

UNIT COUNT									
NAME	LVL.00	LVL.01	LVL.02	LVL.03	LVL.04	LVL.05	LVL.06	TOTAL COUNT	PERCENTAGE
1-BED	1	1	1	1	1	1	1	7	27%
1-BED + DEN	1	0	0	1	0	1	1	4	15%
1-BED + DEN + BF	0	1	1	0	1	0	0	3	12%
2-BED	1	1	2	1	2	1	2	10	38%
2-BED + BF	0	0	0	1	0	1	0	2	8%
TOTAL	3	3	4	4	4	4	4	26	100%

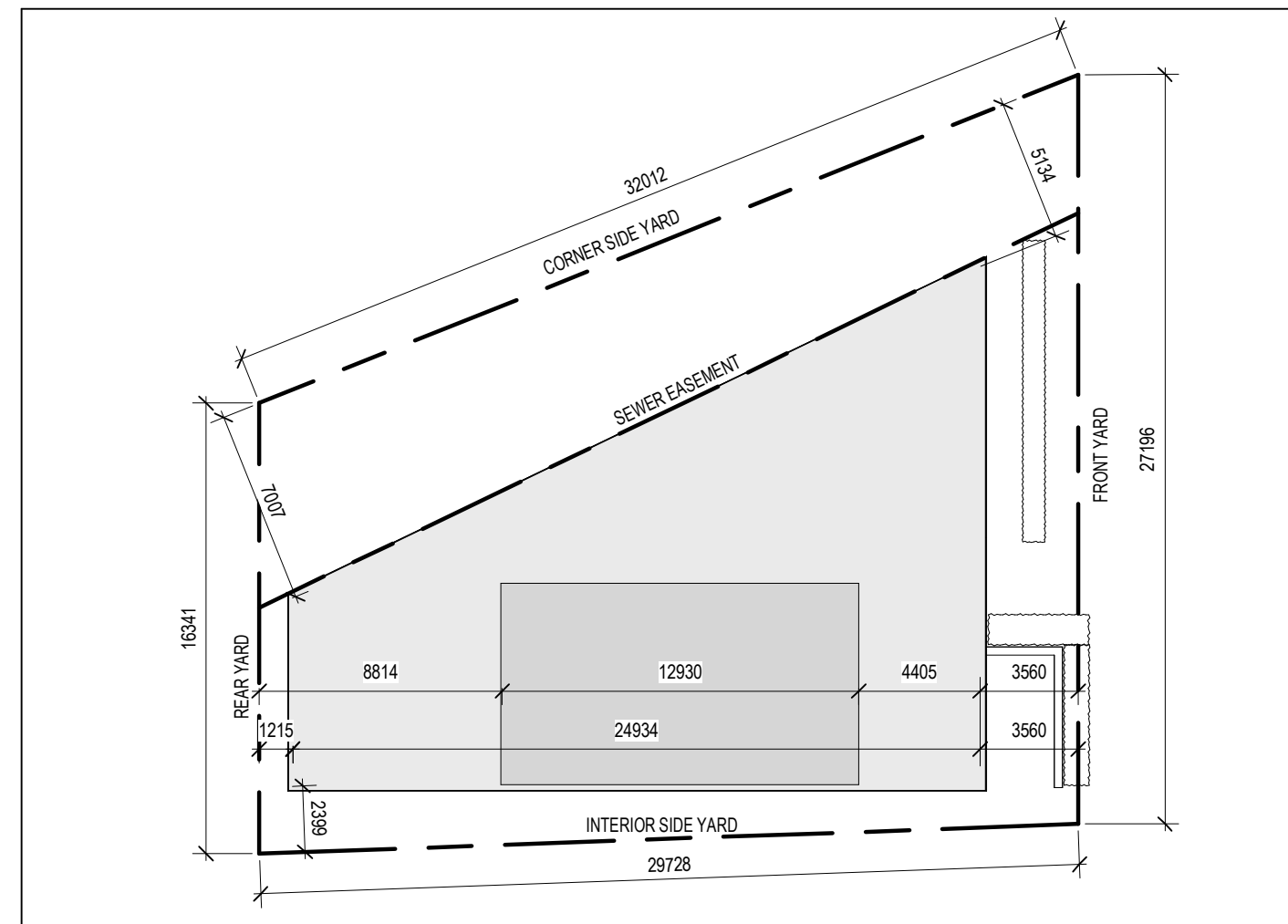
GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL 01	319.39 m ²	3,438 SF
LEVEL 02	318.23 m ²	3,425 SF
LEVEL 03	309.43 m ²	3,331 SF
LEVEL 04	309.32 m ²	3,330 SF
LEVEL 05	309.42 m ²	3,331 SF
LEVEL 06	309.42 m ²	3,331 SF
PENTHOUSE	94.55 m ²	1,018 SF
TOTAL	1969.78 m ²	21,203 SF

SITE PLAN NOTES

- S1 SOD / SOFT LANDSCAPING
- S2 INTERLOCKING STONE PAVERS
- S3 EXISTING STRUCTURE TO BE DEMOLISHED
- S4 EXISTING CHAIN LINK FENCE TO BE DEMOLISHED
- S5 CONCRETE CURB
- S6 DEPRESSED CURB
- S7 PLANTING BED
- S8 EXISTING TREE TO BE REMOVED
- S9 RETAINING WALL (300mm WIDE)
- S10 RIVER STONE

SKETCH SHOWING SEWER EASEMENT REQUIREMENTS
342 ROOSEVELT AVENUE
CITY OF OTTAWA

J.D. BARNES LTD. 2024



COMMUNAL AMENITY AREA		
NAME	AREA	AREA (SF)
YARD AMENITY	166.53 m ²	1,793 SF
ROOFTOP AMENITY	130.57 m ²	1,406 SF
TOTAL	297.20 m ²	3,199 SF

RENTABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL 00	210.88 m ²	2,268 SF
LEVEL 01	211.57 m ²	2,272 SF
LEVEL 02	283.72 m ²	3,054 SF
LEVEL 03	275.49 m ²	2,965 SF
LEVEL 04	275.18 m ²	2,962 SF
LEVEL 05	275.28 m ²	2,963 SF
LEVEL 06	275.28 m ²	2,963 SF
TOTAL	1866.70 m ²	19,947 SF

GROSS FLOOR AREA (CITY OF OTTAWA)		
LEVEL	AREA	AREA (SF)
LEVEL 00	303.52 m ²	3,267 SF
LEVEL 01	319.39 m ²	3,438 SF
LEVEL 02	318.23 m ²	3,425 SF
LEVEL 03	309.43 m ²	3,331 SF
LEVEL 04	309.32 m ²	3,330 SF
LEVEL 05	309.42 m ²	3,331 SF
LEVEL 06	309.42 m ²	3,331 SF
PENTHOUSE	94.55 m ²	1,018 SF
TOTAL	2273.30 m ²	24,470 SF

ID	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
PvA	60	Sun Flowering Perennials	Low Flowering Perennials	1 gallon Pot	60cm o.c.
PvC	20	Calamagrostis acutifolia 'Karl Foerster Feather Reed Grass'	Karl Foerster Feather Reed Grass	1 gallon Pot	80cm o.c.

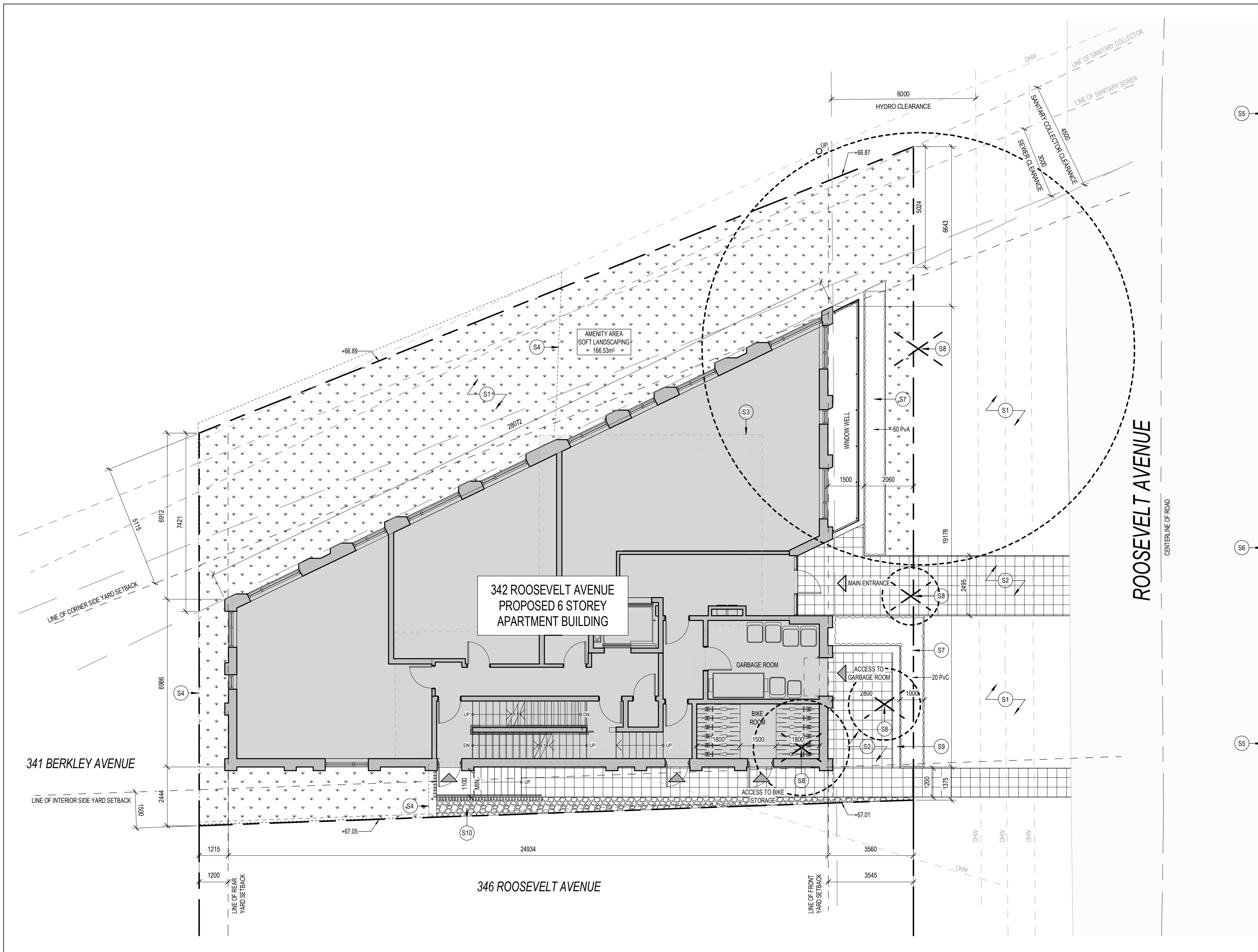
PLANTING INFORMATION
SCALE: NTS

SURVEY INFO
SCALE: NTS

3 SITE PLAN - SETBACKS
SP-01 SCALE: 1 : 250

2 LOCATION PLAN
SP-01 SCALE: NTS

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 - Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
 - The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purpose.



SITE STATISTICS	
Current Zoning Designation:	R59(1195) H19
Lot Width:	27.20 m
Total Lot Area:	646.7 m ²
Average Existing Grade:	66.955 m
Gross Floor Area:	2274.22 m ²
Building Area:	330.69 m ²
Floor Space Index:	3.52

PROPOSED DEVELOPMENT - 6 STOREY MID-RISE APARTMENT BUILDING

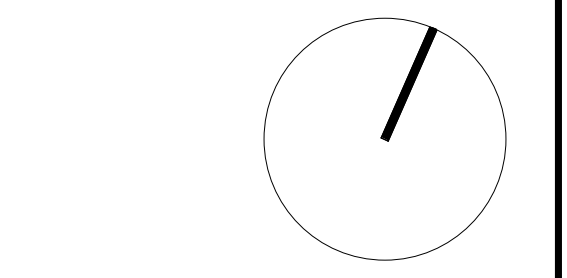
No. of units	26 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width 154A	22.5m	27.20m
Minimum Lot Area 154A	675m ²	646.7m ²
Min. Front Yard Setback 154A	3.0m	3.545m
Corner Side Yard Setback 154A	3.0m	5.115m
Min. Interior Side Yard Setback 154B	1.5m	1.5m
Min. Rear Yard Setback 154B	7.48m (25% of the lot depth but need not exceed 7.5 m)	1.2m
Maximum Building Height 154B	19.0m	20.145m
Parking Space Rates (Residents) 101 (Sch. 1A - Area X)	7 Spaces 0 spaces for first 12 units - Section 101(3)(a) 0.5 spaces / unit thereafter - Table 101/PR1	0 Spaces
Minimum Visitor Parking Rates 102 (Sch. 1A - Area X)	1 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit thereafter - Table 102	0 Spaces
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area X)	13 Spaces 0.5 spaces / unit (111A)(b)(i)	24 Spaces
Landscaped Area 153 (b)	109.01m ² (minimum 30% of lot area)	309.76m ²
Total Amenity Area Table 137(4)(i)	180m ² 6m ² / unit for 30 units	276.92m ²
Communal Amenity Area Table 137(4)(ii)	90m ² Min. 50% of Total Amenity Area	276.92m ²

SITE PLAN SYMBOLS LEGEND			
	BUILDING ENTRANCE		FDC FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FH FIRE HYDRANT
	BICYCLE PARKING		NEW STREET LIGHT
	PROPERTY LINE		STREET LIGHT TO BE REMOVED
	SETBACK LINE		EXISTING STREET LIGHT TO REMAIN
	OHW OVERHEAD WIRES		EXISTING UTILITY POLE TO REMAIN
	INTERLOCKING STONE PAVERS		UTILITY POLE TO BE REMOVED/RELOCATED
	EXISTING TRAFFIC SIGNAL POST		

SITE PLAN SYMBOLS
SCALE: NTS

- 4 REISSUED FOR SITE PLAN CONTROL 24-12-23
- 3 ISSUED FOR COORDINATION 24-10-08
- 2 ISSUED FOR SITE PLAN CONTROL 24-10-01
- 1 ISSUED FOR COORDINATION 24-05-22

ISSUE RECORD



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PROJ	SCALE	DRAWN	REVIEWED
2405	NOTED	NL	RMK

SITE & LANDSCAPE PLAN

SP-01

1 SITE & LANDSCAPE PLAN
SP-01 SCALE: 1 : 100