

**SITE INFORMATION :**

SITE AREA 'A': 9,176.0 m<sup>2</sup> - 9.16 ha

ZONING : DR  
 PROPOSED ZONING : 3Rxx

SITE AREA 'A':

	BUILDING AREA	GFA	No. UNITS
BLOCK 1 - 3 STOREY TOWNHOMES	403.4 m <sup>2</sup>	1,027.5 m <sup>2</sup>	7 UNITS
BLOCK 2 - 4 STOREY TERRACE FLATS	459.0 m <sup>2</sup>	1,836.0 m <sup>2</sup>	16 UNITS
BLOCK 3 - 4 STOREY TERRACE FLATS	232.0 m <sup>2</sup>	928.0 m <sup>2</sup>	8 UNITS
BLOCK 4 - 4 STOREY TERRACE FLATS	232.0 m <sup>2</sup>	928.0 m <sup>2</sup>	8 UNITS
BLOCK 5 - 4 STOREY TERRACE FLATS	459.0 m <sup>2</sup>	1,836.0 m <sup>2</sup>	16 UNITS
BLOCK 6 - 3 STOREY TOWNHOMES	403.4 m <sup>2</sup>	1,027.5 m <sup>2</sup>	7 UNITS
ACCESSORY BUILDING -	112.0 m <sup>2</sup>		
TOTAL UNITS -	2,300.8 m <sup>2</sup>	7,583.0 m <sup>2</sup>	62 UNITS

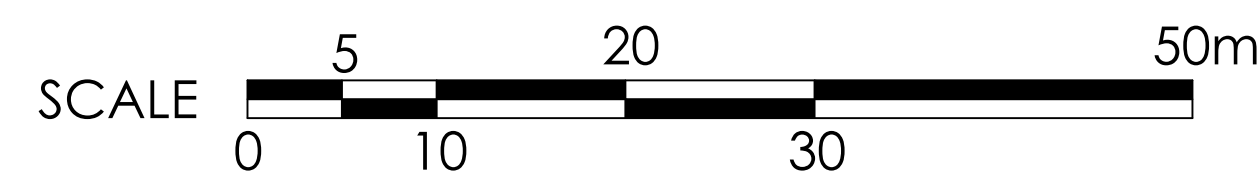
TOTAL - 3 STOREY TOWNHOMES 14 UNITS  
 TOTAL - 4 STOREY TERRACE FLATS 48 UNITS

TERRACE FLATS PARKING :  
 PARKING REQUIRED : 1.2 Spaces / (48) d.u. + 0.2 / (48) d.u. (Visitor) = 57.6 + 9.6 = 67.2 Spaces  
 PARKING PROVIDED : 31 Spaces @ 2.6m + 28 Spaces @ 2.4m + 10 Visitor Spaces @ 2.6m = 69 Spaces

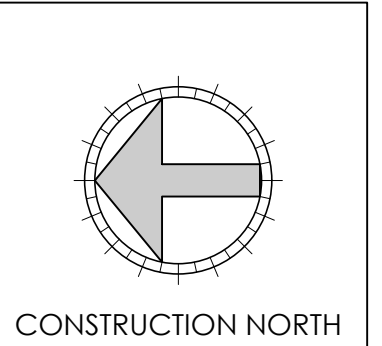
BICYCLE PARKING REQUIRED : 48 (0.5 / (48) d.u.) = 24.0 Spaces  
 BICYCLE PARKING PROVIDED : 24 Interior Spaces + 6 Exterior Spaces = 30 Spaces

SITE AREA 'B': FUTURE RESIDENTIAL

NOTE:  
 SITE PLAN TO BE READ IN CONJUNCTION WITH :  
 - SITE SERVICING PLAN PREPARED BY \_\_\_\_\_  
 - LANDSCAPING PLAN PREPARED BY \_\_\_\_\_  
 BOUNDARIES DERIVED FROM: PLAN 4R \_\_\_\_\_  
 PLAN PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD.  
 DATED \_\_\_\_\_, 20\_\_\_\_.  
 SITE BOUNDARIES TO BE CONFIRMED BY SURVEYOR.



- GENERAL NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC. WITH ALL CODES, REGULATIONS AND BY-LAWS.
  2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS AND BY-LAWS.
  3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED IN THE CONTRACT DOCUMENTS.
  4. DO NOT SCALE DRAWINGS.
  5. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
  6. THIS REPRODUCTION SHALL NOT BE ALTERED.



No.	DATE	DESCRIPTION	INIT.
10.			
9.			
8.			
7.			
6.	12/07/18	PHASE TWO REMOVED FROM PLAN	SM
5.	04/07/18	FOR SITE PLAN, BOUNDARIES, SURVEY	SM
4.	14/12/17	BUILDING AREAS ADDED TO PLAN	SM
3.	13/10/17	REVISED MODEL TYPES	SM
2.	21/08/17	FOR REVIEW - PHASE TWO ADDED	SM
1.	12/07/17	FOR REVIEW	SM

A - DETAIL NUMBER  
 B - SHEET NUMBER (DETAIL REQUIRED)  
 C - SHEET NUMBER (DETAIL LOCATION)

SEAL

PROJECT  
**PLANNED UNIT DEVELOPMENT**  
**OAKRIDGE GATE**  
**BREEZEWOOD STREET**  
**OTTAWA, ONTARIO**

CLIENT

DRAWING TITLE  
**PRELIMINARY SITE PLAN**

DATE: JULY, 2017. SCALE: 1:400 SHEET No.  
 DRAWN BY: SBM CHECKED: MDB **SP-1**

**M. David Blakely**  
**Architect Inc.**  
 2200 Prince of Wales Dr., Suite 101  
 Ottawa, Ontario K2E 6Z9  
 Phone (613) 226-8811 Fax (613) 226-7942