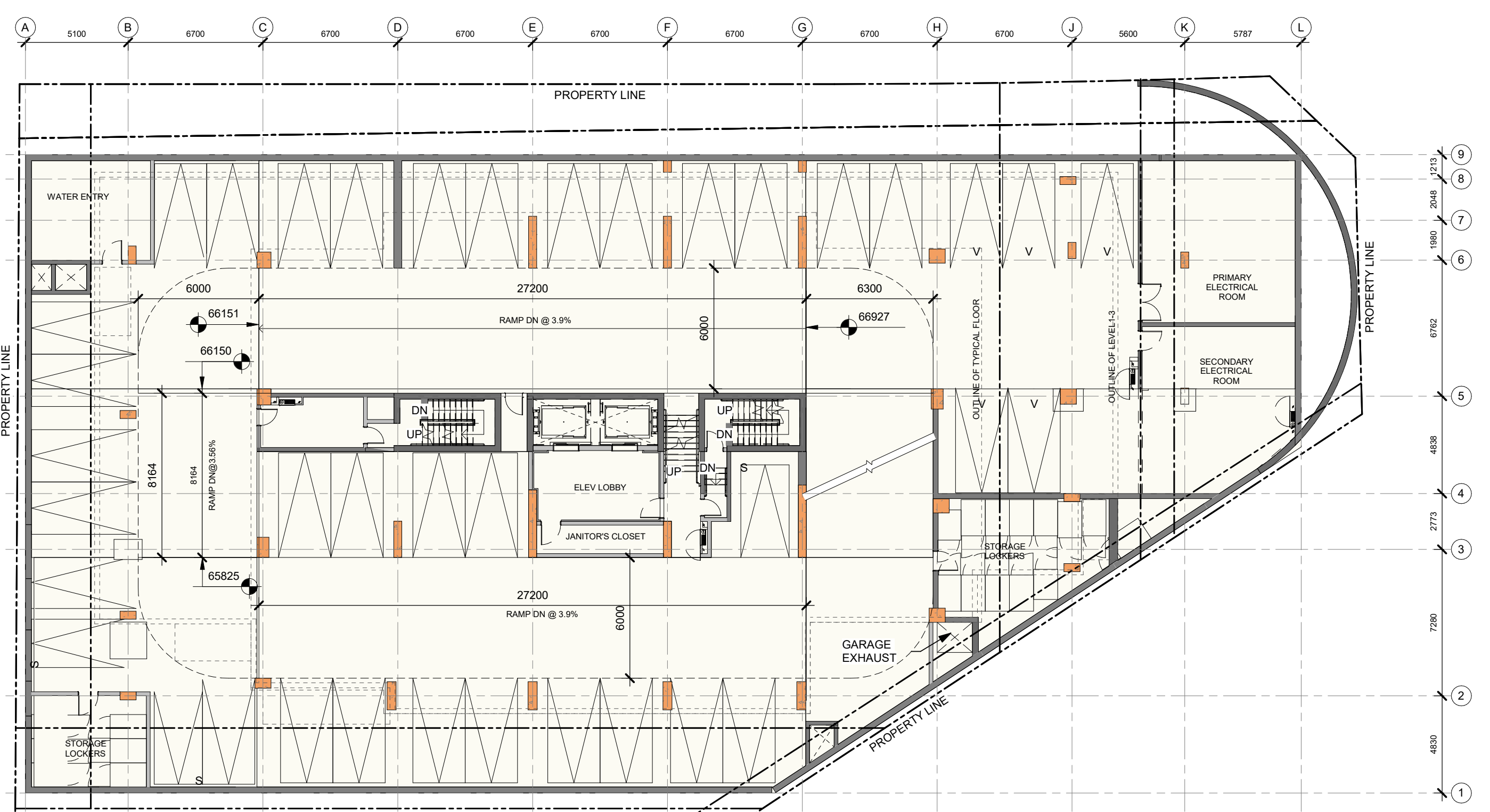
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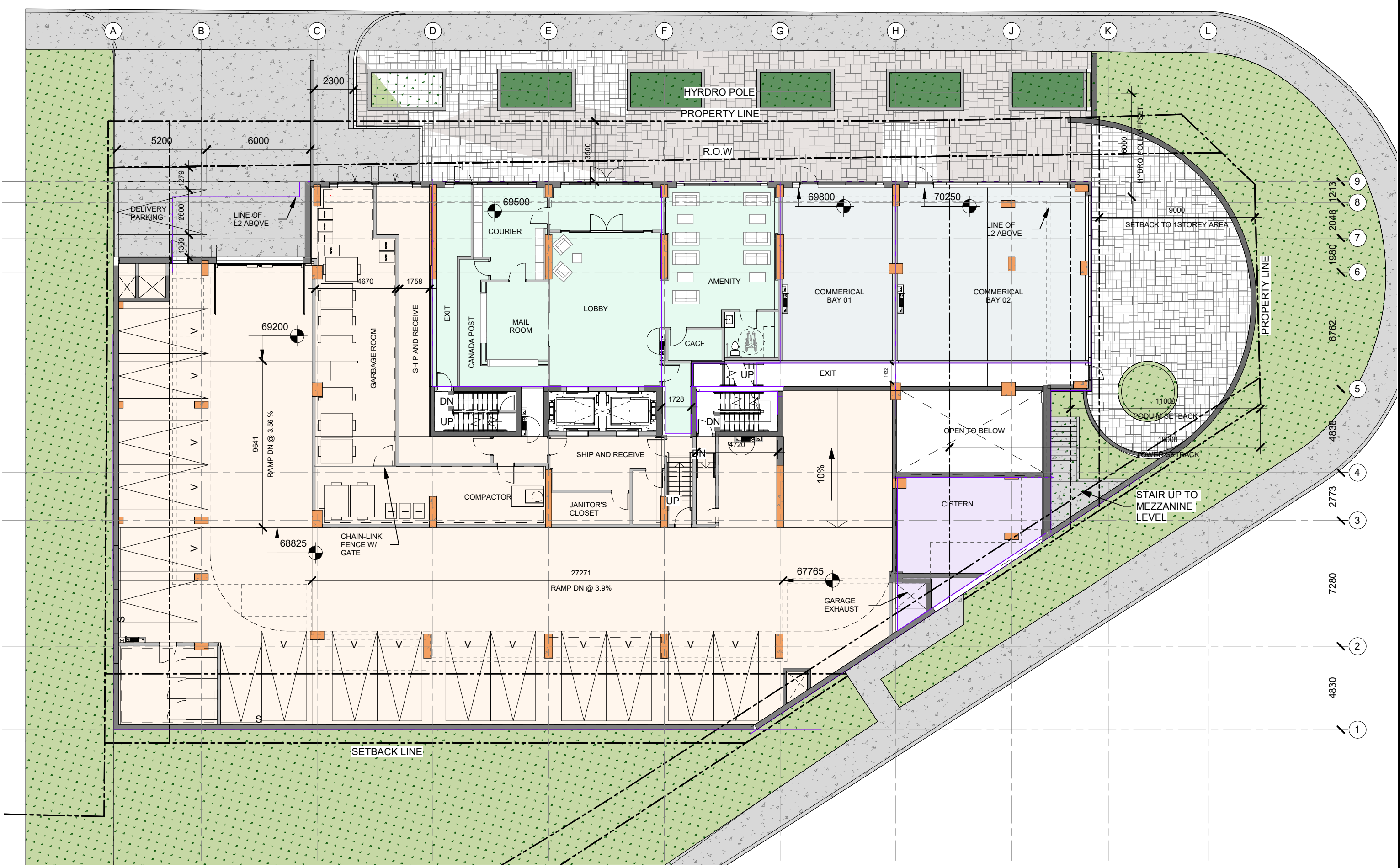
LEVEL P3



LEVEL P2



LEVEL P1

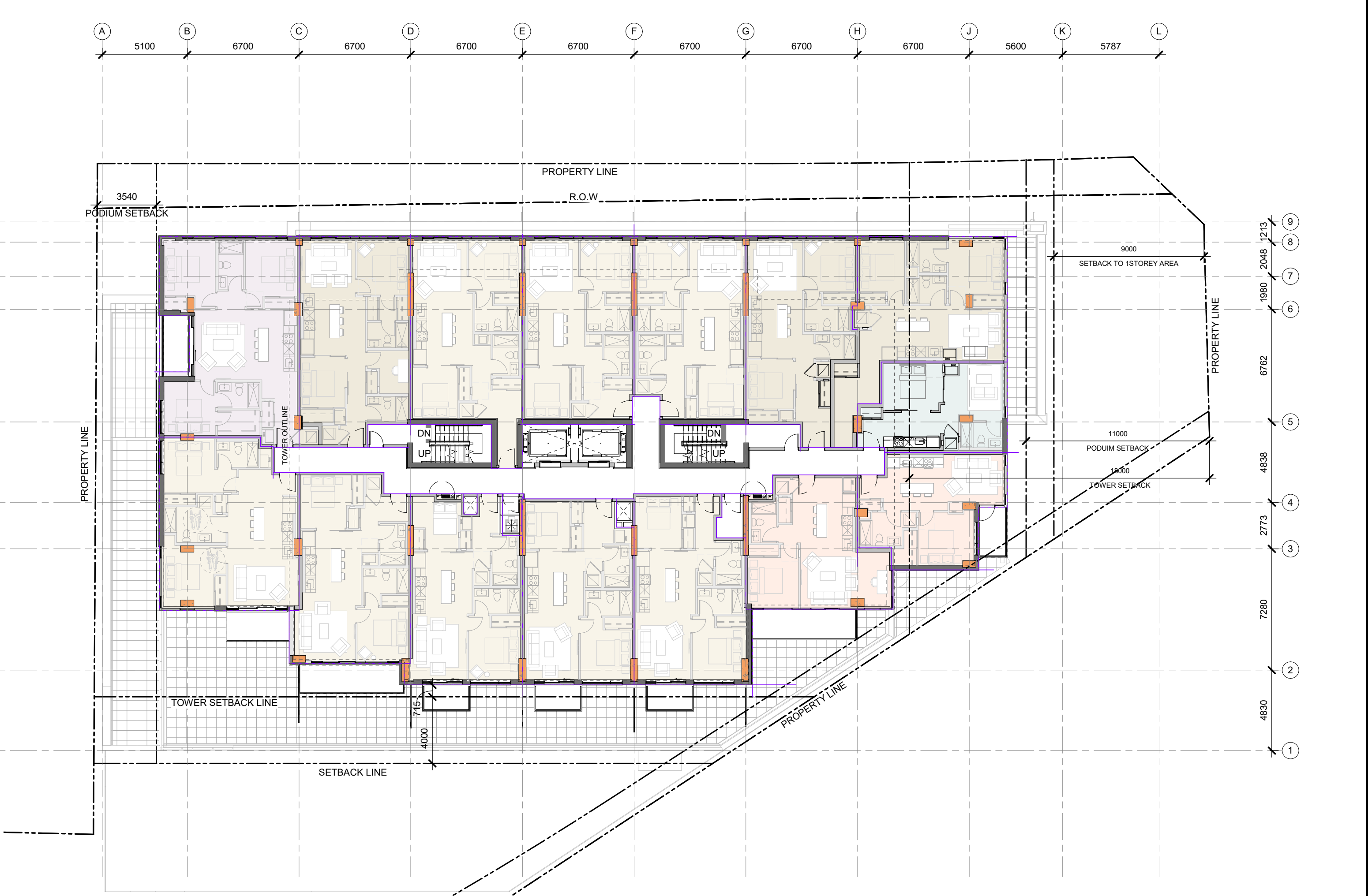
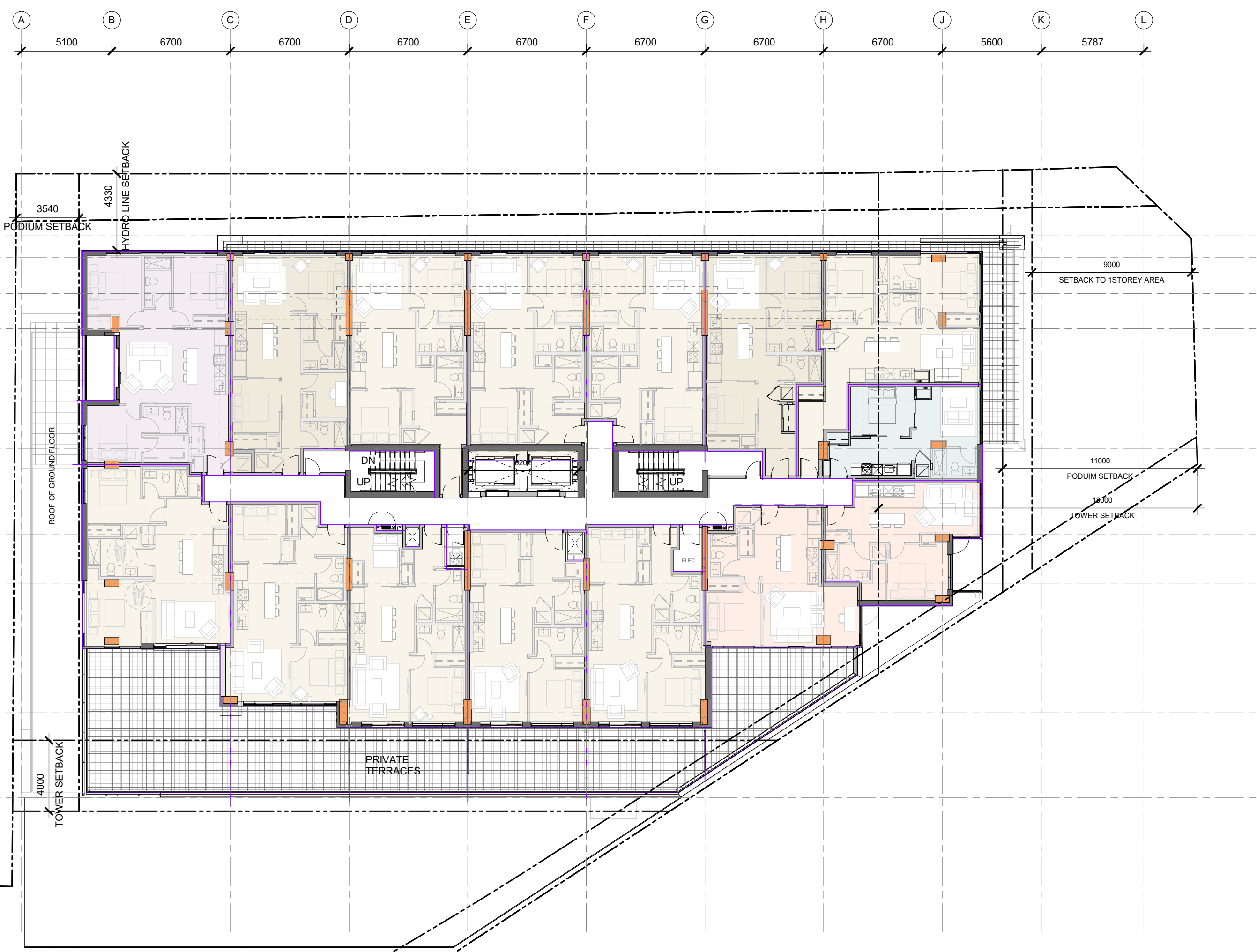
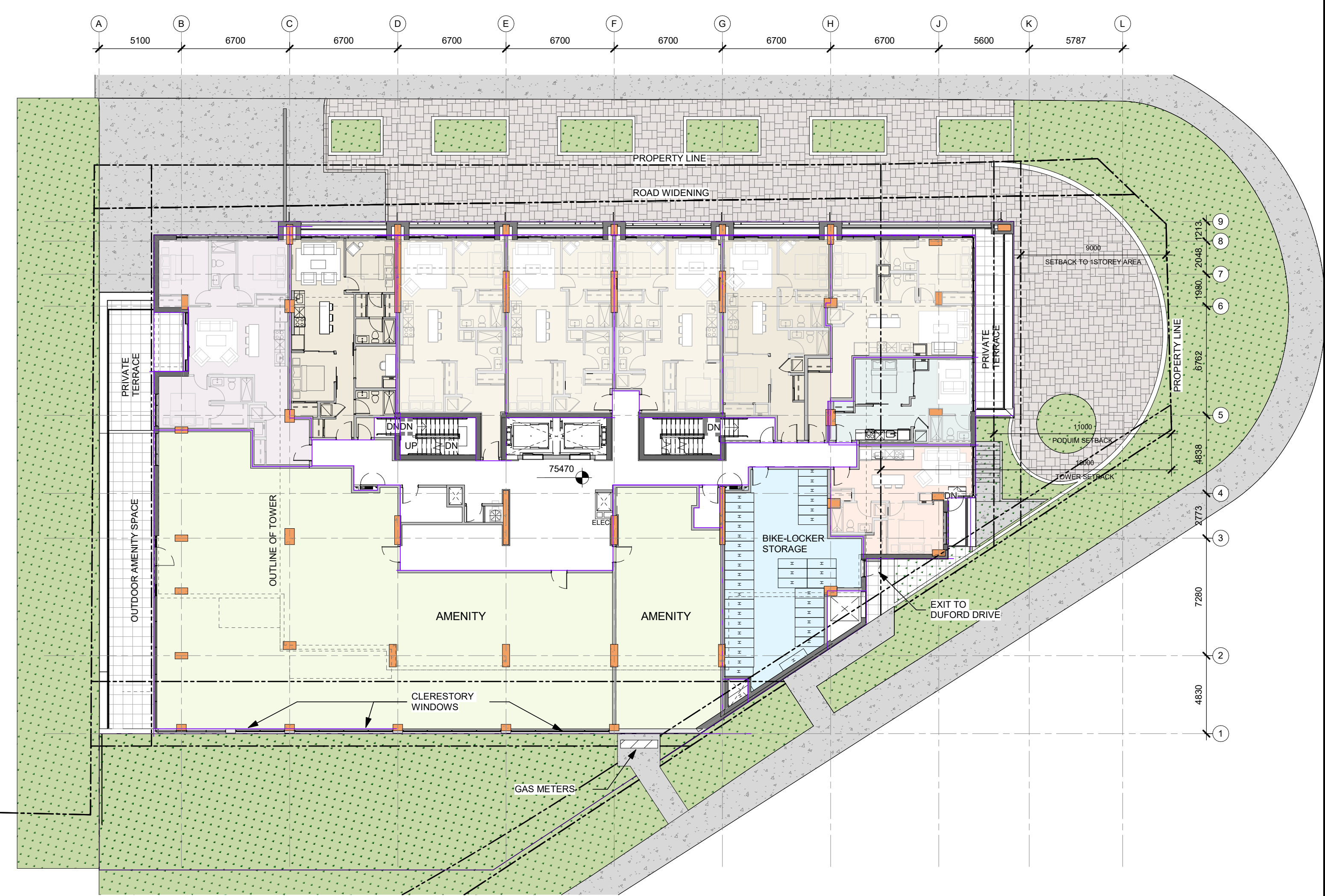
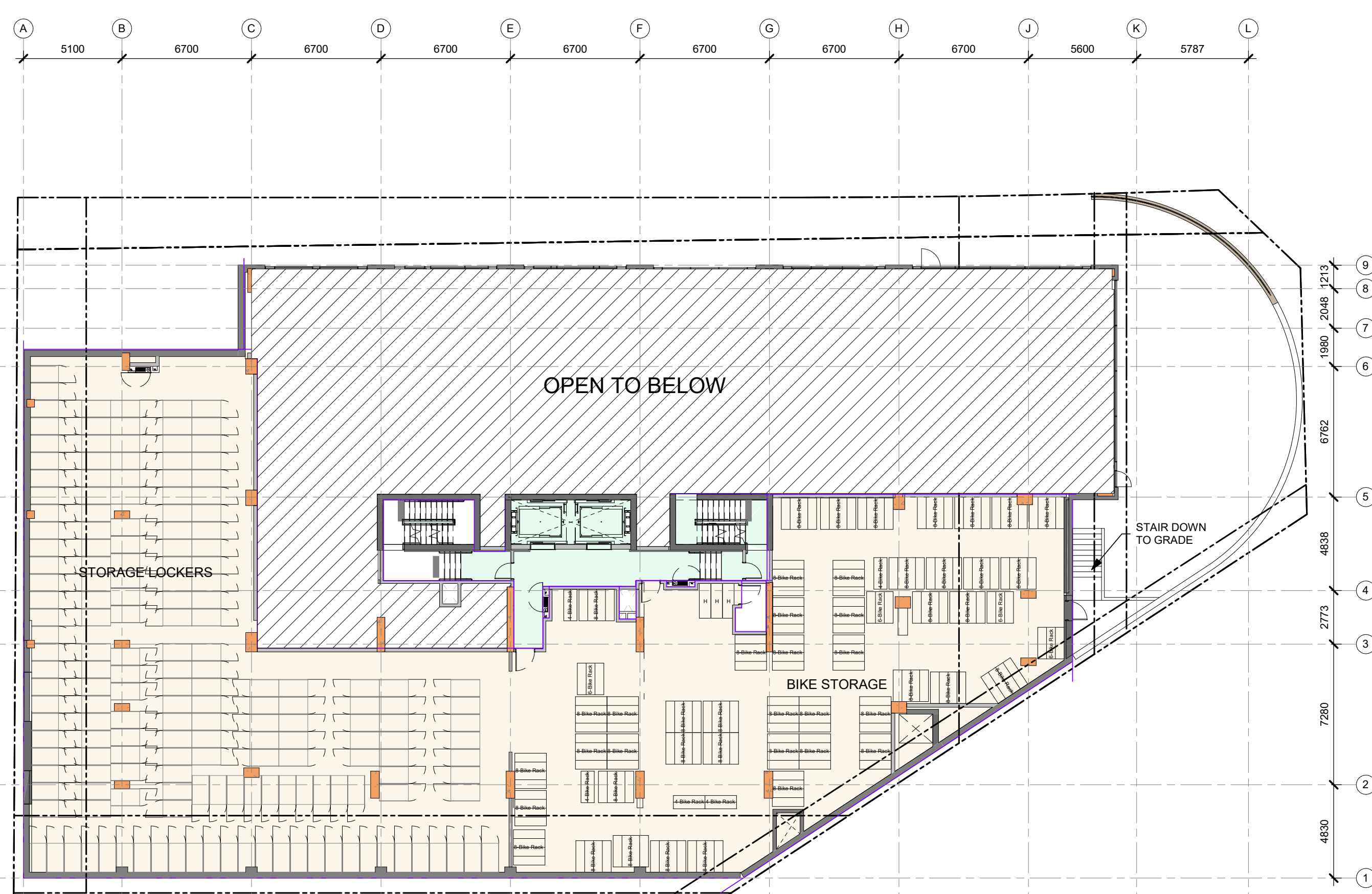


GROUND FLOOR

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4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09
No.	DESCRIPTION	YYYY-MM-DD

ARCHITECT SEAL: NORTH ARROW: TRUE NORTH

CLIENT: **MASTERCRAFT STARWOOD**
 Investment Builders Since 1951

ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.
 OTTAWA, ON. K1E 1E2

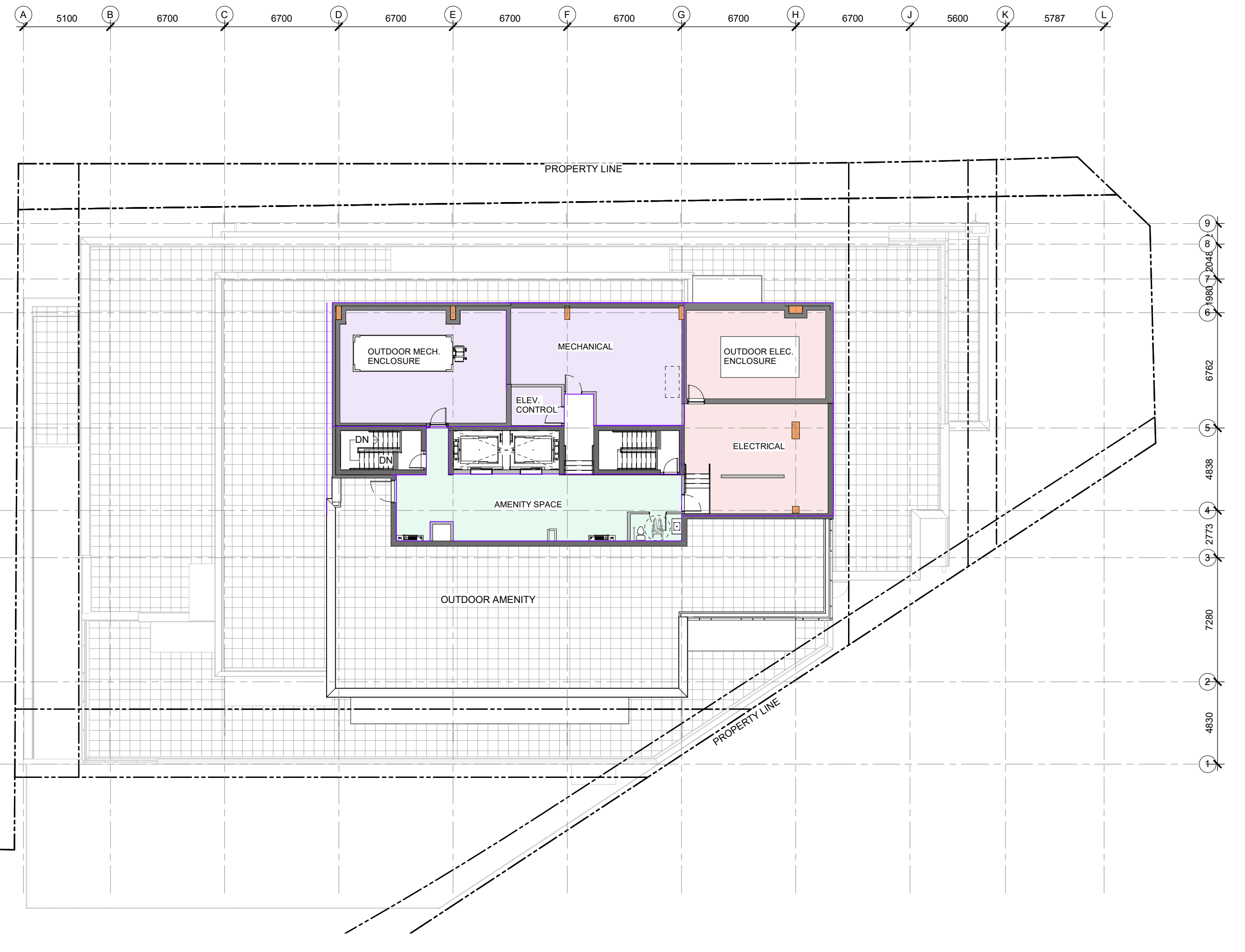
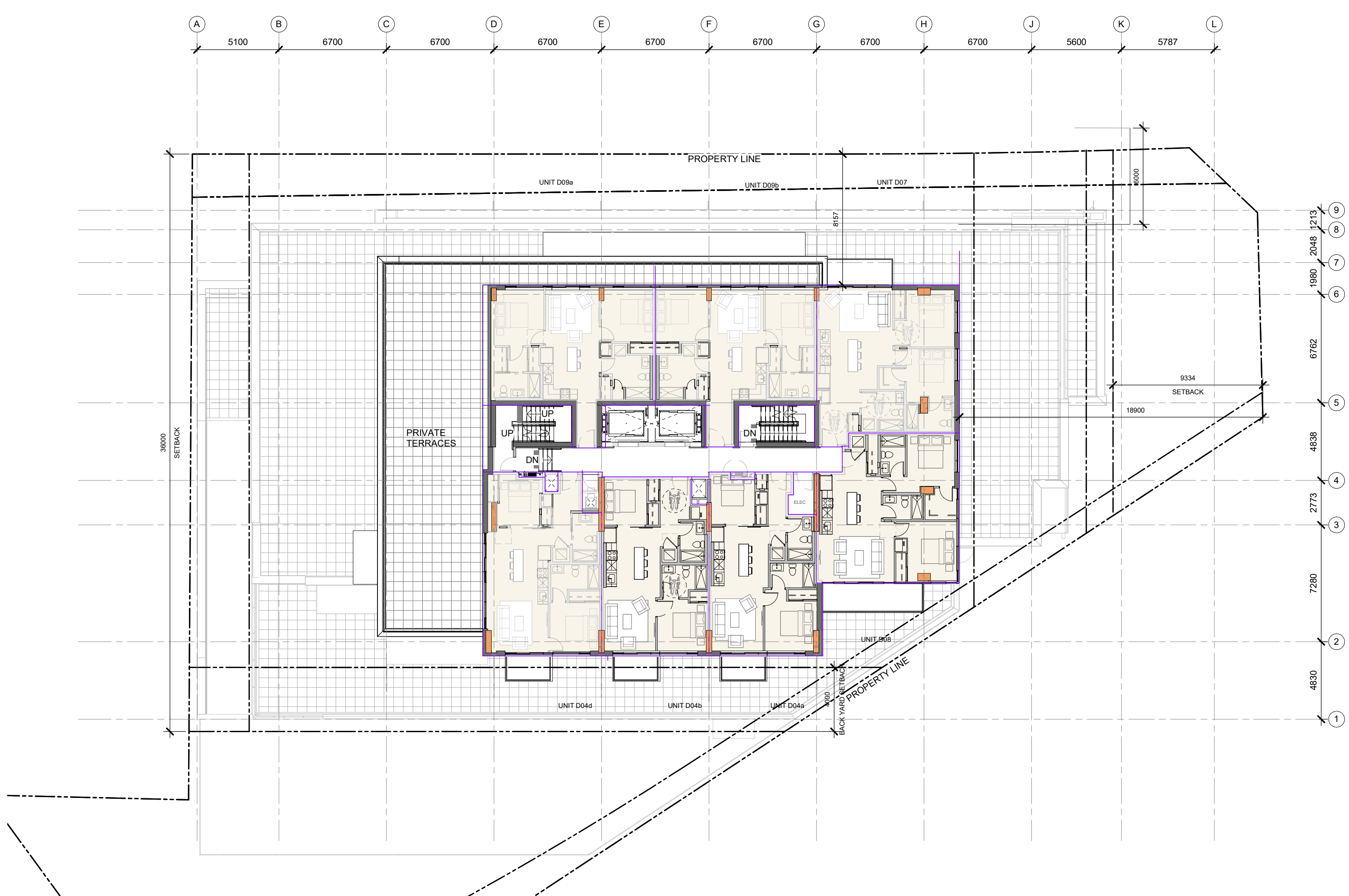
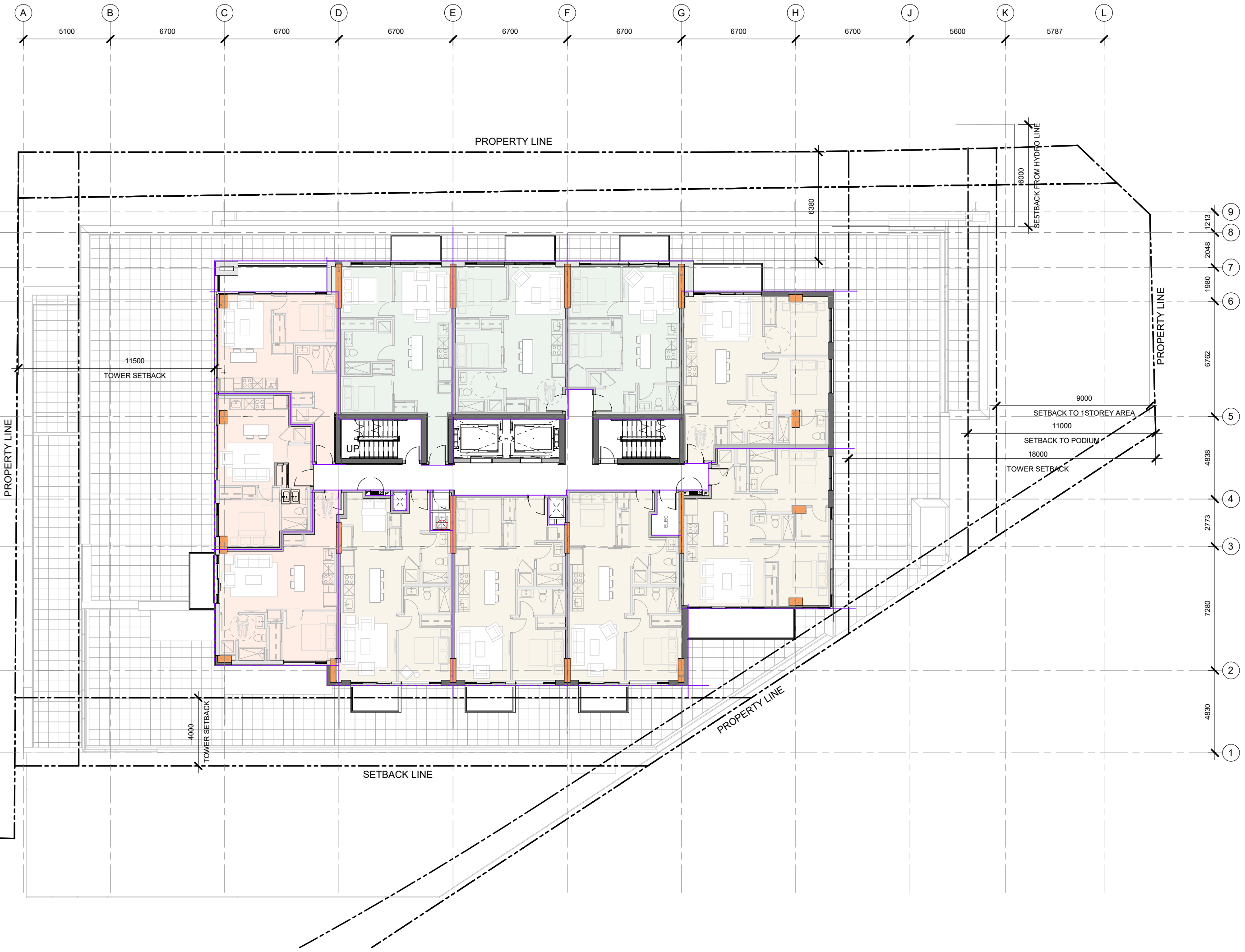
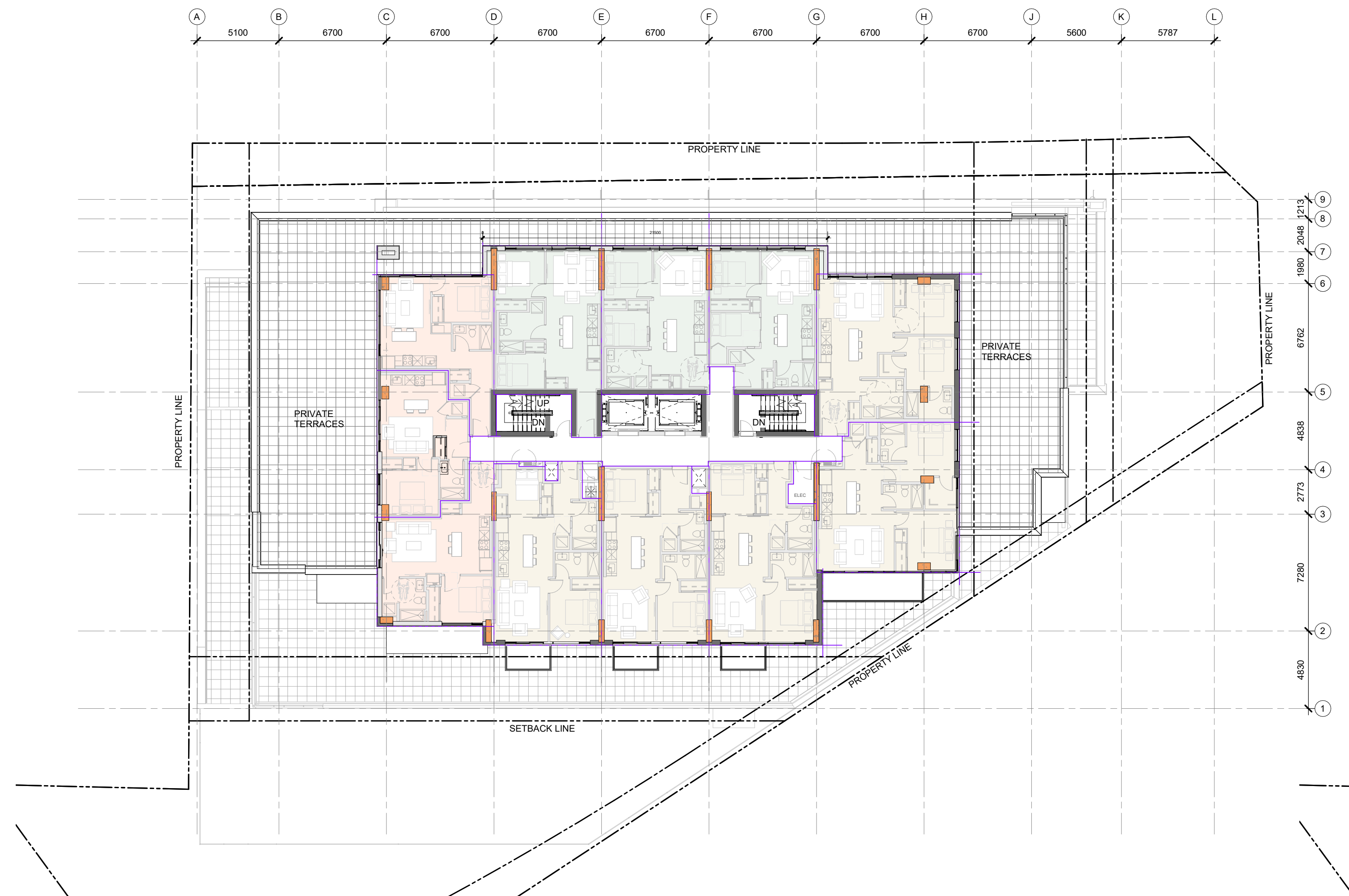
SHEET TITLE:
FLOOR PLANS

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No.:
PROJECT No.:	18


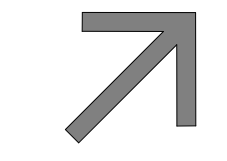
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4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09
No.	DESCRIPTION	YYYY-MM-DD

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT: **MASTERCRAFT STARWOOD**
 Investment Builders Since 1951


ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.
 OTTAWA, ON. K1E 1E2

SHEET TITLE:
FLOOR PLANS

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No.:
PROJECT No.:	19

PAPER SIZE: ISO Full (Breed 81 (707.00 x 1000.00mm))
 PLOT DATE: 11/15/2023 4:15:04 PM

NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



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No.	DESCRIPTION	DATE
4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09

REVISIONS:

ARCHITECT SEAL: 	NORTH ARROW:
---------------------	------------------

TRUE NORTH

CLIENT:
MASTERCRAFT STARWOOD
 Investment Builders Since 1951

ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

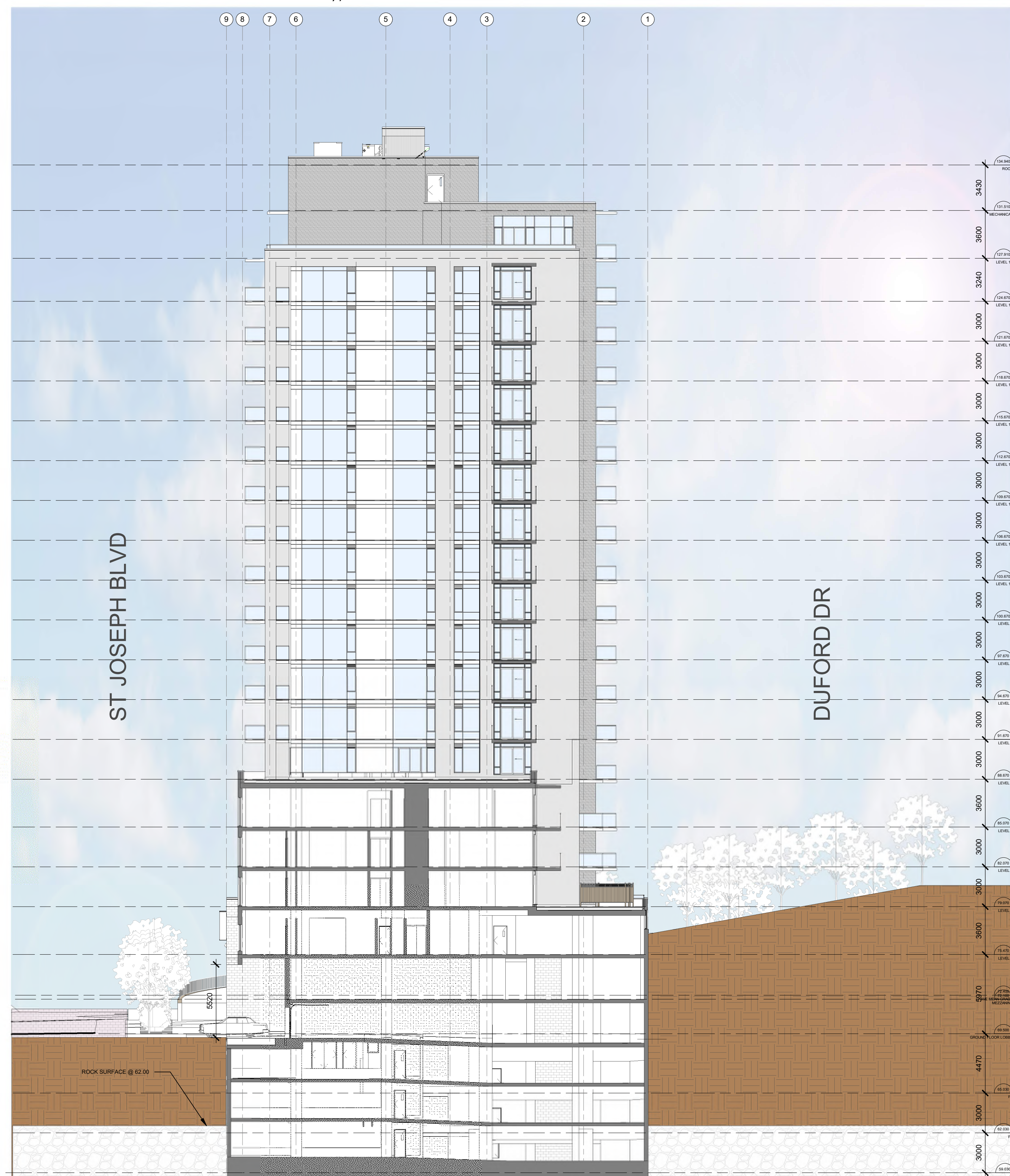
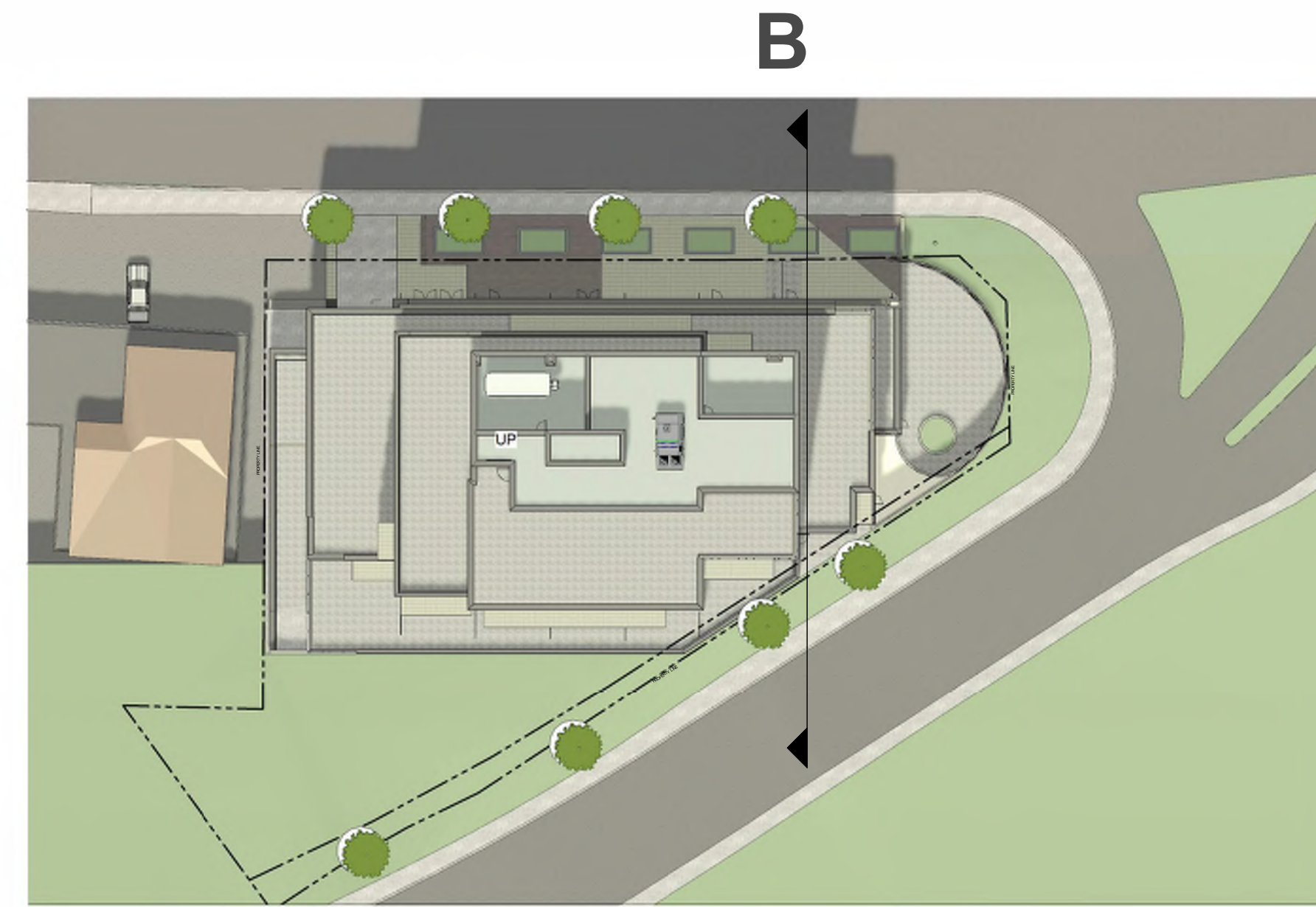
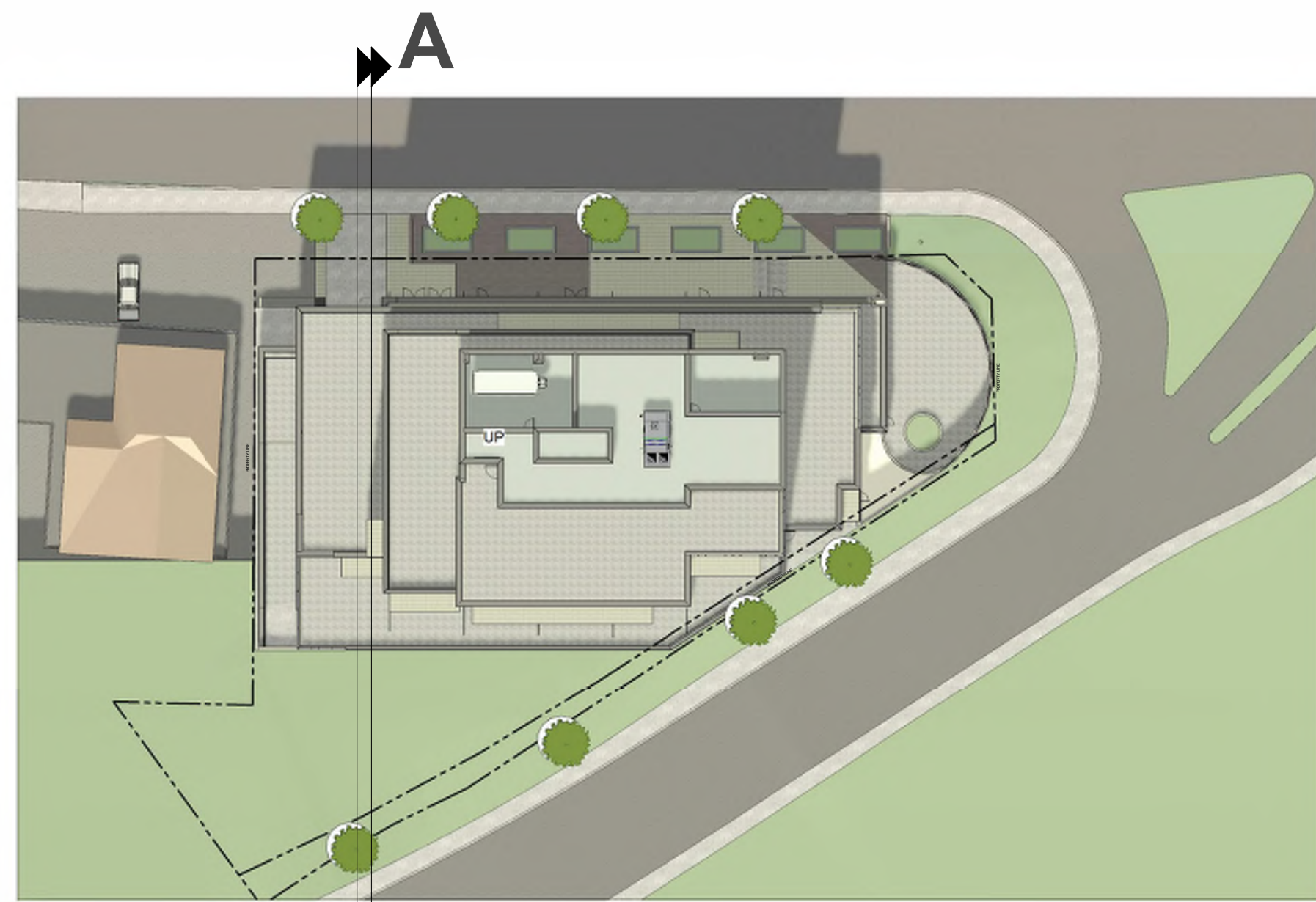
PROJECT TITLE:
3030 ST. JOSEPH BLVD.

OTTAWA, ON. K1E 1E2

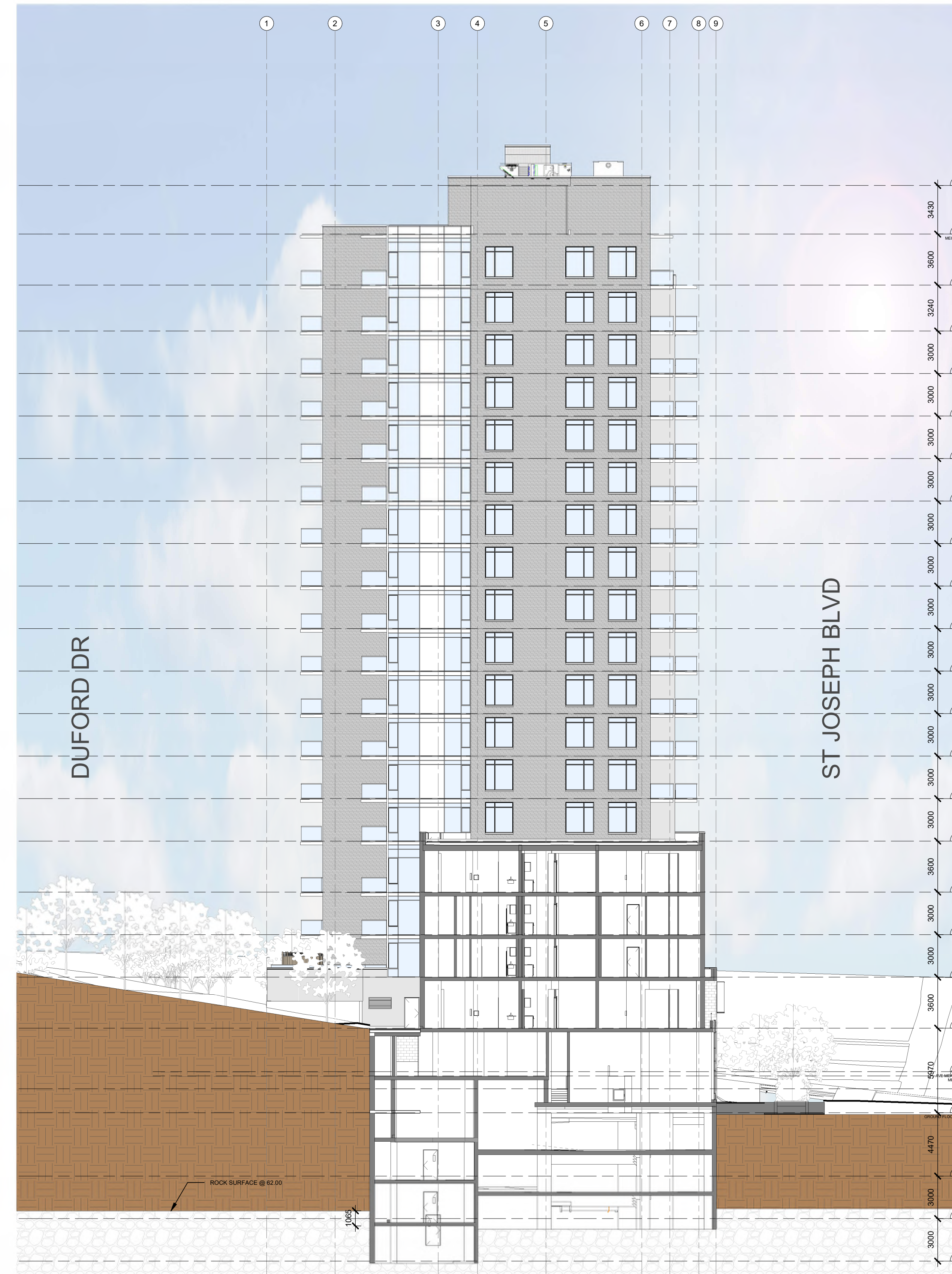
SHEET TITLE:
ELEVATIONS

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 300	SHEET No: 20
PROJECT No: 2222	

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SECTION A



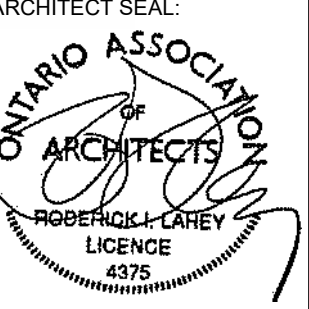
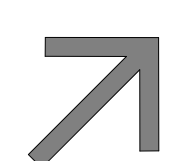
SECTION B

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4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09
No.	DESCRIPTION	YYYY-MM-DD

REVISIONS:

 ARCHITECT SEAL: ARCHITECTS RODERICK-LAHEY LICENCE 4375	NORTH ARROW:  TRUE NORTH
--	---

CLIENT:
MASTERCRAFT STARWOOD
 Investment Builders Since 1951


ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.

OTTAWA, ON. K1E 1E2

SHEET TITLE:
SECTIONS

DRAWN: Author	CHECKED: Checker
SCALE: As indicated	SHEET No.: 21
PROJECT No.: 2222	

PAPER SIZE: ISO Full (Breed 6) (707.00 x 1000.00mm)
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VIEW LOOKING SOUTH WEST FROM ACROSS ST. JOSEPH



VIEW LOOKING SOUTH EAST FROM ACROSS ST. JOSEPH

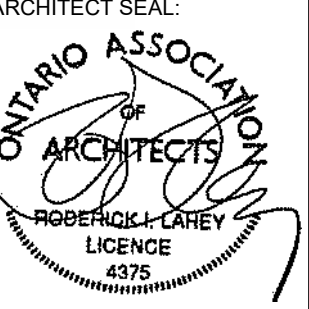
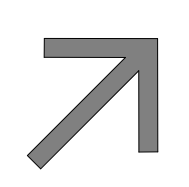


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4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09
No.	DESCRIPTION	YYYY-MM-DD

REVISIONS:

 ARCHITECT SEAL: RODERICK LAHEY LICENCE 4375	NORTH ARROW:  TRUE NORTH
--	---

CLIENT:
MASTERCRAFT STARWOOD
 Investment Builders Since 1951


ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.

OTTAWA, ON. K1E 1E2

SHEET TITLE:
3D VIEWS

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: 22
PROJECT No: 2222	

PAPER SIZE: ISO Full Based 61 (707.60 x 1000.00mm)
 PLOT DATE: 11/15/2023 4:27:40 PM

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
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VIEW LOOKING SOUTH FROM ACROSS ST. JOSEPH



ENLARGED VIEW LOOKING WEST AT PODIUM



ENLARGED VIEW LOOKING SOUTH WEST AT PODIUM

4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09
No.	DESCRIPTION	YYYY-MM-DD

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

MASTERCRAFT STARWOOD
 Investment Builders Since 1951

ARCHITECT:

rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

3030 ST. JOSEPH BLVD.

OTTAWA, ON. K1E 1E2

SHEET TITLE:

3D VIEWS

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: 23
PROJECT No: 2222	

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VIEW LOOKING WEST ACROSS DUFORD DRIVE



VIEW LOOKING NORTH EAST FROM DUFORD DRIVE

No.	DESCRIPTION	DATE
4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09

REVISIONS: YYY-MM-DD

ARCHITECT SEAL: 	NORTH ARROW: TRUE NORTH
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CLIENT:
MASTERCRAFT STARWOOD
 Investment Builders Since 1951

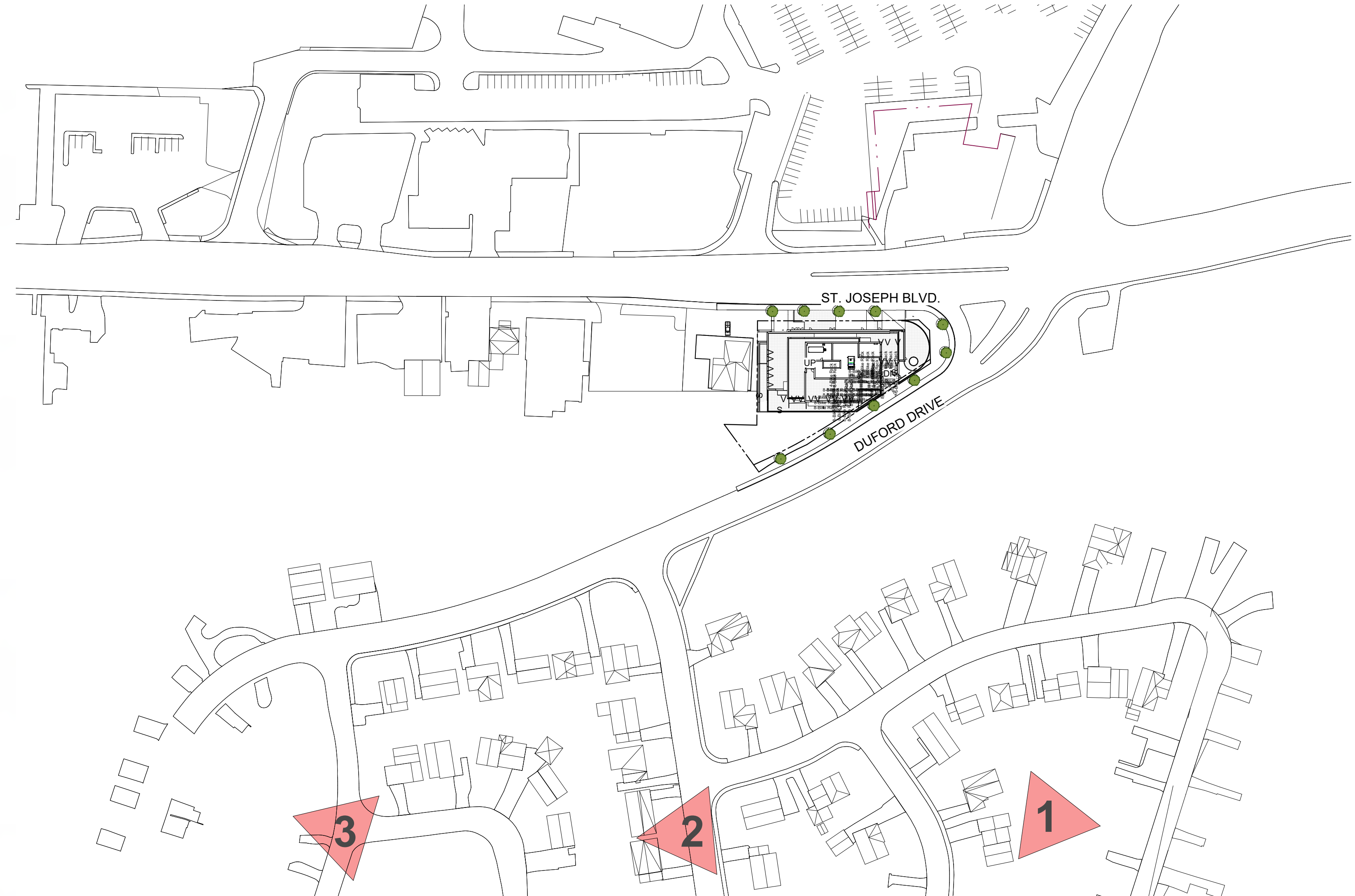
ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
 3030 ST. JOSEPH BLVD.
 OTTAWA, ON. K1E 1E2

SHEET TITLE:
 3D VIEWS LOOKING FROM BACK

DRAWN: S.S	CHECKED: R.V
SCALE:	SHEET No: 24
PROJECT No: 2222	

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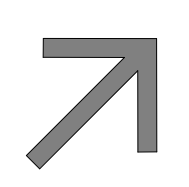


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4	ISSUED FOR UDRP	2023-11-16
1	ISSUED FOR OPA, ZBLA AND SPC APPLICATION	2023-06-09
No.	DESCRIPTION	YYYY-MM-DD

REVISIONS:

 ARCHITECT SEAL: RODERICK L. CAREY LICENCE #375	NORTH ARROW:  TRUE NORTH
---	---

CLIENT:
MASTERCRAFT STARWOOD
 Investment Builders Since 1951


ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklcarey.ca

PROJECT TITLE:
 3030 ST. JOSEPH BLVD.

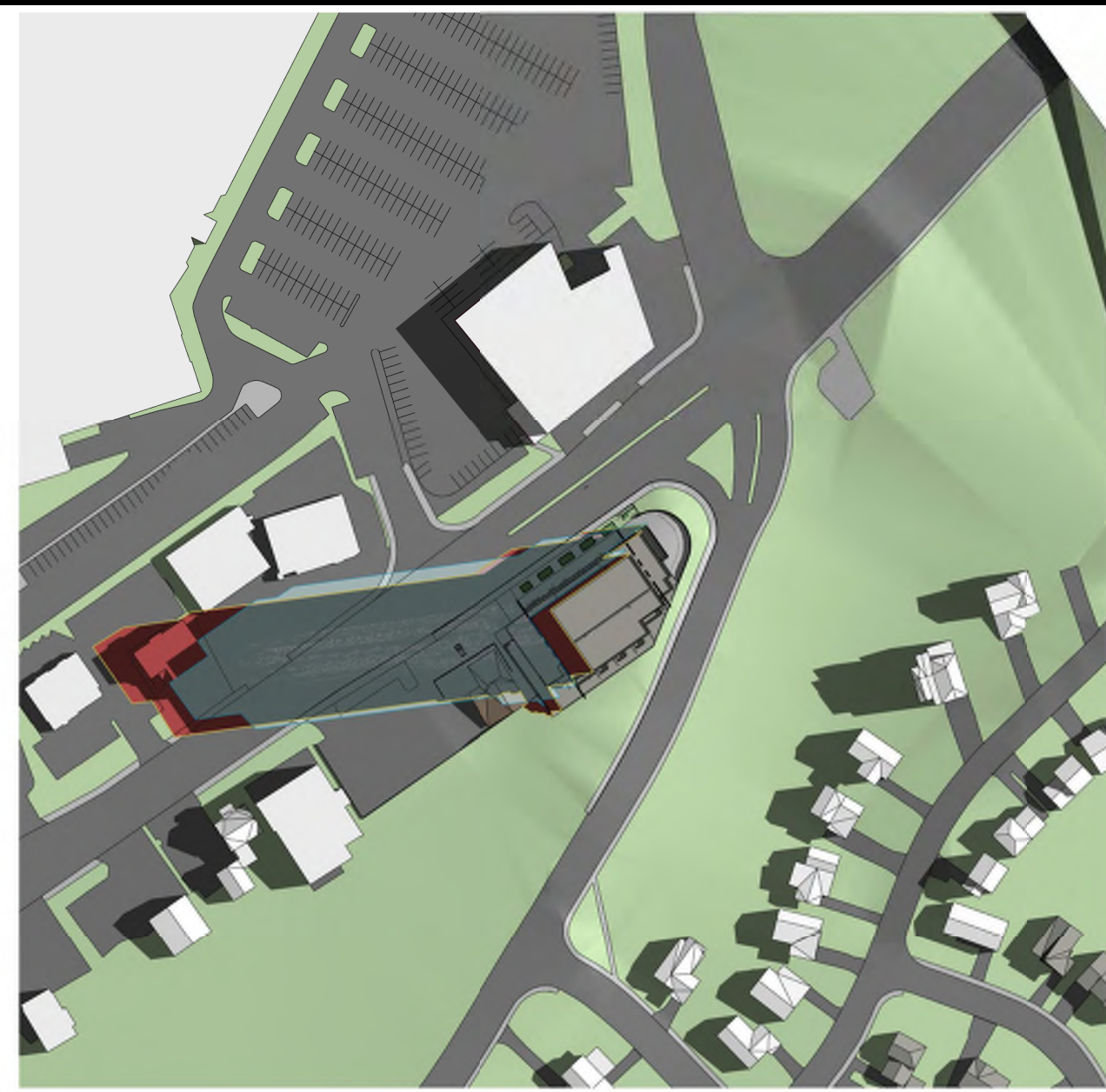
OTTAWA, ON. K1E 1E2

SHEET TITLE:
 3D VIEW FROM THE TOP OF THE HILL

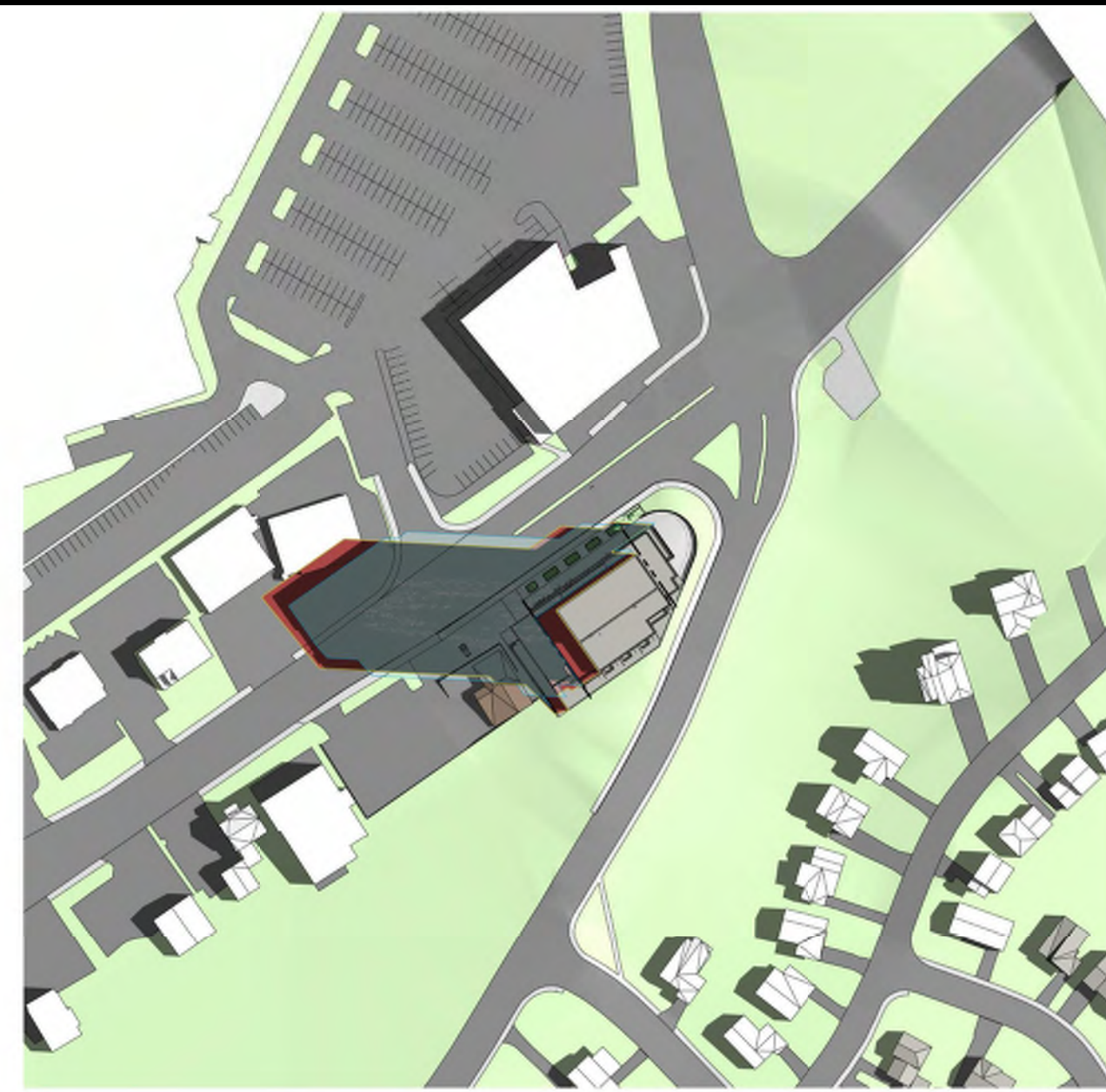
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SCALE: 1 : 1200	SHEET No: 25
PROJECT No: 2222	

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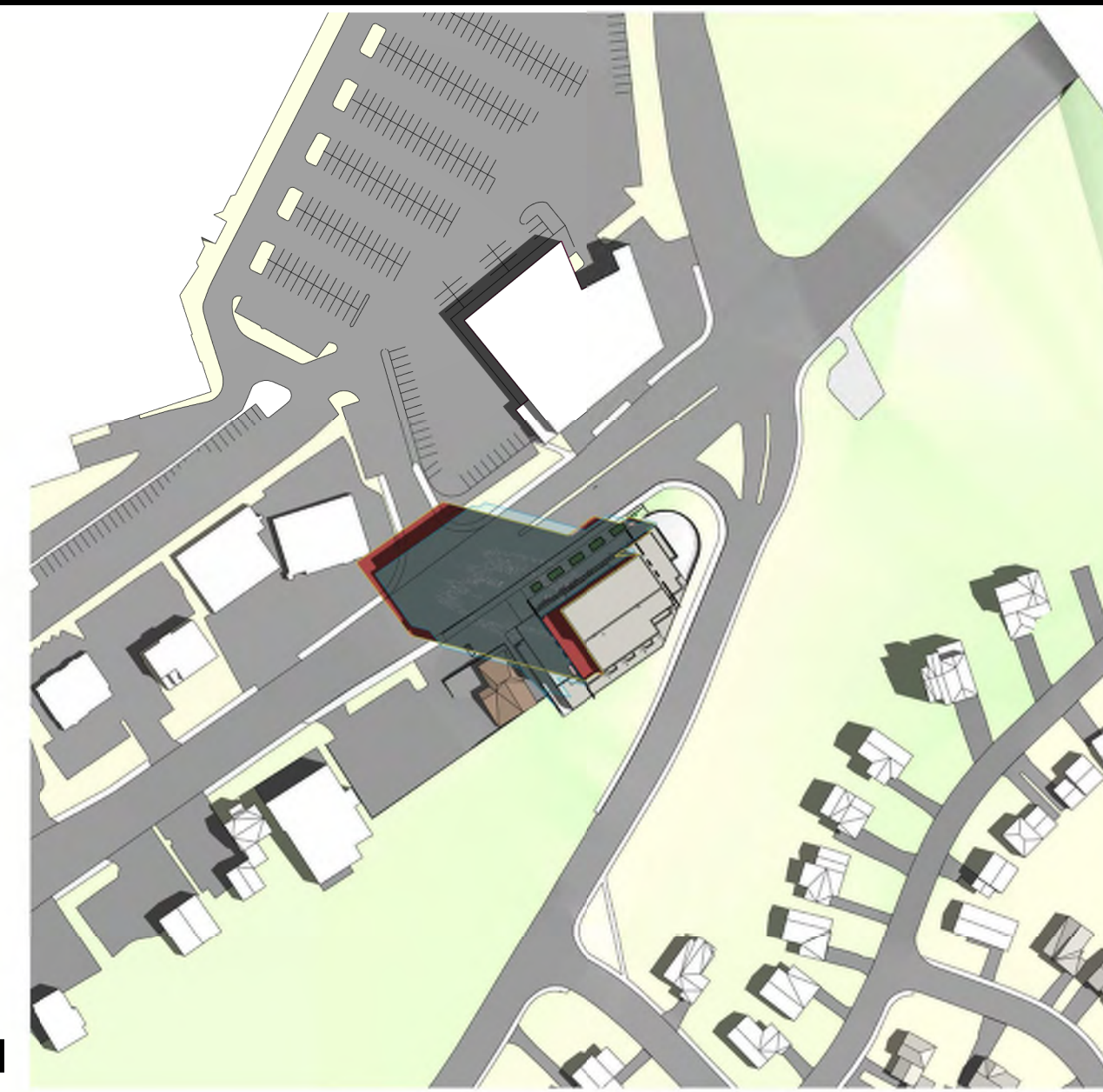
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9:00 AM



10:00 AM



11:00 AM



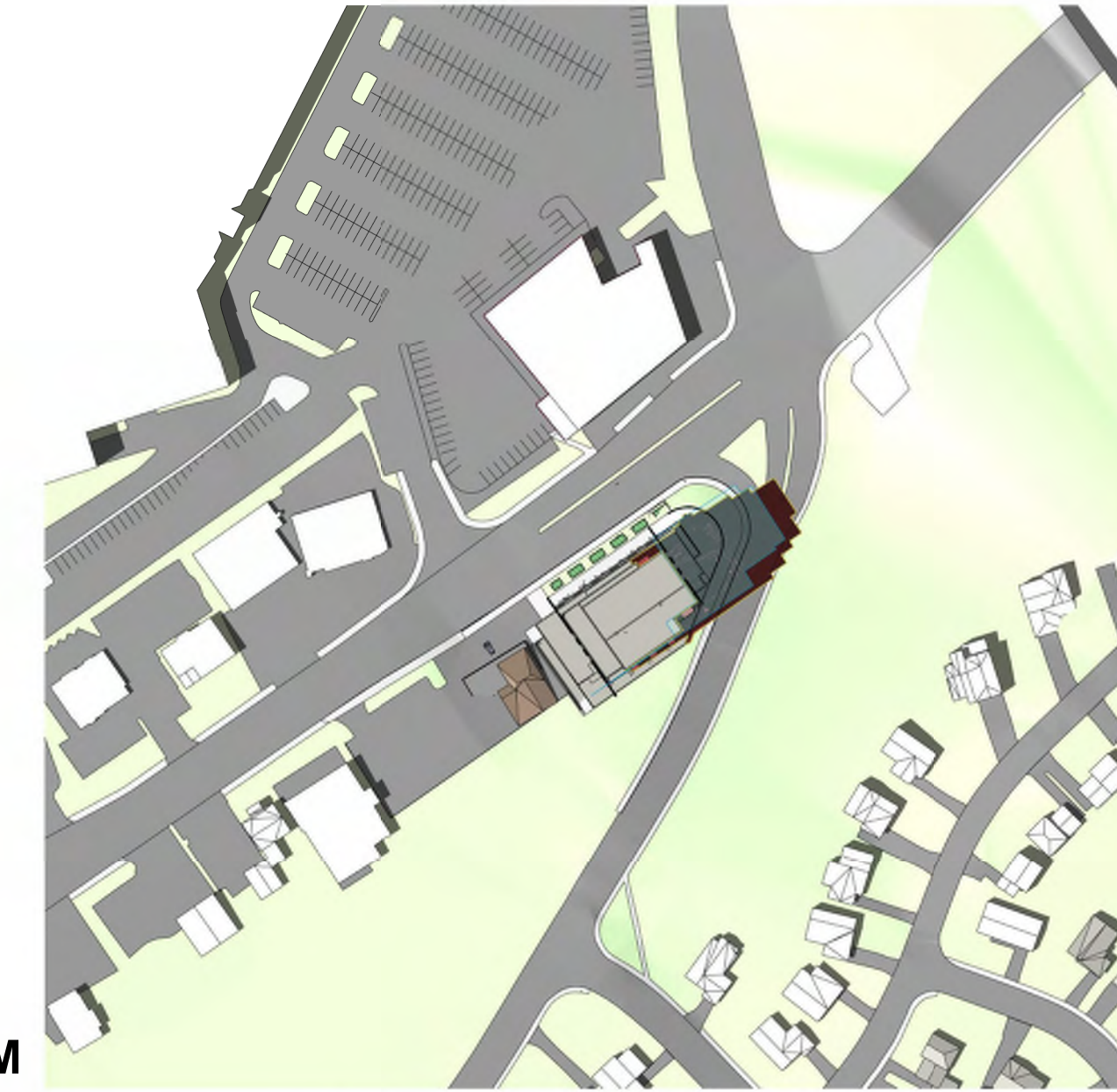
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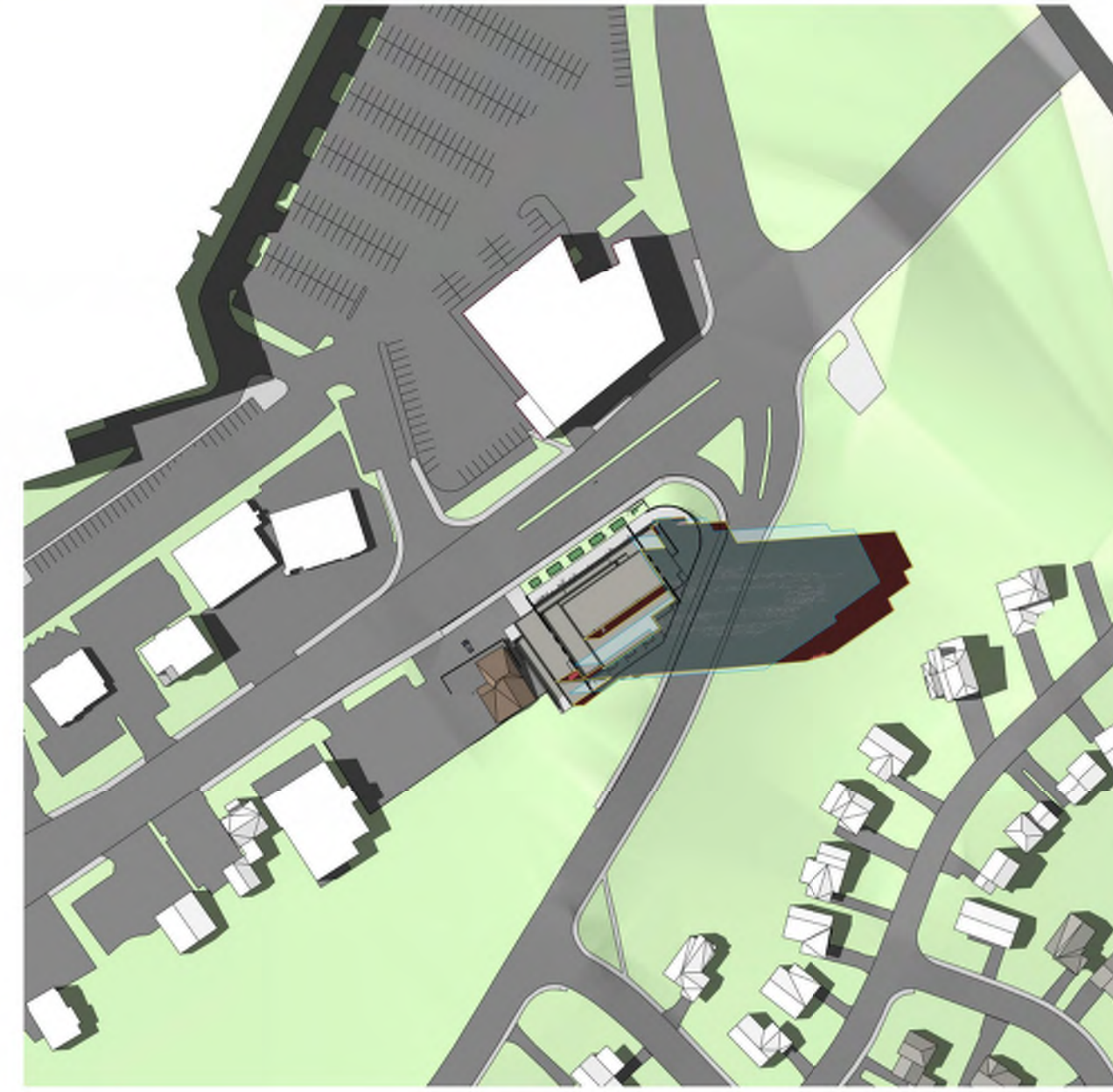
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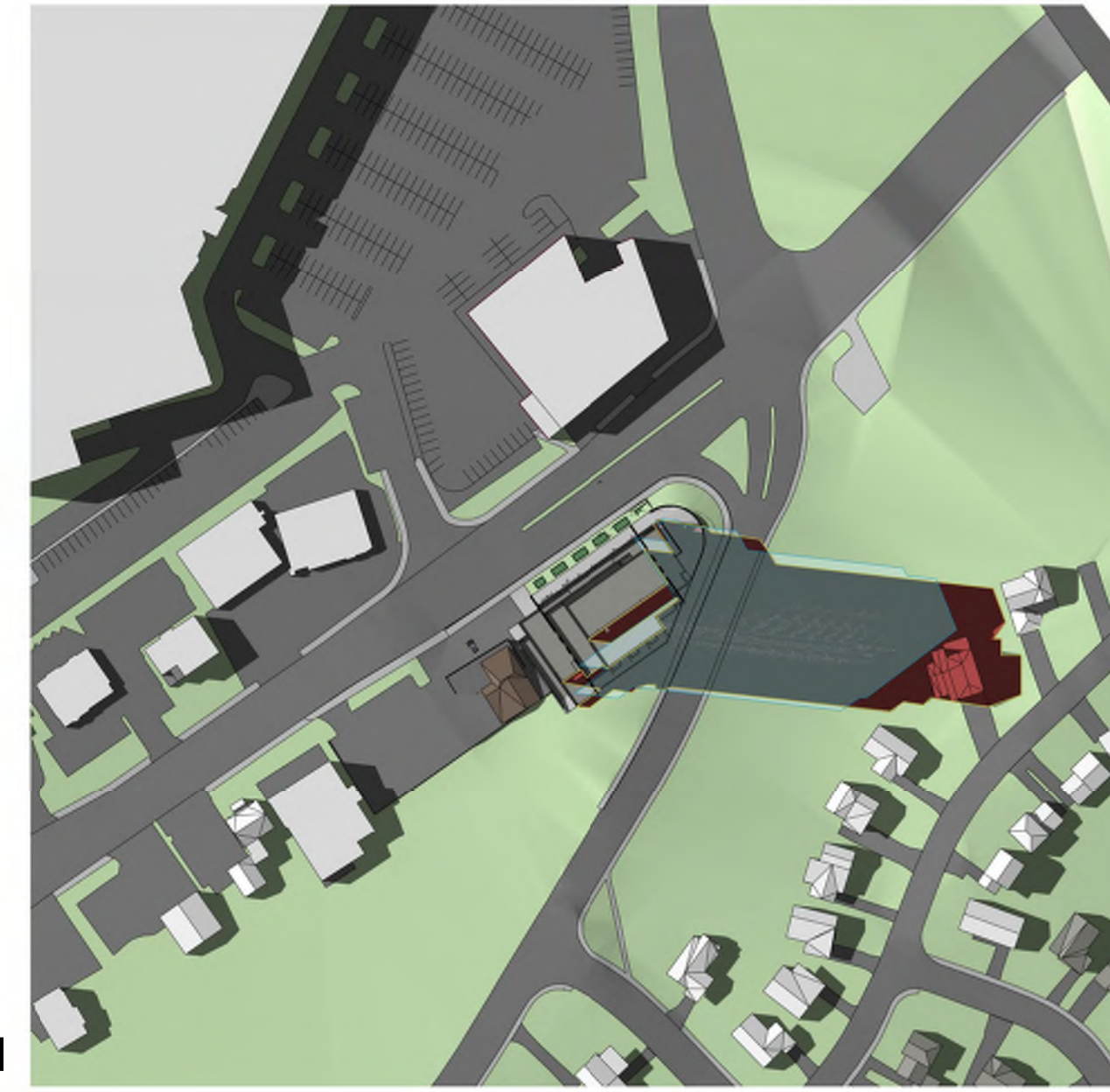
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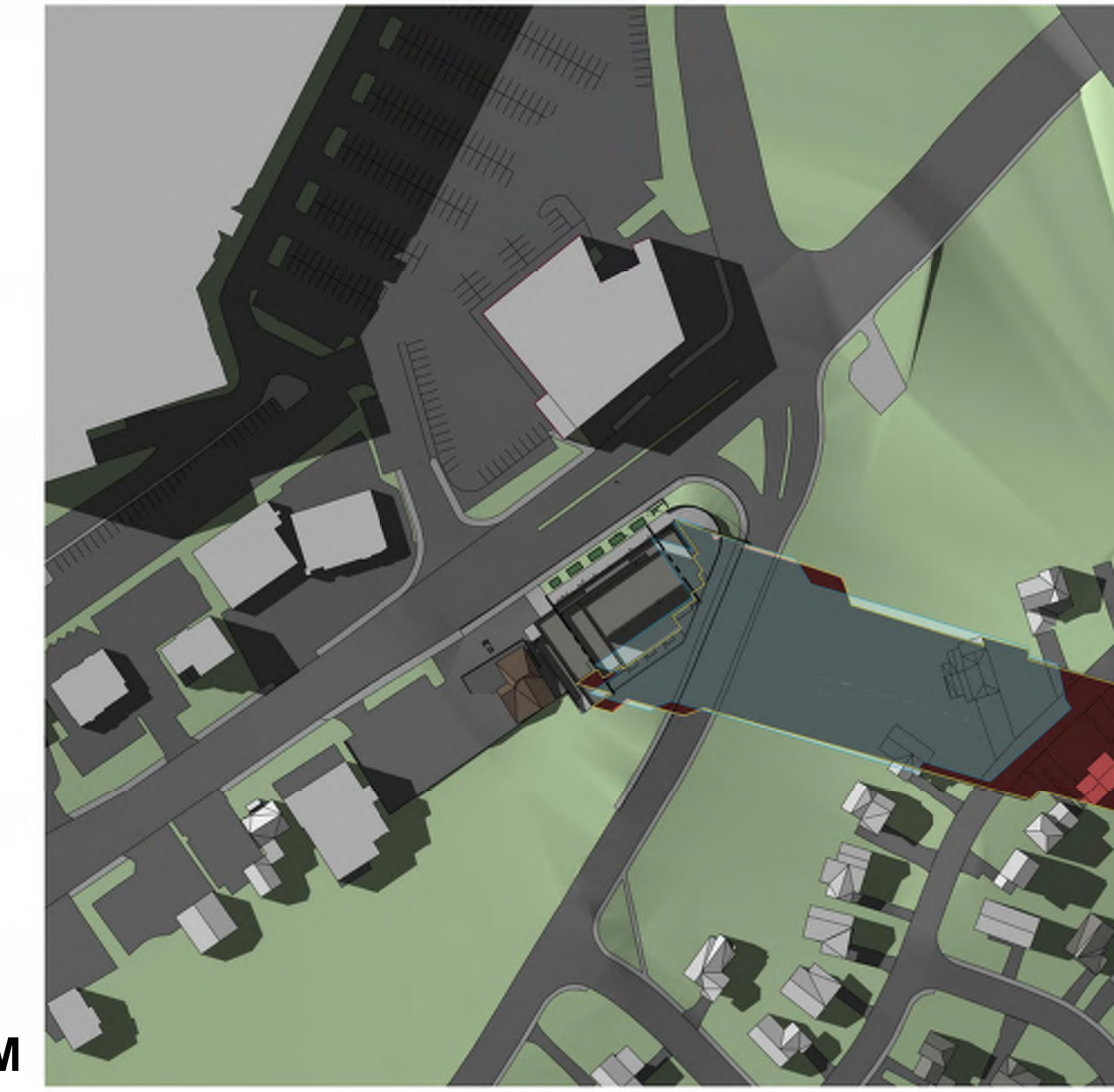
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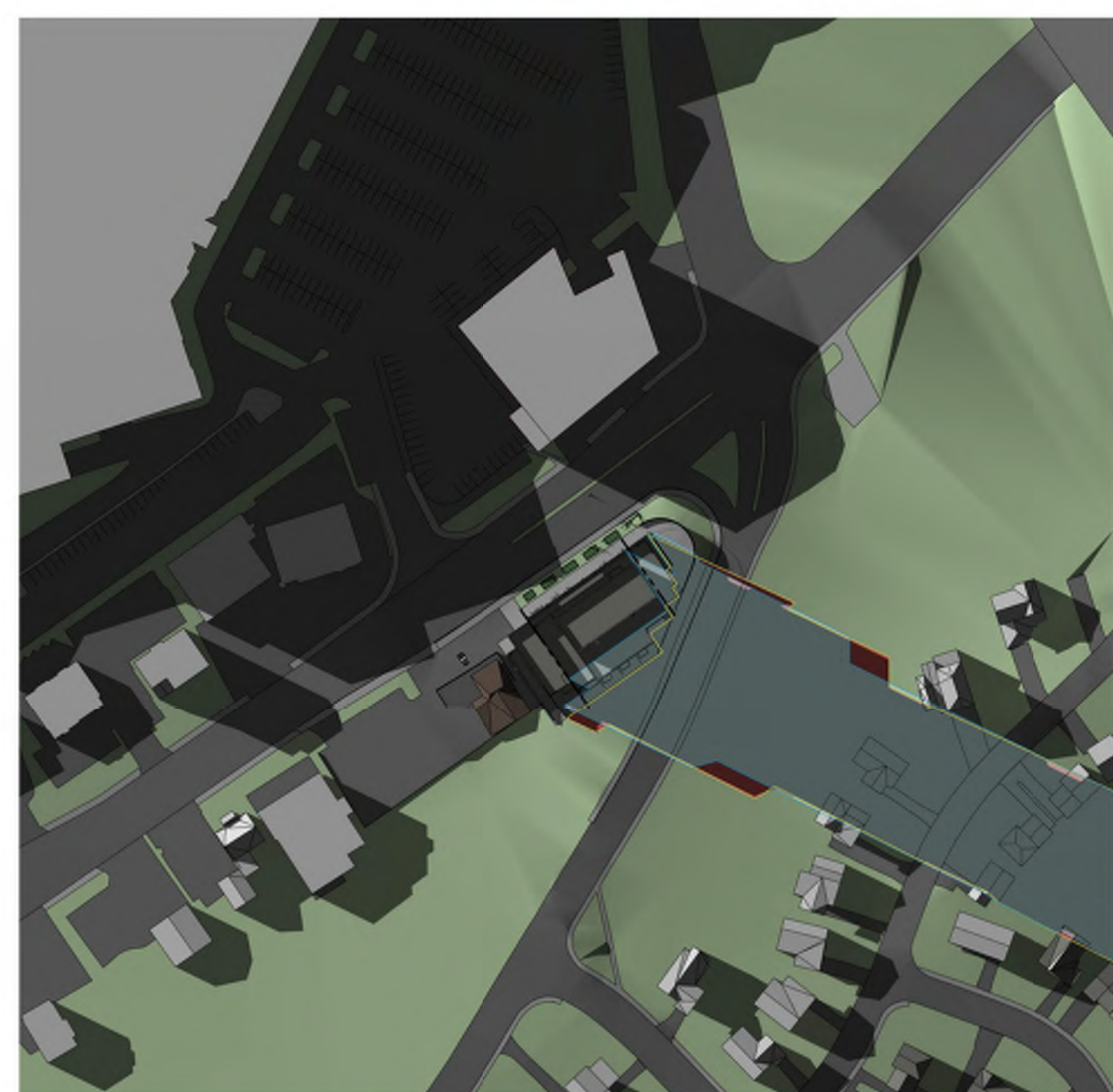
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6:00 PM



7:00 PM

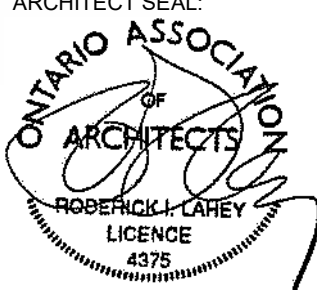


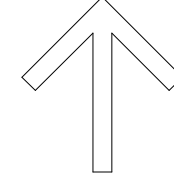
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-  Proposed Shadow Outline
-  As of Right Shadow Outline
-  Traditional Main Street
-  Proposed Development
-  Public Spaces
-  Communal Amenity Areas
-  New Net Shadow

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR UDRP	16.11.2023
1	ISSUED FOR OPA ZBLA AND SPC APPLICATION	09.JUNE.2023

ARCHITECT SEAL:  ARCHITECTS
 RODERICK LAHEY
 LICENSE #2518

NORTH ARROW: 

CLIENT: **MASTERCRAFT STARWOOD**
 Investment Builders Since 1951

 Owner

ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.

3030 ST JOSEPH BLVD.
 OTTAWA, ON
 K1E 1E2

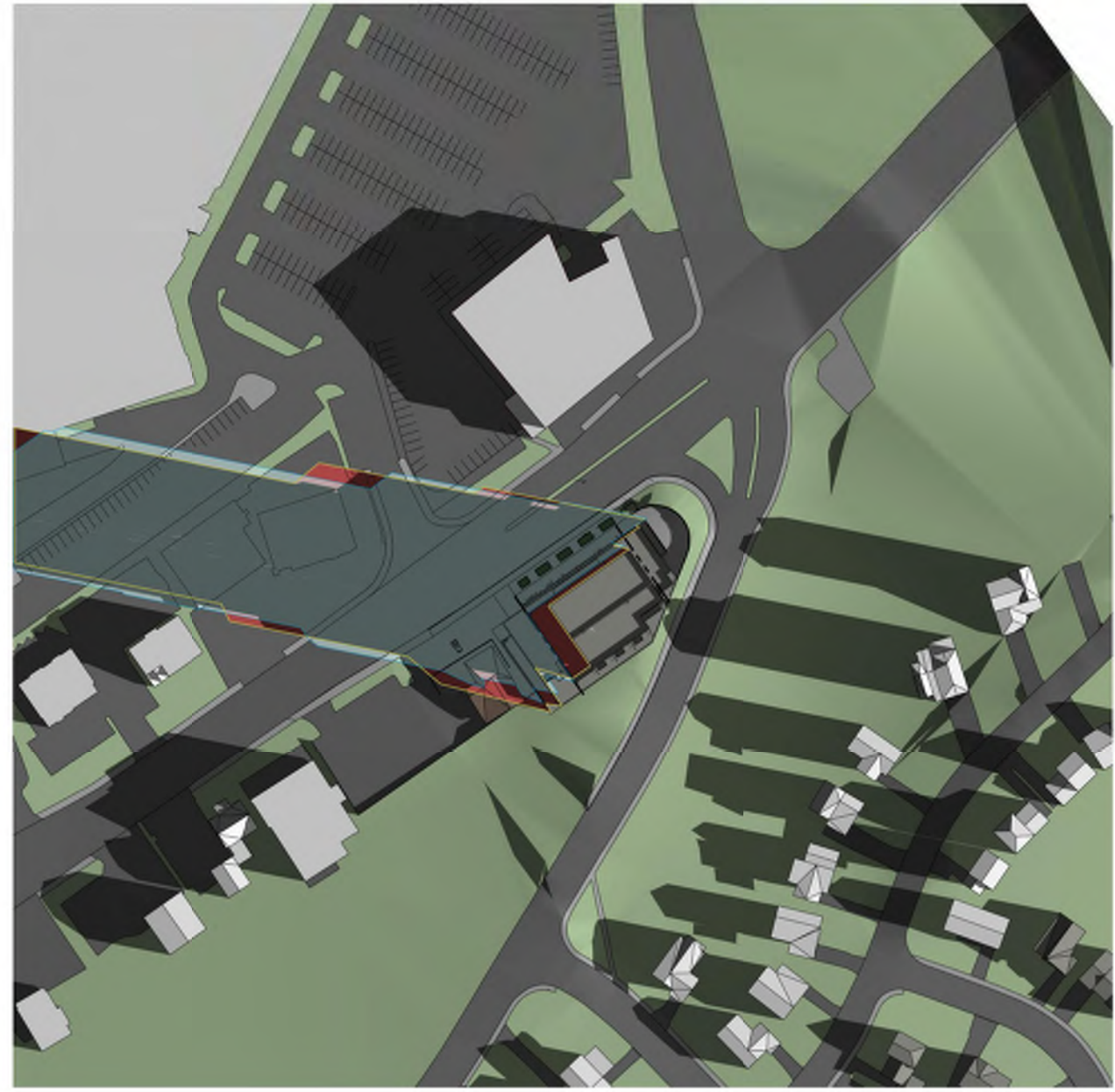
SHEET TITLE:
SUNSHADE ANALYSIS

DRAWN: S.S.
 CHECKED: R.V.

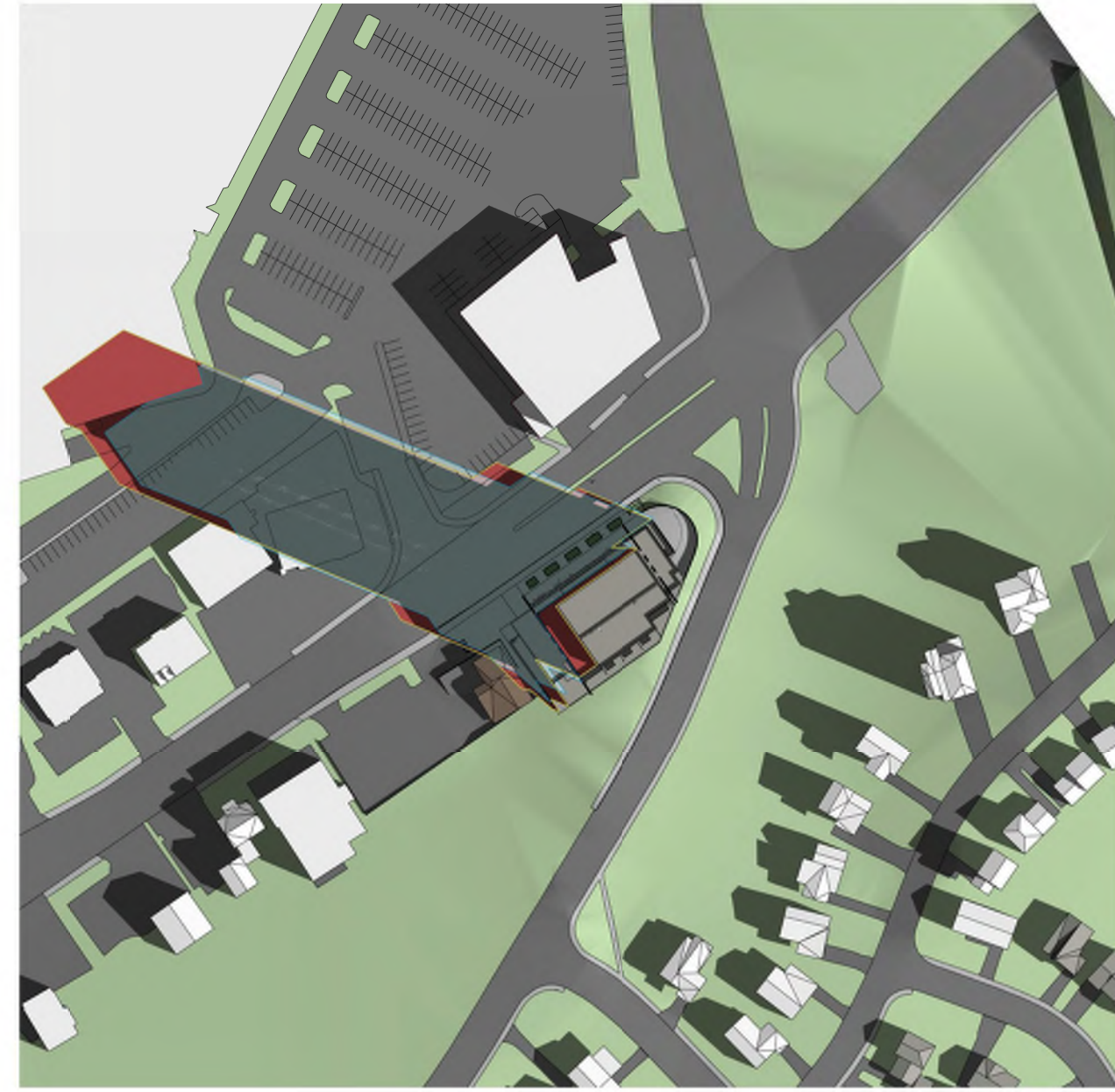
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 SHEET No: **26**

PROJECT No: 2222

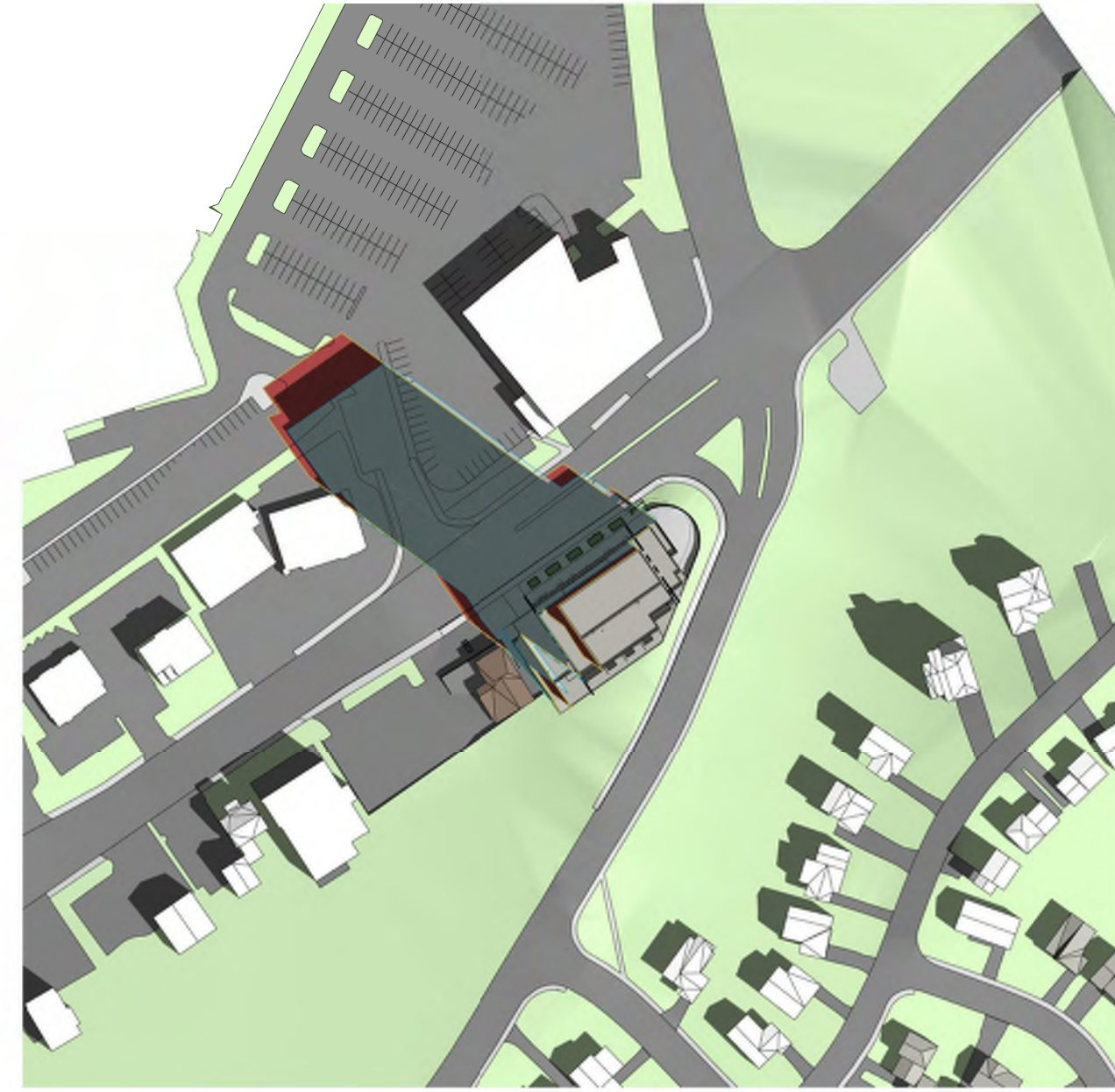
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8:00 AM



9:00 AM



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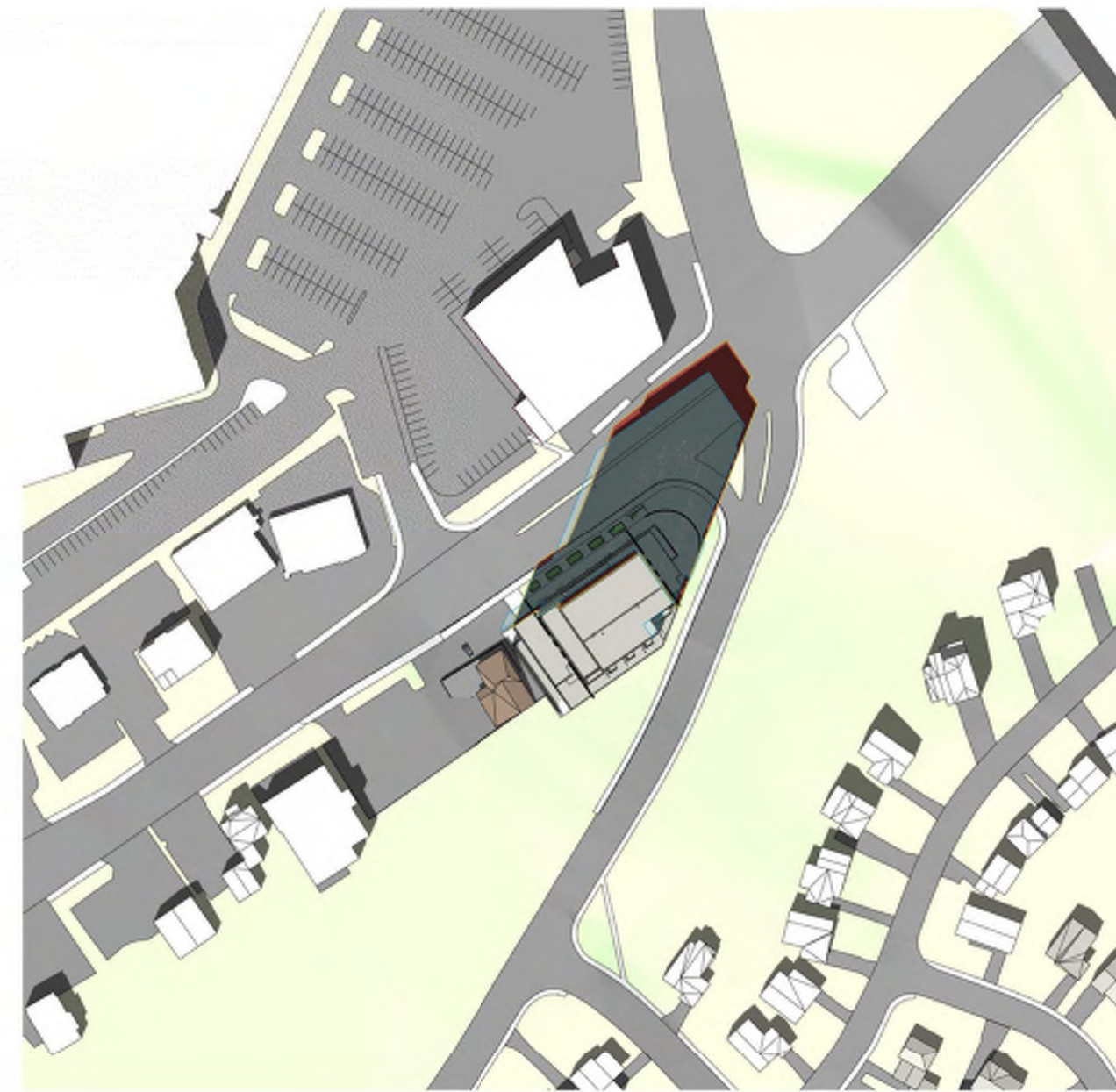
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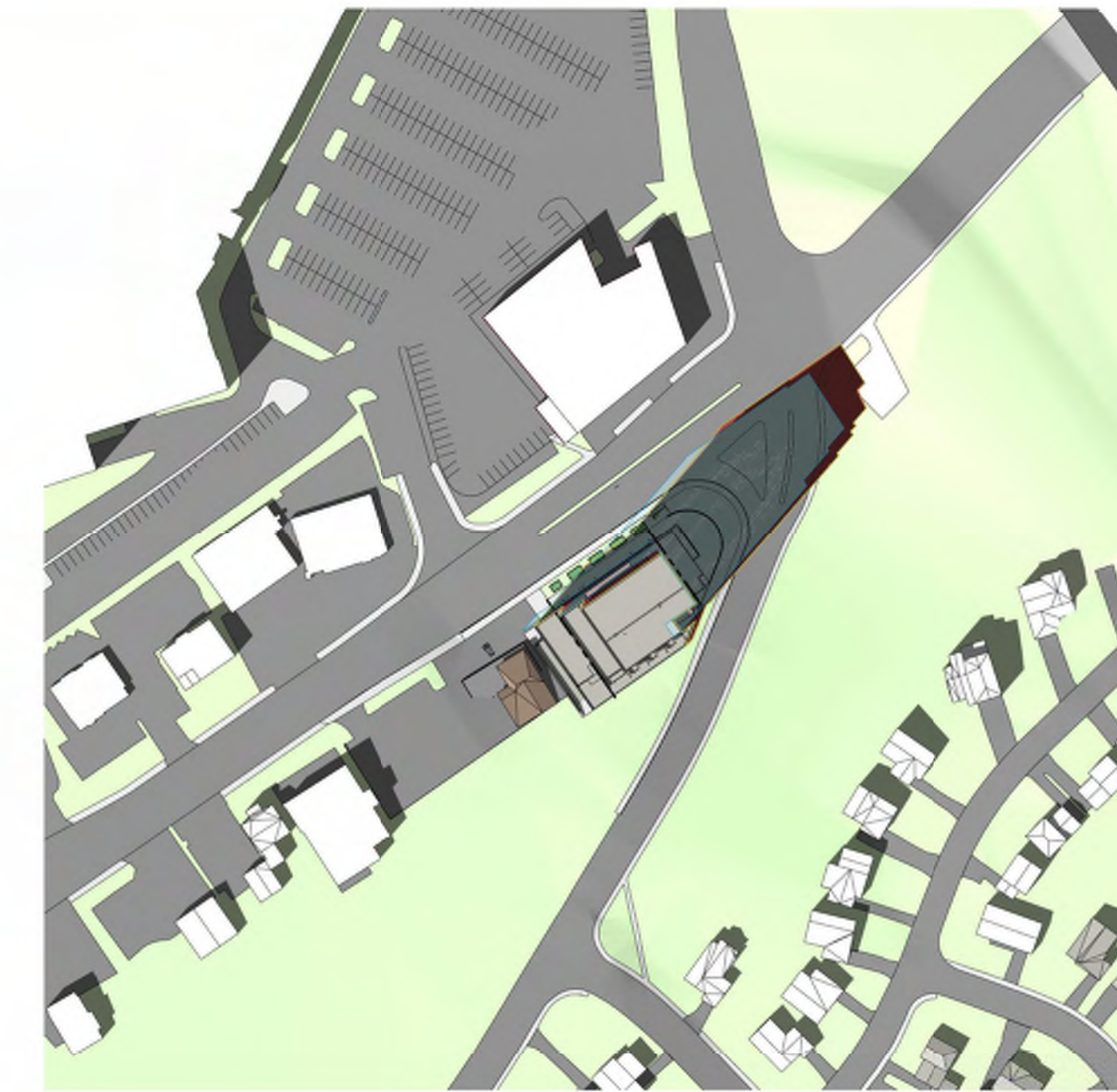
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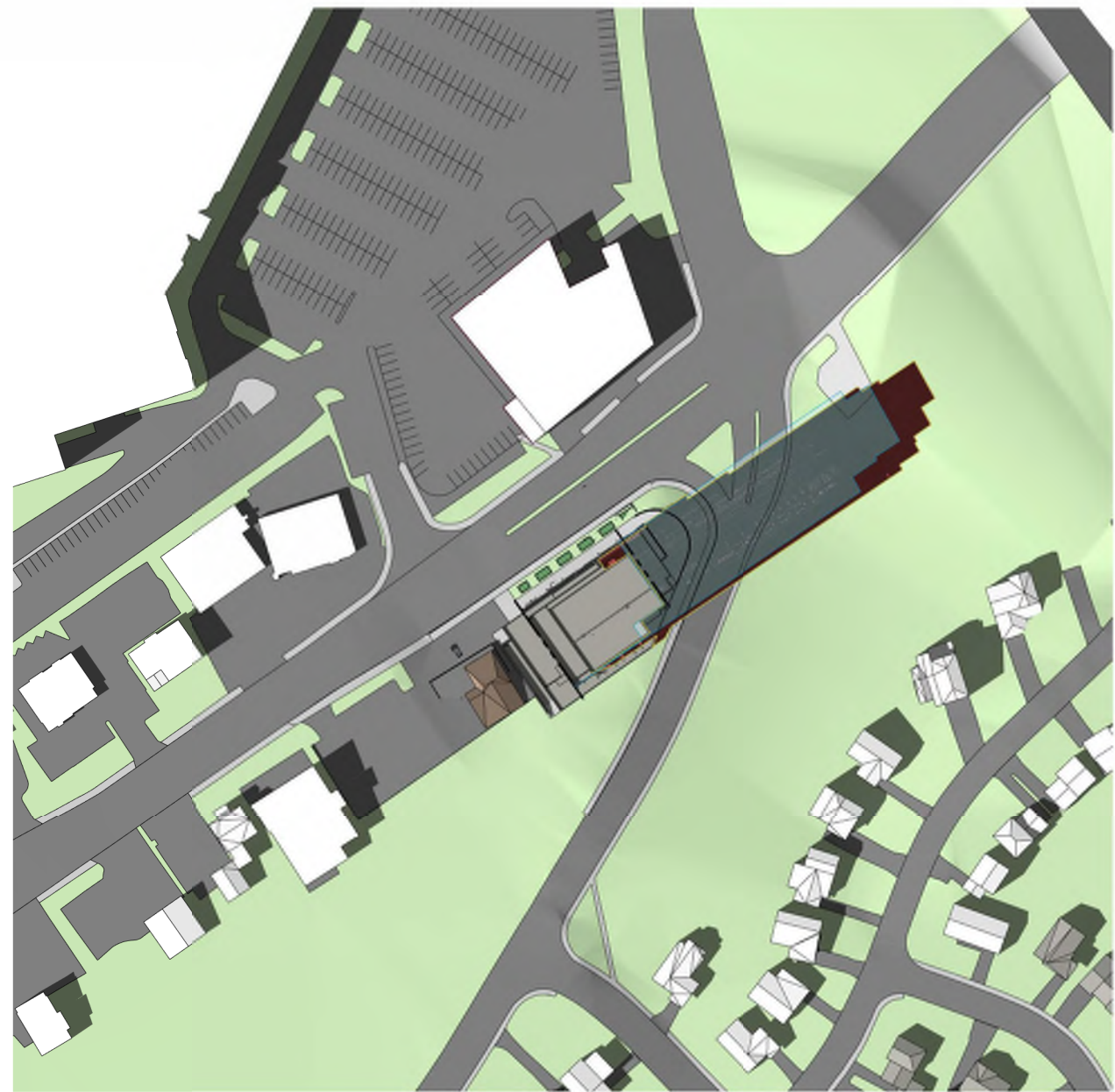
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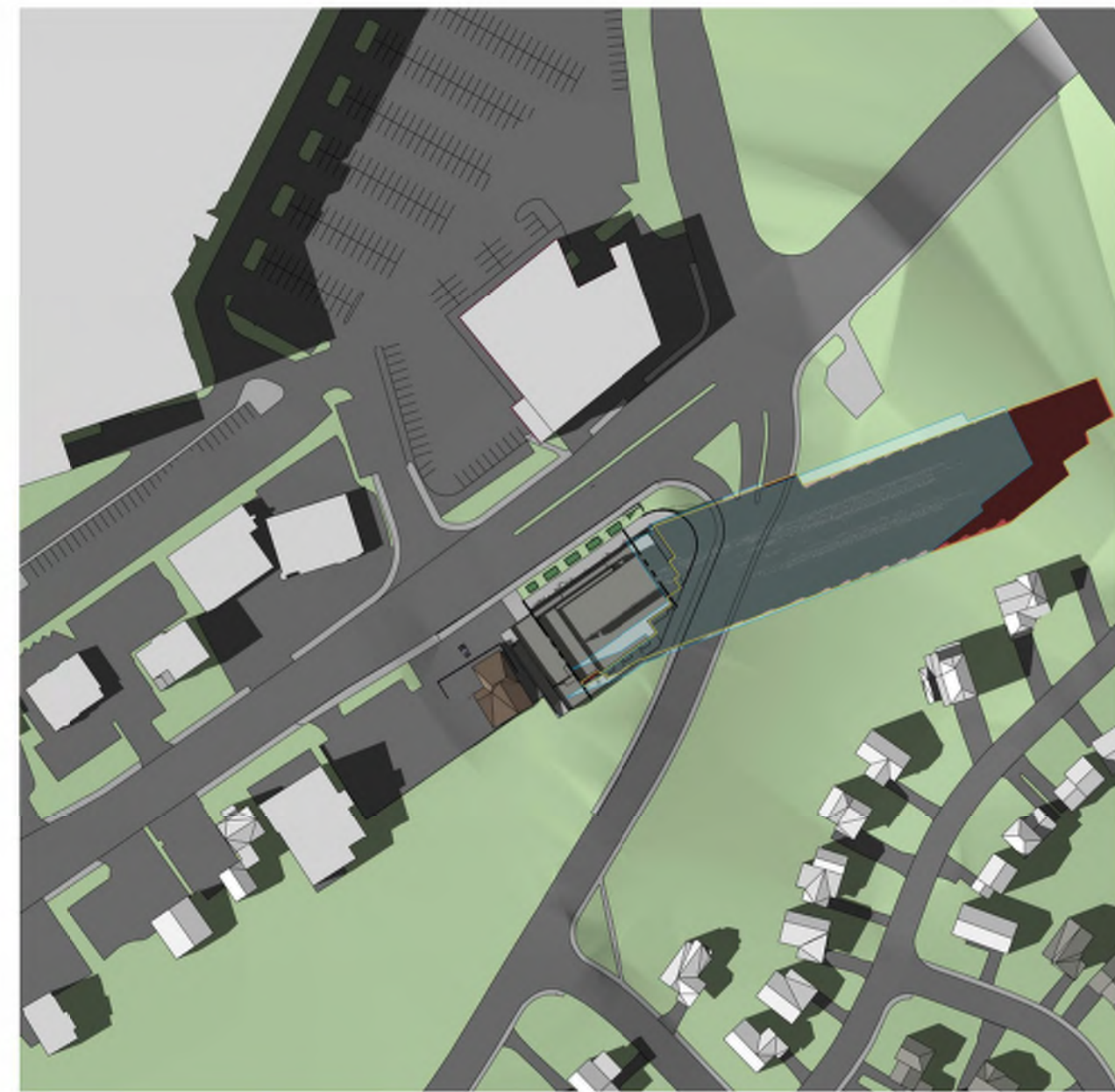
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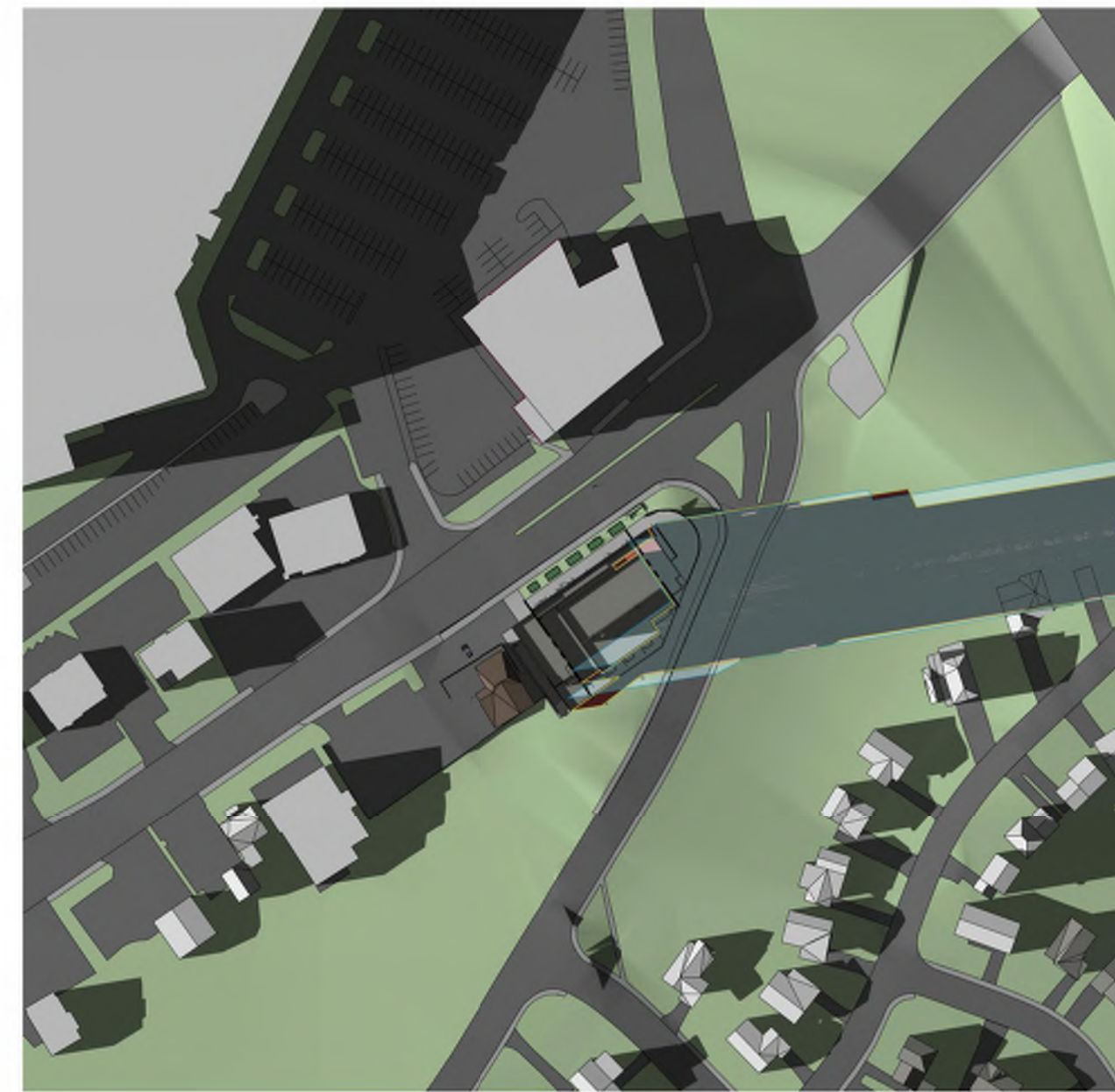
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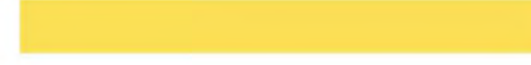



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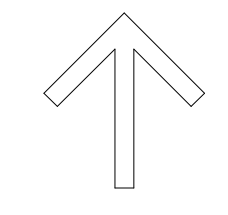
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-  Proposed Shadow Outline
-  As of Right Shadow Outline
-  Traditional Main Street
-  Proposed Development
-  Public Spaces
-  Communal Amenity Areas
-  New Net Shadow

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No.	DESCRIPTION	DD.MM.YY
2	ISSUED FOR UDPP	16.11.2023
1	ISSUED FOR OPA ZBLA AND SPC APPLICATION	09.JUNE.2023

REVISIONS:

 ARCHITECT SEAL: RODERICK LAHEY LICENCE 4376	NORTH ARROW: 
--	---

CLIENT:
MASTERCRAFT STARWOOD
 Investment Builders Since 1951

 Owner

ARCHITECT:

 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

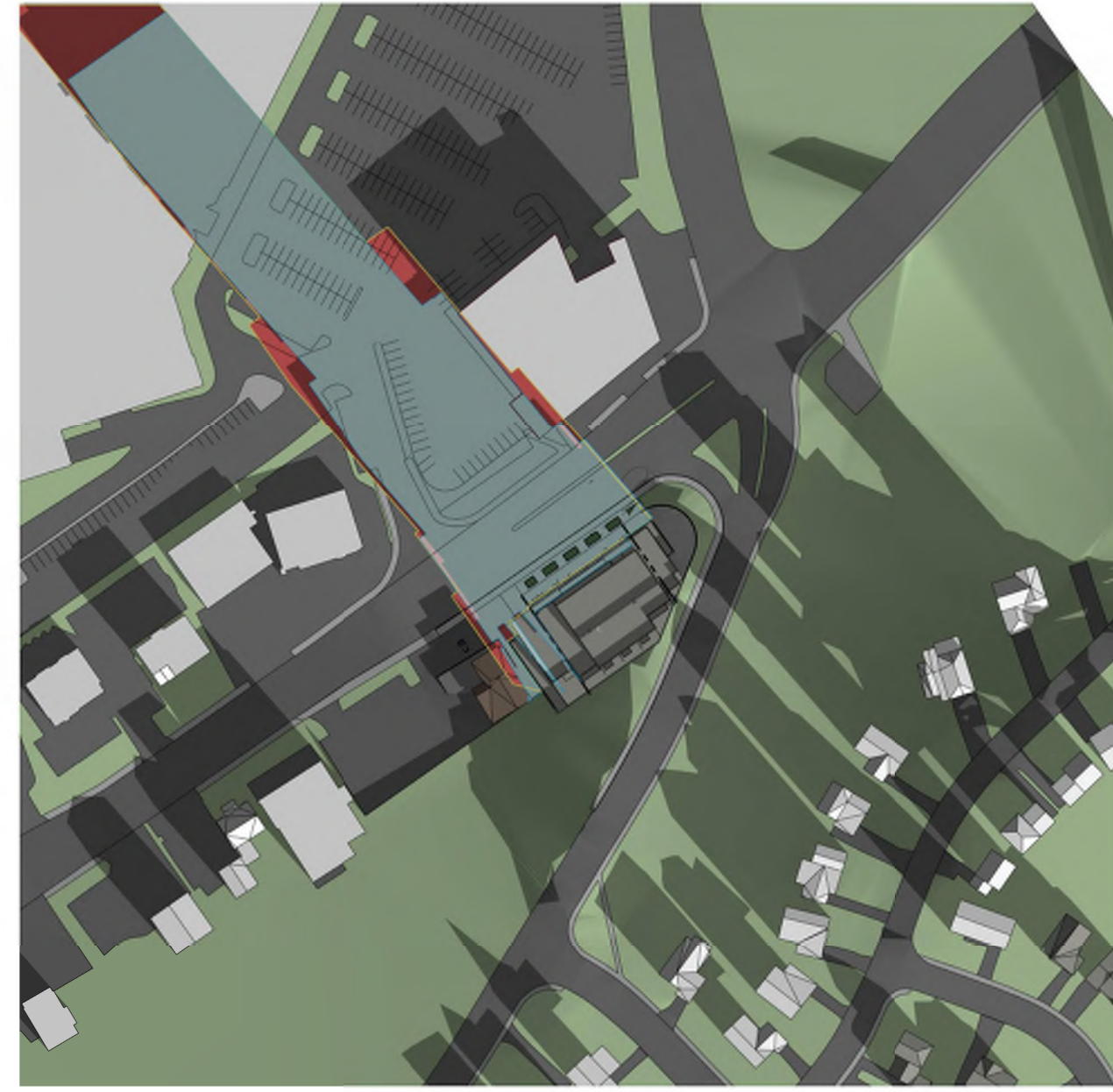
PROJECT TITLE:
 3030 ST. JOSEPH BLVD.

3030 ST JOSEPH BLVD.
 OTTAWA, ON
 K1E 1E2

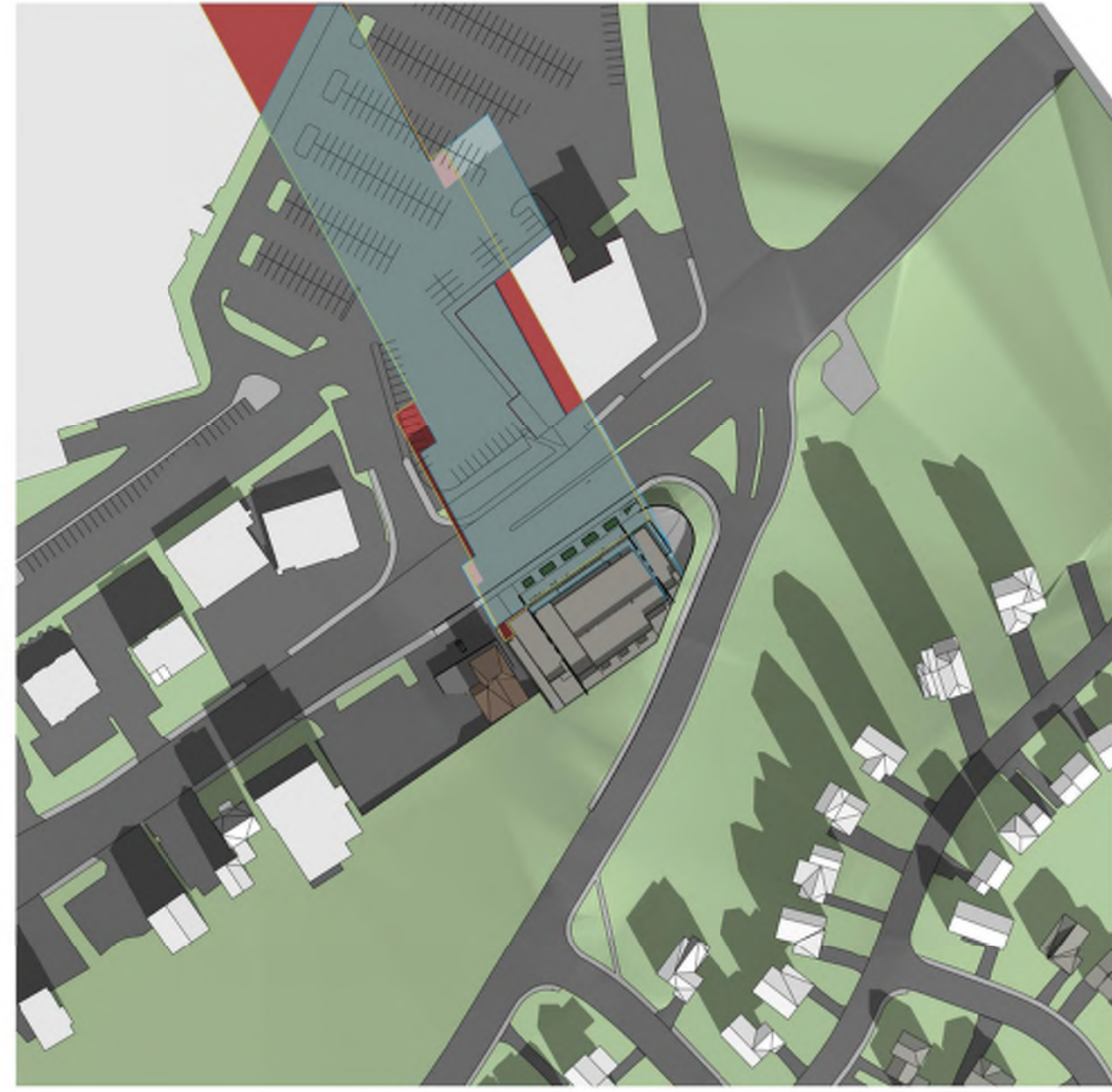
SHEET TITLE:
 SUNSHADE ANALYSIS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 2000	SHEET No: 27
PROJECT No: 2222	

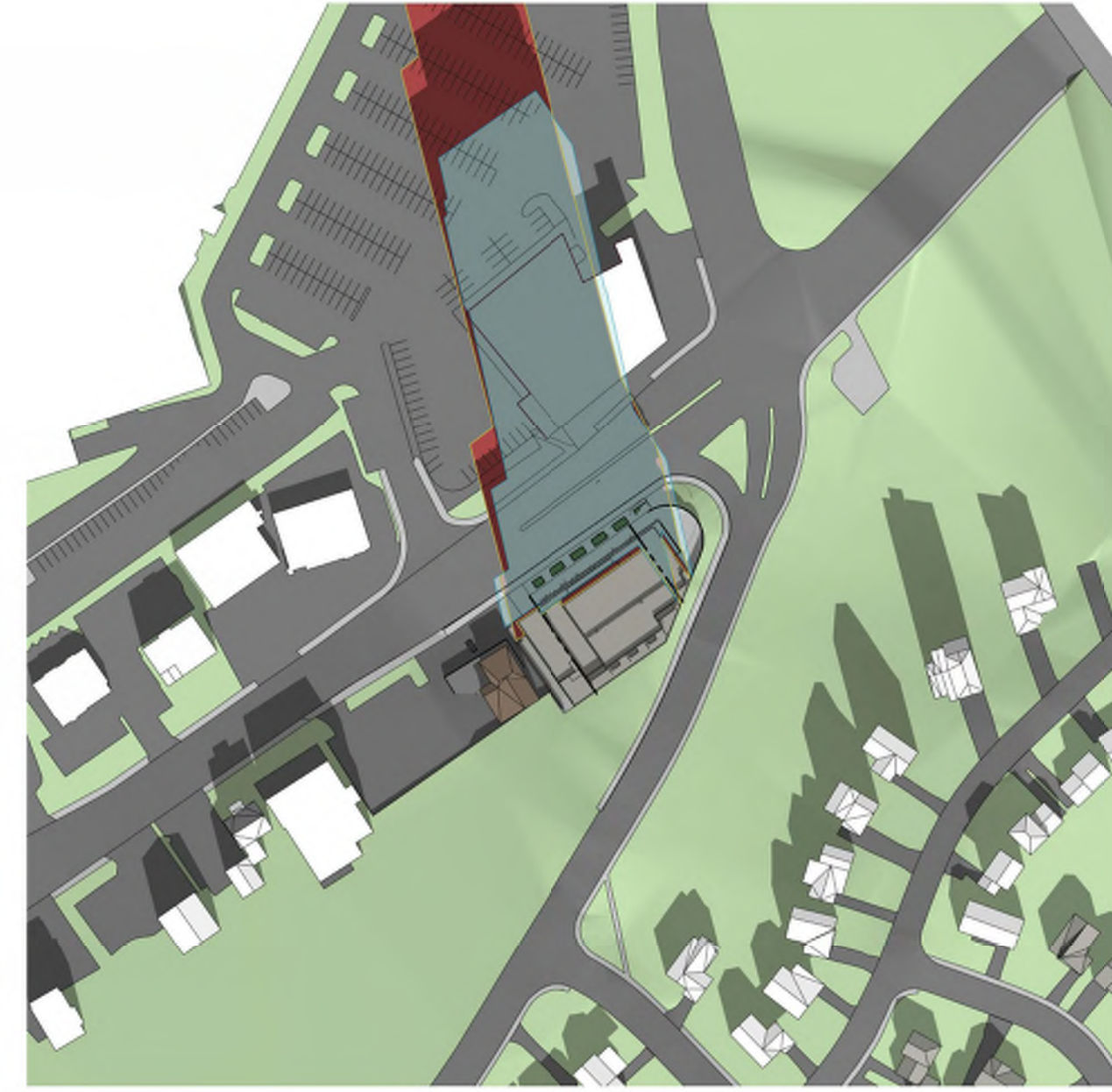
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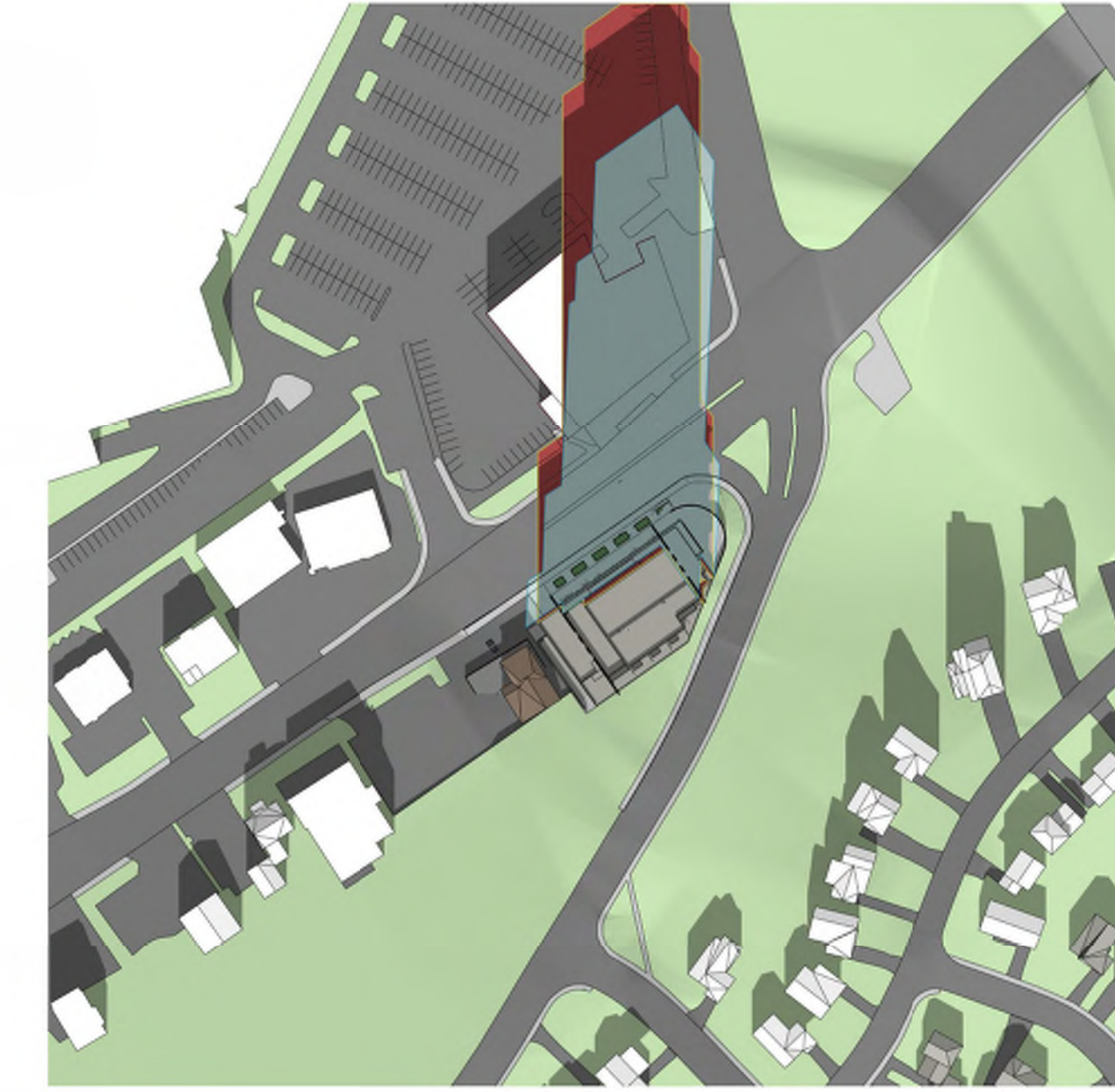
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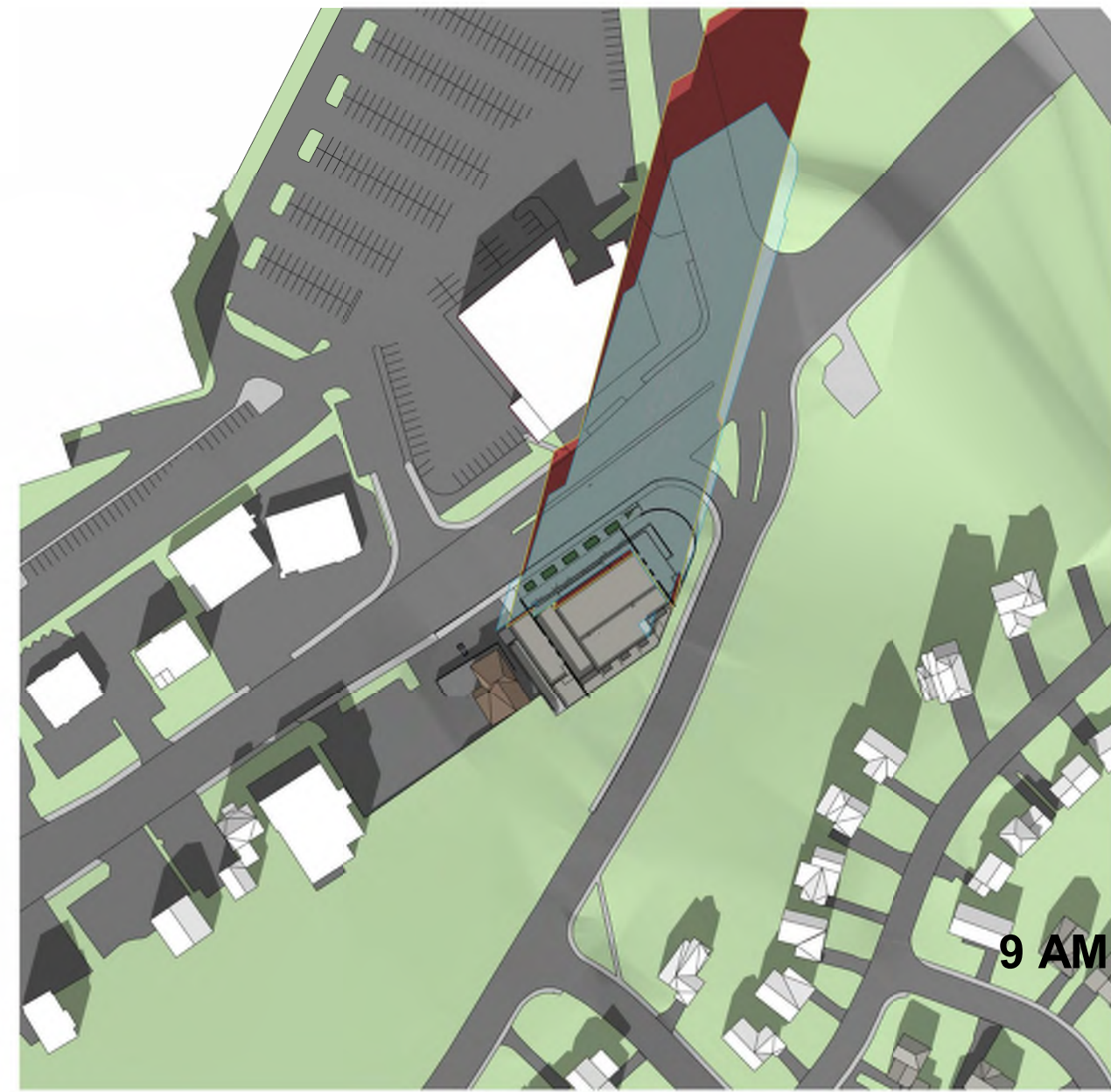
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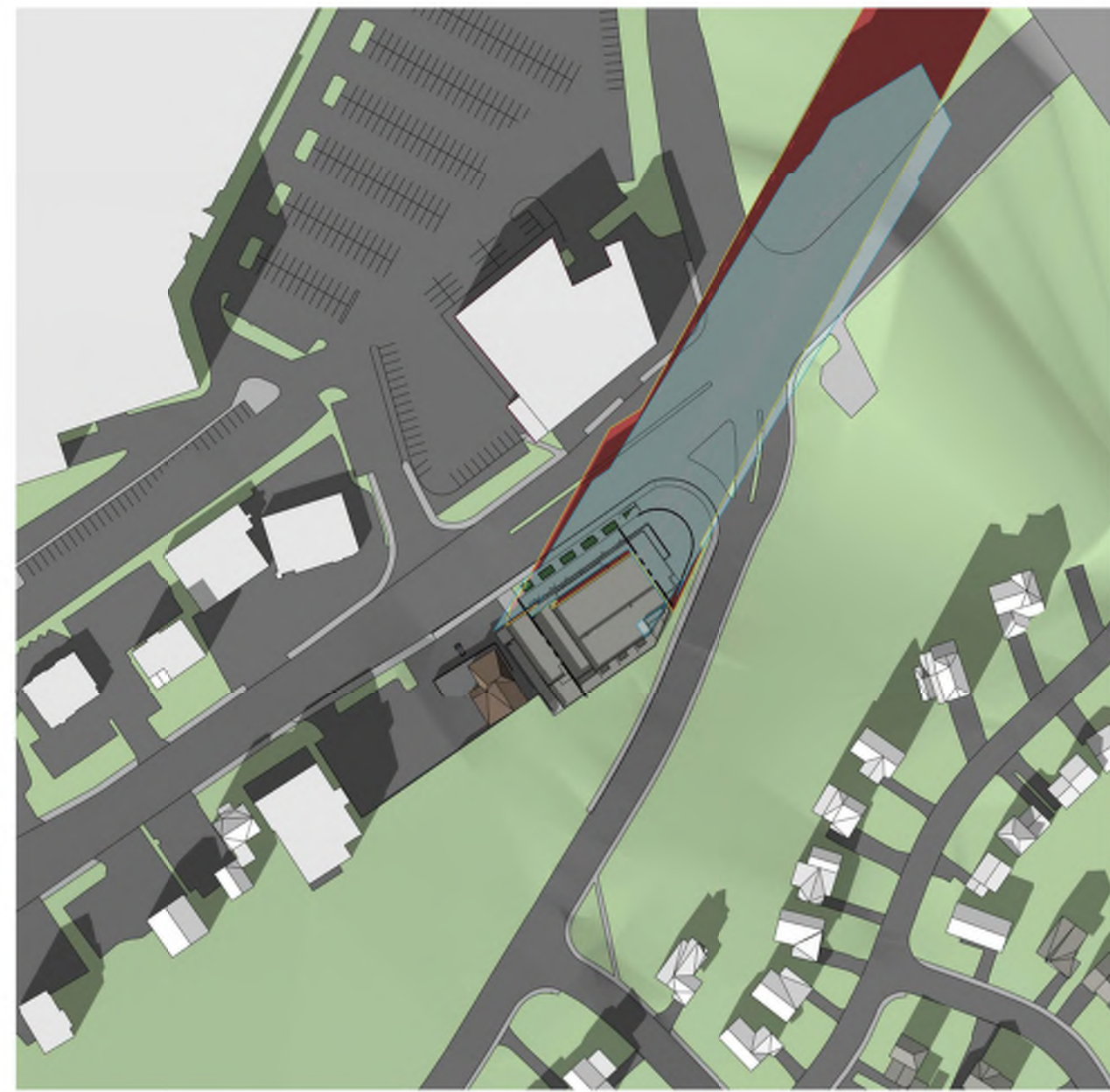
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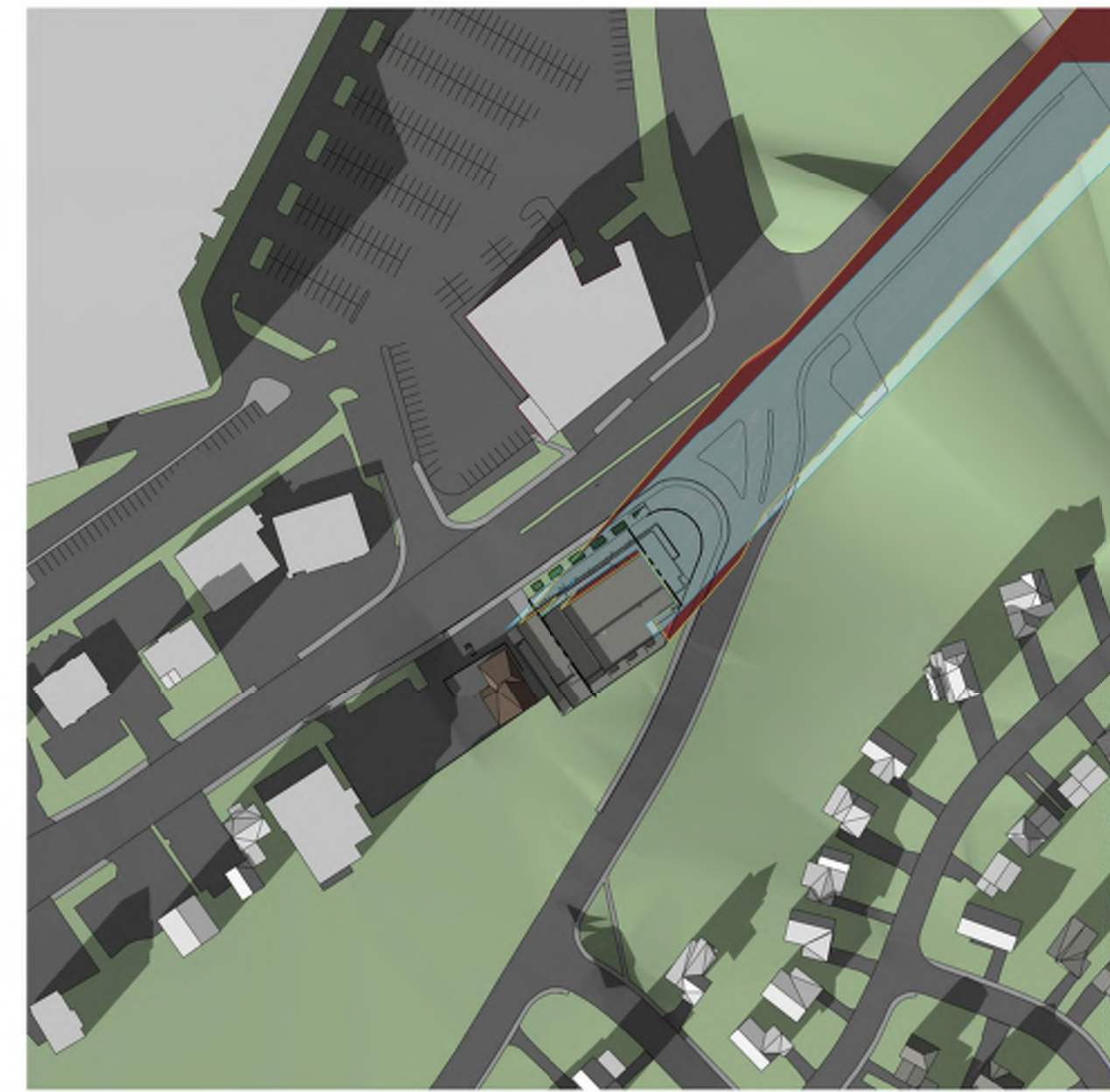
12 PM










1 PM



2 PM



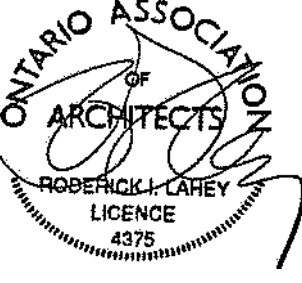
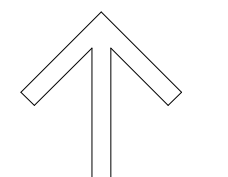
3 PM

-  Proposed Shadow Outline
-  As of Right Shadow Outline
-  Traditional Main Street
-  Proposed Development
-  Public Spaces
-  Communal Amenity Areas
-  New Net Shadow

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
 DO NOT SCALE DRAWINGS.
 COPYRIGHT RESERVED.

2	ISSUED FOR UDRP	16.11.2023
1	ISSUED FOR OPA,ZBLA AND SPC APPLICATION	09.JUNE.2023
No.	DESCRIPTION	DD.MM.YY

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **MASTERCRAFT STARWOOD**
 Investment Builders Since 1951

 Owner

ARCHITECT: **rla/architecture**
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
3030 ST. JOSEPH BLVD.

3030 ST JOSEPH BLVD.
 OTTAWA, ON
 K1E 1E2

SHEET TITLE:
SUNSHADE ANALYSIS

DRAWN: S.S	CHECKED: R.V
SCALE: 1 : 2000	SHEET No: 28
PROJECT No: 2222	

3030 St. Joseph SUSTAINIBILITY STATEMENT

- Interior secure bike storage will be provided for the Building and will exceed City Bylaw requirements (approximately 1.0 spaces per unit), which will help reduce vehicular traffic to the Site. All bike storage is provided at the Mezzanine floor with direct access to the Exterior for convenient access and use.
- Massing is designed to ensure minimal shading occurs on adjacent sites
- Air-tight building envelope using increased insulation, to be validated using energy modeling software, will be utilized to further energy efficiencies within the building envelope design
- An extensive Landscaped roof terrace on multiple levels will reduce the ambient temperature of the Site and help save energy for the Building overall. A community garden at the Ground floor podium is also being considered.
- A majority of the Landscape design at Grade will utilize soft landscape elements in preference to harder surfaces which will further reduce the ambient temperature of the Site and help mitigate storm water runoff during heavy rains.
- Mechanical Systems have been designed to meet CMHC Tier 1 standards which exceed OBC energy efficiency requirements by 15%.
- The proposal has paid attention to the implementation of bird friendly design by ensuring the first 6 storeys above average grade utilize solid materials (masonry & metal cladding) with punched windows to provide high-contrast and a predominately opaque design. It is recognized that the first several floors above Grade are the most important section for bird-friendly design



SOUTH-WEST VIEW ON St. JOSEPH BOULEVARD

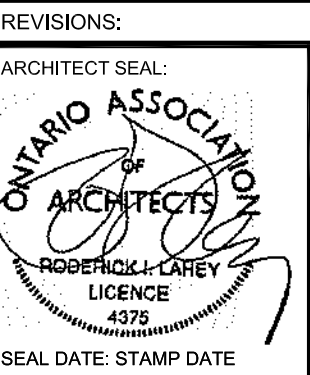
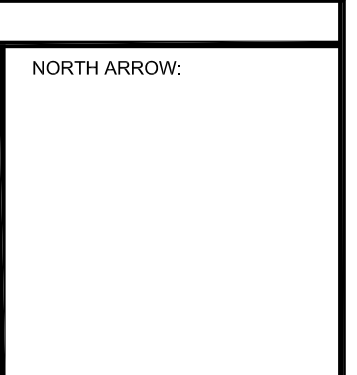
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
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NOTATION SYMBOLS:

- ① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- Ⓢ INDICATES ASSEMBLY TYPE: REFER TO TYPICAL ASSEMBLY SCHEDULE.
- Ⓦ INDICATES WINDOW TYPE: REFER TO WINDOW ELEVATIONS AND DETAILS ON A800 SERIES.
- Ⓣ INDICATES DOOR TYPE: REFER TO DOOR SCHEDULE AND DETAILS ON A800 SERIES.
- DETAIL NUMBER
- Ⓢ TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

No.	DESCRIPTION	DATE
1	ISSUED FOR UDRP	Nov 16, 23
2	ISSUED FOR 33% REVIEW	Sept 15, 23
3	ISSUED FOR OPA, ZA & SPC APPLICATION	June 09, 23
4	ISSUED FOR OWNER / CONSULTANT REVIEW	May 30, 23
5	ISSUED FOR OWNER REVIEW	Dec. 22, 22

REVISIONS:

 ARCHITECT SEAL ROBERTA CARREY LICENCE 4375 SEAL DATE: STAMP DATE	NORTH ARROW: 
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CLIENT:
St. Joseph Inc.
MASTERCRAFT STARWOOD
 Investment Builders Since 1951

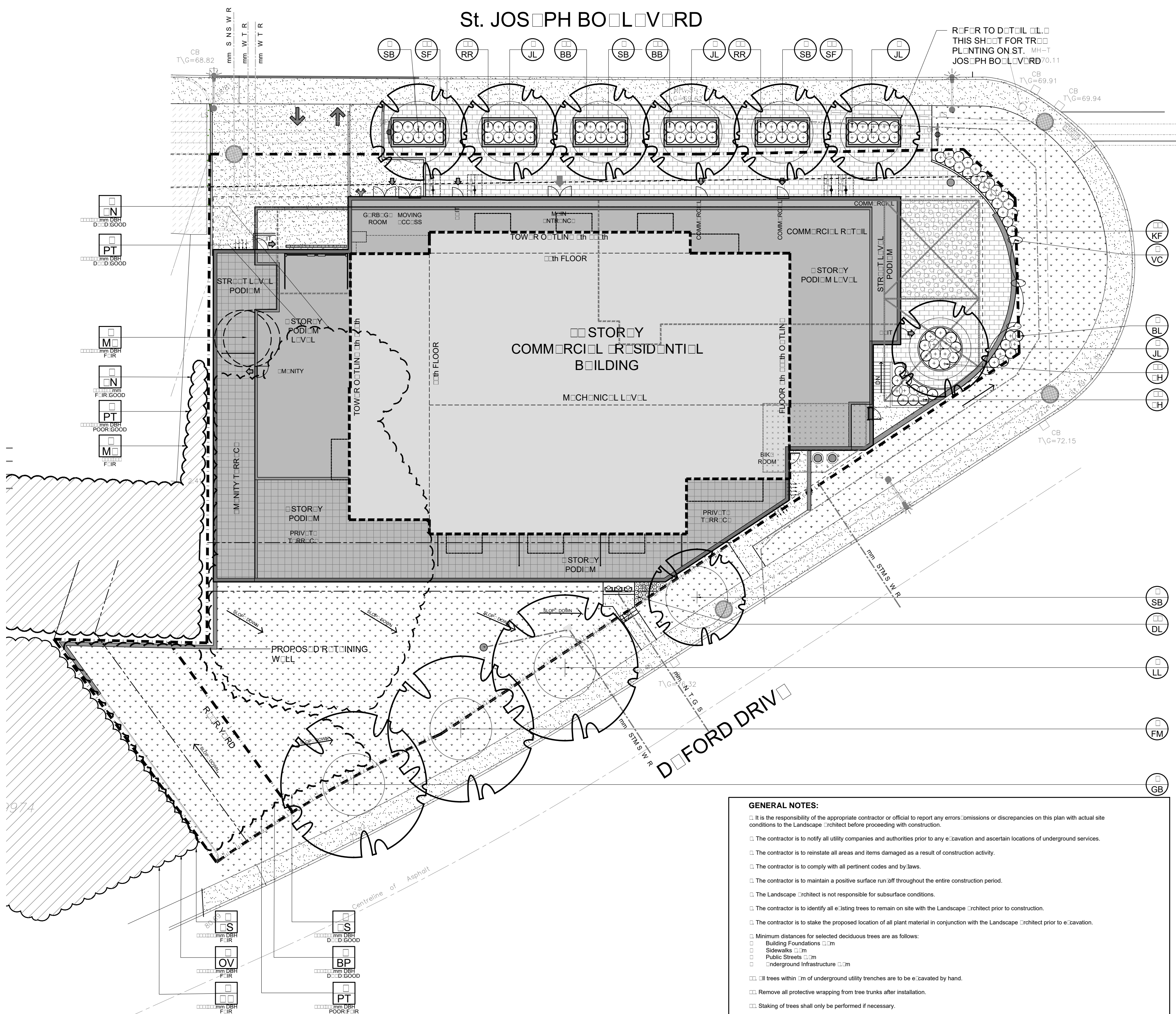

ARCHITECT:
rla/architecture
 roderick lahey architect inc.
 56 beech street, ottawa, ontario K1S 3J6
 t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
3030 St. JOSEPH BOULEVARD

OTTAWA ONTARIO

SHEET TITLE:
VIEW

DRAWN: R.V.	CHECKED: R.V.
SCALE: 1:125	SHEET No. 30
PROJECT No. 2222	

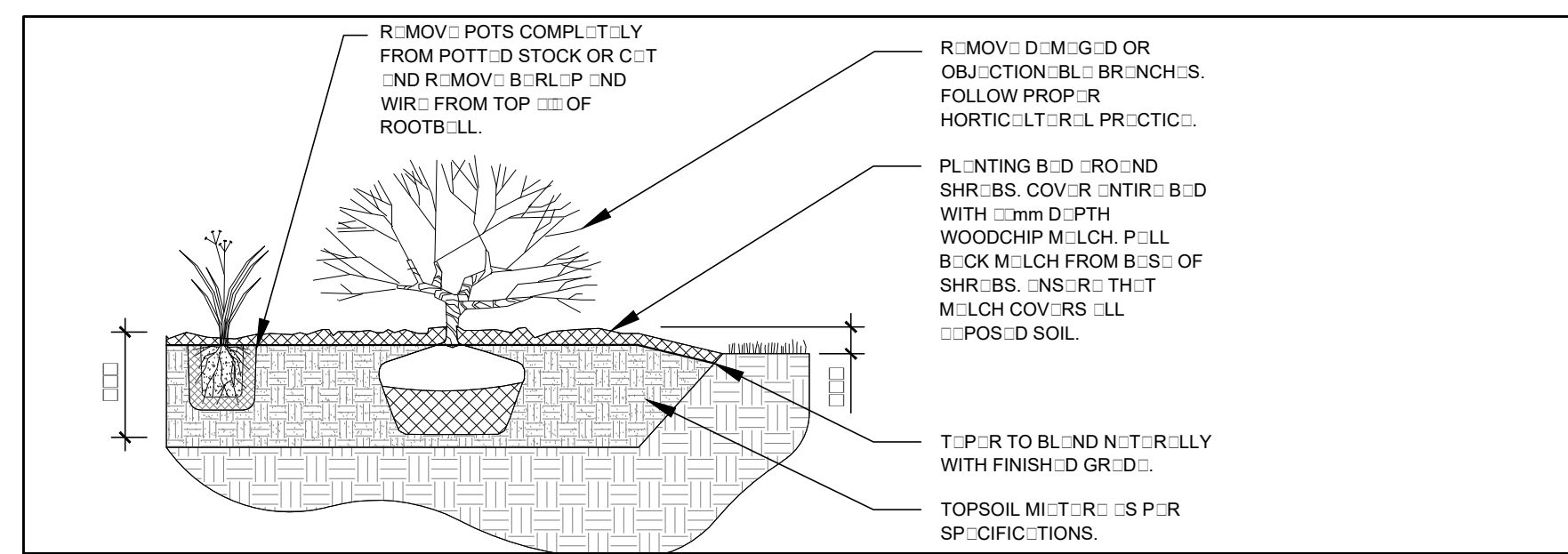


1 TREE CONSERVATION REPORT & LANDSCAPE PLAN
SCALE: 1:100

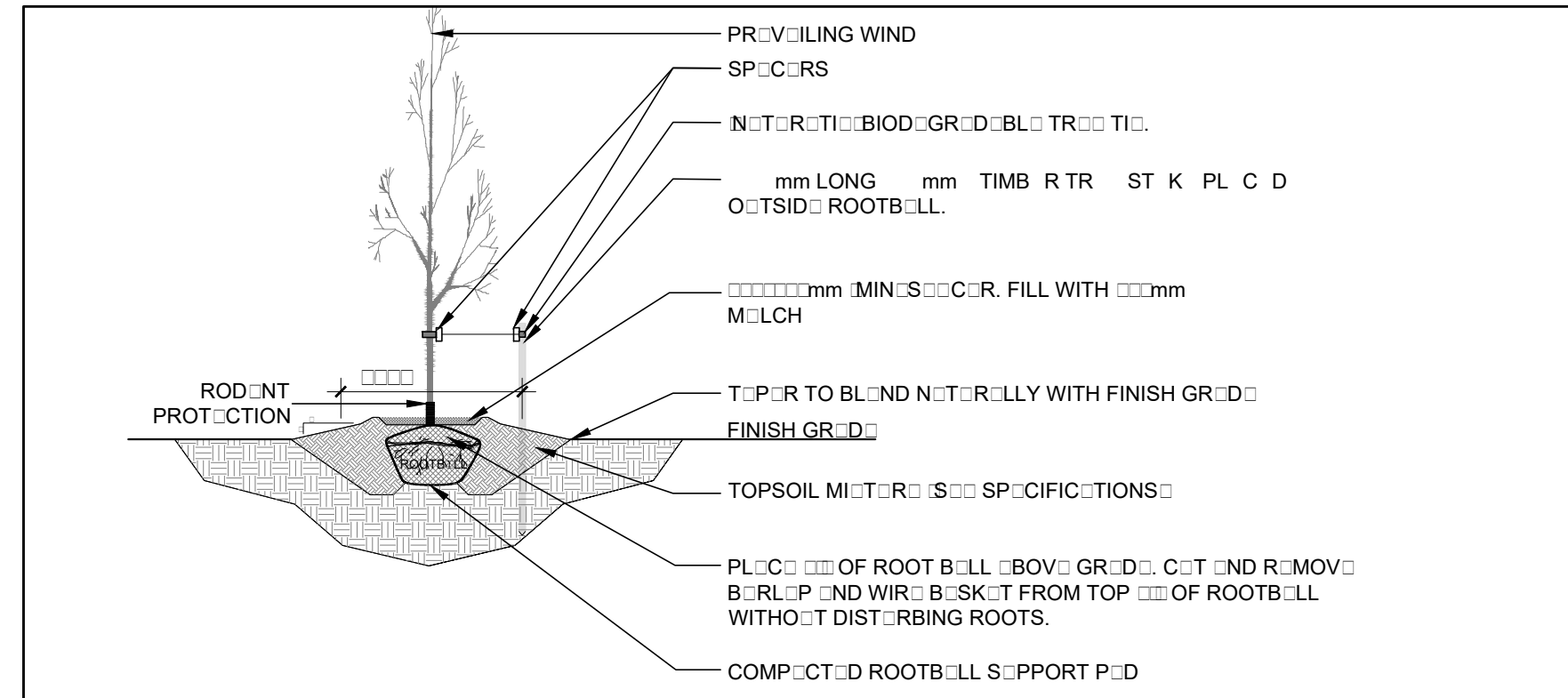
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS	OWNERSHIP
EN	0	<i>Acer negundo</i>	Manitoba Maple	100mm DBH	D.GOOD	TO REMAIN	St. Joseph
ES	0	<i>Acer saccharum</i>	Sugar Maple	100mm DBH	GOOD	TO REMAIN	St. Joseph
BP	0	<i>Betula papyrifera</i>	White Birch	100mm DBH	D.GOOD	TO REMAIN	Duford Drive
MJ	0	<i>Malus spp.</i>	Crabapple	100mm DBH	FIR	TO REMOVE	St. Joseph
OV	0	<i>Ostrya virginiana</i>	Ironwood	100mm DBH	GOOD	TO REMAIN	Duford Drive
PT	0	<i>Populus tremuloides</i>	Trembling Aspen	100mm DBH	D.GOOD	TO REMAIN	St. Joseph
QT	0	<i>Ulmus americana</i>	American Elm	100mm DBH	FIR	TO REMOVE	Duford Drive

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
FM	0	<i>Acer freemanii</i>	Freeman's Maple	100mm cal.	B.B	Single leader
GB	0	<i>Ginkgo biloba</i>	Maidenhair Tree	100mm cal.	B.B	
JL	0	<i>Syringa reticulata</i>	Japanese Tree Lilac	100mm cal.	B.B	
LL	0	<i>Tilia cordata</i>	Littleleaf Linden	100mm cal.	B.B	
SB	0	<i>melancholicanadensis</i>	Serviceberry	100mm cal.	B.B	Single leader
HH	0	<i>Hydrangea arborescens</i>	Annabelle Hydrangea	gallon pot	Potted	Space 100mm o.c.
BB	0	<i>Ulmus alatus</i>	Dwarf Burning Bush	100mm pot	Potted	Space 100mm o.c.
RR	0	<i>Rosa rugosa</i>	Rugosa Rose	100mm ht.	Potted	Space 100mm o.c.
SF	0	<i>Sorbaria sorbifolia</i>	Sem False Spirea	100mm ht.	Potted	Space 100mm o.c.
BL	0	<i>Leymus arenarius</i>	Blue Lyme Grass	100mm pot	Potted	Space 100mm o.c.
DL	0	<i>Hemerocallis Stella Doro</i>	Stella Doro Daylily	100mm pot	Potted	Space 100mm o.c.
KF	0	<i>Calamagrostis Karl Foerster</i>	Feather Reed Grass	100mm pot	Potted	Space 100mm o.c.
VC	0	<i>Parthenocissus</i>	Virginia Creeper	gallon pot	Potted	Train up wall. 1m o.c.

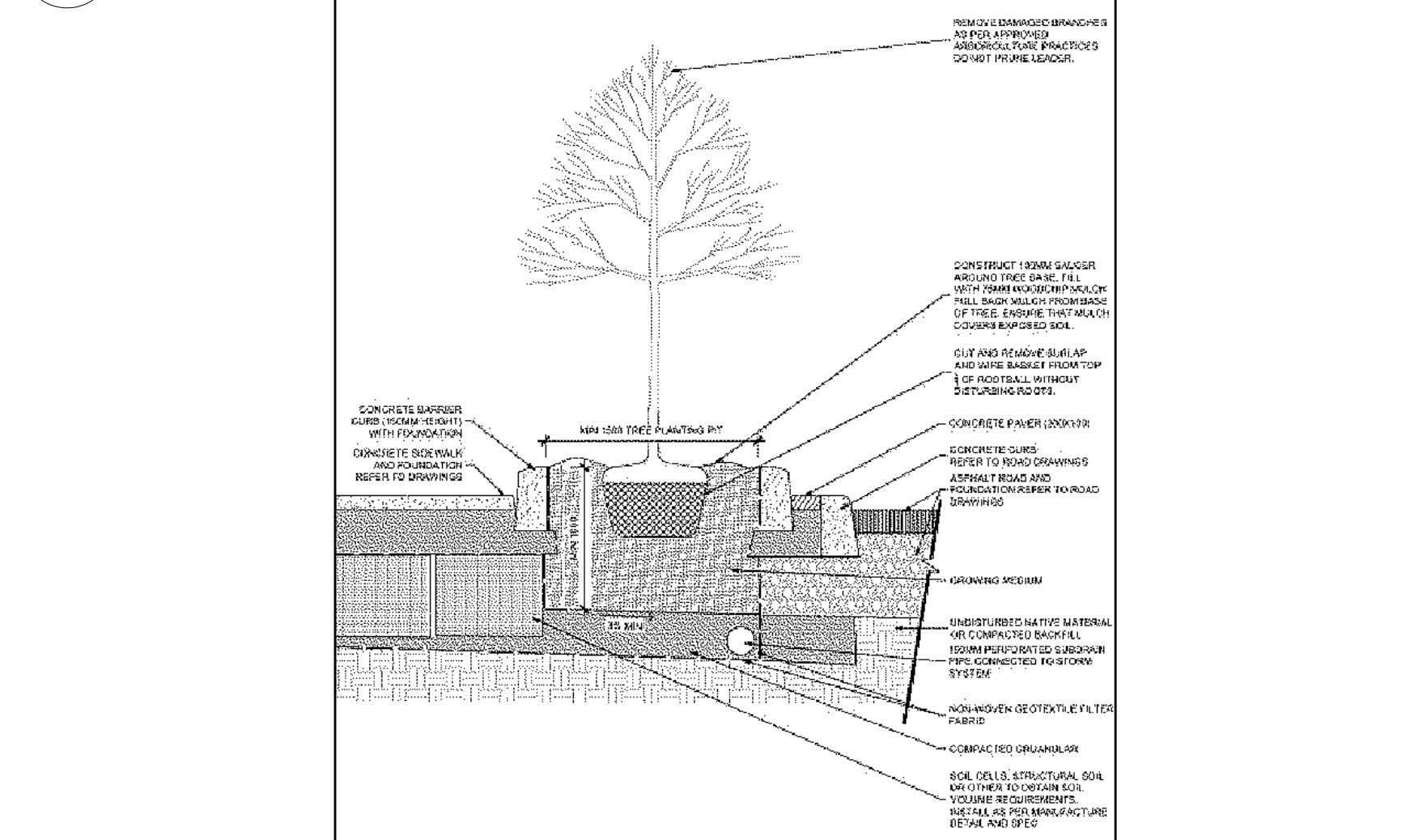
- GENERAL NOTES:**
- It is the responsibility of the appropriate contractor or official to report any errors/omissions or discrepancies on this plan with actual site conditions to the Landscape Architect before proceeding with construction.
 - The contractor is to notify all utility companies and authorities prior to any excavation and ascertain locations of underground services.
 - The contractor is to reinstate all areas and items damaged as a result of construction activity.
 - The contractor is to comply with all pertinent codes and by-laws.
 - The contractor is to maintain a positive surface runoff throughout the entire construction period.
 - The Landscape Architect is not responsible for subsurface conditions.
 - The contractor is to stake the proposed location of all plant material in conjunction with the Landscape Architect prior to construction.
 - Minimum distances for selected deciduous trees are as follows:
 - Building Foundations 1.0m
 - Sidewalks 0.75m
 - Public Streets 1.0m
 - Underground Infrastructure 0.75m
 - Trees within 1.0m of underground utility trenches are to be excavated by hand.
 - Remove all protective wrapping from tree trunks after installation.
 - Staking of trees shall only be performed if necessary.
 - Ensure that mulch is pulled back a min. distance of 100mm from base of tree trunk.



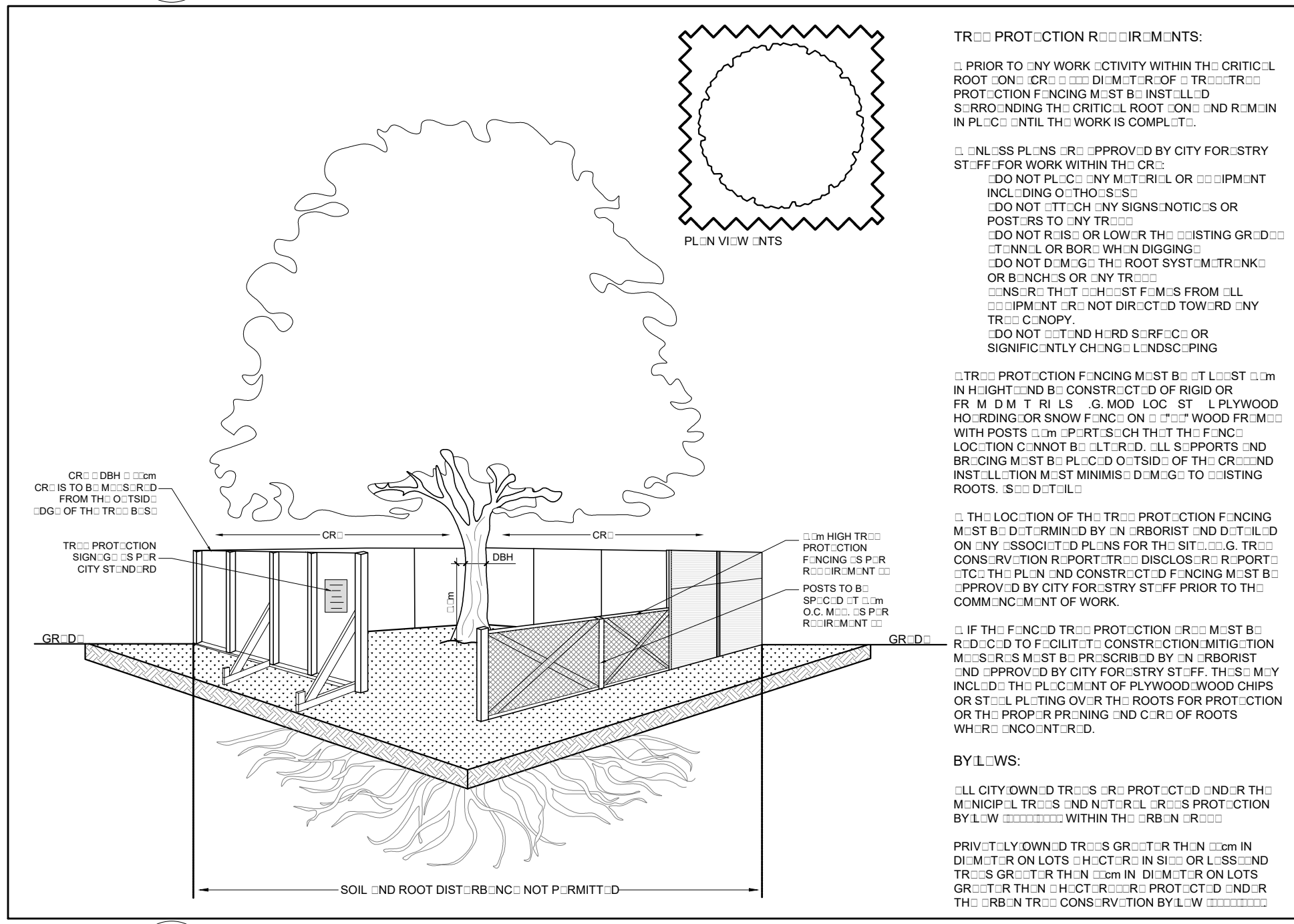
2 SHRUB / PERENNIAL / ORNAMENTAL GRASS PLANTING
SCALE: 1:100



3 DECIDUOUS TREE PLANTING
SCALE: 1:100



4 HARD SURFACE TREE PLANTING - OPEN PLANTER HS-2
SCALE: 1:100



5 TREE PROTECTION FENCE
SCALE: 1:100

THE BERGE HOMES

CONSULTANTS

rdh:cts

rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario k1s 3j6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

CIVIL ENGINEERS

McINTOSH PERRY
Walgreen Road
Ottawa ON K 1 L
Tel: [REDACTED]
Fa: [REDACTED]
email: r.freel@mcintoshperry.com

LEGEND

- GROUP OF EXISTING TREES TO REMAIN
- EXISTING TREE TO BE REMOVED
- GROUP OF EXISTING TREES TO BE REMOVED
- COPYRIGHT PROJECTION PROPOSED TO BE REMOVED
- SOIL VOLUME
- PROPOSED SHRUBS PERENNIALS ORNAMENTAL GRASSES
- PROPOSED VIN
- PROPOSED PRECAST CONCRETE PAVERS
- PROPOSED SOD
- PROPOSED TREE PROTECTION FENCE

ISSUED FOR DRP	ML	JL
ISSUED FOR DISCUSSION AND REVIEW	ML	JL
ISSUED FOR COORDINATION	ML	JL
ISSUED FOR SITE PLANNING CONTROL	ML	JL
No. Issue	Date	DR CK

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS
3332 CARLING AVE. OTTAWA, ONTARIO K2H 5A5
Tel: (613) 722-5168 Fax: (1866) 343-3942

PROJECT
PROPOSED STOREY COMMERCIAL RESIDENTIAL BUILDING
3030 ST. JOSEPH BLVD, OTTAWA ON

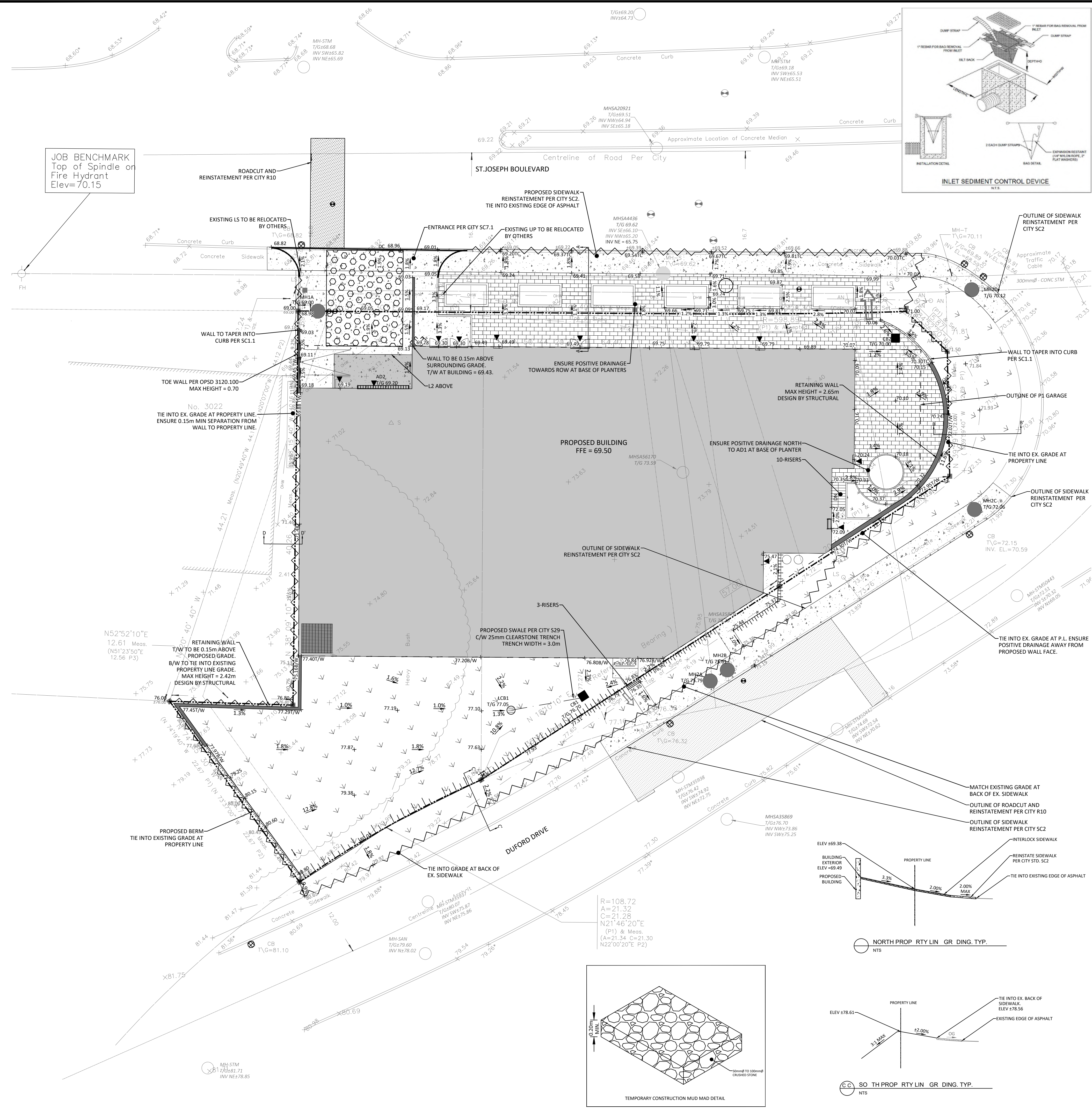
DRIVING
TR CONSERVATION REPORT

LANDSCAPE PLAN

STAMP
SC: [REDACTED]
S: SHOWN
ST: [REDACTED]
PR: [REDACTED]
PROJECT NO.
[REDACTED]

PROJECT NORTH
DRIVING NO.
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PLOT SITE ARCHD

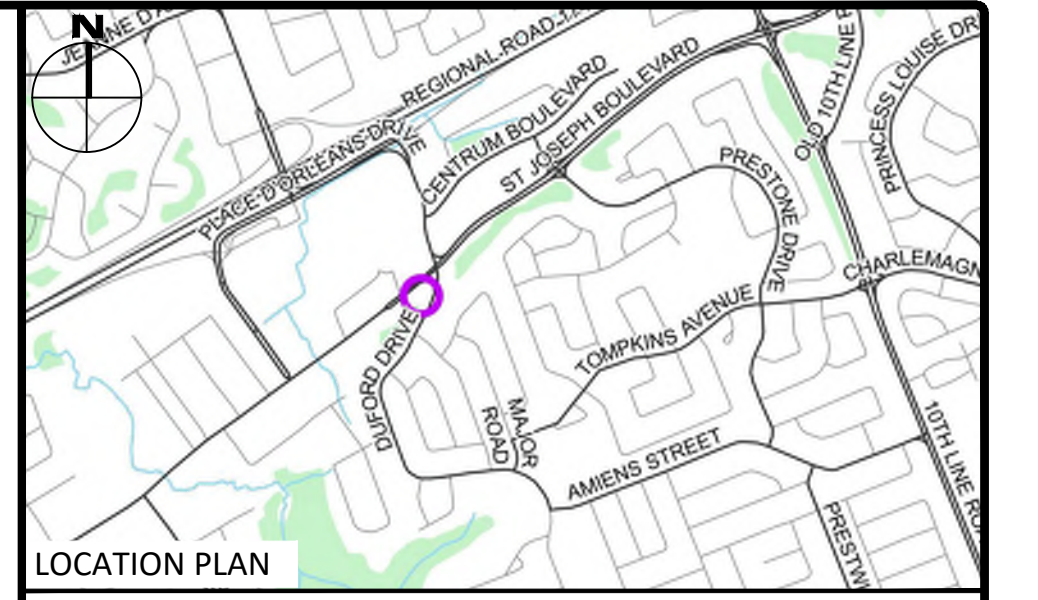


GENERAL NOTES

1. THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.
2. THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED FROM INFORMATION SUPPLIED BY ANNIS, O'SULLIVAN, VOLLEBERG LTD. AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR. THE BEARINGS DISPLAYED ARE ASTRONOMIC, DERIVED FROM PART OF THE EASTERLY LIMIT OF PLAN 50R-4499, SHOWN TO BE N 18°10'10"E. REFER TO THE SURVEY.
3. THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
5. THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
6. RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITY.
7. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE CITY.
8. TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
10. DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/CITY.
11. ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
12. CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE CITY'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOIL.
13. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
14. ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY:
 - ELECTRICAL SERVICE - HYDRO OTTAWA,
 - GAS SERVICE - ENBRIDGE,
 - TELEPHONE SERVICE - BELL CANADA,
 - TELEVISION SERVICE - ROGERS.
15. INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONE, BELL AND THE CITY.
16. CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION
17. ALL PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE SPECIFIED.
18. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION.

EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL. TEMPORARY SEDIMENT CONTROL (GEOSOCK INSERTS WITH AN OVERFLOW UNDER GRATE OR COVER) TO BE IMPLEMENTED DURING CONSTRUCTION ON ALL PROPOSED ROAD CATCHBASINS, REARWARD CATCHBASINS AND CATCHBASIN MANHOLES AND OTHER SEDIMENT TRAPS. NO RECYCLED GEOSOCK MATERIAL SHALL BE PERMITTED FOR USE ON SITE.
2. AT THE DISCRETION OF THE PROJECT MANAGER OR MUNICIPAL STAFF, ADDITIONAL SILT CONTROL DEVICES SHALL BE INSTALLED AT DESIGNATED LOCATIONS.
3. FOR SILT FENCE BARRIER, USE OPSD 219.110. GEOTEXTILE FOR SILT FENCE AS PER OPSD 1860, TABLE 3.
4. EXCEPT AS PROVIDED IN PARAGRAPHS 4.1, AND 4.2. BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 4.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.
5. SEDIMENT THAT IS ACCUMULATED BY THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED IN A MANNER THAT AVOIDS ESCAPE OF THE SEDIMENT TO THE DOWNSTREAM SIDE OF THE CONTROL MEASURE AND AVOIDS DAMAGE TO THE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED TO THE LEVEL OF THE GRADE EXISTING AT THE TIME THE CONTROL MEASURE WAS CONSTRUCTED AND BE ACCORDING TO THE FOLLOWING:
 - 5.1. FOR LIGHT-DUTY SEDIMENT BARRIERS, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE IT REACHES THE LESSER OF THE FOLLOWING:
 - 5.1.1. A DEPTH OF ONE-HALF THE EFFECTIVE HEIGHT OF THE CONTROL MEASURE.
 - 5.1.2. A DEPTH OF 300 MM IMMEDIATELY UPSTREAM OF THE CONTROL MEASURE.
 - 5.2. FOR ALL CONTROL MEASURES, ACCUMULATED SEDIMENT SHALL BE REMOVED AS NECESSARY TO PERFORM MAINTENANCE REPAIRS.
 - 5.3. ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO THE REMOVAL OF THE CONTROL MEASURE.
 - 5.4. ACCUMULATED SEDIMENT IS TO BE REMOVED AND DISPOSED OF AS PER OPSD 180.
6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED TO ENSURE THEY ARE IN EFFECTIVE WORKING ORDER. THE CONDITION OF THE CONTROL MEASURES SHALL BE MONITORED PRIOR TO ANY FORECAST STORM EVENT AND FOLLOWING A STORM EVENT.
7. DUST CONTROL MEASURES SHOULD BE CONSIDERED PRIOR TO CLEARING AND GRADING. THE USE OF WATER, CALCIUM CHLORIDE FLAKES/SOLUTION OR MAGNESIUM CHLORIDE FLAKES/SOLUTION SHALL BE USED AS DUST SUPPRESSANTS AS PER OPSD 506. THIS IS TO LIMIT WIND EROSION OF SOILS WHICH MAY TRANSPORT SEDIMENTS OFFSITE, WHERE THEY MAY BE WASHED INTO THE RECEIVING WATER BY THE NEXT RAINSTORM.
8. ALL "GREEN AREAS" TO BE TREATED WITH 150mm TOPSOIL AND HYDROSEEDING AS SOON AS FEASIBLE, AS PER OPSD 570.
9. TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
10. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
11. STOCKPILED MATERIAL IS TO BE STORED AWAY FROM POTENTIAL RECEIVERS (E.G. STORM CATCHBASINS, MANHOLES), AND BE SURROUNDED BY EROSION CONTROL MEASURES WHERE MATERIAL IS LEFT IN PLACE IN EXCESS OF 14 DAYS.
12. IF REQUIRED, DEWATERING/SETTLING BASINS SHALL BE CONSTRUCTED AS PER OPSD 219.240 AND LOCATED ON FLAT GRADE UPSTREAM OF OTHER EXISTING MITIGATION MEASURES. WATERCOURSES SHALL NOT BE DIVERTED, OR BLOCKED, AND TEMPORARY WATERCOURSES CROSSINGS SHALL NOT BE CONSTRUCTED OR UTILIZED, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT. IF CLOSURE OF ANY PERMANENT WATER PASSAGE IS NECESSARY, THE CONTRACTOR SHALL RELEASE ANY STRANDED FISH TO THE OPEN PORTION OF THE WATERCOURSE WITHOUT HARM.
13. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO OPSD 577
14. WHERE DEWATERING IS REQUIRED, THE DISCHARGED WATER SHALL BE CONTROLLED IN ACCORDANCE WITH OPSD 518.
15. ALL SETTLING/FILTRATION BASINS SHALL BE EQUIPPED WITH TERRAFIX 270R GEOTEXTILE (OR APPROVED EQUIVALENT) AND SHALL BE CLEANED AND REPLACED AS REQUIRED.



LEGEND

UC	BARRIER CURB & CURB DEPRESSION	SLOPING AT 3:1 UNLESS SPECIFIED
PC	PROPOSED CONCRETE PAVERS	95.94 93.20 95.94 93
MH	STORM MANHOLE	PROPOSED ELEVATION
CB	CATCHBASIN, CURB INLET OR DITCH INLET	SWALE ELEVATION
MH/A	SANITARY MANHOLE	TOP/BOTTOM WALL FACE ELEVATIONS
PL	PROPERTY LINE	PROPOSED EMERGENCY OVERLAND FLOW ROUTE
WV	WATER VALVE/CHAMBER	PRE AND POST-DEVELOPMENT DRAINAGE DIRECTIONS
FD	FIRE HYDRANT	HEAVY DUTY SILT FENCE BARRIER PER OPSD 219.130
SW	PROPOSED WALL	BUILDING ENTRANCE
SC	PROPOSED SIAMMSE CONNECTION	PROPOSED GRASS
WM	PROPOSED WATER METER AND REMOTE METER	CENTRELINE OF SWALE
CC	PROPOSED CONCRETE SIDEWALK	PROPOSED ROADCUT AND REINSTATEMENT PER CITY R10
RD	REDUCER	TEMPORARY CONSTRUCTION MUD MAT PER C101 DETAIL
ST	EX. STM SEWER	CB SILT SACK PER C101 DETAIL
SAN	EX. SAN SEWER	① SERVICE/SEWER CROSSING
W	EX. WATERMAIN	L EX. GUT STREET LIGHT
GAS	EX. GAS	TF EX. TRAFFIC LIGHT
OHW	EX. OHW	
GAS	EX. TRAFFIC CABLE	
BELL	EX. BELL	
ROG	EX. ROGERS	

SUBJECT TO APPROVAL		
1	ISSUED FOR SITE PLAN CONTROL	JUNE 02, 2023
No.	Revisions	Date
Check and verify all dimensions before proceeding with the work		
Do not scale drawings		

SCALE 1 : 200



McINTOSH PERRY
 115 Walgreen Road, RR3, Carp, ON K0A 1L0
 Tel: 613-836-2184 Fax: 613-836-3742
 www.mcintoshperry.com

Stamp:

Client: **THEBERGE DEVELOPMENTS LTD**
 1600 LAPERRIERE AVE
 OTTAWA, ON K1Z 8P5

Project: **3030 ST. JOSEPH BOULEVARD**

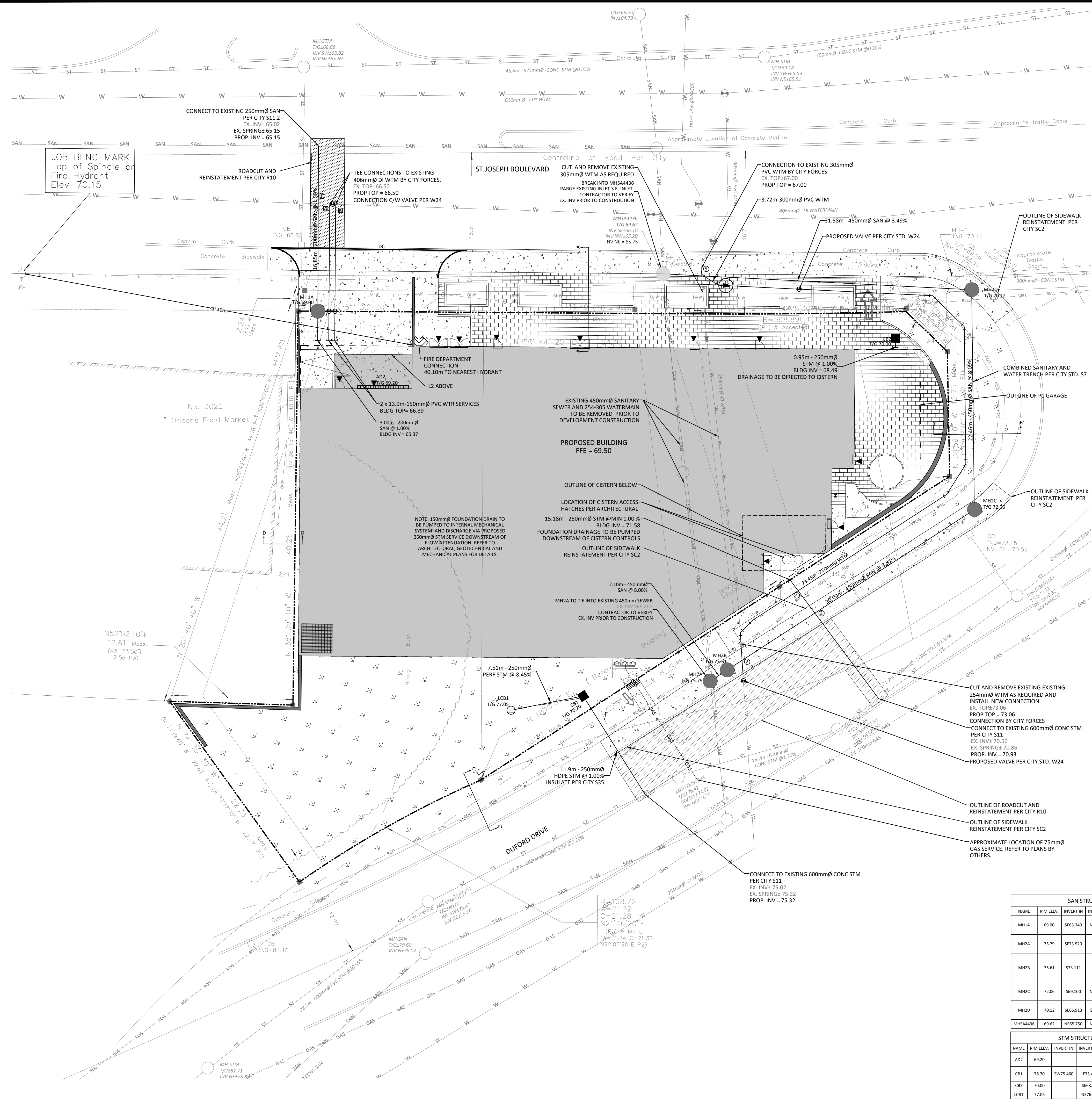
OTTAWA ON

Drawing Title: **GRADING, DRAINAGE AND EROSION & SEDIMENT CONTROL PLAN**

Scale: 1:200	Project Number: CCO-24-0142
Drawn By: RRR	Checked By: AM
Designed By: RRR	Drawing Number: C101

FILENAME: I:\Information\CCO-24-0142\Theberge - 3030 St. Joseph Blvd\12 - Drawing\CCO-24-0142 - PRESENTATION.dwg
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 LAST SAVED BY: rrobins
 LAST PLOTTED: Thursday, November 09, 2023 10:51:53 AM
 C:\PLOT\GREEN.PLOT

2023-12-23-0090
 19036



GENERAL NOTES

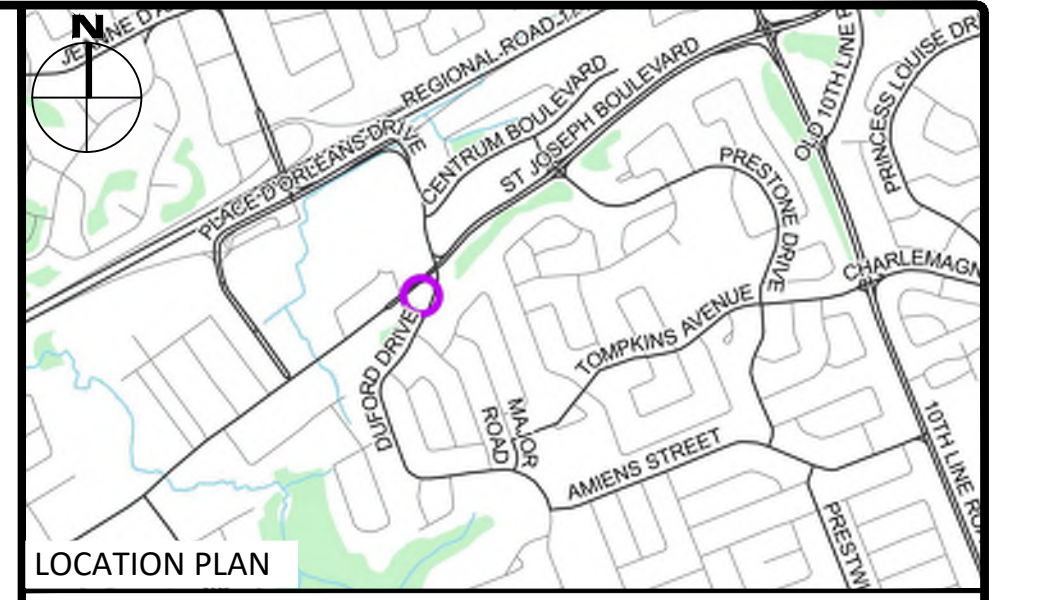
- THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.
- THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED INFORMATION SUPPLIED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR. THE BEARINGS DISPLAYED ARE ASTROMONIC, DERIVED FROM PART OF THE EASTERLY LIMIT OF PLAN SOR-4499, SHOWN TO BE N 18°10'10"E. REFER TO THE SURVEY.
- THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
- THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITIES.
- EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE CITY.
- TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
- DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/CITY.
- ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- CONTACT THE CITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE CITY'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
- ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY:
 - ELECTRICAL SERVICE - HYDRO OTTAWA,
 - GAS SERVICE - ENBRIDGE,
 - TELEPHONE SERVICE - BELL CANADA,
 - TELEVISION SERVICE - ROGERS.
- INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONE, BELL AND THE CITY.
- CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION
- ALL PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE SPECIFIED.
- THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION.

SEWER NOTES:

- CONSTRUCT ALL SEWERS, CATCH BASINS, MANHOLES AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS, AS WELL AS CITY.
- SEWER TRENCHING AND BEDDING SHALL CONFORM TO OPSD 802.010 AND 802.013 UNLESS NOTED OTHERWISE.
 - BEDDING SHALL BE A MINIMUM 150mm OF GRANULAR "A" COMPACTED TO MINIMUM 95% STANDARD PROCTOR DRY DENSITY. CLEAR STONE BEDDING SHALL NOT BE PERMITTED.
 - SUB-BEDDING, IF REQUIRED SHALL CONSIST OF 450mm OF COMPACTED GRANULAR "B" TYPE 1 BACKFILL TO AT LEAST 300mm ABOVE TOP OF PIPE WITH GRANULAR "A" OR GRANULAR "B" TYPE 1.
 - TO MINIMIZE DIFFERENTIAL FROST HEAVING, TRENCH BACKFILL FROM PAVEMENT SUBGRADE TO 2.0 METRES BELOW FINISHED GRADE) SHALL MATCH EXISTING SOIL CONDITIONS.
- SANITARY SEWERS AND CONNECTIONS 150mmØ AND SMALLER TO BE PVC SDR-26.
- SEWERS AND CONNECTIONS 200mmØ AND LARGER TO BE PVC SDR-35. BEDDING TO BE TYPE "B" EXCEPT AT RISERS, UNLESS NOTED OTHERWISE.
- SEWERS AND WATERMANS LOCATED PARALLEL TO EACH OTHER SHOULD BE IN SEPARATE TRENCHES. WHEN IT IS IMPOSSIBLE OR NOT PRACTICAL TO MAINTAIN VERTICAL AND/OR HORIZONTAL SEPARATION PER MEEP STANDARDS, ALL SEWERS SHOULD BE CONSTRUCTED OF WATERMAIN QUALITY PIPE, PRESURE TESTED IN PLACE AT A PRESSURE OF 350 kPa (50 psi) WITHOUT LEAKAGE USING THE TESTING METHODOLOGY IN ONTARIO PROVINCIAL STANDARD SPECIFICATION 701 (OPSS 701) OF THE OPS.
- INSULATE ALL STORM AND SANITARY SEWERS/SERVICES THAT HAVE LESS THAN 2.0m OF COVER WITH THERMAL INSULATION AS PER CITY DETAIL S35, OPTION A.
- SEWER CONNECTIONS ARE TO BE MADE ABOVE THE SPRINGLINE OF THE SEWERMAIN AS PER CITY OF OTTAWA STANDARD DRAWING S11, S11.1 & S11.2.
- SUPPLY AND INSTALL ALL PIPING AND APPURTENANCES AS SHOWN AND DETAILED TO WITHIN 1.0m OF BUILDING. ALL ENDS OF SERVICES TO BE PROPERLY CAPPED AND LOCATED WITHIN 25"X38" LONG MARKER.
- CONTRACTOR TO TELETYPE (CCTV) ALL PROPOSED SEWERS ON SITE. OUTLET CONNECTION TO THE MAIN AND PIPES 150mmØ OR GREATER PRIOR TO BASE COURSE ASPHALT. UPON COMPLETION OF CONTRACT, THE CONTRACTOR IS RESPONSIBLE TO FLUSH AND CLEAN ALL SEWERS & APPURTENANCES.
- DYE TESTING IS TO BE COMPLETED ON SANITARY SERVICE TO CONFIRM PROPER CONNECTION TO SANITARY SEWER MAIN.

WATERMAIN NOTES

- CONSTRUCT ALL WATERMANS AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS, AS WELL AS CITY STANDARDS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 2.4m. INSULATE ALL WATERMANS AND SERVICES THAT HAVE LESS THAN 2.4m COVER WITH THERMAL INSULATION AS PER CITY DETAIL W22.
- IF THE WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS EQUAL TO OR LESS THAN THAT WHICH IS RECOMMENDED BY THE MANUFACTURER.
- THERMAL INSULATION OF WATERMANS AT OPEN STRUCTURES AS PER CITY DETAIL W23.
- VALVES TO BE OPERATED BY CITY STAFF ONLY.
- NO CONNECTION TO EXISTING WATER NETWORK SHALL BE COMPLETED UNTIL A WATER PERMIT IS OBTAINED FROM THE CITY. CITY TO BE PRESENT FOR WATERMAIN CONNECTION, CONNECTION, EXCAVATION, BACKFILLING AND REINSTATEMENT TO BE COMPLETED BY CONTRACTOR.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ANY WATERMAIN CONNECTION(S) REQUIRED. THIS SHALL BE COMPLETED IN THE PRESENCE OF A DESIGNATED MUNICIPAL WATER OPERATOR AND THE SELECTED CONTRACTOR SHALL PROVE TO THE SATISFACTION OF THE CITY THAT THEY ARE COMPETENT TO PERFORM THE WORKS PRIOR TO INITIATING CONSTRUCTION.
- CONCRETE THRUST BLOCKS TO CONFORM TO OPSD 1103.010 AND OPSD 1103.020.
- ALL WATERMAIN TO BE CLASS 150 DR-18 OR APPROVED EQUIVALENT.
- ALL WATERMAIN TO BE EQUIPPED WITH TRACER WIRE.
- AS PER CITY GUIDELINE, THE MINIMUM VERTICAL CLEARANCE BETWEEN WATERMAIN AND SEWER/UTILITY IS 0.25m FOR CROSSING OVER THE SEWER, AS PER CITY DETAIL W25.2 FOR CROSSING UNDER SEWER, THE MINIMUM VERTICAL CLEARANCE IS 0.5m AS PER CITY DETAIL W25. FOR CROSSING UNDER SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWERS IS REQUIRED TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING. THE LENGTH OF WATER PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.



LEGEND

DC	BARRIER CURB & CURB DEPRESSION	SLOPING AT 3:1 UNLESS SPECIFIED
PC	PROPOSED CONCRETE PAVERS	95.94 EXISTING ELEVATION
MH	STORM MANHOLE	95.94 SWALE ELEVATION
CB	CATCH-BASIN, CURB INLET OR DITCH INLET	X100.50 W/100.50
MHSA	SANITARY MANHOLE	PROPOSED EMERGENCY OVERLAND FLOW ROUTE
PL	PROPERTY LINE	PRE AND POST-DEVELOPMENT DRAINAGE DIRECTIONS
WV	WATER VALVE/CHAMBER	HEAVY DUTY SILT FENCE BARRIER PER OPSD 219.130
FH	FIRE HYDRANT	BUILDING ENTRANCE
SW	PROPOSED WALL	PROPOSED GRASS
SC	PROPOSED SIAMMSE CONNECTION	CENTRELINE OF SWALE
WM	PROPOSED WATER METER AND REMOTE METER	PROPOSED ROADCUT AND REINSTATEMENT PER CITY R10
SCS	PROPOSED CONCRETE SIDEWALK	TEMPORARY CONSTRUCTION MUD MAT PER C101 DETAIL
R	REDUCER	CB SILT SACK PER C101 DETAIL
ST	EX. STM SEWER	① SERVICE/SEWER CROSSING
SAN	EX. SAN SEWER	L EX. UG STREET LIGHT
W	EX. WATERMAIN	TF EX. TRAFFIC LIGHT
GAS	EX. GAS	
OHW	EX. OHW	
GAS	EX. TRAFFIC CABLE	
BELL	EX. BELL	
ROG	EX. ROGERS	

SUBJECT TO APPROVAL

1	ISSUED FOR SITE PLAN CONTROL	JUNE 02, 2023
No.	Revisions	Date
Check and verify all dimensions before proceeding with the work		
Do not scale drawings		

SCALE 1 : 200

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Client: **THEBERGE DEVELOPMENTS LTD**
 1600 LAPERRIERE AVE
 OTTAWA, ON K1Z 8P5

Project: **3030 ST. JOSEPH BOULEVARD**

OTTAWA ON

Drawing Title: **SITE SERVICING PLAN**

Scale: 1:200	Project Number: CCO-24-0142
Drawn By: RRR	Checked By: AM
Designed By: RRR	Drawing Number: C102

SAN STRUCTURE TABLE

NAME	RIM ELEV.	INVERT IN	INVERT OUT	DESCRIPTION
MH1A	69.00	S565.340	NW65.319	STRUC. OPSD 701.010 COVER, CITY S25 FRAME, CITY S25
MH2A	75.79	S73.520	N73.278	STRUC. OPSD 701.011 COVER, CITY S24 FRAME, CITY S25
MH2B	75.61	S73.111	N71.750	STRUC. OPSD 701.011 COVER, CITY S24 FRAME, CITY S25
MH2C	72.06	S69.200	NW68.710	STRUC. OPSD 701.011 COVER, CITY S24 FRAME, CITY S25
MH2D	70.12	S86.913	SW66.853	STRUC. OPSD 701.011 COVER, CITY S24 FRAME, CITY S25
MH2E	69.62	NE65.750	NW65.200	EX. MH

WATER COVER TABLE

LOCATION	STATION	FINISHED GRADE	TOP OF PIPE	COVER
A - 406 X 150 TEE VALVE	0+100.00	68.90	66.50	2.40
B - 406 X 150 TEE VALVE	0+110.90	69.15	66.75	2.40
BUILDING	0+113.90	69.20	66.80	2.40
B - 406 X 150 TEE VALVE	0+110.90	68.90	66.50	2.40
BUILDING	0+100.00	68.90	66.50	2.40
BUILDING	0+113.90	69.10	66.80	2.40

REFER TO PLANS C201 AND C202 FOR STATION ELEVATION DATA OF PROPOSED WATERMAIN RELOCATION

STM STRUCTURE TABLE

NAME	RIM ELEV.	INVERT IN	INVERT OUT	DESCRIPTION
A02	69.20	SW75.460	E75.439	TRENCH DRAIN TO BE SPEC. BY MECHANICAL
CR1	76.70	SW75.460	E75.439	OPSD 705.010 C/W TRAPSET (M4640)C/D
CR2	70.00		S68.500	OPSD 705.010
LCR1	77.05		NE76.095	CITY STD S31

FILENAME: I:\Information\2023\CCO-24-0142\Theberge - 3030 St. Joseph Blvd\12 - Drawing\CCO-24-0142 - PRESENTATION.dwg
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207-12-23-0090
 1903E

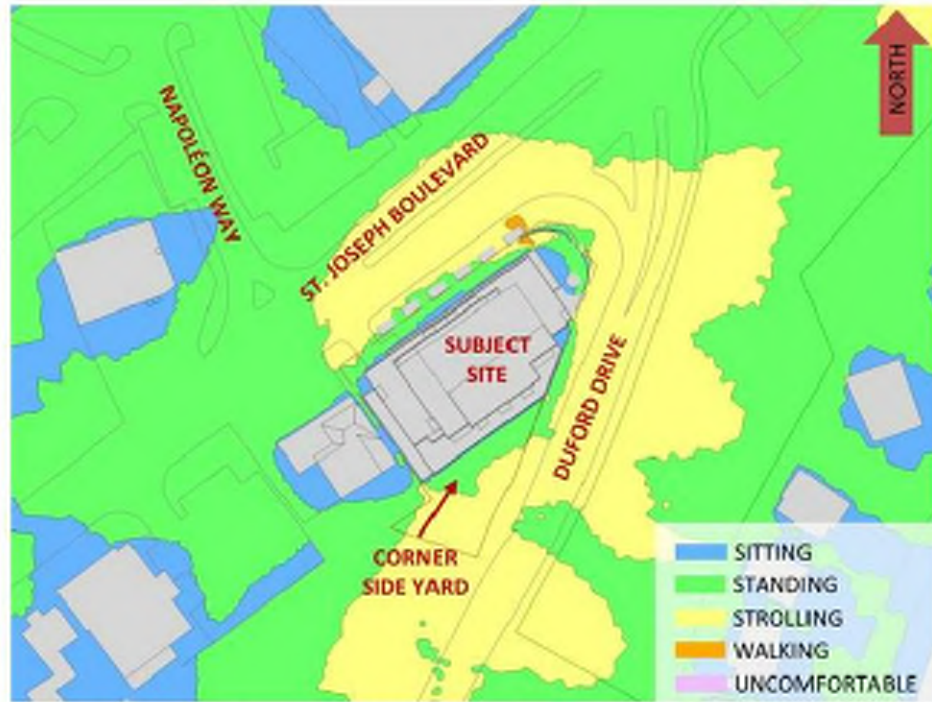


FIGURE 3A: SPRING – WIND COMFORT, GRADE LEVEL – PROPOSED MASSING



FIGURE 3B: SPRING – WIND COMFORT, GRADE LEVEL – EXISTING MASSING

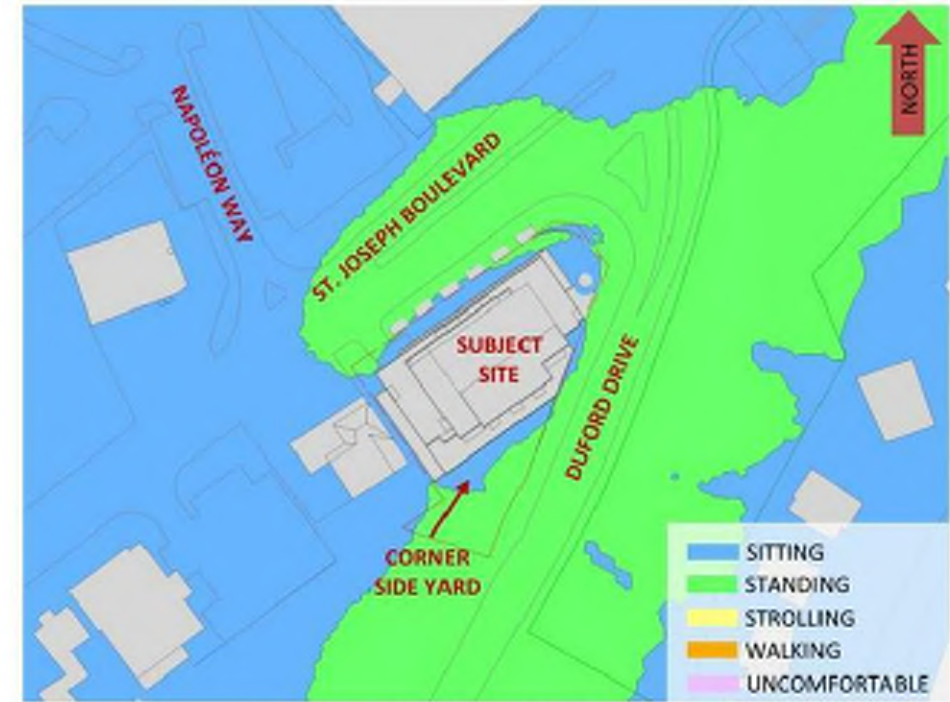


FIGURE 4A: SUMMER – WIND COMFORT, GRADE LEVEL – PROPOSED MASSING

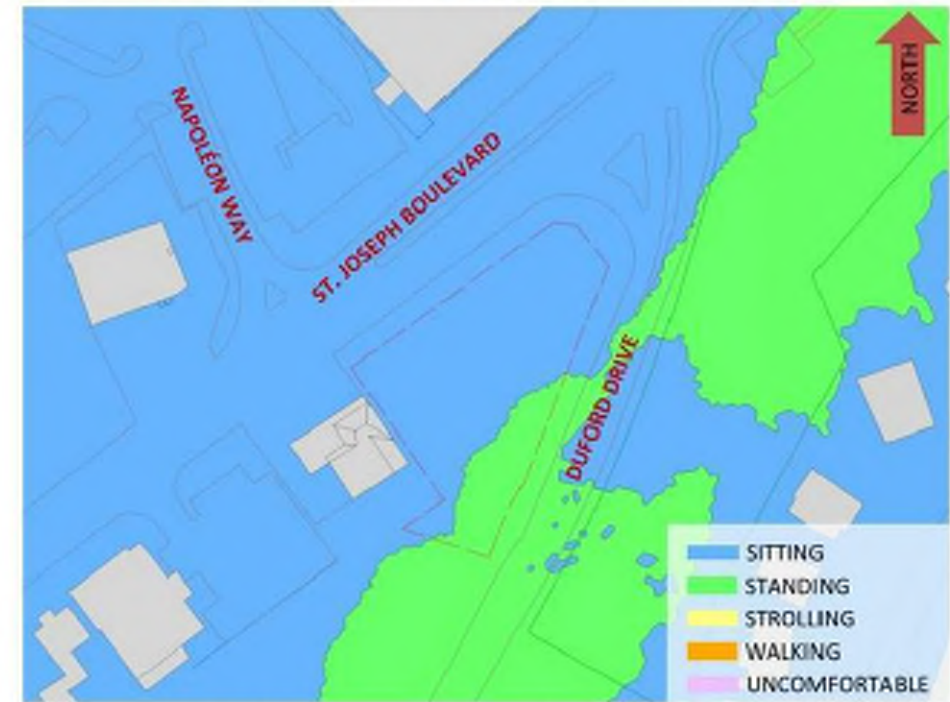
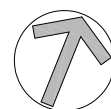


FIGURE 4B: SUMMER – WIND COMFORT, GRADE LEVEL – EXISTING MASSING



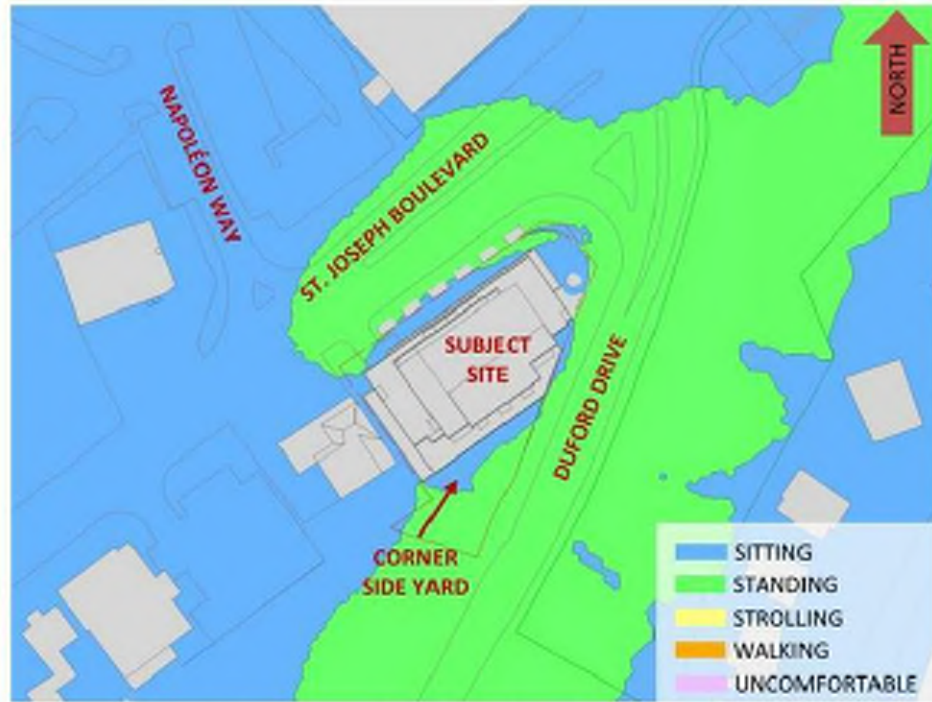


FIGURE 4A: SUMMER – WIND COMFORT, GRADE LEVEL – PROPOSED MASSING

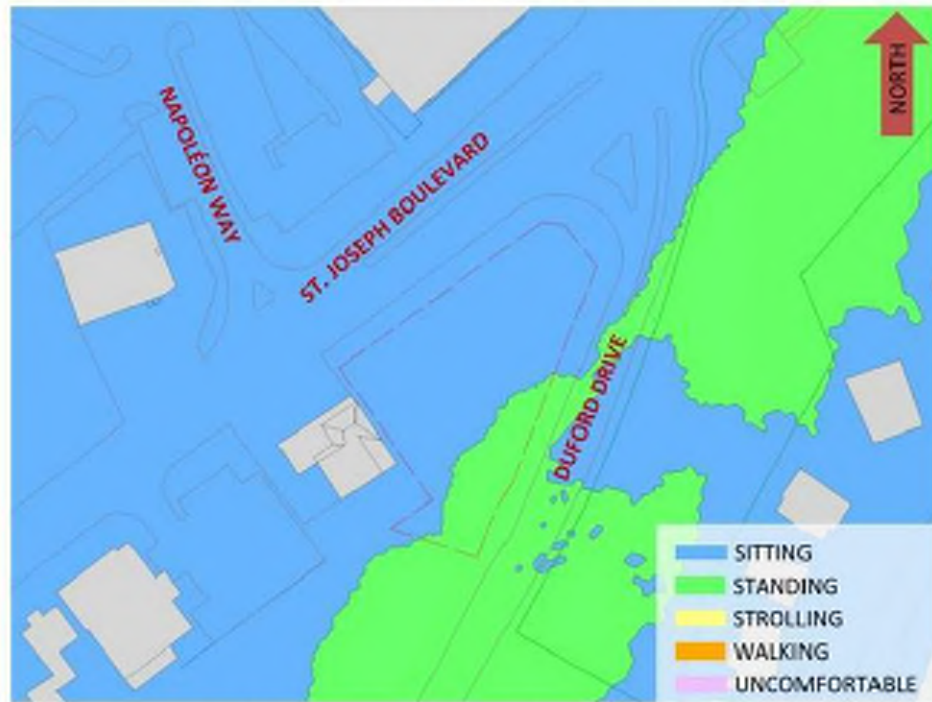


FIGURE 4B: SUMMER – WIND COMFORT, GRADE LEVEL – EXISTING MASSING

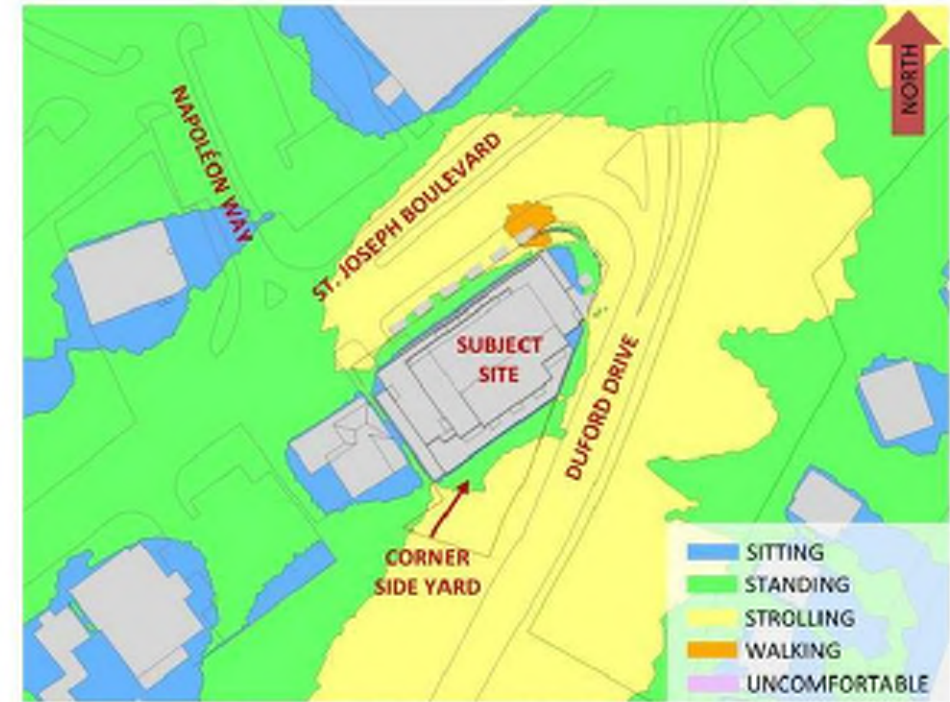


FIGURE 6A: WINTER – WIND COMFORT, GRADE LEVEL – PROPOSED MASSING

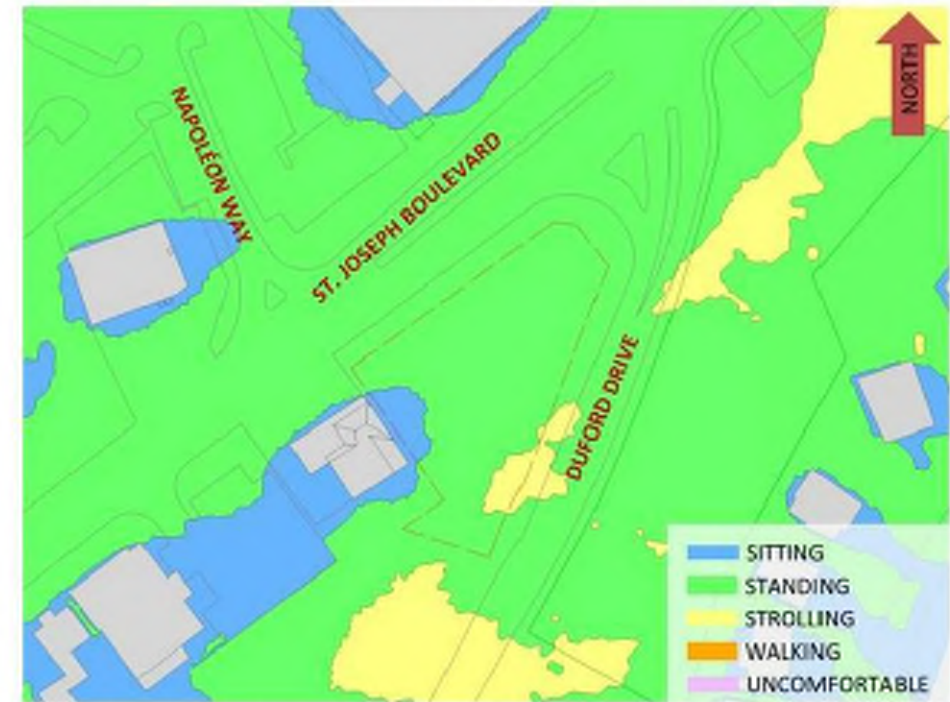
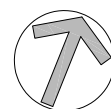


FIGURE 6B: WINTER – WIND COMFORT, GRADE LEVEL – EXISTING MASSING



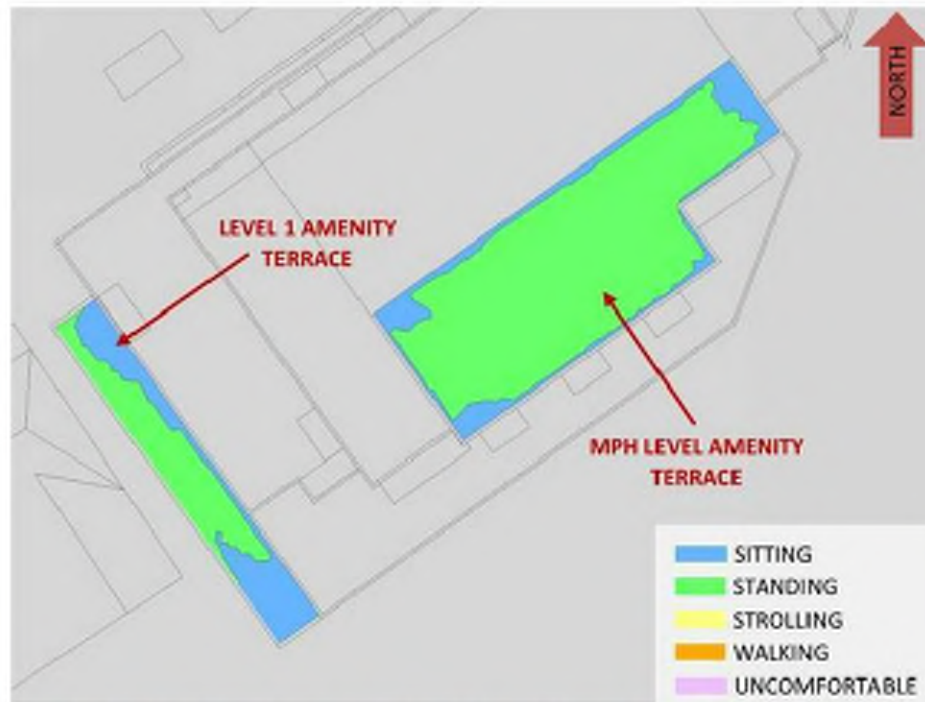


FIGURE 8A: SPRING – WIND COMFORT, COMMON AMENITY TERRACES

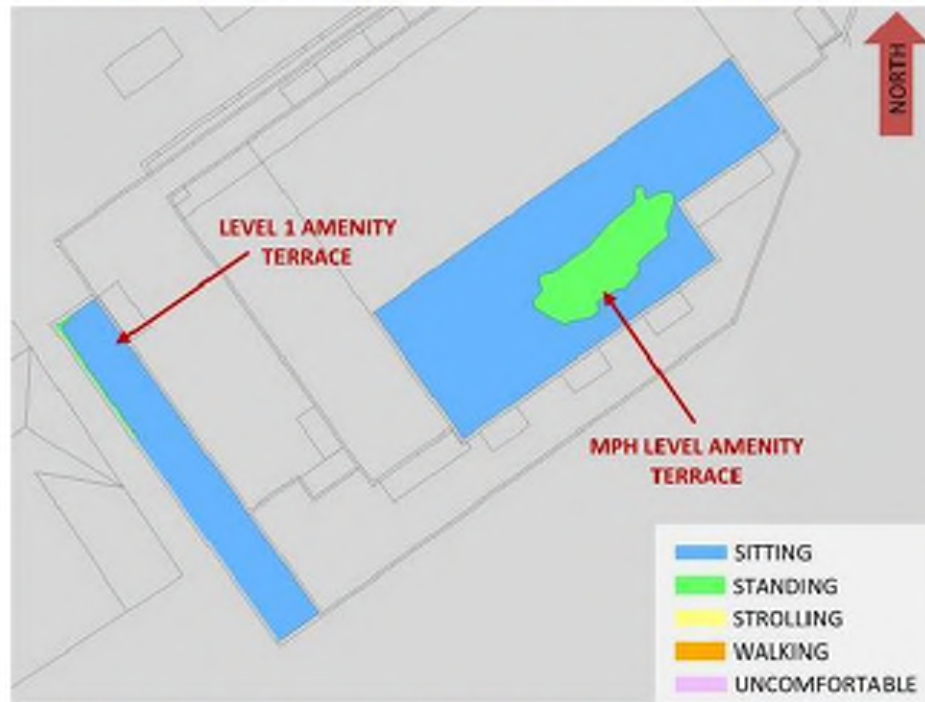


FIGURE 8B: SUMMER – WIND COMFORT, COMMON AMENITY TERRACES

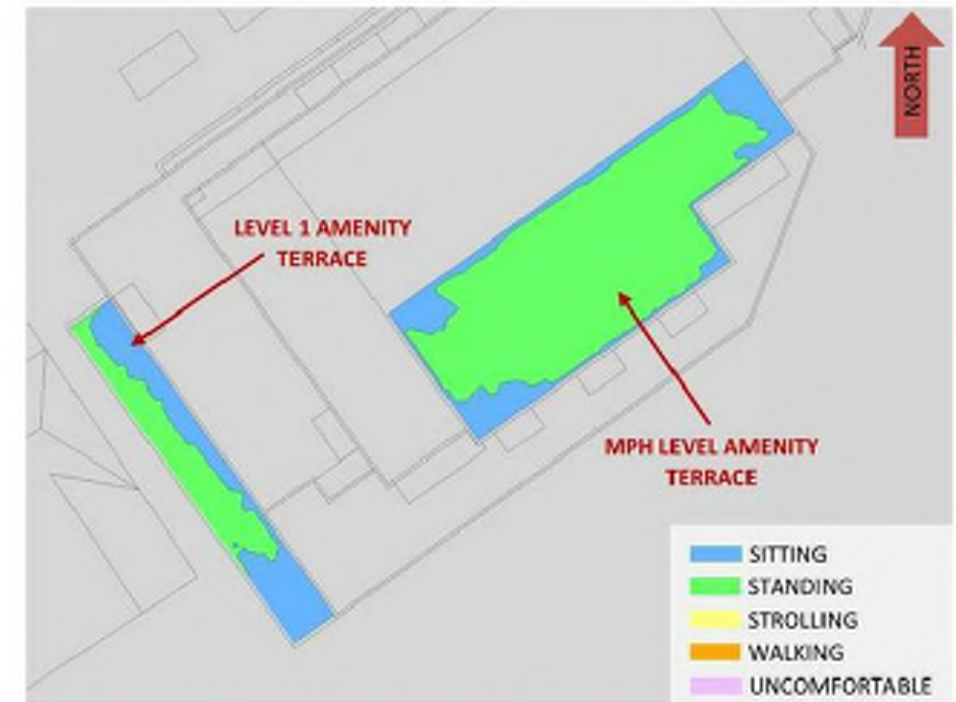


FIGURE 8C: AUTUMN – WIND COMFORT, COMMON AMENITY TERRACES



FIGURE 8D: WINTER – WIND COMFORT, COMMON AMENITY TERRACES

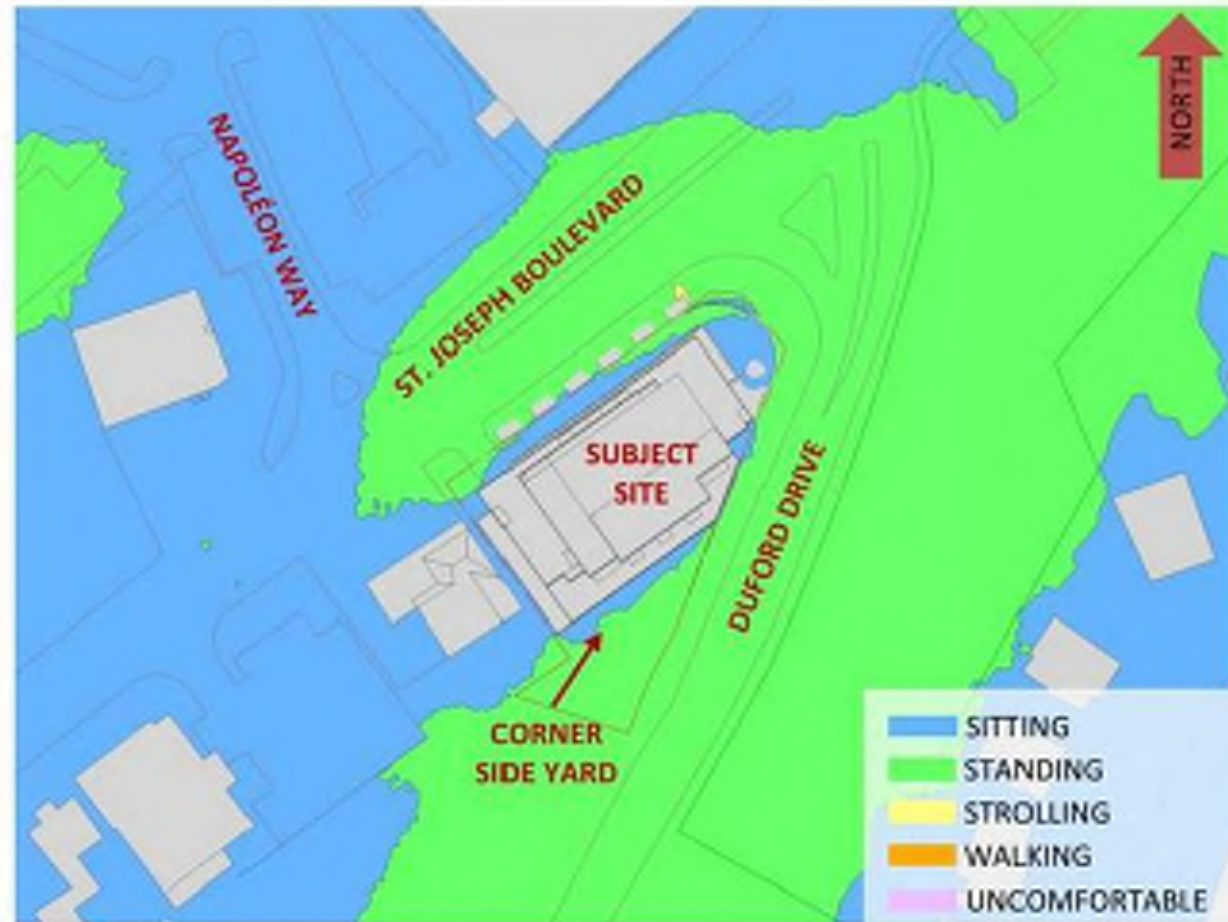


FIGURE 7: TYPICAL USE PERIOD – WIND COMFORT, GRADE LEVEL – PROPOSED MASSING

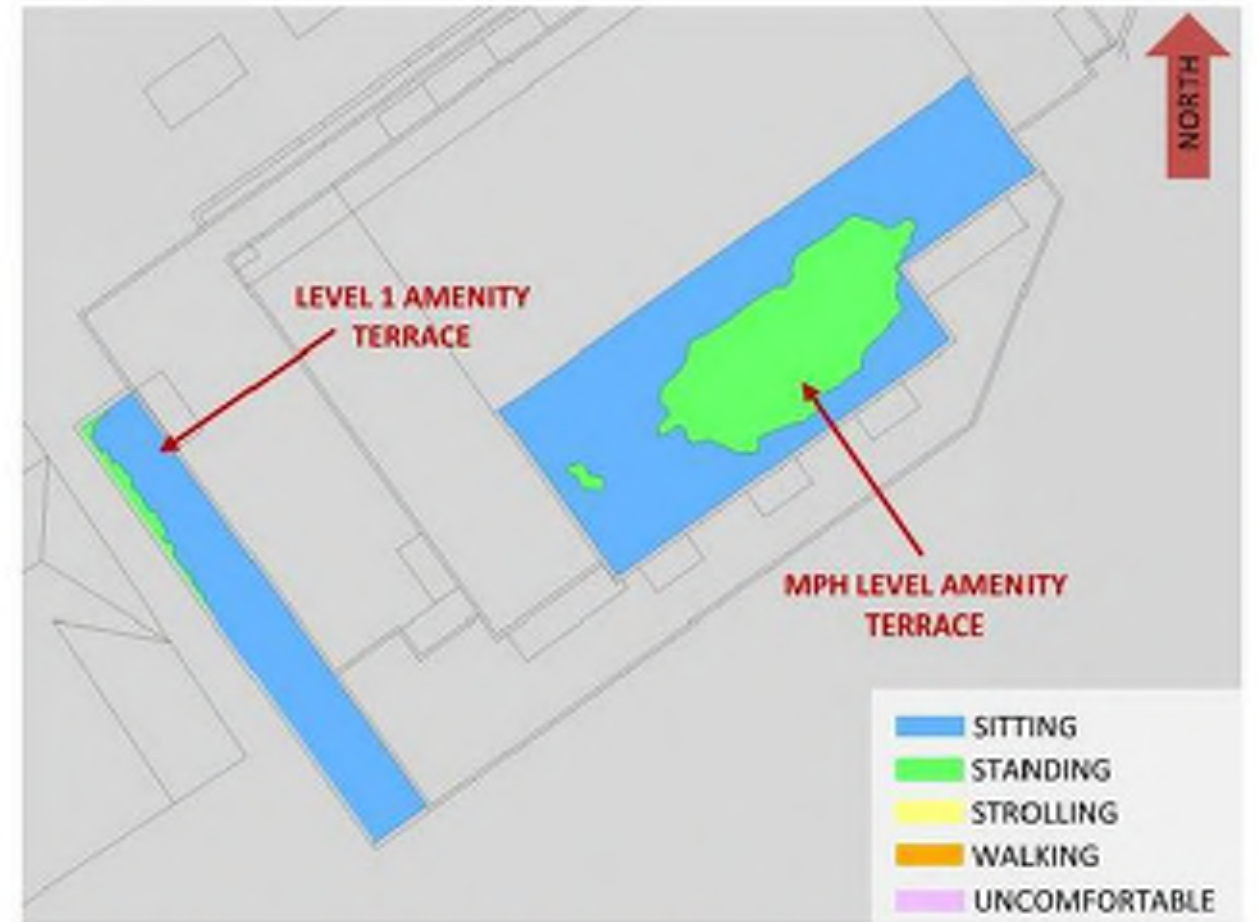


FIGURE 9: TYPICAL USE PERIOD – WIND COMFORT, COMMON AMENITY TERRACES