



# **342 Roosevelt Avenue, Ottawa**

Zoning By-law Amendment & Site Plan Control Applications

Urban Design Brief– June 5<sup>th</sup>, 2025

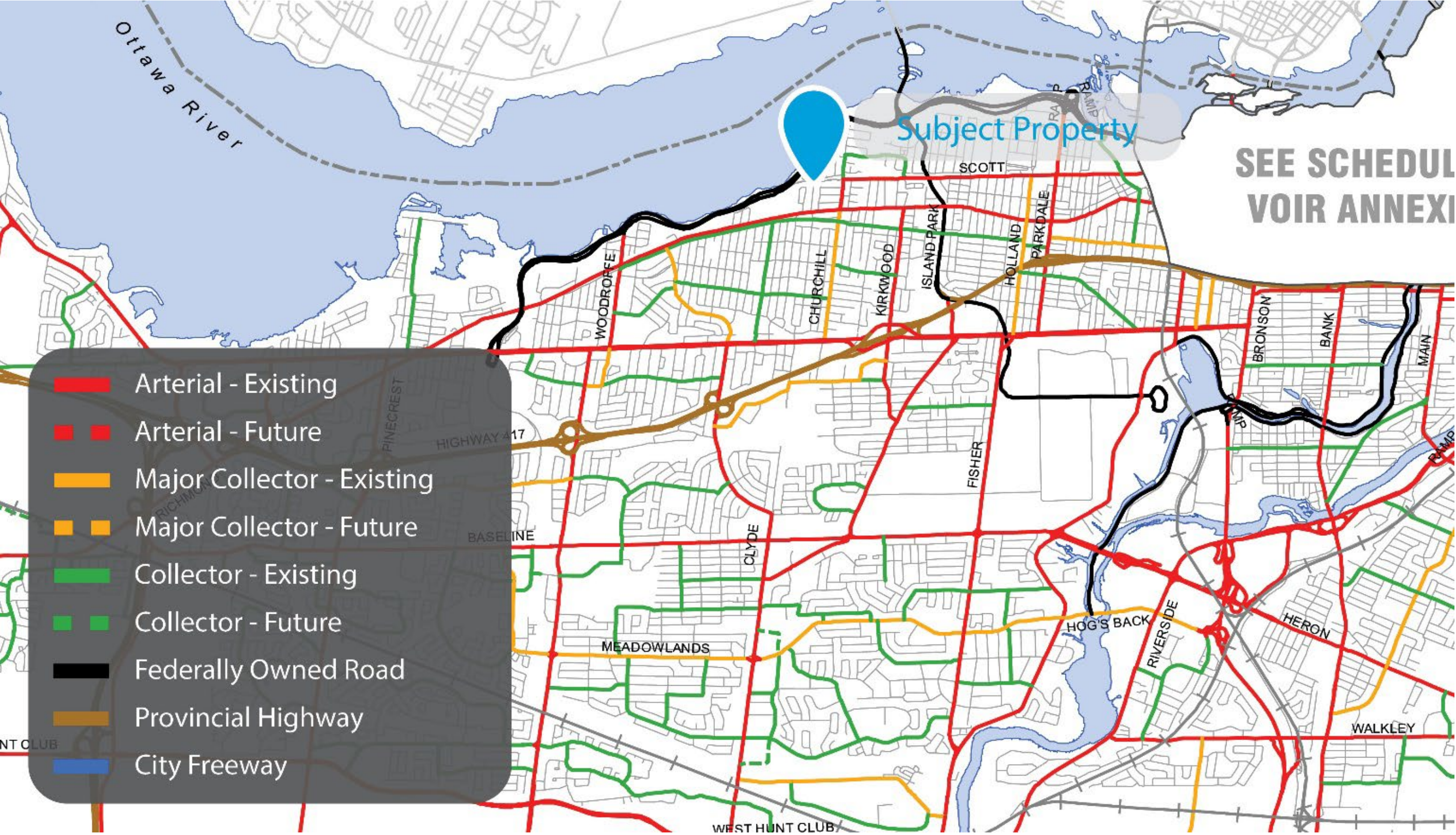


# Site Context

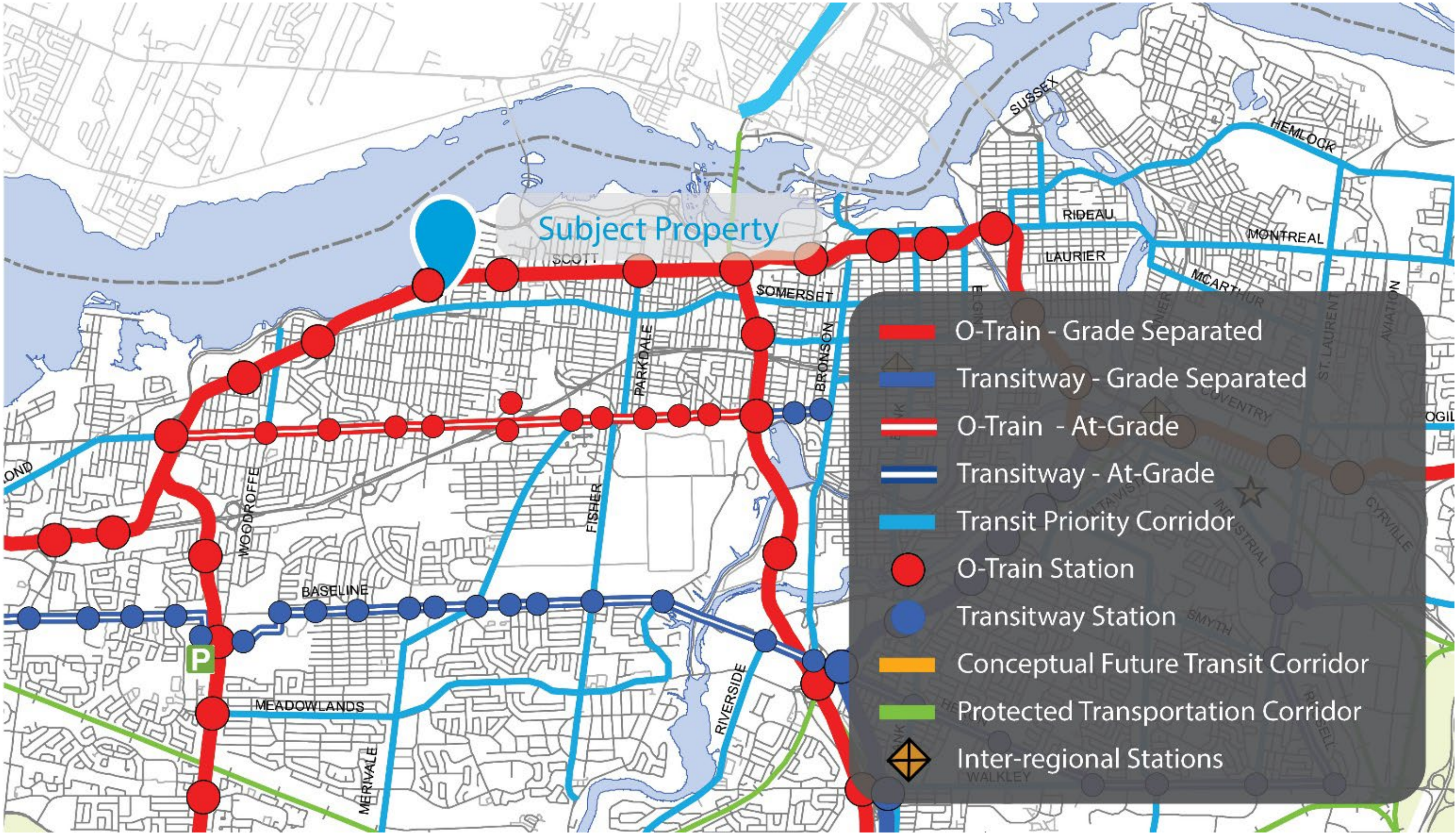


# Site Context:

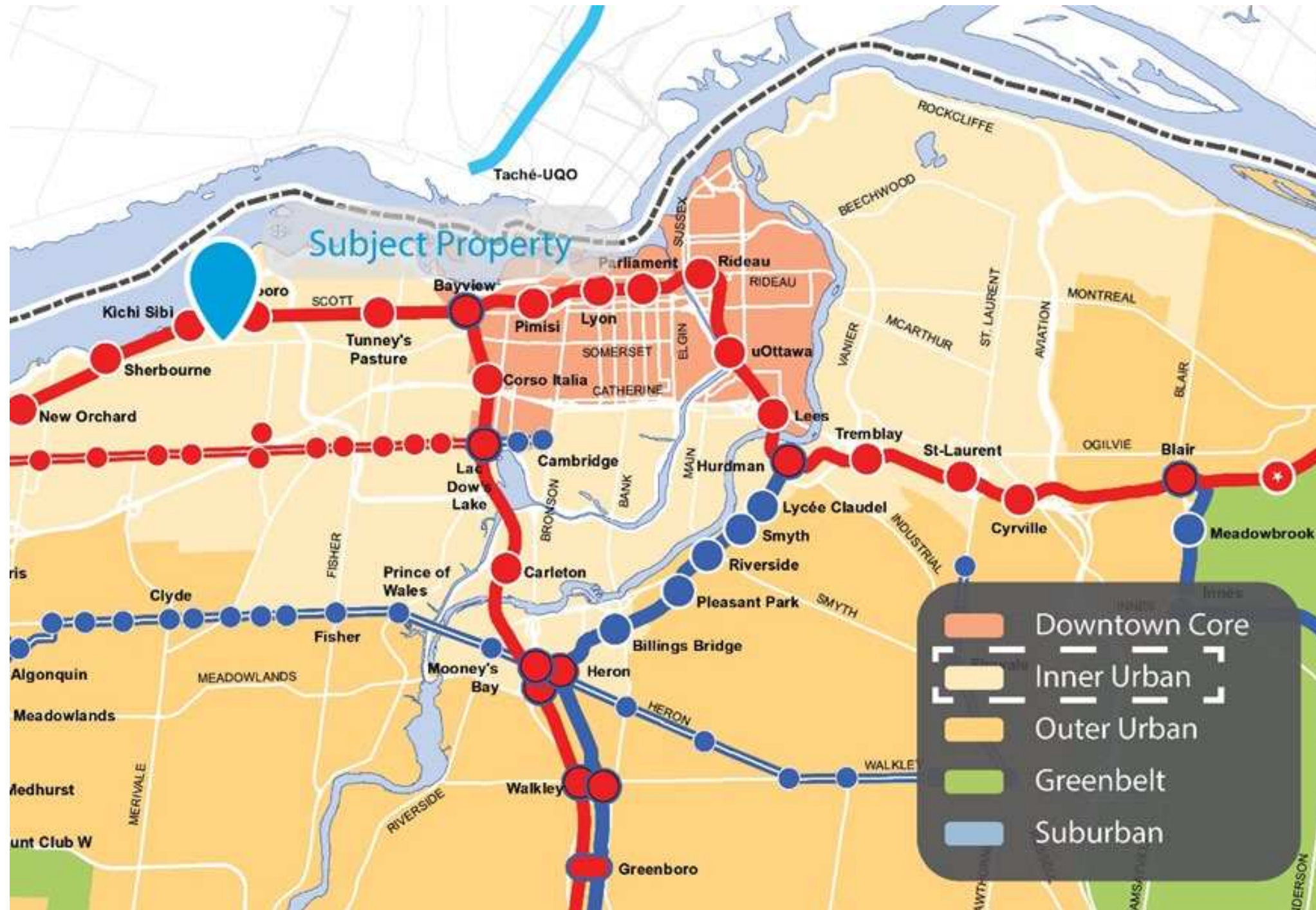
## Schedule C4: Urban Road Network of the City of Ottawa's Official Plan



# Site Context: Schedule C2 – Transit Network – Ultimate of the City of Ottawa’s Official Plan



# Official Plan: Inner Urban



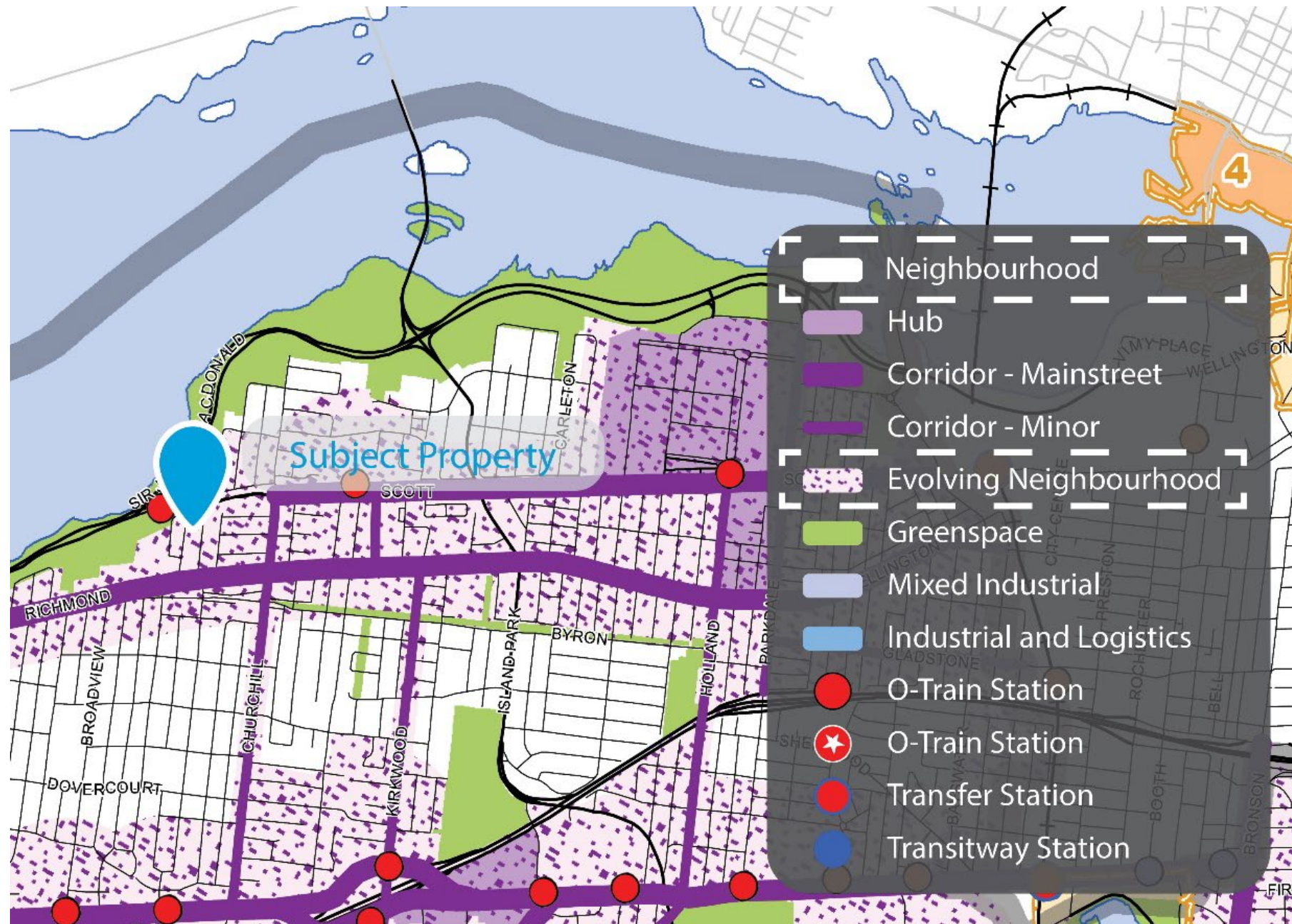
The Inner Urban Core Transect is the area surrounding the Downtown Core Transect.

The neighbourhoods within the Transect are established communities reflecting suburban characteristics.

The Official Plan seeks to prioritize active and public transit linkages to and through the Inner Urban Transect and provide additional direction to Neighbourhood designations

Schedule A - Transect Policy Area

# Official Plan: Neighbourhood



- The property is designated “Neighbourhood” in the Official Plan.
- This designation permits low-rise building form (up to 4-storeys) and a full range and choice of housing types.
- The City will consider contribution to the achievement of a balance of housing types and tenures to provide a full range of housing for a variety of demographic profiles.

# Secondary Plan: Richmond Road/Westboro

## Secondary Plan



Schedule C2 of the Richmond Road/Westboro Secondary Plan, with General Maximum Building Height Ranges

# Secondary Plan: Richmond Road/Westboro

## Secondary Plan



Location of the subject property in the Richmond Road/Westboro Secondary Plan and Community Design Plan

# Secondary Plan: Richmond Road/Westboro

## Secondary Plan



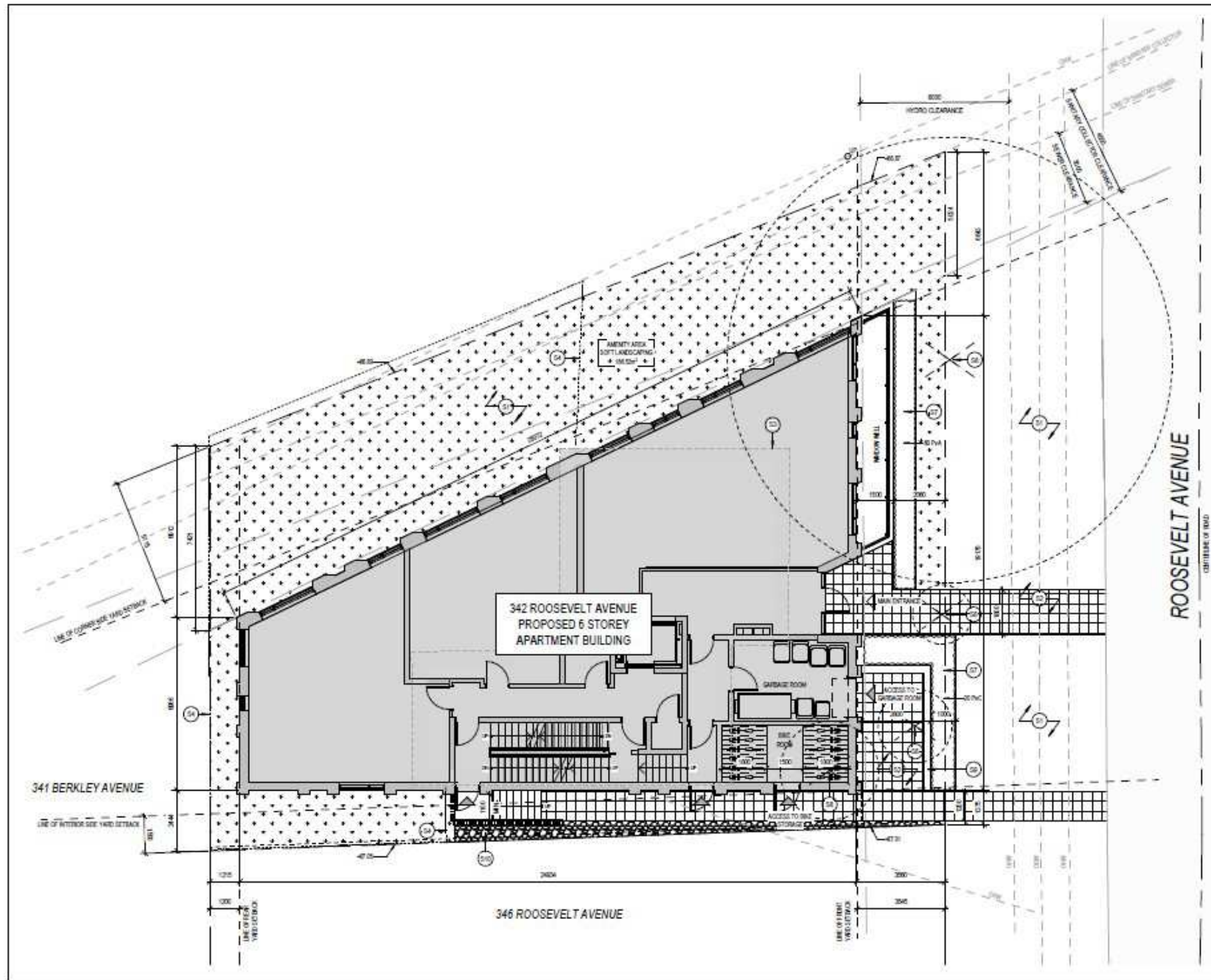
Schedule B – Greenspace Network

# Zoning By-law



The subject property is zoned Residential Fifth Density Zone, Subzone B, Exception 1195, with a Height Limit of 19 metres (R5B[1195] H(19)).

# Proposed Development: Site Plan



Proposal to construct a six (6) storey mid-rise apartment building containing twenty-five (26) residential units on the subject property.

This proposal will contribute to increasing residential densities and broadening housing options in the Westboro area.

The massing of the proposed building consists of a variety of materials including glass, brick and aluminum paneling. The overall design of the facades is broken up with a purpose driven strategy.

The first two (2) floors consist of brick masonry. The third floor and above is defined by a light black & grey panelling and the use of dark grey cornice lines to differentiate from the lower two floors and reduce the perception of building mass.

The facades include large windows. The residential entrance fronts Roosevelt Avenue to provide clear connections and to increase its prominence to the public realm

# Proposed Development: East



# Proposed Development: North



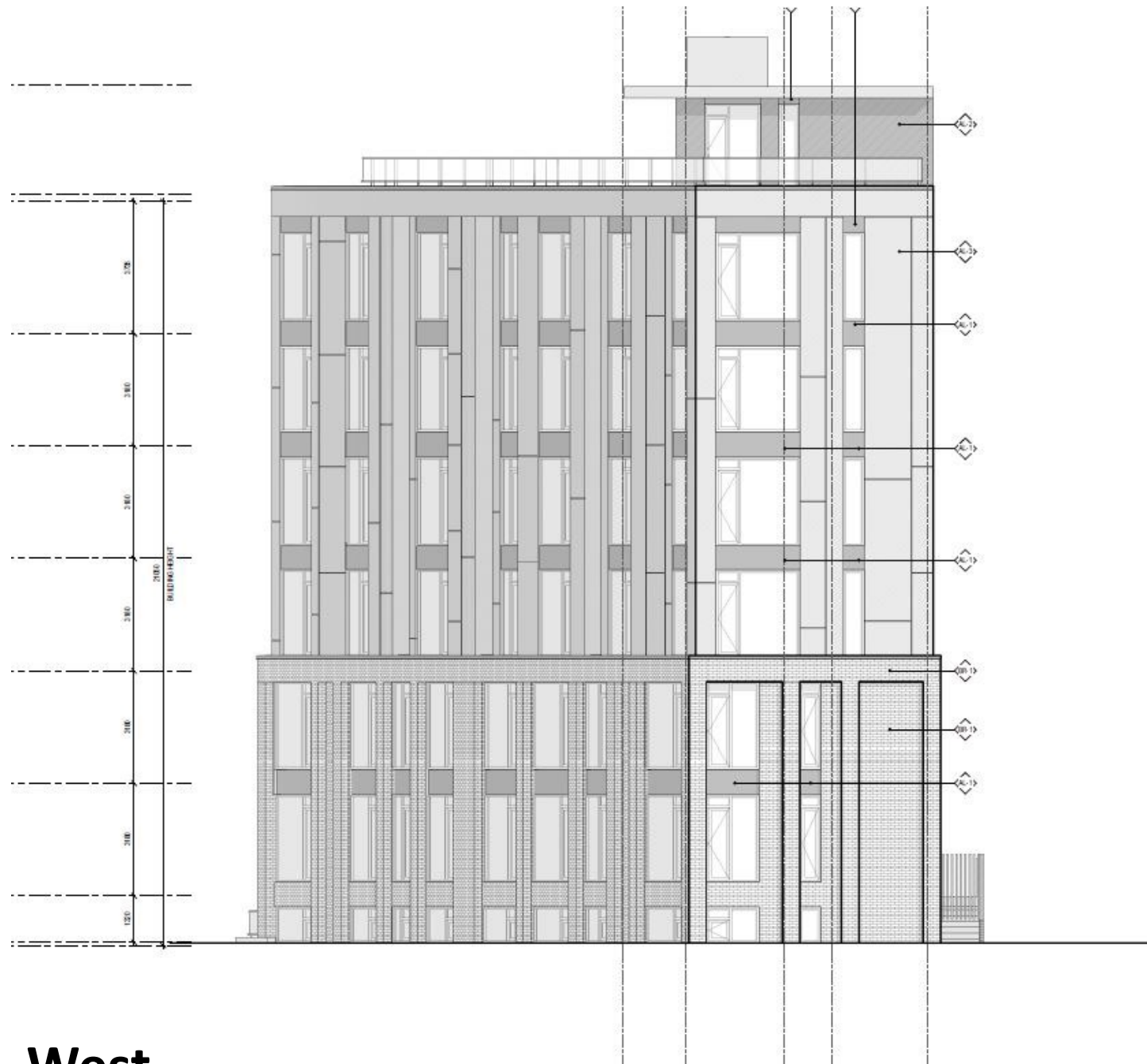
# Proposed Development: North East



# Proposed Development: South East



# Proposed Development: Elevations

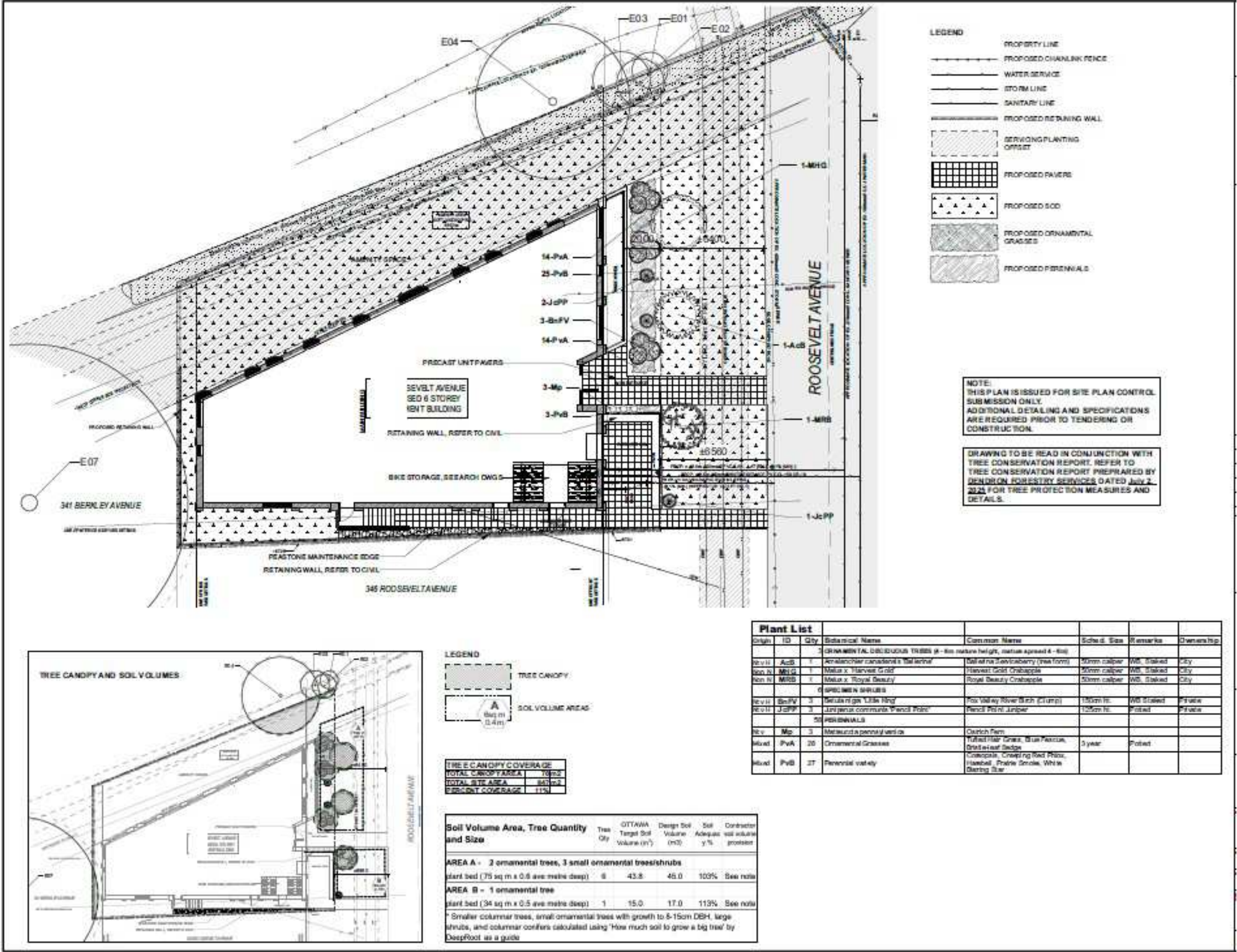


## West

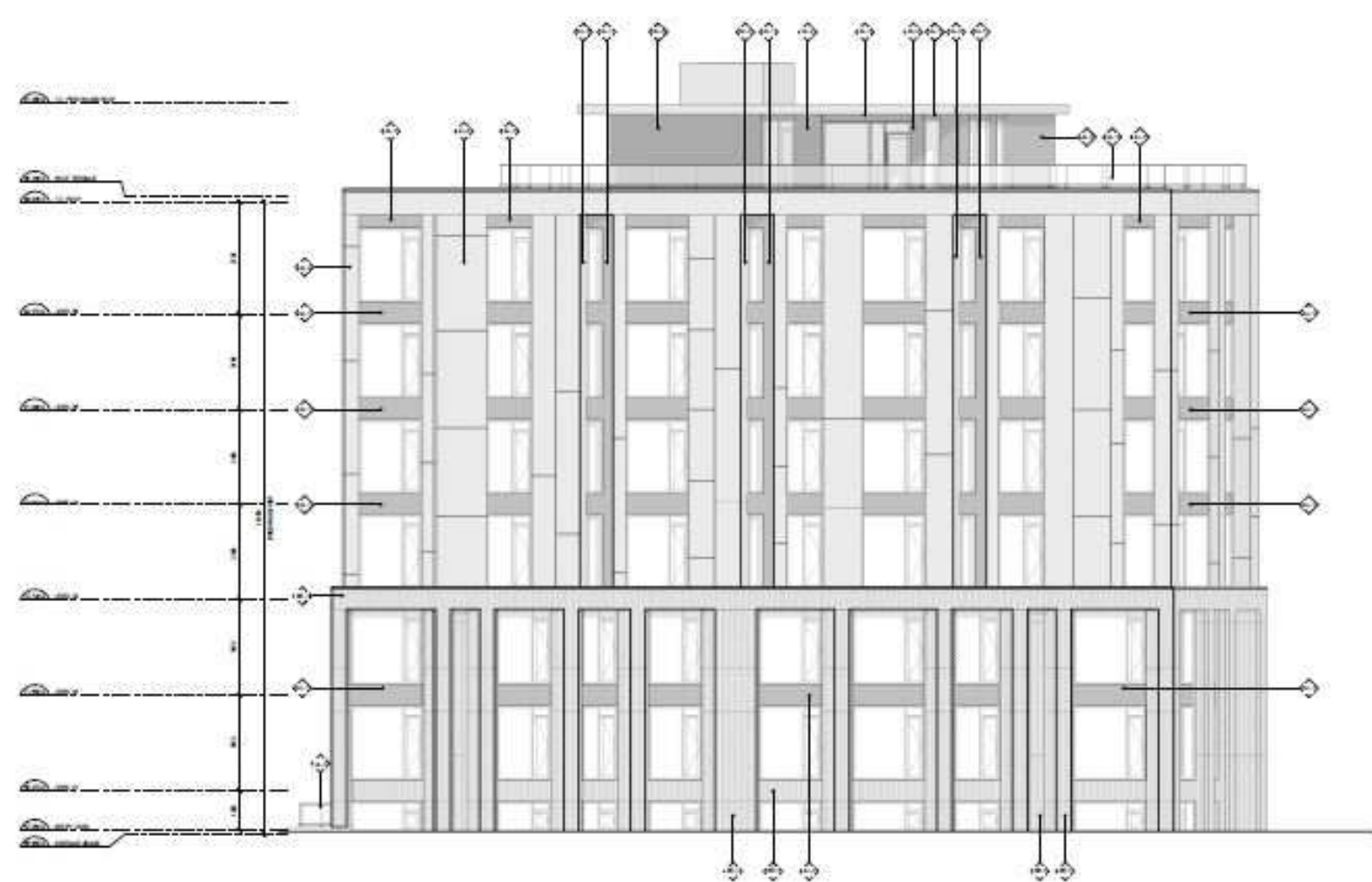


## East

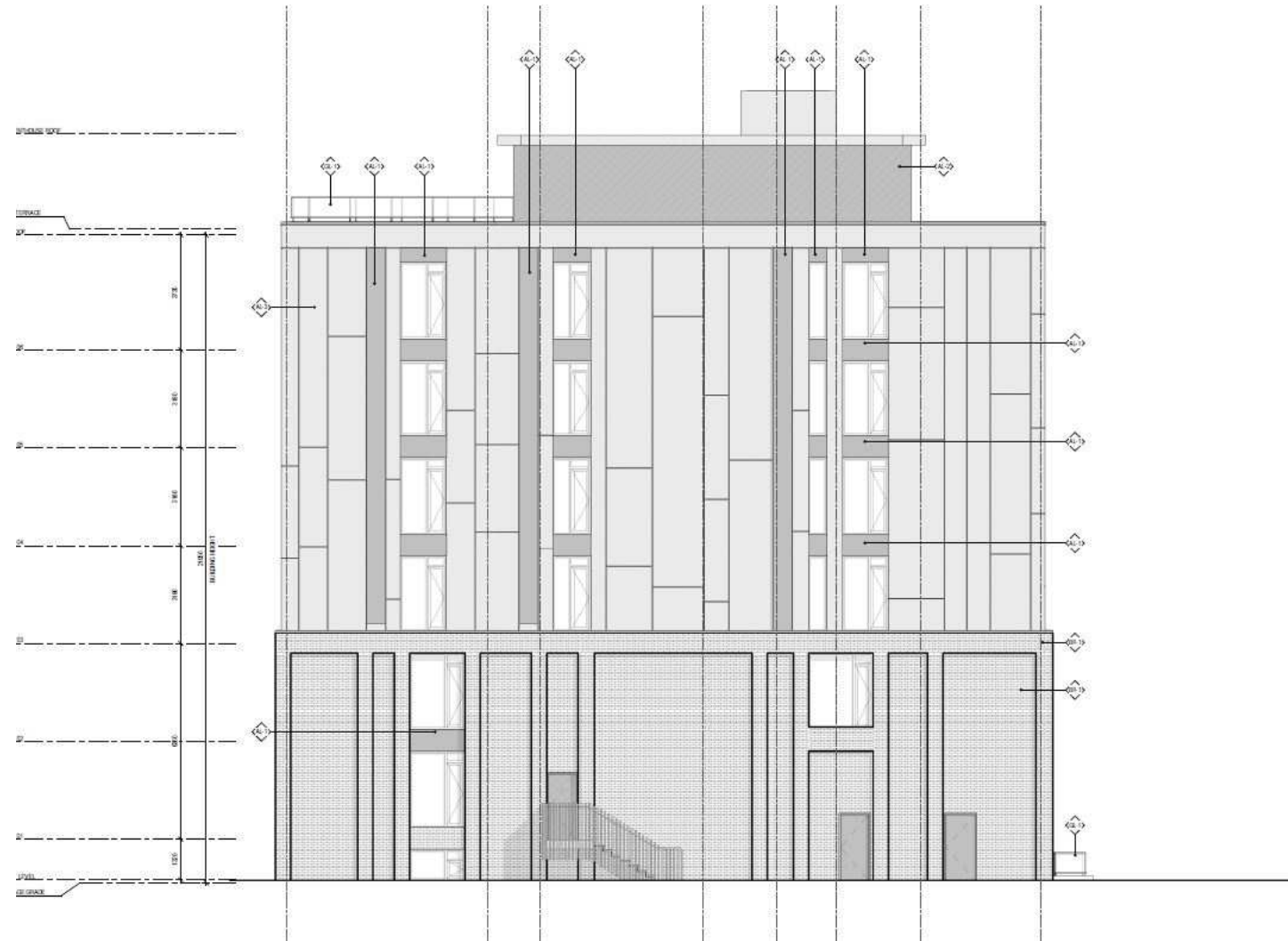
# Proposed Development: Landscape Plan



# Proposed Development: Elevations



North



South

**FOTENN**



**342 Roosevelt Avenue, Ottawa**

