

2 KEY PLAN  
n.t.s.

**SITE INFORMATION:**

SITE AREA = 69,470m<sup>2</sup> +/- (6,947 HECTARES)  
 LANDSCAPED AREA = 71.39% (49,596.2 m<sup>2</sup>)  
 BUILDING AREA = 12,079.6 m<sup>2</sup>  
 ASPHALT AREA = 7,794.2 m<sup>2</sup> (19,873.8 m<sup>2</sup>)

UNIT COUNTS:	APARTMENTS	URBAN TOWNS	LIVE/WORK TOWNS	B/B TERRACE HOMES	BUILDING HEIGHT
BLOCK 1 = 4 LVL. APART. BLDG. + 2 ST. TOWNS	42 UNITS	7 UNITS			
BLOCK 2 = 4 LVL. APART. BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS			
BLOCK 3 = 4 LVL. APART. BLDG. + 2 ST. TOWNS	42 UNITS	5 UNITS			
BLOCK 4 = 4 LVL. APART. BLDG. + 2 ST. TOWNS	42 UNITS	6 UNITS			
BLOCK 5 = 5 LVL. APART. BLDG. + 3 ST. TOWNS	52 UNITS	7 UNITS			
BLOCK 6 = 5 LVL. APART. BLDG. + 3 ST. TOWNS	77 UNITS	12 UNITS			
BLOCK 8 = BACK / BACK TERRACE HOMES				12 UNITS	12.0m
BLOCK 9 = BACK / BACK TERRACE HOMES				16 UNITS	12.0m
BLOCK 10 = BACK / BACK TERRACE HOMES				16 UNITS	12.0m
BLOCK 11 = BACK / BACK TERRACE HOMES				16 UNITS	12.0m
BLOCK 12 = BUNGALOW SEMI			2 UNITS		7.5m
BLOCK 13 = TOWNHOMES		6 UNITS			9.5m
BLOCK 14 = TOWNHOMES		4 UNITS			9.5m
BLOCK 15 = TOWNHOMES		4 UNITS			9.5m
BLOCK 16 = TOWNHOMES		4 UNITS			9.5m
BLOCK 17 = TOWNHOMES		4 UNITS			9.5m
BLOCK 18 = BUNGALOW SEMI			2 UNITS		7.5m
BLOCK 19 = BACK / BACK TERRACE HOMES (FUTURE UNITS 12 UNITS)					
TOTAL =	297 UNITS	24 UNITS	19 UNITS	26 UNITS	60 UNITS
TOTAL ALL UNITS =	426 UNITS (NOT INCLUDING FUTURE UNITS)				

**PARKING REQUIREMENTS:**

BLOCKS 1-4 : APARTMENTS BLDG. + URBAN TOWNS [192 UNITS]  
 PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 192 x 1.2 + 2 = 269 SPACES  
 PARKING PROVIDED = 269 SPACES (232 U/G, 37 SURFACE)

BLOCKS 5-6 : APARTMENTS BLDG. + LIVE/ WORK TOWNS [148 UNITS]  
 PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 148 x 1.2 + 2 = 207 SPACES  
 PARKING PROVIDED = 181 SPACES (148 U/G, 33 SURFACE)

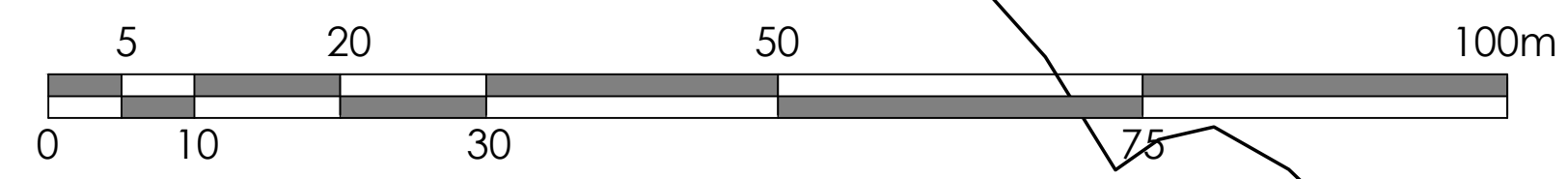
BLOCKS 8-11 : BACK TO BACK TERRACE HOMES [60 UNITS]  
 PARKING REQUIRED 1.2/d.u. + 0.2/d.u. VISITORS = 60 x 1.2 + 2 = 84 SPACES  
 PARKING PROVIDED = 85 SPACES (SURFACE)

NOTE:  
 - SITE PLAN TO BE READ IN CONJUNCTION WITH:  
 - BOREHOLE LOCATION & LIMIT OF HAZARDOUS LANDS FIG. 2, PREPARED BY EXP SERVICES INC. DATED NOV. 2, 2016.

**LEGEND/ ABBREVIATIONS:**

D.C.	DEPRESSED CURB	⊕	GAS METERS LOCATION	⊕	LIGHT STANDARD
CRW	CONCRETE RETAINING WALL	⊕	BUILDING SERVICES LOCATION (IN LOWER LEVEL)	⊕	TW/SI
W.I.	WROUGHT IRON	⊕	WALL MOUNTED LIGHT FIXTURE	⊕	SIAMSE CONNECTIONS
TW/SI	TACTILE WALKING SURFACE INDICATOR	⊕	FIRE HYDRANT	⊕	TRANSFORMER
CONC.	CONCRETE				
ASPH.	ASPHALT				

**NOTE:**  
 - EROSION ALLOWANCE & ACCESS, AND CREST OF SLOPE PROVIDED BY OTHERS.  
 - ZONE 2 LINES PROVIDED BY STANTEC LANDSLIDE STUDY.



**M. David Blakely Architect Inc.**  
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**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER SECTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
- THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

No.	DATE	DESCRIPTION	REVISED BY	REVISIONS
12	11/09/19	REVISED MODEL TYPES / LAYOUT	SM	
11	28/01/19	REVISED MODEL TYPES / LAYOUT	SM	
10	08/01/19	CONTOUR LINES ADDED	SM	
9	13/06/18	REVISED BLOCKS 1 & 4	SM	
8	05/04/18	ADDED SCALE TO SECTION	SM	
7	04/01/18	REVISED BLOCK LOCATIONS	SM	
6	28/09/17	REVISED SITE BOUNDARIES	SM	
5	20/09/17	REVISED SITE LAYOUT	SM	
4	05/07/17	REVISED SITE LAYOUT	SM	
3	13/04/17	REVISED SITE LAYOUT	SM	
2	21/12/16	REVISED 36 UNIT BLOCK LAYOUT	SM	
1	30/11/16	FOR REVIEW	SM	

CONSTRUCTION NORTH

No.	DATE	DESCRIPTION	REVISED BY	REVISIONS
24	13/08/21	1138 OLD MIL. STRUCTURES ADDED	MB	
23	14/07/21	GENERAL REV. / FOR COORD.	MB	
22	12/07/21	ROAD WIDENING REVISIONS FOR REVIEW	MB	
21	24/06/21	ROAD WIDENING REVISIONS	MB	
20	18/06/21	ROAD WIDENING OVERLAPPED	MB	
19	08/06/21	BLK. 8 CONVERTED TO TERR. HOMES	MB	
18	10/02/21	SIDEWALK @ PVT. STREET 2 DELETED	MB	
17	05/02/21	OLD MIL. RD. GEOMETRY UPDATED	MB	
16	29/01/21	BOUNDARIES UPDATED/ PARTS 1&2	MB	
15	03/11/20	GEOTECHNICAL ADDED	MB	
14	13/07/20	BLKS. 5, 6 & 8 REVISED/ GRADES REVISED	MB	
13	04/12/19	REVISED BLDG. FOOTPRINTS / LAYOUT	MB	
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No.	DATE	DESCRIPTION	REVISED BY	REVISIONS
34	20/07/23	SITE INFORMATION ADDED TO PLAN	SM	
33	22/06/23	REV. BLOCKS 10 TO 18, FOR REVIEW	SM	
32	25/05/23	REV. BLOCKS 10 TO 17, FOR REVIEW	SM	
31	05/04/23	PATHWAY RELOCATED AS PER LANDSLIDE PLAN BY STANTEC, FOR REVIEW	MB	
30	07/10/22	AS PER AOV/ SIDEWALK ADDED	MB	
29	12/09/22	PARK AREA REDUCED/ RET. WALLS ADDED	MB	
28	08/09/22	UPDATED BOUNDARIES/ AREAS AS PER AOV	MB	
27	09/09/21	DRAFT PLAN OF SUBDIVISION	MB	
26	09/09/21	F.F. LEVELS REVISED AS PER IBI	MB	
25	30/08/21	ISSUED FOR RE-SUBMISSION	MB	
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**PHOENIX HOMES**  
 18A Bentley Ave Ottawa, ON K2E 6T8

**PROPOSED SUBDIVISION**  
 OLD MONTREAL ROAD  
 OTTAWA, ONTARIO.

**SITE PLAN**

DATE: NOV., 2016  
 SCALE: 1:500  
 SHEET NO. REV NO.: SP-1

DRAWN BY: SBM  
 CHECKED: MDB

**SITE PLAN TO BE READ IN CONJUNCTION WITH:** SITE SERVICING PLAN PREPARED BY IBI GROUP  
 GRADING PLAN PREPARED BY IBI GROUP  
 LANDSCAPE PLAN PREPARED BY

**SITE BOUNDARIES DERIVED FROM:** DRAFT PLAN OF SUBDIVISION OF PART OF LOTS 27 AND 28  
 CONCESSION 1 (OLD SURVEY) GEOGRAPHIC TOWNSHIP OF CUMBERLAND CITY OF OTTAWA  
 PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. RECEIVED SEPTEMBER 19, 2022.