

UNIT COUNT									
NAME	LVL.00	LVL.01	LVL.02	LVL.03	LVL.04	LVL.05	LVL.06	TOTAL COUNT	PERCENTAGE
1-BED	1	1	1	1	1	1	1	7	27%
1-BED + DEN	1	0	0	1	0	1	1	4	15%
1-BED + DEN + BF	0	1	1	0	1	0	0	3	12%
2-BED	1	1	2	1	2	1	2	10	38%
2-BED + BF	0	0	0	1	0	1	0	2	8%
TOTAL	3	3	4	4	4	4	4	26	100%

GROSS FLOOR AREA (OBC)		
LEVEL	AREA	AREA (SF)
LEVEL.01	319.39 m <sup>2</sup>	3,438 SF
LEVEL.02	318.23 m <sup>2</sup>	3,425 SF
LEVEL.03	309.43 m <sup>2</sup>	3,331 SF
LEVEL.04	309.32 m <sup>2</sup>	3,330 SF
LEVEL.05	309.42 m <sup>2</sup>	3,331 SF
LEVEL.06	309.42 m <sup>2</sup>	3,331 SF
PENTHOUSE	94.51 m <sup>2</sup>	1,017 SF
TOTAL	1969.74 m <sup>2</sup>	21,202 SF

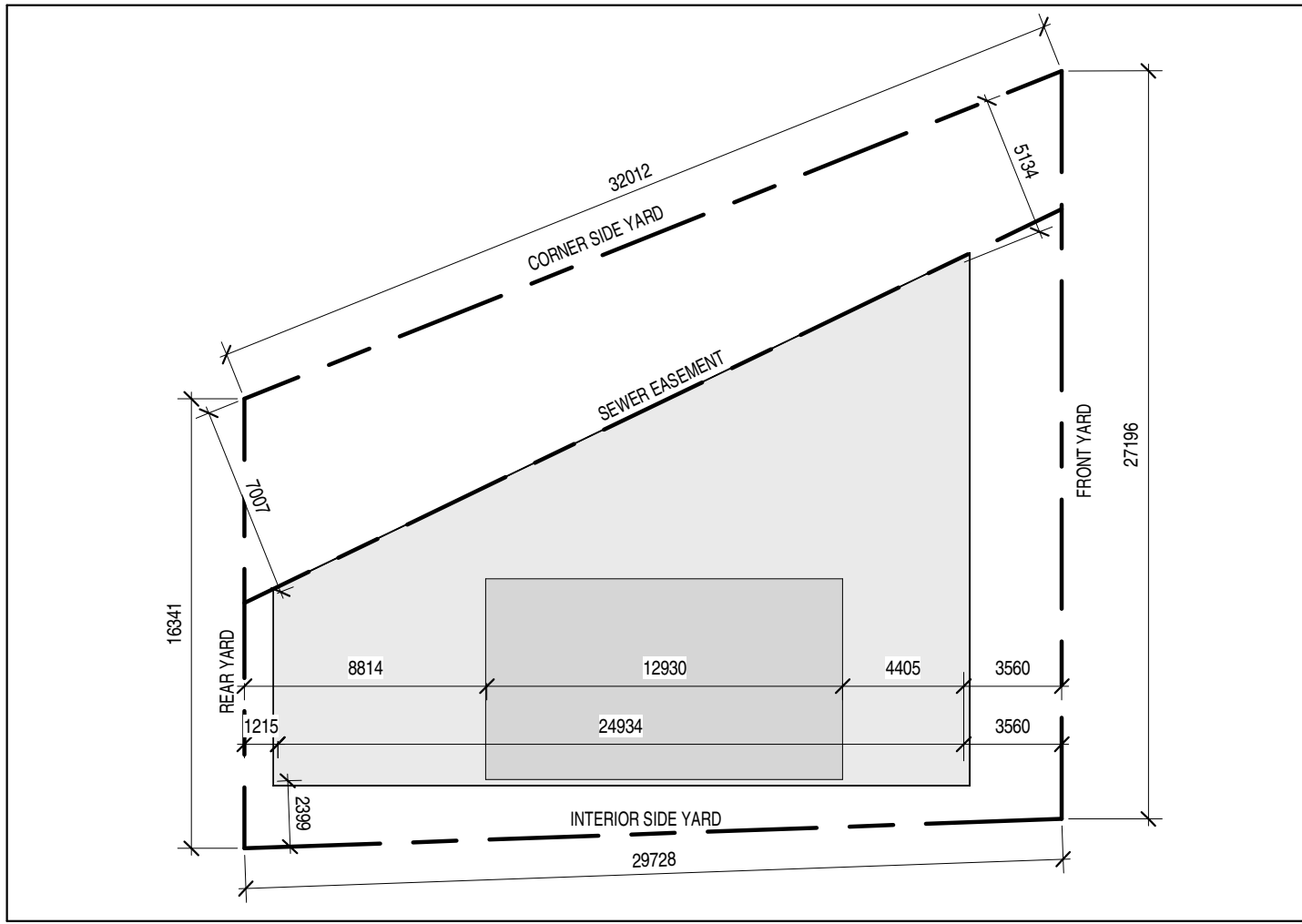
RENTABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL.00	210.88 m <sup>2</sup>	2,268 SF
LEVEL.01	211.07 m <sup>2</sup>	2,272 SF
LEVEL.02	283.72 m <sup>2</sup>	3,054 SF
LEVEL.03	275.49 m <sup>2</sup>	2,965 SF
LEVEL.04	275.18 m <sup>2</sup>	2,962 SF
LEVEL.05	275.28 m <sup>2</sup>	2,963 SF
LEVEL.06	275.28 m <sup>2</sup>	2,963 SF
TOTAL	1908.70 m <sup>2</sup>	19,447 SF

COMMUNAL AMENITY AREA		
NAME	AREA	AREA (SF)
YARD AMENITY	168.53 m <sup>2</sup>	1,793 SF
ROOFTOP AMENITY	130.67 m <sup>2</sup>	1,406 SF
AMENITY LOUNGE	40.81 m <sup>2</sup>	439 SF
TOTAL	339.01 m <sup>2</sup>	3,638 SF

**SITE PLAN NOTES**

S1 SOD / SOFT LANDSCAPING  
S2 INTERLOCKING STONE PAVERS  
S3 EXISTING STRUCTURE TO BE DEMOLISHED  
S4 EXISTING CHAINLINK FENCE TO BE DEMOLISHED  
S5 CONCRETE CURB  
S6 DEPRESSED CURB  
S7 PLANTING BED, REFER TO LANDSCAPE  
S8 EXISTING TREE TO BE REMOVED  
S9 RETAINING WALL (300mm WIDE)  
S10 RIVER STONE  
S11 PROPOSED RETAINING WALL, REFER TO CIVIL

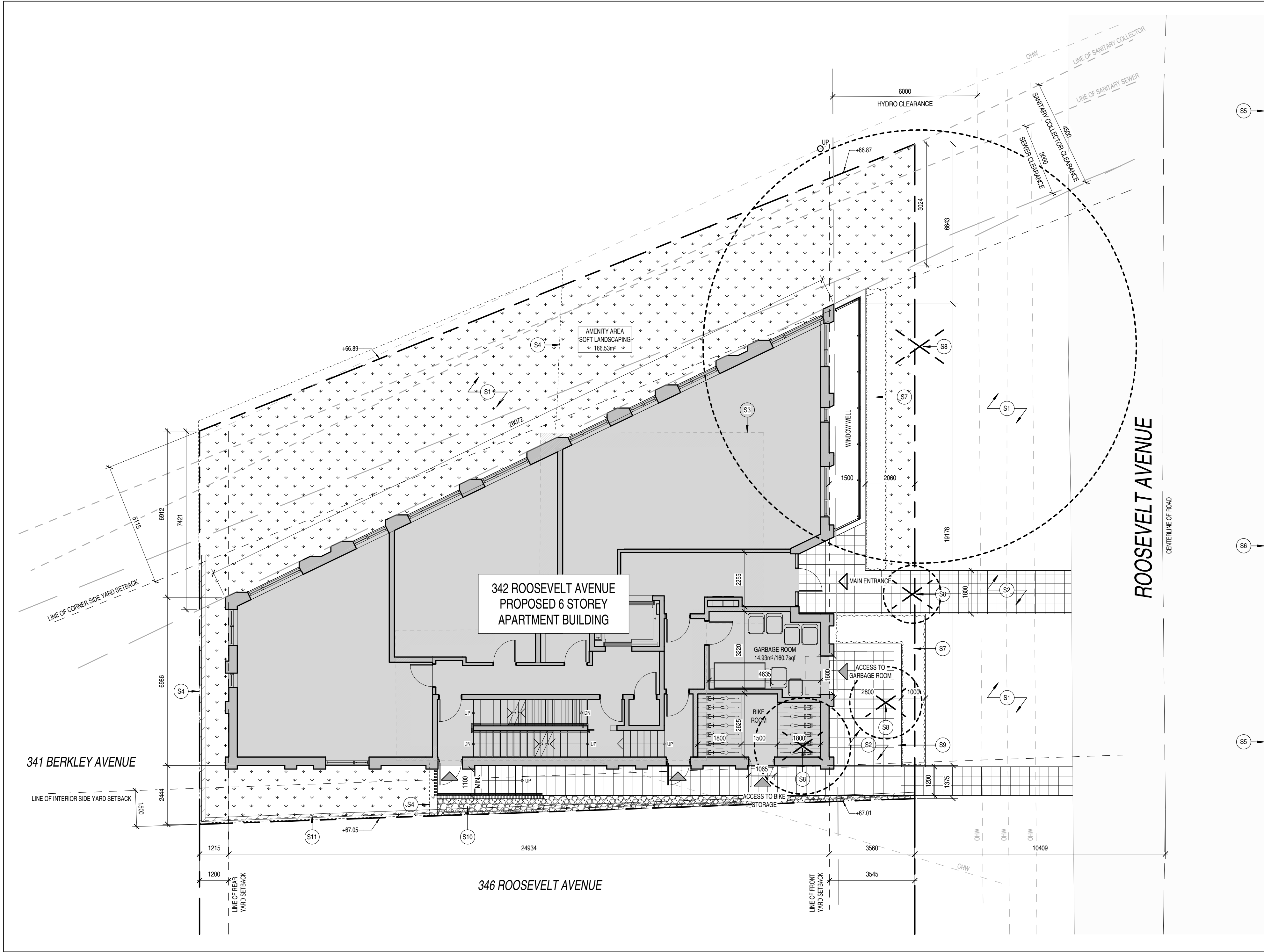
SKETCH SHOWING SEWER EASEMENT REQUIREMENTS  
342 ROOSEVELT AVENUE  
CITY OF OTTAWA  
  
J.D BARNES LTD. 2024



**SURVEY INFO**  
SCALE: NTS

**3 SITE PLAN - SETBACKS**  
SP-01 SCALE: 1 : 250

**2 LOCATION PLAN**  
SP-01 SCALE: NTS



SITE STATISTICS	
Current Zoning Designation:	R5B(1165) H(119)
Lot Width:	27.20 m
Total Lot Area:	646.7 m <sup>2</sup>
Average Existing Grade:	66.955 m
Building Area	320.69 m <sup>2</sup>

PROPOSED DEVELOPMENT - 6 STOREY MID-RISE APARTMENT BUILDING		
No. of units	26 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width 164A	22.5m	27.20m
Minimum Lot Area 164A	675m <sup>2</sup>	646.7m <sup>2</sup>
Min. Front Yard Setback 164A	3.0m	3.545m
Corner Side Yard Setback 164A	3.0m	5.115m
Min. Interior Side Yard Setback 164B	1.5m	1.5m
Min. Rear Yard Setback 164B	7.48m (25% of the lot depth but need not exceed 7.5 m)	1.2m
Maximum Building Height 164B	19.0m	21.050m
Parking Space Rates (Residents) 101 (Sch. 1A - Area X)	7 Spaces 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit thereafter - Table 101(R11)	0 Spaces
Minimum Visitor Parking Rates 102 (Sch. 1A - Area X)	1 Spaces 0 spaces for first 12 units - Section 102(3) 0.1 spaces / unit thereafter - Table 102	0 Spaces
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area X)	13 Spaces 0.5 spaces / unit (111A(b)(i))	26 Spaces
Landscaped Area 163 (b)	109.01m <sup>2</sup> (minimum 30% of lot area)	309.76m <sup>2</sup>
Total Amenity Area Table 137(4)(i)	156m <sup>2</sup> 6m <sup>2</sup> / unit for 26 units	338.01m <sup>2</sup>
Communal Amenity Area Table 137(4)(ii)	78m <sup>2</sup> Min. 50% of Total Amenity Area	338.01m <sup>2</sup>

SITE PLAN SYMBOLS LEGEND			
	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		NEW STREET LIGHT
	PROPERTY LINE		STREET LIGHT TO BE REMOVED
	SETBACK LINE		EXISTING STREET LIGHT TO REMAIN
	OVERHEAD WIRES		EXISTING UTILITY POLE TO REMAIN
	INTERLOCKING STONE PAVERS		UTILITY POLE TO BE REMOVED/RELOCATED
	EXISTING TRAFFIC SIGNAL POST		

**SITE PLAN SYMBOLS**  
SCALE: NTS

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
  - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  - Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
  - The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
  - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  - These documents are not to be used for construction unless specifically noted for such purpose.

8	REISSUED FOR SITE PLAN CONTROL	25-11-21
7	ISSUED FOR COORDINATION	25-10-09
6	ISSUED FOR COORDINATION	25-07-17
5	REISSUED FOR SITE PLAN CONTROL	25-04-22
4	REISSUED FOR SITE PLAN CONTROL	24-12-23
3	REISSUED FOR SITE PLAN CONTROL	24-10-08
2	ISSUED FOR SITE PLAN CONTROL	24-10-01
1	ISSUED FOR COORDINATION	24-05-22

ISSUE RECORD



**project1 studio**

Project1 Studio Incorporated  
[613.884.9939] [mail@project1studio.ca]

**342 ROOSEVELT**

342 Roosevelt Avenue  
Ottawa, ON K2A 1Z3

PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

**SITE PLAN**

**SP-01**

**1 SITE PLAN**  
SP-01 SCALE: 1 : 100