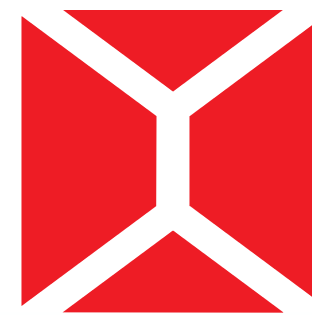


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ARCHITECT(E)S



910 MARCH ROAD DRAWINGS LIST			
PAGE	DRAWING TITLE	REVISION	DATE
A000 ZONING	TITLE PAGE	0.10	23.01.26
A060	1ST FLOOR SITE PLAN	0.10	23.01.26
A400	NORTH & SOUTH ELEVATIONS	0.10	23.01.26
A401	EAST & WEST ELEVATIONS	0.10	23.01.26



12712.00

910 MARCH & MAXWELL

910 MARCH ROAD

CLIENT : LÉPINE CORP.



RELEASE 0 ISSUED FOR ZONING

VERSION 0.10
2023 01 26

INCLUDES THE FOLLOWING
SITE INSTRUCTIONS: N/A

CIVIL PLAN - 2022/10/14
LANDSCAPING PLAN- DATED

FUTURE RESIDENTIAL
RESIDENTIAL
OPEN SPACE

ENVIRONMENTAL PROTECTION



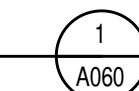
FUTURE COMMERCIAL MIXED-USE

DRIVE-THROUGH RESTAURANT

MCDONALD'S

SITE PLAN

1:400



GENERAL NOTES	
# note	Description
1	PROPERTY LINE
2	SETBACKS AS PER PROPOSED ZONING
3	TOP OF BANK (ORDINARY HIGH WATER MARK)
4	EXISTING MUNICIPAL MUP/TRAIL
5	EXISTING SIDEWALK
6	UNDERGROUND PARKING P1 OUTLINE
7	GROUND FLOOR OUTLINE
8	2ND FLOOR - OUTLINE
9	NEW SIDEWALK
10	EXISTING TRIBUTARIES
11	RETAINING WALL
12	UTILITY POLE
13	OVERHEAD WIRES
14	PRIVATE BALCONY
15	PRIVATE TERRACE

SURFACE LEGEND	
	ASPHALT
	CONCRETE ON-GRADE
	STONE BALLAST ROOF
	LANDSCAPING / EXISTING VEGETATION
	PEDESTRIAN TRAFFIC
	EXISTING BUILDING

910 MARCH ROAD - SITE STATISTICS	
LOT AREA	27 156 m ²
FOOTPRINT	7 303 m ²
CONSTRUCTION AREA ABOVE GROUND	49684 m ²
CONSTRUCTION AREA UNDERGROUND (BUILDING & PARKING)	25533 m ²
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	75 369 m ²

SITE STATISTICS AS PER ZONING BY-LAW	
GROSS FLOOR AREA AS PER ZONING BY-LAW (ABOVE + BELOW GRADE)	40 723 m ²
RESIDENTIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	40 222 m ²
COMMERCIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	501 m ²

910 MARCH ROAD - NUMBER OF UNITS	
P1 PARKING LEVEL	13
1ST FLOOR LEVEL	42
2ND FLOOR LEVEL	62
3RD FLOOR LEVEL	62
4TH FLOOR LEVEL	51
5TH FLOOR LEVEL	48
6TH FLOOR LEVEL	41
7TH FLOOR LEVEL	35
8TH FLOOR LEVEL	19
9TH FLOOR LEVEL	17
Total général	390

NUMBER OF PARKING SPACES	
1 Residents (parking space / dwelling unit)	390 (MIN REQ.)
1.2 Residents (parking space / dwelling unit)	470 (PROVIDED)
2 Residents (parking space / dwelling unit)	79 (MIN REQ.)
0.2 Visitors (parking space / dwelling unit)	79 (PROVIDED)
Commercial parking (3.4 X 105SQM REQ.)	18 (MIN REQ.)
*THIS IS THE COUNT OF EXTERIOR PARKING	
Commercial parking (3.8 X 105SQM REQ.)	19 (PROVIDED)
*THIS IS THE COUNT OF EXTERIOR PARKING	
TOTAL PARKING REQUIRED	487 (MIN REQ.)
TOTAL PARKING PROVIDED	568 (PROVIDED)
INCLUDED BARRIER FREE PARKING	
MINIMUM BARRIER FREE PARKING REQUIRED	12 SPACES REQUIRED (8 TYPE A & 4 TYPE B)
PROVIDED	12 (PROVIDED)
MIN. REQ.	12 (MIN. REQ.)

910 MARCH ROAD		
CITY OTTAWA ZONING BY-LAW 2008-250		
GM(XXX) H(32)		
PROPOSED MID-RISE MIXED-USE DEVELOPMENT		
ZONING PROVISION	REQUIRED	PROPOSED
GENERAL MIXED-USE ZONE PROVISIONS		
PERMITTED USES	RESIDENTIAL; COMMERCIAL	RESIDENTIAL; COMMERCIAL
FRONT YARD SETBACK (MIN / MAX)	3m	6m
REAR YARD SETBACK (MIN)	7.5m WHERE ABUTTING A RESIDENTIAL ZONE	> 7.5m
INTERIOR SIDE YARD SETBACK (MIN)	5m FOR MIXED USE BUILDING ABUTTING A RESIDENTIAL ZONE	> 5m
	NO MINIMUM FOR OTHER CASES	11.5m / 40m
FLOOR SPACE INDEX (MAX.)	2	1.1
BUILDING HEIGHT (MAX.)	32m	32m
LANDSCAPED AREA (MIN. WIDTH ABUTTING A STREET)	3m	6m
PARKING PROVISIONS (AREA C & AREA D)		
BICYCLE PARKING SPACES - RESIDENTIAL (MIN.)	0.5 PER DWELLING UNIT = 195	0.5 PER DWELLING UNIT = 195
BICYCLE PARKING SPACES - NON-RESIDENTIAL (MIN.)	1 PER 250 m ² GFA RETAIL = 3	1 PER 250 m ² GFA RETAIL = 3
AMENITY AREA PROVISIONS		
TOTAL PRIVATE AMENITY AREA (MIN.)	6 m ² PER DWELLING UNIT = 2 346 m ²	6 m ² PER DWELLING UNIT = 2 346 m ²
COMMUNAL AMENITY AREA (MIN.)	50% OF REQUIRED TOTAL AMENITY ARE = 1173 m ²	50% OF PROPOSED TOTAL AMENITY ARE = 1173 m ²
WATERCOURSE SETBACK (MIN.)		
	I) FOR TRIBUTARIES 2 AND 3 NORTH AND EAST: 20 m TO CENTERLINE OF WATERCOURSE; II) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE	I) FOR TRIBUTARIES 2 AND 3 NORTH AND EAST: 20 m TO CENTERLINE OF WATERCOURSE; II) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE

NOTES GÉNÉRALES General Notes

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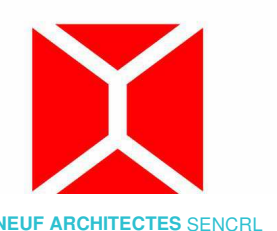
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910 MARCH & MAXWELL
EMPLACEMENT Location NO PROJET No.
910 MARCH ROAD 12712.00

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K.P.

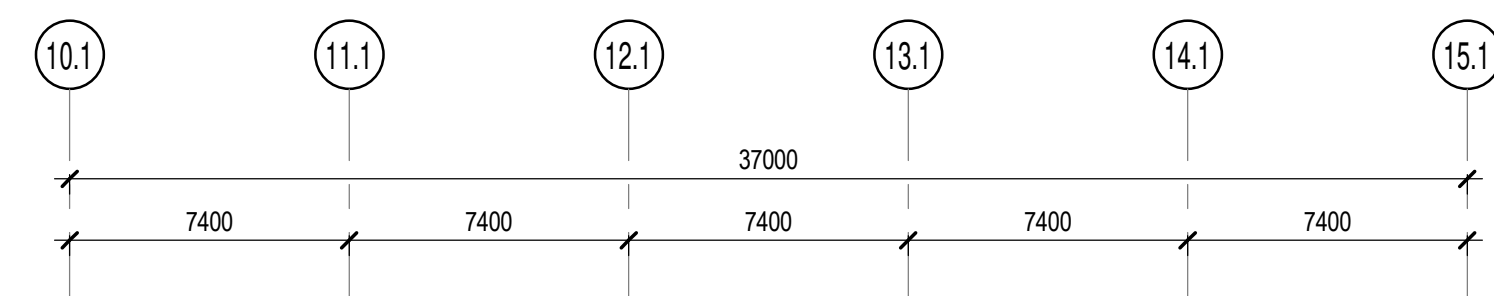
DATE (aa.mm.jj) ÉCHELLE Scale
23.01.26 As indicated

TITRE DU DESSIN Drawing Title
1ST FLOOR SITE PLAN CONCEPTUAL

PREVIOUS REVISION: 0.9
CURRENT REVISION: 0.10
REVISION Revision NO. DESSIN Dwg Number

0.10 A060

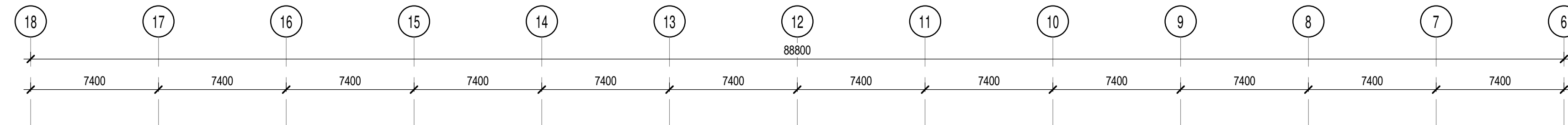
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WEST ELEVATION

1 : 200

2
A401



EAST ELEVATION

1 : 200

1
A401

GENERAL NOTES	
# note	Description
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VERIFIÉ PAR Checked
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 ÉCHELLE Scale
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TITRE DU DESSIN Drawing Title
EAST & WEST ELEVATIONS CONCEPTUAL
 PREVIOUS REVISION: 0.1
 CURRENT REVISION: 0.10
 REVISION Revision NO. DESSIN Dwg Number

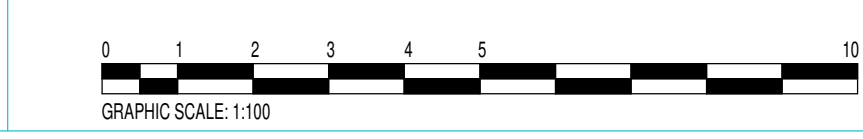
0.10 A401

EXTERIOR MATERIAL LEGEND	
#NOTE	DESCRIPTION
B	PRECAST - PATTERN WOOD, CEDAR COLOR
B	PRECAST - PATTERN WOOD, CEDAR COLOR
B	PRECAST - PATTERN WOOD, CEDAR COLOR
B	PRECAST - PATTERN WOOD, CEDAR COLOR
B	PRECAST - PATTERN WOOD, CEDAR COLOR
C	PRECAST - SMOOTH FINISH, COLOR WHITE
C	PRECAST - SMOOTH FINISH, COLOR WHITE
E	PRECAST - PATTERN LARGE STONE, COLOUR BEIGE

GUARDRAIL DETAILS AND SECTIONS	
For guardrail details and sections refer to A530:	
◆	IRON EAGLE GUARDRAIL

PLAN SYMBOL LEGEND	
◆	RAILING OR GUARDRAIL TYPE - SEE PAGE A530 FOR DETAILS
◆	GENERAL NOTES - SEE LEGEND FOR DESCRIPTION
◆	WINDOW OR CURTAIN WALL TYPE - SEE PAGE A803 FOR DETAILS
◆	WALL TYPE - SEE PAGE A800 FOR DETAILS
◆	ROOF TYPE - SEE PAGE A800 FOR DETAILS
◆	DOOR NUMBER - SEE PAGE A800 & A801 FOR DETAILS
◆	ROOM NUMBER - SEE PLANS FOR DETAILS
◆	EXTERIOR MATERIAL TYPE - SEE PAGE A400 & A401 FOR LEGEND

LINE TYPE LEGEND	
—	PROPERTY LINE
- - -	PARKING BELOW
---	BUILDING ABOVE



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