

CIVIL PLAN (REV#1.4) 2024/04/12
 LANDSCAPING PLAN (REV#1.X) 2024/04/XX
 RMA-2023/10/20



PARKING LEGEND

	A	BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)
	B	BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)
	T	TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
	V	TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)
	C	TYPICAL PARKING SPACE FOR SHOPPING CENTER 5.2m X 2.6m (min.)

NOTES LIST

#	NOTE	DESCRIPTION
1	TOP OF SLOPE	
2	EXISTING MUNICIPAL SEWER	
3	EXISTING UTILITY POLE TO BE REMOVED	
4	UNDERGROUND PARKING OUTLINE	
5	GROUND FLOOR OUTLINE	
6	2ND FLOOR OUTLINE	
7	NEW SEWER	
8	WATER COURSE CENTRELINE	
9	RETAINING WALL	
10	EXISTING UTILITY POLE	
11	OVERHEAD WIRES	
12	PRIVATE BALCONY	
13	PRIVATE TERRACE	
14	BIKE RACK	
15	EXISTING FRENCHWELL	
16	P2 LEVEL - OUTLINE	
17	DEPRESSED CURB (REFER TO CIVIL)	
18	P1 LEVEL - OUTLINE	
19	COMMERCIAL TERRACE	
20	CANOPY PROFILE	
21	WATER TANK ACCESS	
22	PRE DEPARTMENT CONNECTION	
23	THE ROAD WEIR/WEIR LIMITS	
24	TACTILE SURFACE INDICATORS REQUIRED DEPRESSED CURBS (TYPICAL REFER TO CIVIL)	
25	DEPRESSED CURB FOR FLOOD PATH (REFER TO CIVIL)	
26	1/100 FLOODPLAIN - MCA	
27	MEANDER BELT LIMIT	
28	10m FROM TOP OF SLOPE	
29	20m FROM CENTRELINE OF WATERCOURSE	
30	10m FROM TOP OF SLOPE	
31	ERTEC EXCLUSION FENCE PER EIS	

LINE TYPE LEGEND

	1	PROPERTY LINE
	2	REQUIRED SETBACKS

SURFACE LEGEND

	1	PAVING (ON-SLAB) LARGE PATO TILES
	2	CONCRETE PAVING
	3	STONE BALLAST ROOF
	4	TURF
	5	NATIVE SOIL / SEED MIX 1
	6	SEED MIX 2
	7	HEAVY DUTY PAVEMENT
	8	EXISTING BUILDING
	9	BARRIER FREE UNLOADING SPACE

SITE STATISTICS

LOT AREA	27 156 m ²
FOOTPRINT	7 293 m ²
CONSTRUCTION AREA ABOVE GROUND	44 758 m ²
CONSTRUCTION AREA UNDERGROUND (BUILDING & PARKING)	30 352 m ²
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	75 110 m ²

SITE STATISTICS AS PER ZONING BY-LAW

GROSS FLOOR AREA AS PER ZONING BY-LAW (ABOVE + BELOW GRADE)	40 128 m ²
RESIDENTIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	39 627 m ²
COMMERCIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	501 m ²

910 MARCH ROAD - NUMBER OF UNITS

FLOOR LEVEL	13 UNITS	42 UNITS	62 UNITS	51 UNITS	44 UNITS	41 UNITS	35 UNITS	19 UNITS	17 UNITS	TOTAL
P1 PARKING LEVEL										
1ST FLOOR LEVEL - GROSS AREA										
2ND FLOOR LEVEL - GROSS AREA										
3RD FLOOR LEVEL - GROSS AREA										
4TH FLOOR LEVEL - GROSS AREA										
5TH FLOOR LEVEL - GROSS AREA										
6TH FLOOR LEVEL - GROSS AREA										
7TH FLOOR LEVEL - GROSS AREA										
8TH FLOOR LEVEL - GROSS AREA										
8TH FLOOR LEVEL - GROSS AREA										
8TH FLOOR LEVEL - GROSS AREA										
TOTAL										390 UNITS

NUMBER OF PARKING SPACES

1 Residents (parking space / dwelling unit)	390
Dwelling units in a mixed-use building, Area C or D	
0.2 Visitors (parking space / dwelling unit)	79
Commercial parking (3.4 X 10.550M REQ)	18
*THIS IS THE COUNT OF EXTERIOR PARKING	
TOTAL PARKING REQUIRED	487 (MIN REQ)
TOTAL PARKING PROVIDED	568 (PROVIDED)
MINIMUM BARRIER FREE PARKING REQUIRED	12
12 SPACES REQUIRED (6 TYPE A & 6 TYPE B)	

910 MARCH ROAD

CITY OTTAWA ZONING BY-LAW 2008-250
 GM(XXX) H(32)
 PROPOSED MID-RISE MIXED-USE DEVELOPMENT

ZONING PROVISION	REQUIRED	PROPOSED
GENERAL MIXED-USE ZONE PROVISIONS		
PERMITTED USES	RESIDENTIAL; COMMERCIAL	RESIDENTIAL; COMMERCIAL
FRONT YARD SETBACK (MIN / MAX)	3 m	6 m
REAR YARD SETBACK (MIN)	7.5 m WHERE ABUTTING A RESIDENTIAL ZONE	> 7.5 m
INTERIOR SIDE YARD SETBACK (MIN)	5 m FOR MIXED USE BUILDING ABUTTING A RESIDENTIAL ZONE NO MINIMUM IN ALL OTHER CASES	> 5 m
FLOOR SPACE INDEX (MAX)	2	11.5 m / 40 m
FLOOR HEIGHT (MAX)	32 m	32 m
LANDSCAPED AREA (MIN WIDTH ABUTTING A STREET)	3 m	6.01 m

PARKING PROVISIONS (AREA C & AREA D)

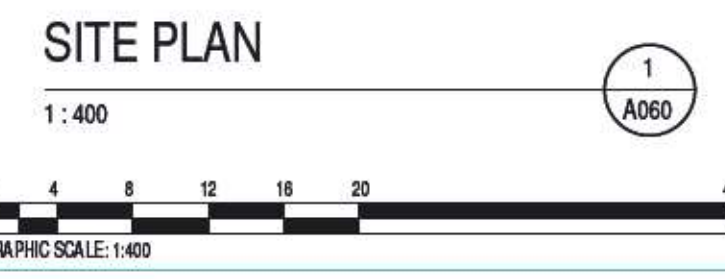
BICYCLE PARKING SPACES - RESIDENTIAL (MIN)	0.5 PER DWELLING UNIT	195
BICYCLE PARKING SPACES - NON-RESIDENTIAL (MIN)	1 PER 250 m ² GFA RETAIL = 3	3
TOTAL PRIVATE AMENITY AREA (MIN)	6 m ² PER DWELLING UNIT = 2 346 m ²	2 346 m ²
COMMUNAL AMENITY AREA (MIN)	50% OF REQUIRED TOTAL AMENITY ARE	1173 m ²
WATERCOURSE SETBACK (MIN)	(1) FOR TRIBUTARY 2 (EAST): 15 m TO TOP OF SLOPE (2) FOR TRIBUTARIES 3 (NORTH): 20 m TO CENTRELINE OF WATERCOURSE (3) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE	(1) FOR TRIBUTARY 2 (EAST): 15 m TO TOP OF SLOPE (2) FOR TRIBUTARIES 3 (NORTH): 20 m TO CENTRELINE OF WATERCOURSE (3) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE

DRIVE-THROUGH RESTAURANT

MCDONALD'S

CITY OF OTTAWA REFERENCE CODES :

*PLAN No. #18358
 *FILE No. D02-02-20-0050 & D07-12-20-0089



NOTES GÉNÉRALES - General Notes

- Les documents d'architecture sont la propriété exclusive de NEUF architectes et ne peuvent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparentes sur documents doivent être vérifiées par l'entrepreneur avant et durant les travaux. / All dimensions which appear on the documents must be verified by the contractor before and during the work.
- Valable avant l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the others professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

ARCHITECTE PAYSAGER Landscape Architect
Gino J. Aiello Landscape Architect
 110 Didiary Road Unit #9 Ottawa K2T 0C2
 T 613 852 1348
 CIVIL CIVIL

NOVATECH
 240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P8
 T 613 254 9643 novatech-eng.com

INGÉNIEUR MÉCANIQUE Mechanical Engineer
NATIONAL MULTI-RESIDENTIAL INNOVATIVE DESIGN
 555 Legget Drive, Tower A, Suite 212, Ottawa, ON K2K 2K3
 T 613 224 2791 Fax 613 951 6596

INGÉNIEUR EN STRUCTURE Structural Engineer
CIMA+
 740, rue Notre-Dame O., Montréal, QC H3C 3K6
 T 514 397 2462

URBANISTE Urban Planner
NOVATECH
 240 Michael Cowpland Drive, Suite 200, Ottawa, ON K2M 1P8
 T 613 254 9643 novatech-eng.com

ARPENTEUR Surveyor
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 14 Concourse Gate, Suite 500, Nepean, Ontario, K2E 7B8
 T 613 727 0850

ARCHITECTES Architect
NEUF architect(e)s SENCRL
 636, boul. René-Lévesque O. 35e étage, Montréal QC H3B 1S8
 T 514 947 1117 NEUFarchitectes.com

SCEAU / Seal



COMPANY NAME
910 MARCH ROAD

EMPLACEMENT Location NO PROJET No.
910 MARCH ROAD 12712.00

DATE d'ouverture du projet / project start day (du.m.jj)

2021.04.12	
------------	--

NO RELEASE DATE (aa-mm-jj)

2023.01.28	
2023.03.26	
2023.03.22	
2024.04.12	

ISSUED FOR SITE PLAN REVISION 02
 ISSUED FOR SITE PLAN REVISION 03
 ISSUED FOR SITE PLAN REVISION 04

DESSINÉ PAR Drawn by Z.S.
 VÉRIFIÉ PAR Checked by K.P.
 DATE (aa.mm.jj) 24/04/12
 ÉCHELLE Scale As indicated

TITRE DU DESSIN Drawing Title
1ST FLOOR SITE PLAN

PREVIOUS REVISION: 1.6
 CURRENT REVISION: 1.7
 REVISION Revision NO. DESSIN Dwg Number
1.7 A060