

# BDP. Quadrangle

**Quadrangle Architects Limited**  
901 King Street West, Suite 701 Toronto, ON M5V 3H5  
t 416 598 1240 www.bdpquadrangle.com

## 178-200 Isabella

Ottawa, Ontario

for  
Minto Communities

Project No. 19048  
Date 2023-08-16  
Issued for REZONING RE-SUBMISSION

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### STRUCTURAL ENGINEER

Adjeleian Allen Rubeli Ltd.  
75 Albert Street, Suite 1005  
Ottawa, On K1P 5E7  
T 613 232 5786

### MECHANICAL & ELECTRICAL ENGINEER

Quasar Consulting Group  
1025-130 Slater Street  
Ottawa, On  
T 905 507 0800

### PLANNING

Fotenn  
396 Cooper St, Suite 300  
Ottawa, ON K2P 0Z8  
T 613 730 5709

### LANDSCAPE ARCHITECT

DTAH  
296 Park Road  
Toronto, ON M4W 2N5  
T 416 968 9479

### SITE SERVICING

IBI Group  
400-333 Preston Street  
Ottawa ON K1S 5N4  
T 613 225 1311

### TRANSPORTATION

IBI Group  
400-333 Preston Street  
Ottawa ON K1S 5N4  
T 613 225 1311

### SURVEY

Stantec  
400-1331 Clyde Avenue  
Ottawa, ON, K2C 2G4  
T 613 784 2211

### WIND & ACOUSTICS

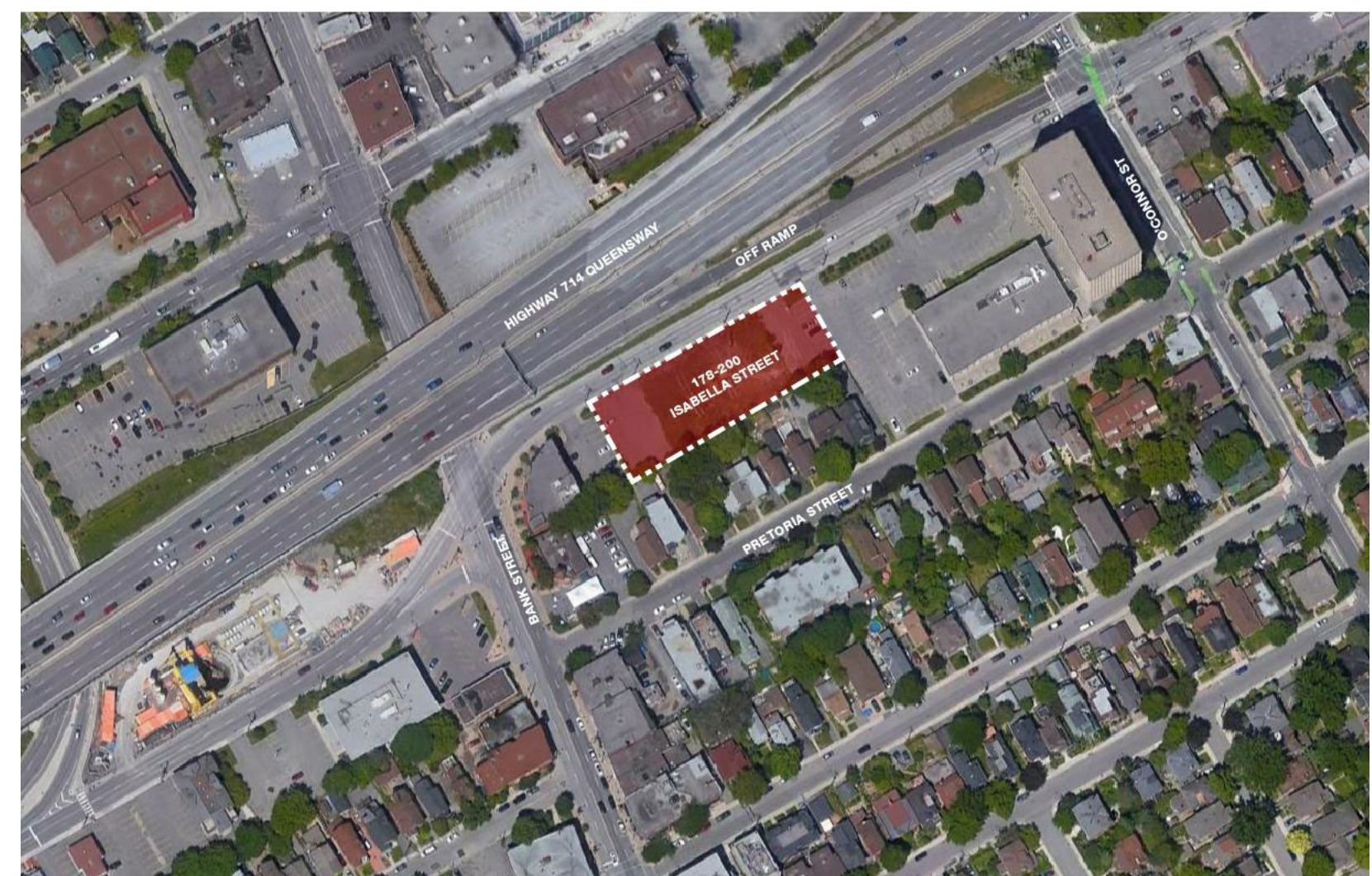
Gradient Wind  
127 Walgreen Road  
Ottawa, ON K0A 1L0  
T 613 836 0834

**BDP.  
Quadrangle**

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PROJECT STATISTICS SUMMARY	
Municipal Address:	178 - 200 Isabella Street
Lot Area	2,391.00
Zoning Bylaw 569-2013	GM3 F(3.0)
Average Grade:	68.04
Building Height (Stores): (excl. Mech Penthouse)	19
Building Height above Average Grade:	63.71
	(m)
GFA - Residential Uses	14,189.58
GFA - Non-Residential Uses	0.00
By-Law 569-2013, Total GFA	14,189.58
Floor Space Index (FSI)	5.93
Number of Residential Suites	234
	(m)
Min. Residential Amenity Space Required	1,404.00
Total Residential Amenity Space Provided	2,274.73
Min. Communal Residential Amenity Space Required	702.00
Communal Residential Amenity Space Provided	805.20
Vehicular Parking Total Required	122
Vehicular Parking Total Provided	122
Bicycle Parking Total Required	117
Bicycle Parking Total Provided	242
Total Loading Spaces Required	1
Total Loading Spaces Provided	1



SUMMARY

CONTEXT PLAN

General Mixed Use Zone		Required	Provided	Bicycle Parking		Required	Provided	Loading Spaces		Required	Provided				
VEHICULAR PARKING	<b>Residential</b>	0.5/unit after first 12 units = 222 units less 10% if located below grade	111 - 11	100	110	<b>Residential</b>	(0.5/unit)	0.5 x 234	117	242	<b>Residential</b>	1			
	<b>Visitor (0.1 dwelling unit)</b>	0.1/unit after first 12 units = 222 units	22 - 22	22	22	<b>Non-Residential</b>	(1.0/1500sm)	1 x 0.00	0	0	<b>Retail</b>	0.00 sm			
	<b>Retail (1.25/100sm)</b>	1.3 x 0.00	0	0	<b>TOTAL</b>			117	242	<b>TOTAL</b>	1	1			
	<b>TOTAL</b>		122	122											
Included in the TOTAL above:				Number of Visitor Accessible Parking Spaces		1		1		Number of Residential Accessible Parking Spaces		5		5	
				Number of parking spaces dedicated for priority LEV parking		X		X		Number of parking spaces with EVSE		X		X	

Parking Space Location		Residential		Required	Provided	Residential		Required	Provided
VEHICULAR PARKING LOCATION	<b>Level</b>	RESIDENTIAL	NON-RESIDENTIAL	TOTAL					
	Occupant	Visitor	Retail	Office					
	Surface	3			3				
	P1	22	19	41	41				
P2	41			41					
P3	47			47					
<b>TOTAL</b>	110	22	0	0	132				
<b>AMENITY SPACE</b>				<b>Communal Amenity</b>		702.00 sm		805.20 sm	
				Ground - Lobby		Interior		36	
				Ground - Amenity		Interior		225.7	
				Floor 7 - Amenity		Interior		89.5	
				Ground		Exterior		265.0	
				Floor 7 - Terrace		Exterior		188.0	
				<b>Private Amenity</b>		1469.5		1469.5	
				Balconies/Terraces		Exterior		1469.5	
				<b>TOTAL Res Amenity = 6.0sm/dwelling unit</b>		1,404.00 sm		2,274.73 sm	

PARKING, LOADING AND AMENITY STATISTICS

Floor	No. Typs/Floors	GFA Gross Building Area		GCA Gross Construction Area (no exclusions)		GFA Exempt (sm)	City-Wide By-Law				Suite Breakdown					Res Saleable Area (sf)	Office Usable Area (sf)	Retail Usable Area (sf)	Efficiency (Saleable / GBA)	
		sm	sf	sm	sf		GFA (Res)	GFA (Non-Res)	Bach <45sm	Bach >45sm	1 Bdrm	2 Bdrm	2 Bdrm +Den	3 Bdrm	Total Suites					
Mech Penthouse	1	548.3	5,902.7	548.3	5,902.7	548.3	0.0	0.0	0.0											
19	1	540.4	5,816.6	697.2	7,504.1	315.3	381.6	4110.1	0.0											
18	1	689.2	7,418.6	801.3	8,625.5	266.8	534.5	5753.3	0.0											
17	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
16	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
15	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
14	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
13	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
12	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
11	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
10	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0				4	1	6					
9	1	879.4	9,465.8	929.6	10,006.4	211.0	718.6	7734.9	0.0				9	1	4					
8	1	879.4	9,465.8	929.6	10,006.4	211.0	718.6	7734.9	0.0				9	1	4					
7	1	879.4	9,465.8	1,453.9	15,649.1	610.5	643.3	6924.7	0.0				6	2	4					
6	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4					
5	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4					
4	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4					
3	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4					
2	1	1,191.3	12,823.0	1,225.9	13,195.5	339.7	886.2	9538.6	0.0				4	3	1					
Ground	1	1,076.1	11,583.0	1,076.1	11,583.0	788.9	307.2	3306.5	0.0						5					
P1				1953		0.0														
P2				1953		0.0														
P3				1953		0.0														
<b>TOTALS</b>	<b>19</b>	<b>16,871.3</b>	<b>182,209.0</b>	<b>26,209.0</b>	<b>282,209.0</b>	<b>14,189.6</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>0.0</b>	<b>96</b>	<b>43</b>	<b>89</b>	<b>5</b>	<b>1</b>	<b>234</b>	<b>162</b>	
<b>GFA USE Breakdown</b>	Non-Res GFA (RETAIL)		0.00 sm		Communal Interior Amenity		351.20 sm		57% of req (communal)		X		X		X		X		Average Unit Size by Unit Type	
	Non-Res GFA (OFFICE)		0.00 sm		Communal Exterior Amenity		454.00 sm		702.00 req		X		X		X		X		Average GFA per Unit	
	Total NON-RES GFA		0.00 sm		Private Balcony/Terrace		1469.53 sm		50% of req, total amenity		X		X		X		X			
	Total RESIDENTIAL		14,189.58 sm		Total Amenity		2,274.73 sm													
<b>Area Totals &amp; FSI</b>	Combined RES & NON-RES Gross Floor Area Totals				14,189.6		R		C		0.00									
	Res and Non-Res Floor Space Index				5.93															
	Floor Space Index (FSI)				5.93															

BUILDING STATISTICS

Date	No.	Description
<b>REVISION RECORD</b>		
2023-08-16		RE-ISSUED FOR REZONING APPLICATION
2023-03-07		RE-ISSUED FOR REZONING APPLICATION
2022-12-15		RE-ISSUED FOR REZONING APPLICATION
2021-04-30		RE-ISSUED FOR REZONING APPLICATION
2020-09-11		ISSUED FOR REZONING APPLICATION

ISSUE RECORD

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178-200 Isabella  
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19048 PROJECT SCALE RN JS DRAWN REVIEWED

Statistics and Context Plan

A100.S

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HIGHWAY 417  
QUEENSWAY

ISABELLA STREET



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Ottawa ON  
Tel: 613.722.4420  
www.stantec.com

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TOPOGRAPHIC SKETCH OF  
PART OF LOT  
REGISTERED PLAN

(GEOGRAPHIC TOWNSHIP OF)  
CITY OF OTTAWA  
REGIONAL MUNICIPALITY OF

Scale 1:100  
Stantec Geomatics Ltd.  
ONTARIO LAND SURVEYORS

BOUNDARY NOTE

BOUNDARY LINEWORK AND INFORMATION IS COMPILED FROM PLAN 200300 AND IS NOT BASED ON ACTUAL SURVEY.

METRIC CONVERSION  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE  
BEARINGS ARE REFERRED TO THE "LIMIT OF \*", AS SHOWN ON PLAN \*, HAVING A BEARING OF XXX°XXX'.

VERTICAL DATUM NOTE  
ELEVATIONS ARE OF GEODETIC ORIGIN AND ARE DERIVED FROM ELEVATIONS REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1985) AND ARE DERIVED FROM BENCHMARK MONUMENT NO. 1, HAVING A PUBLISHED ELEVATION OF \* METRES.

HORIZONTAL DATUM NOTE  
PROJECTION: UNIVERSAL TRANSVERSE MERCATOR  
DATUM: (NAD 83) (CGVD2011)  
DISTANCES ON THIS PLAN MAY BE CONVERTED TO GROUND DISTANCES BY DIVIDING BY A COMBINED SCALE FACTOR OF 0.999902.

LEGEND

■	DENOTES	FOUND ADJUSTMENTS
□	SET MARKERS	SET MARKERS
▬	IRON BAR	IRON BAR
▬	RODDED IRON BAR	RODDED IRON BAR
▬	STANDARD IRON BAR	STANDARD IRON BAR
▬	SHORT STANDARD IRON BAR	SHORT STANDARD IRON BAR
▬	CUT CROSS	CUT CROSS
▬	CONCRETE FIN	CONCRETE FIN
▬	WINDS	WINDS
▬	PROPERTY IDENTIFICATION NUMBER	PROPERTY IDENTIFICATION NUMBER
▬	MEASURED	MEASURED
▬	PROPOSED	PROPOSED
▬	ORIGIN UNKNOWN	ORIGIN UNKNOWN
▬	STANTEC	STANTEC GEOMATICS LTD. PLAN

UNDERGROUND TELEPHONE

UNDERGROUND HYDRO

WATERMAIN

GASMAIN

STORMSEWER

UNDERGROUND FIBRE OPTIC

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1. THE SURVEY WAS COMPLETED ON THE DAY OF, 2020.

DATE: \_\_\_\_\_ BRIAN J. WEBSTER  
ONTARIO LAND SURVEYOR

DRAWN: \* CHECKED: \* P.A.: \* FIELD: \* PROJECT No.: 16140000-111

TOPOGRAPHIC LEGEND  
AND SURVEY INFORMATION

SITE PLAN LEGEND

---	PROPERTY LINE
---	LINE OF UNDER GROUND GARAGE BELOW
←	MAIN BUILDING ENTRANCE
↔	RETAIL ENTRANCE
↖	EXIT
↗	VEHICLE / LOADING ENTRANCE / EXIT
⊙	FIRE HYDRANT
⊙	SIAMSE CONNECTION
⊙	MANHOLE COVER
⊙	AREA DRAIN
⊙	CATCH BASIN
⊙	FLOOR DRAIN
⊙	EXISTING LIGHT
⊙	F.F.E.
⊙	EXISTING ELEVATION
⊙	PROPOSED ELEVATION
⊙	TOP OF ROOF
⊙	BUILDING ENVELOPE
⊙	FIRE ACCESS ROUTE HEAVY DUTY PAVING. ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.

REVISION RECORD

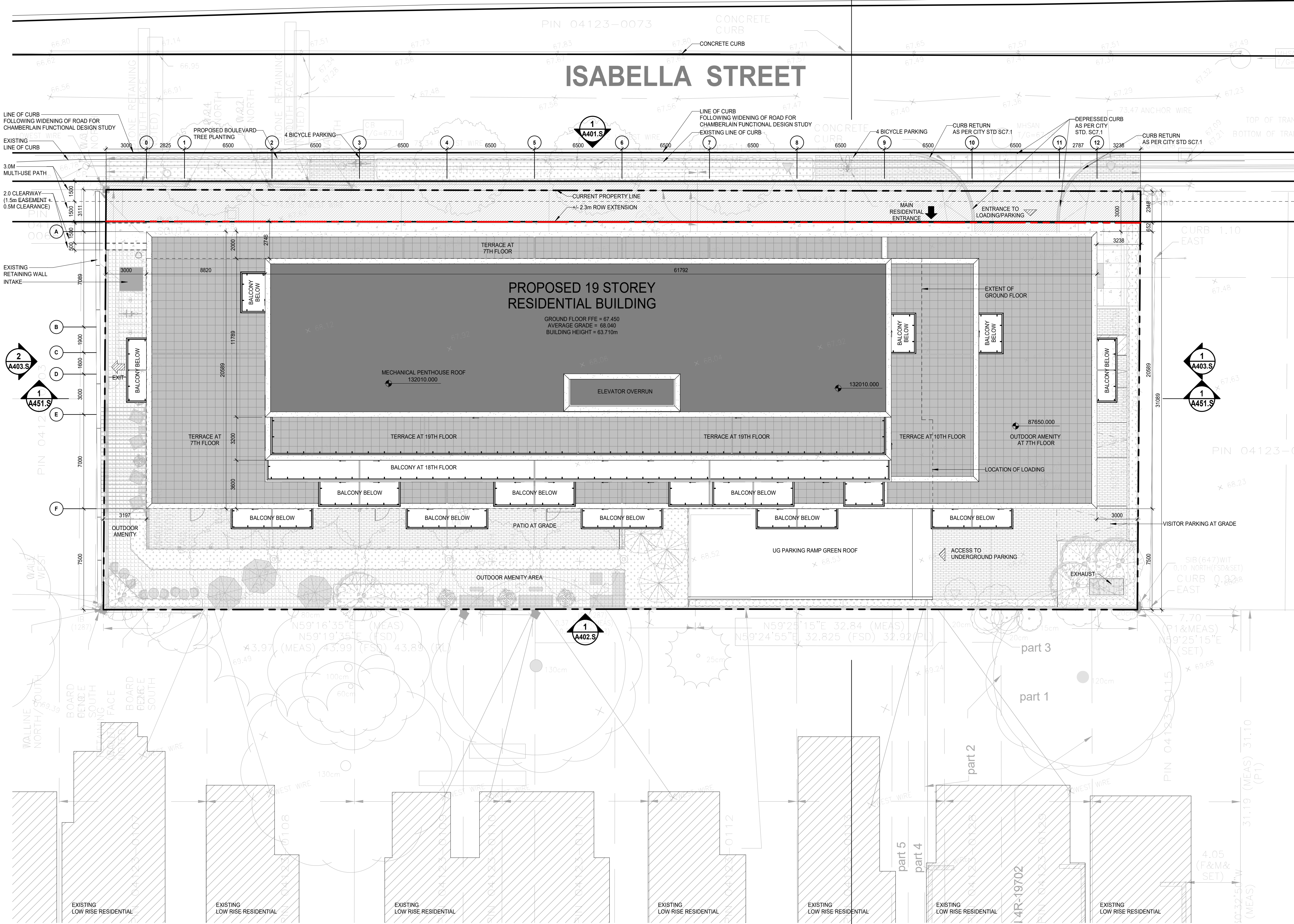
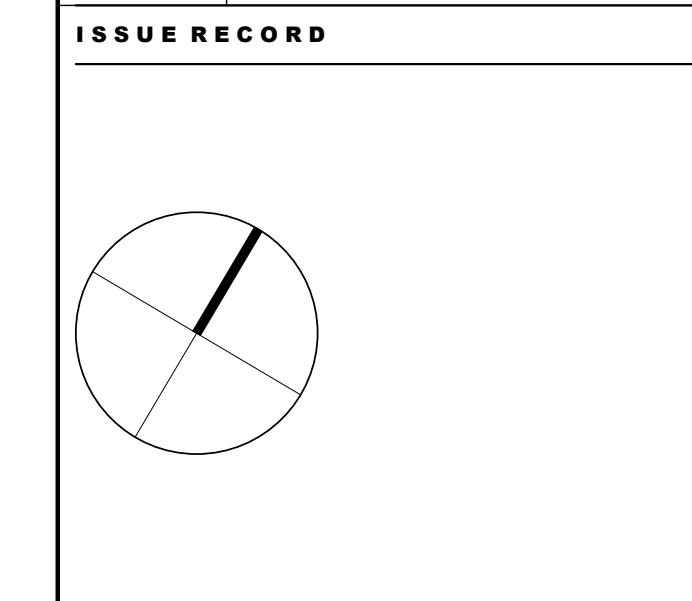
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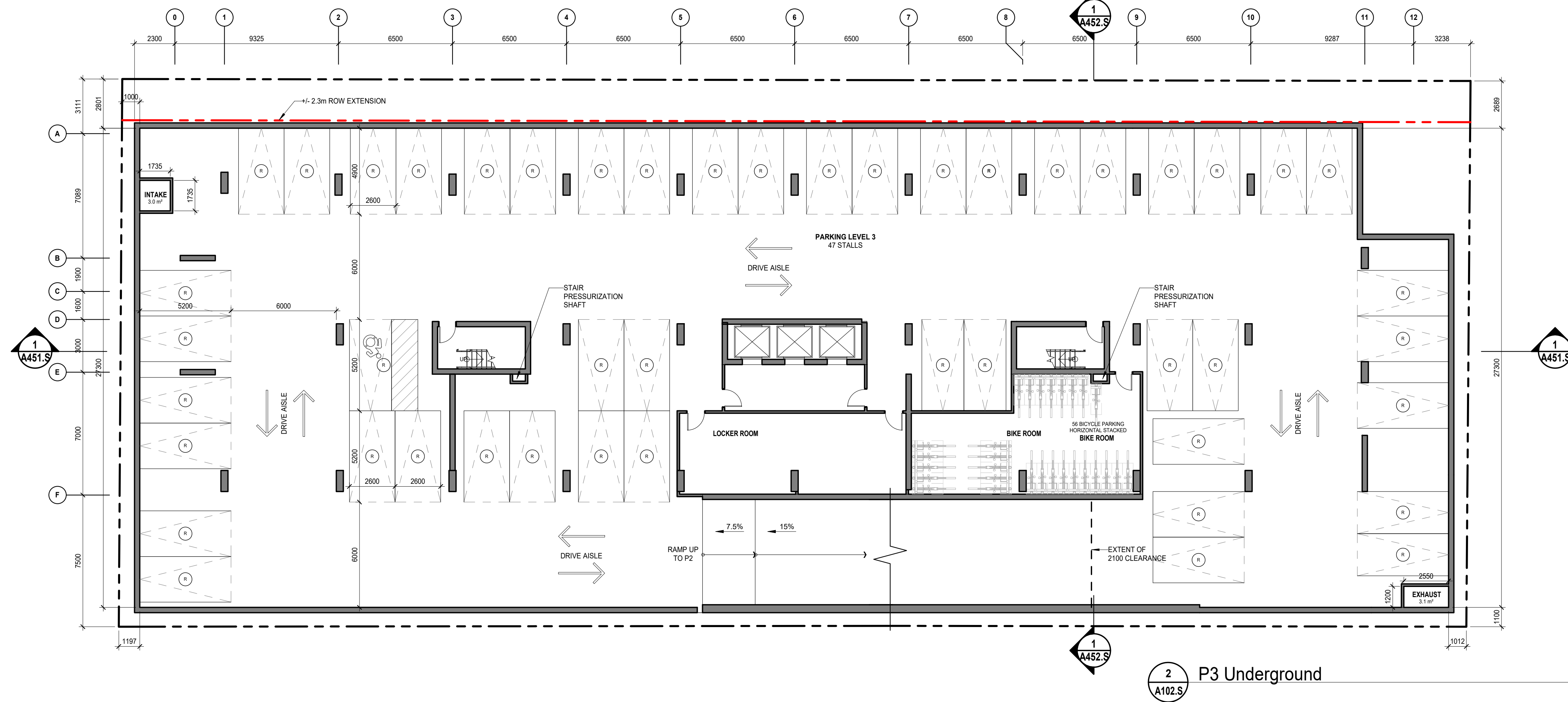
1 SITE PLAN  
A101.S

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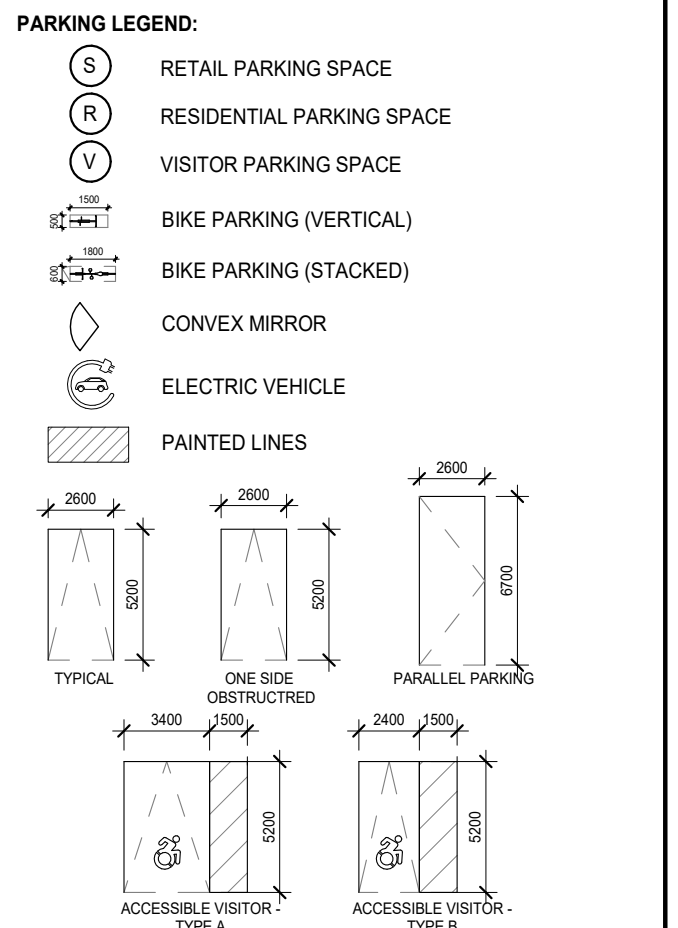
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- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
    - 2800mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
    - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
    - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
  - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
  - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.



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<b>ISSUE RECORD</b>	

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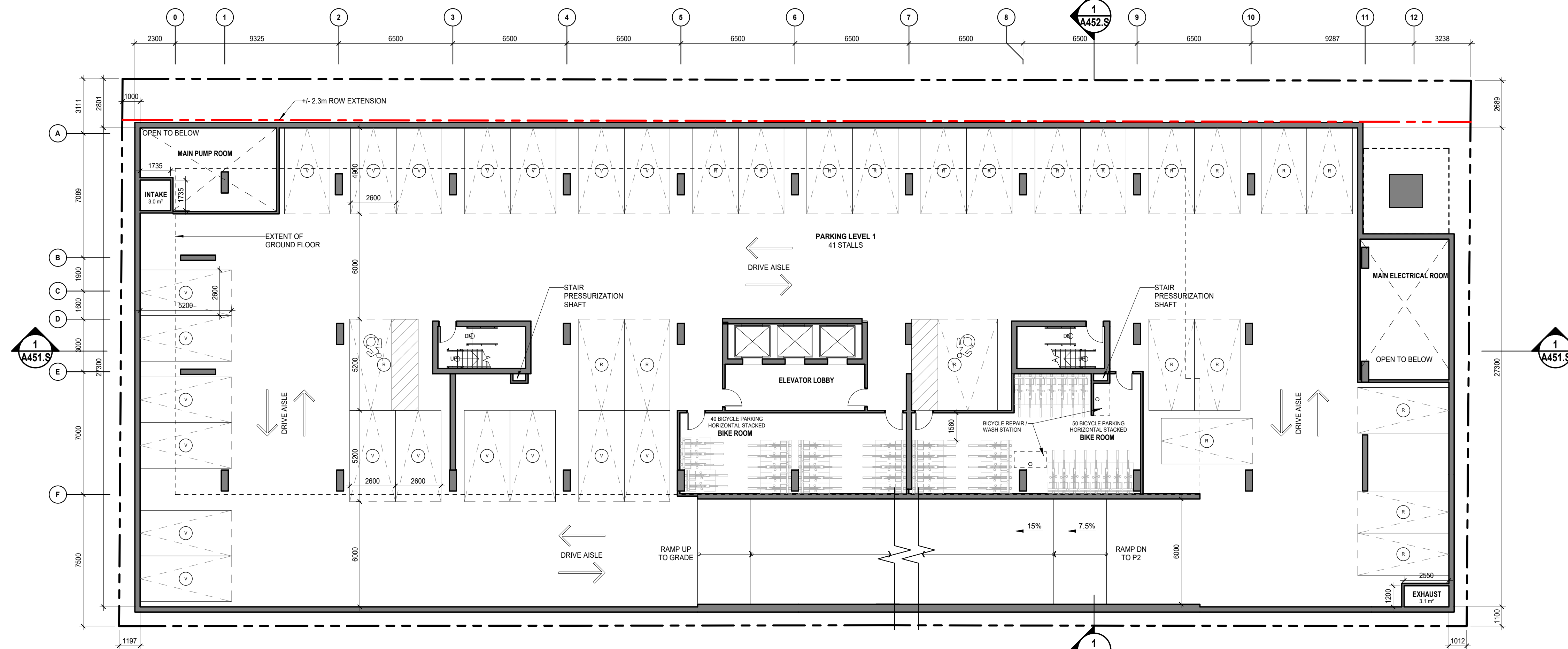
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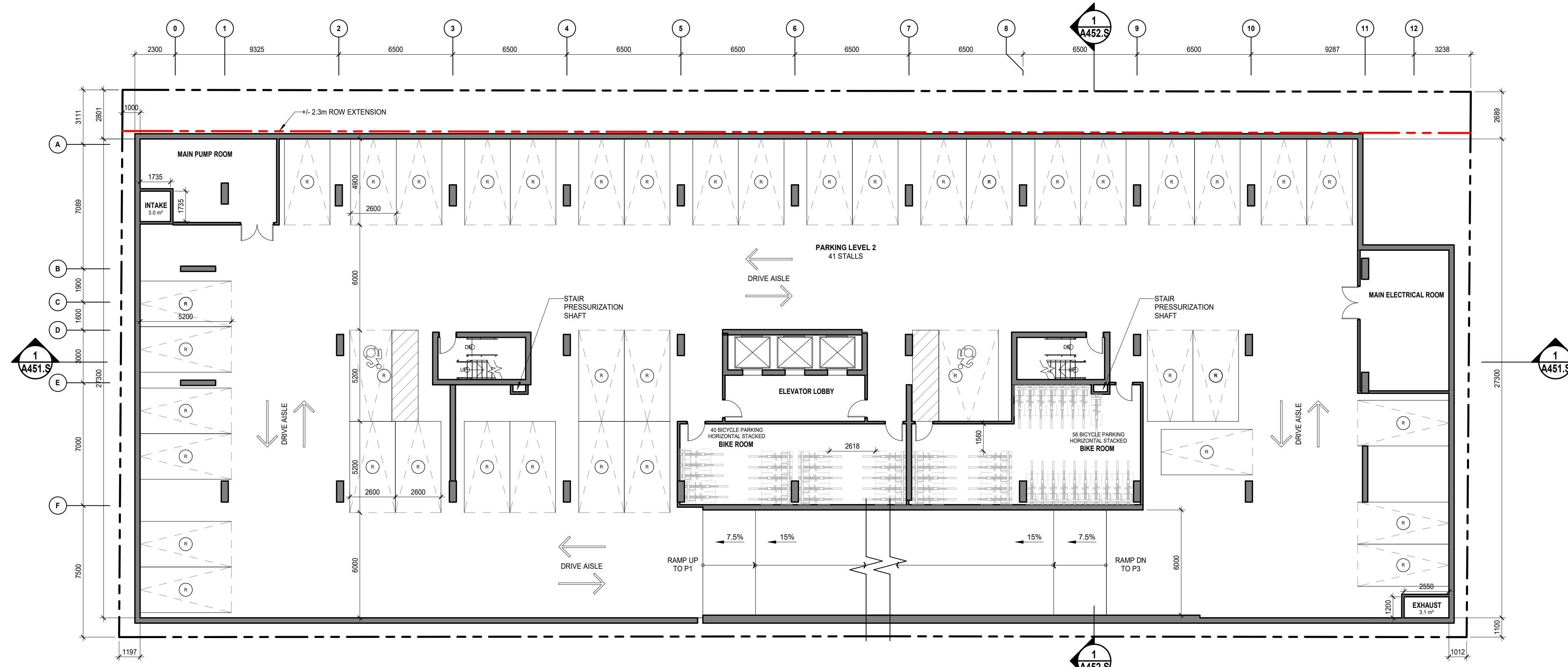
19048 As indicated Author Checker  
 PROJECT SCALE DRAWN REVIEWED

P3 Underground  
**A102.S**

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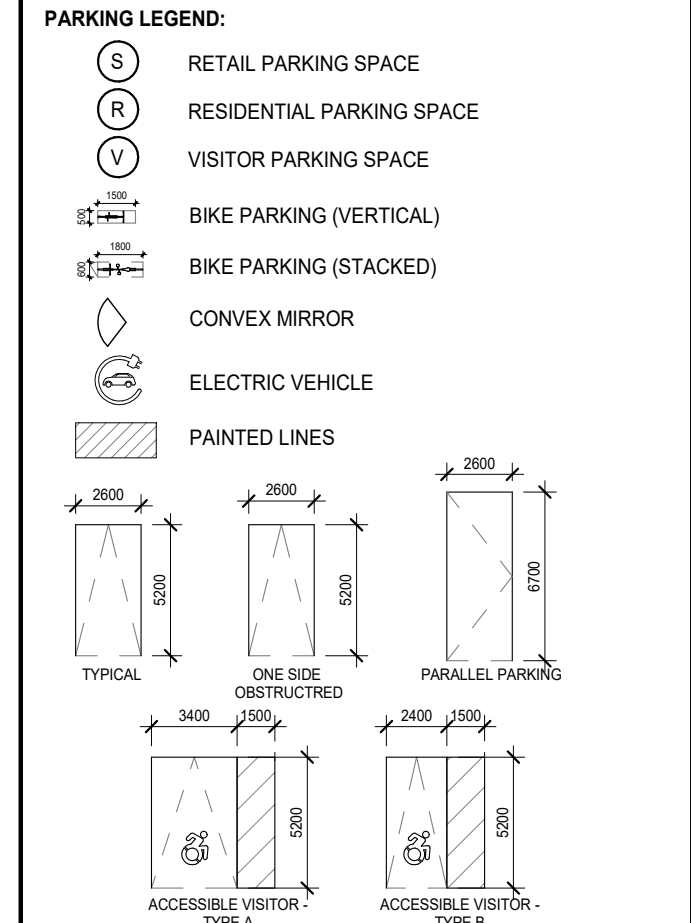


2 P1 Underground  
A103.S



1 P2 Underground  
A103.S

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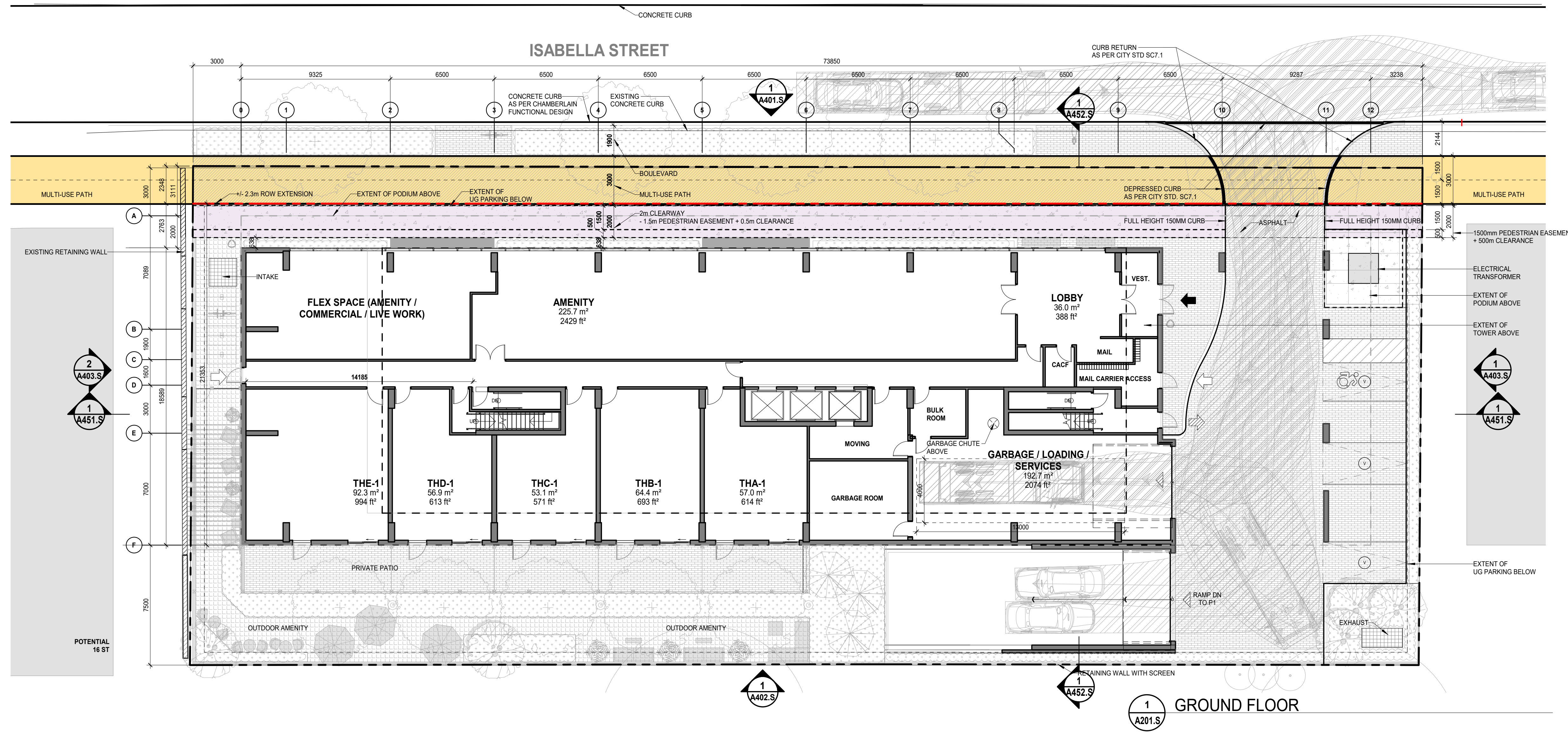
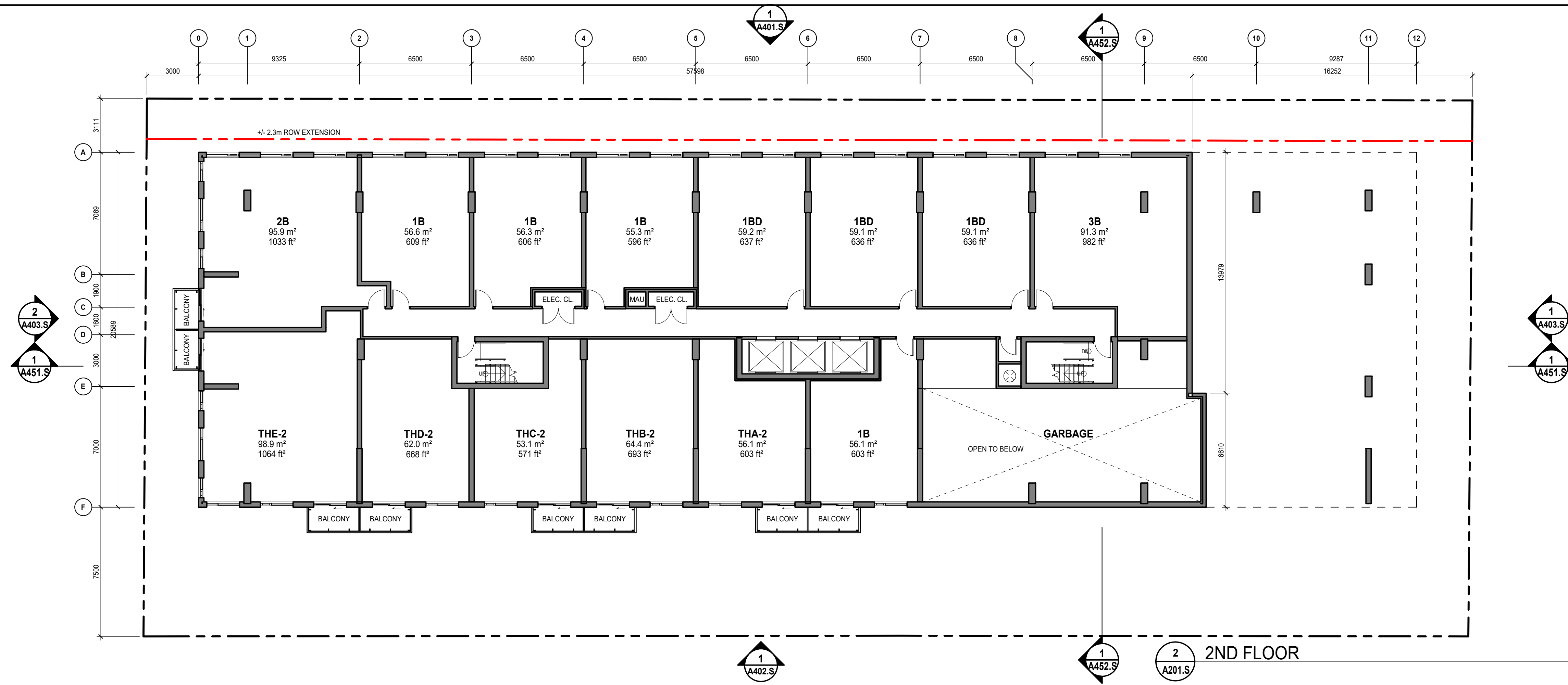
19048 As indicatedRN JS  
 PROJECT SCALE DRAWN REVIEWED

P2 and P1 Underground

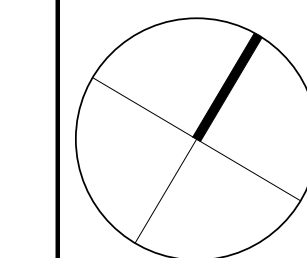
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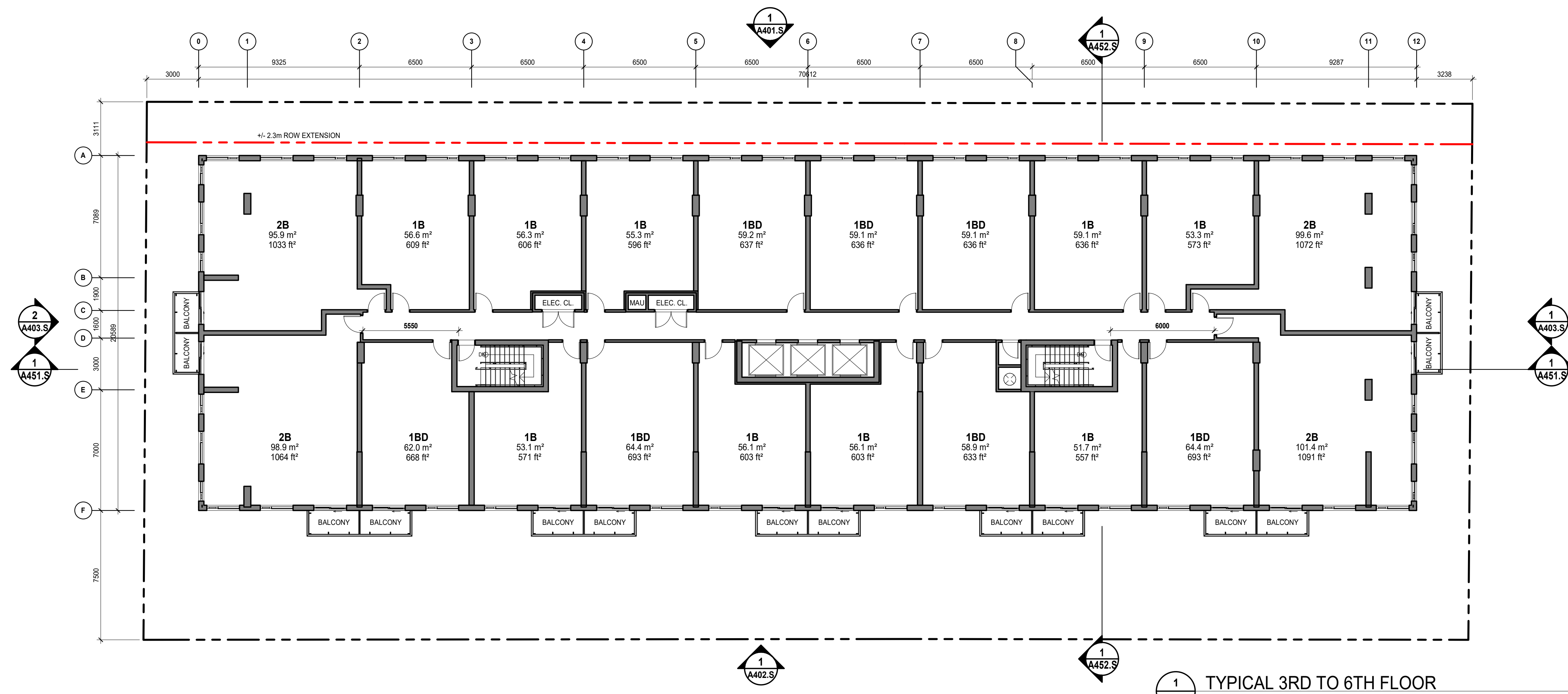
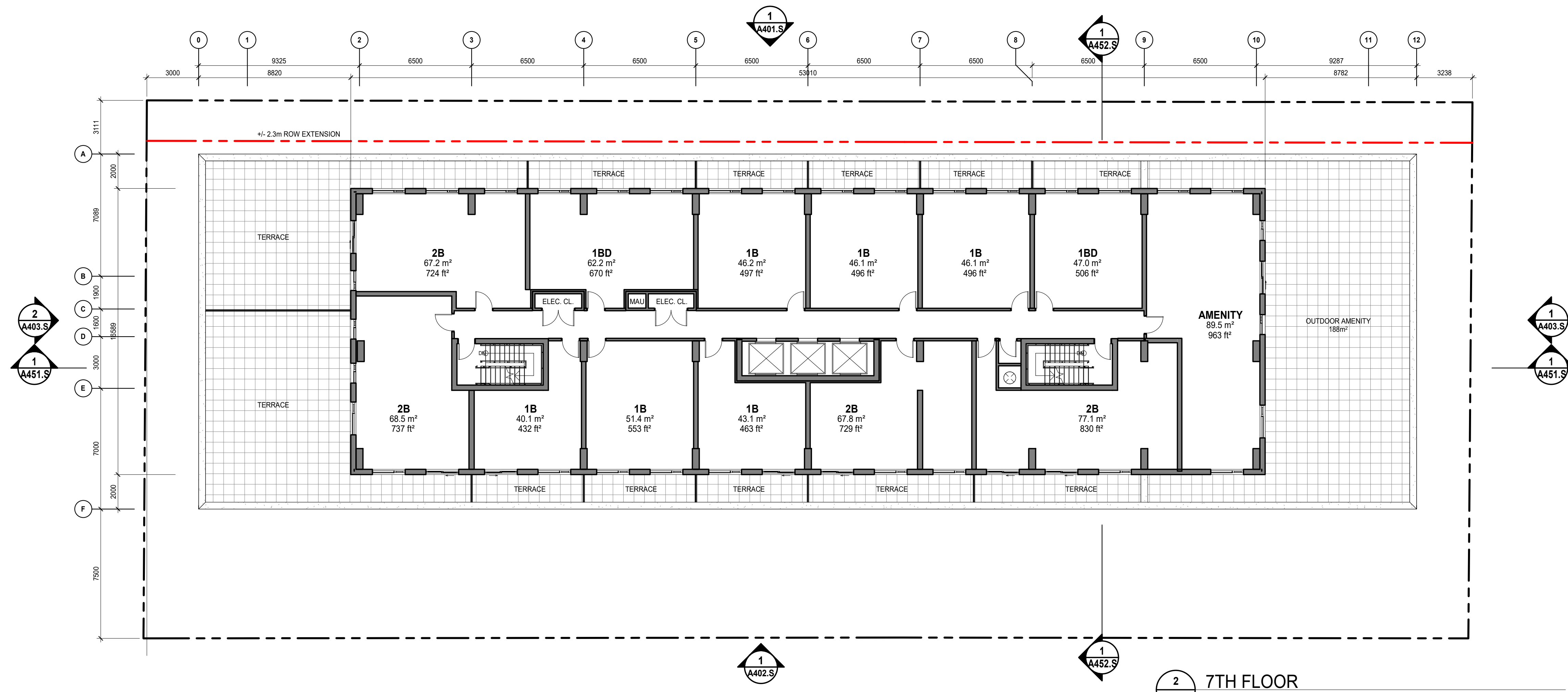
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 PROJECT SCALE DRAWN REVIEWED

Ground and 2nd Floor Plan

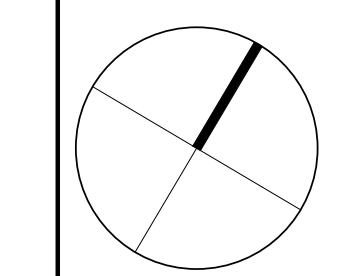
**A201.S**

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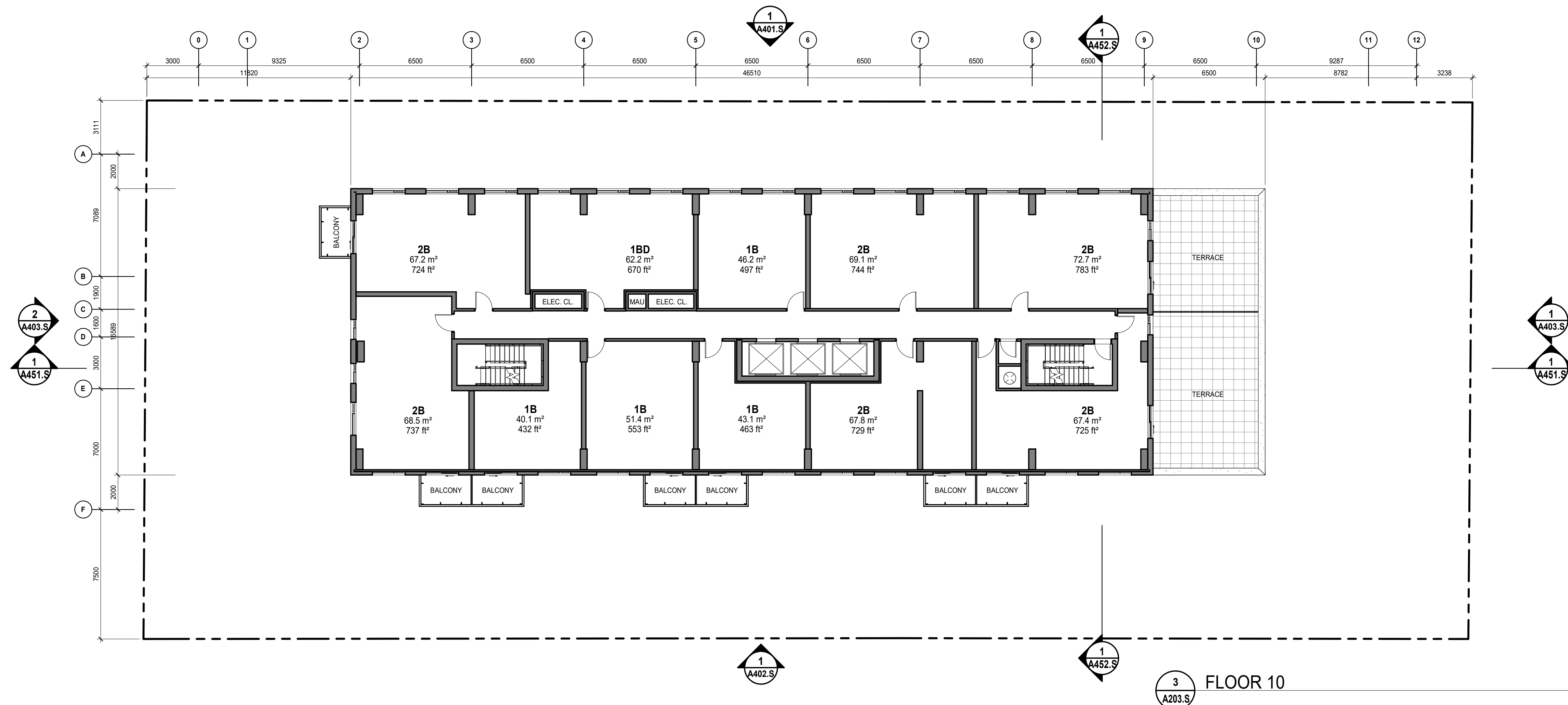
178-200 Isabella  
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19048 1 : 150 PROJECT SCALE  
 RN JS DRAWN REVIEWED

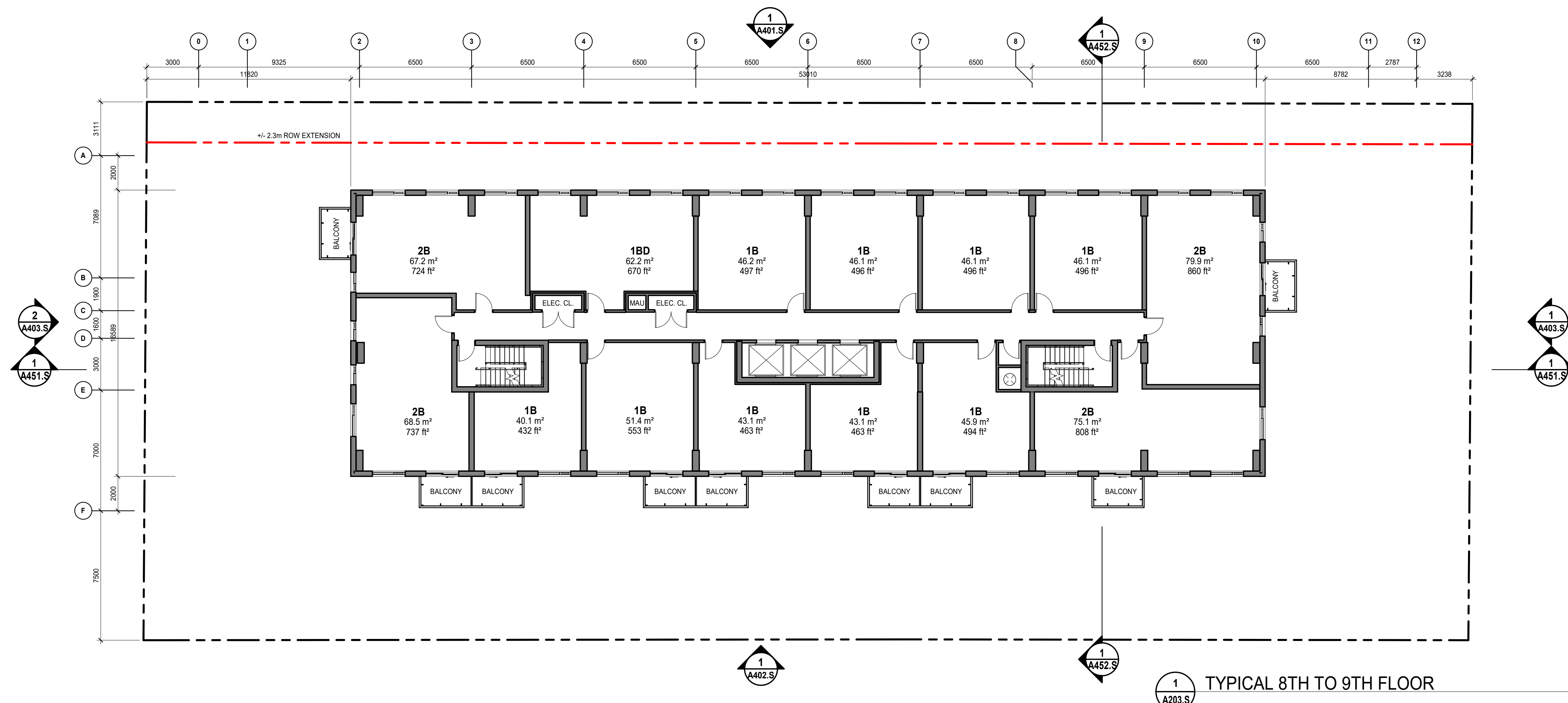
Typical 3rd to 6th and 7th Floor Plan

**A202.S**

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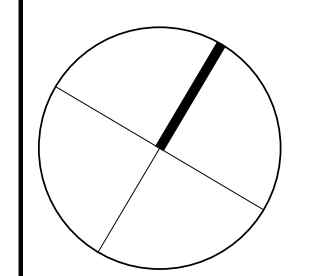


3 FLOOR 10  
A203.S



1 TYPICAL 8TH TO 9TH FLOOR  
A203.S

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<b>REVISION RECORD</b>		
2023-08-16		RE-ISSUED FOR REZONING APPLICATION
2023-03-07		RE-ISSUED FOR REZONING APPLICATION
2022-12-15		RE-ISSUED FOR REZONING APPLICATION
2021-04-30		RE-ISSUED FOR REZONING APPLICATION
2020-09-11		ISSUED FOR REZONING APPLICATION
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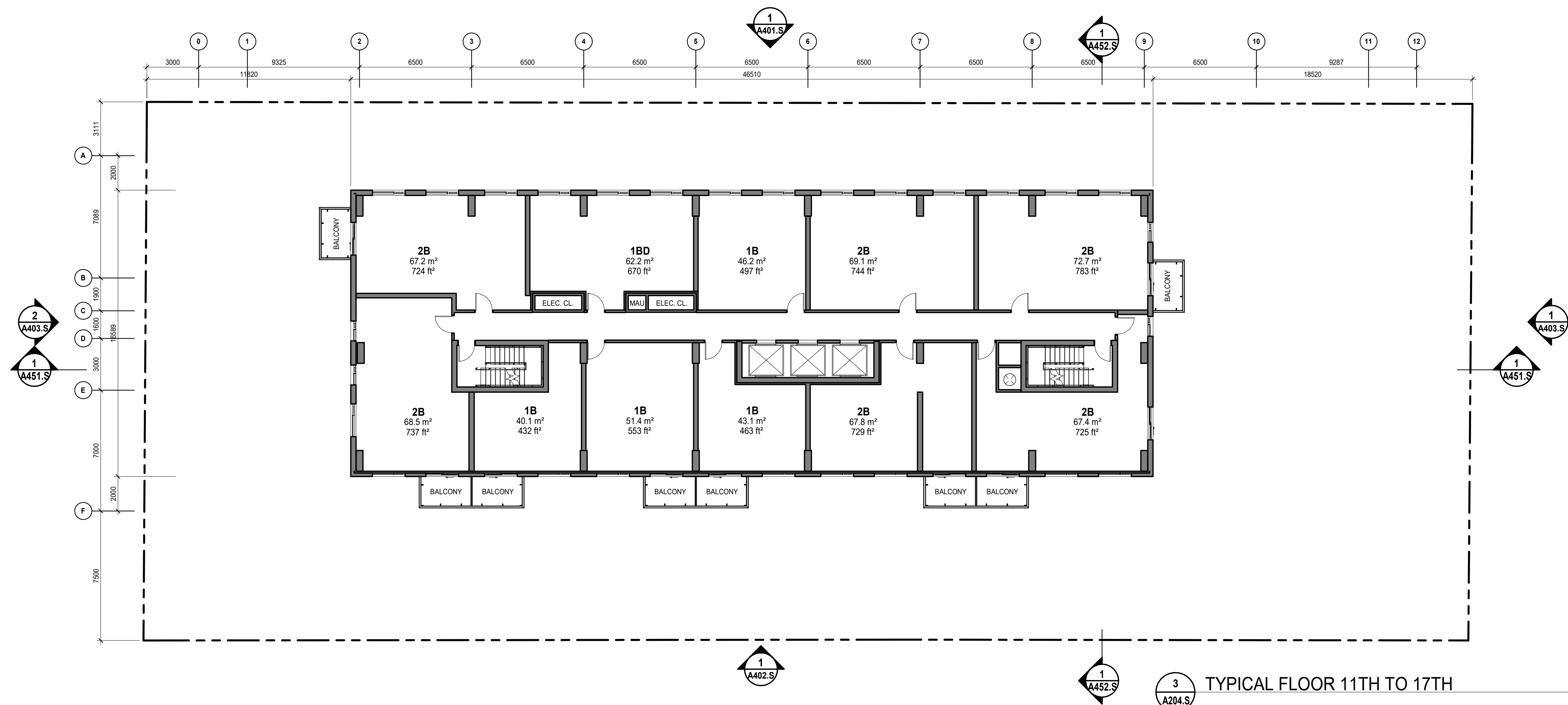
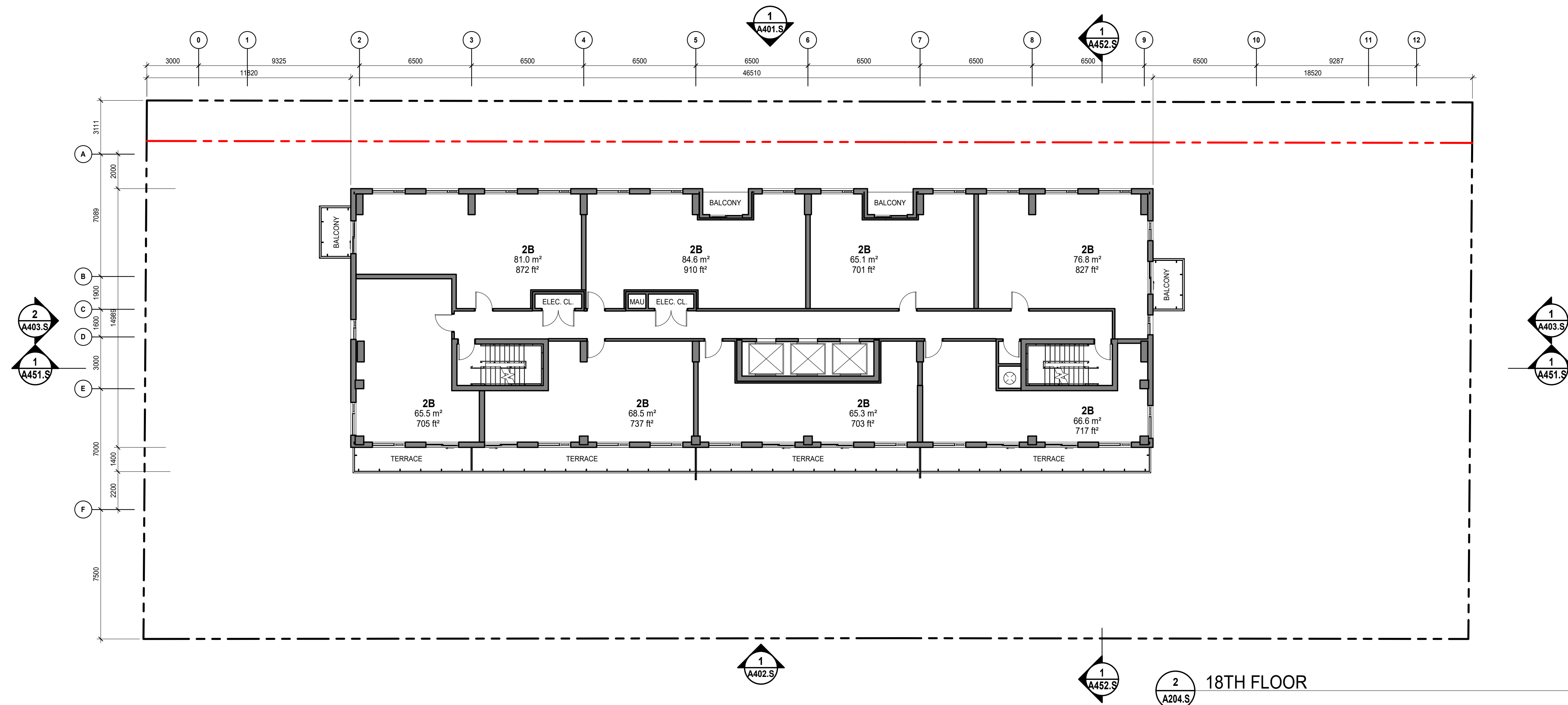
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Typical 8th to 9th and 10th Floor Plan

**A203.S**

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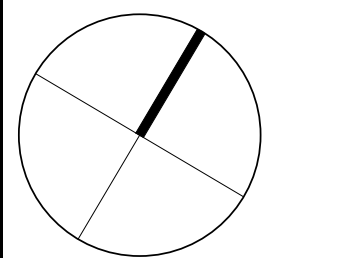




Date	No.	Description
<b>REVISION RECORD</b>		

2023-08-16		RE-ISSUED FOR REZONING APPLICATION
2023-03-07		RE-ISSUED FOR REZONING APPLICATION
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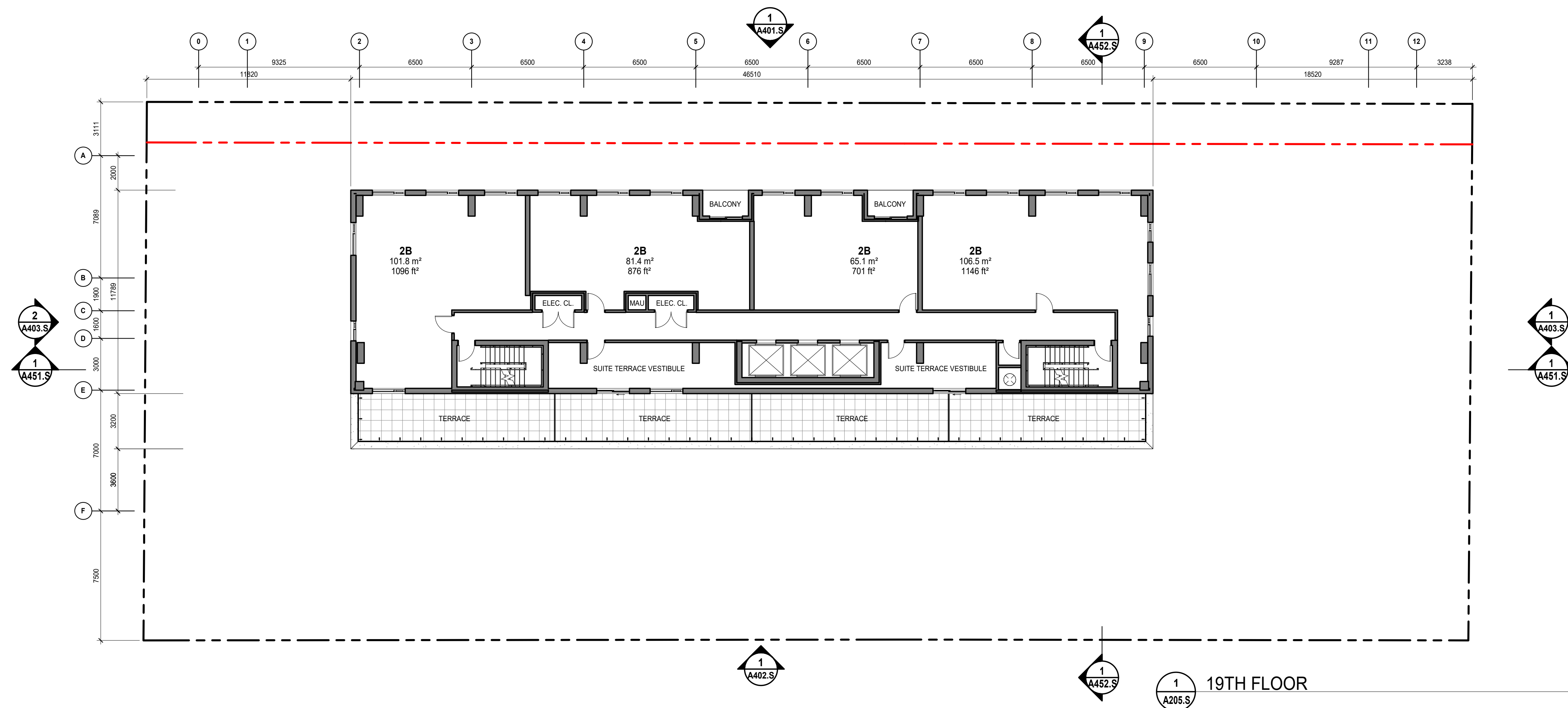
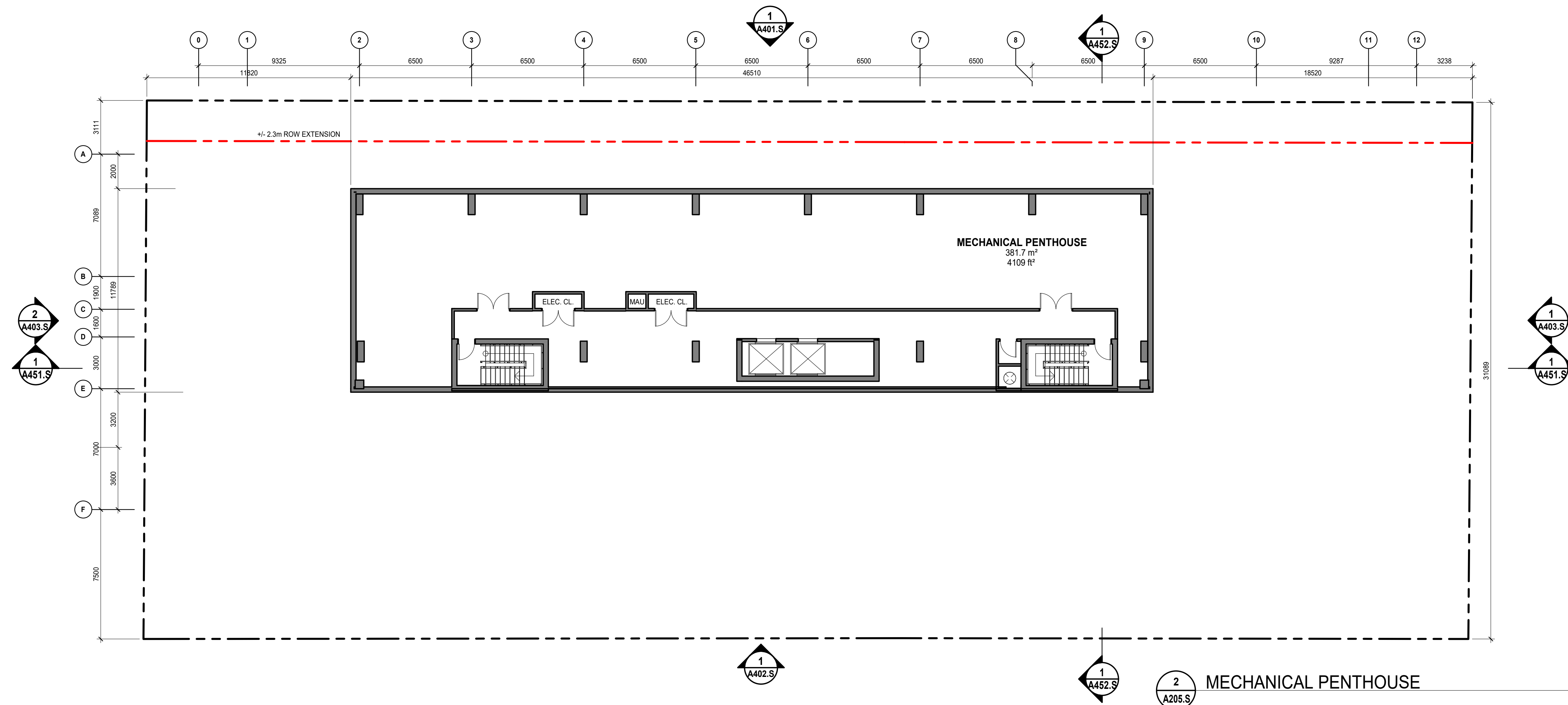
19048 1 : 150 Author Checker  
PROJECT SCALE DRAWN REVIEWED

Typical 11th to 17th and 18th Floor

**A204.S**

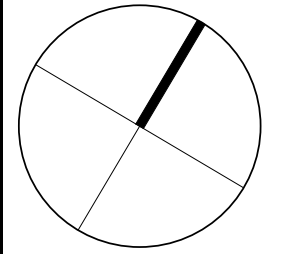
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Date	No.	Description
<b>REVISION RECORD</b>		
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2022-12-15	1	RE-ISSUED FOR REZONING APPLICATION
2021-04-30	1	RE-ISSUED FOR REZONING APPLICATION
2020-09-11	1	ISSUED FOR REZONING APPLICATION

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RN JS DRAWN REVIEWED

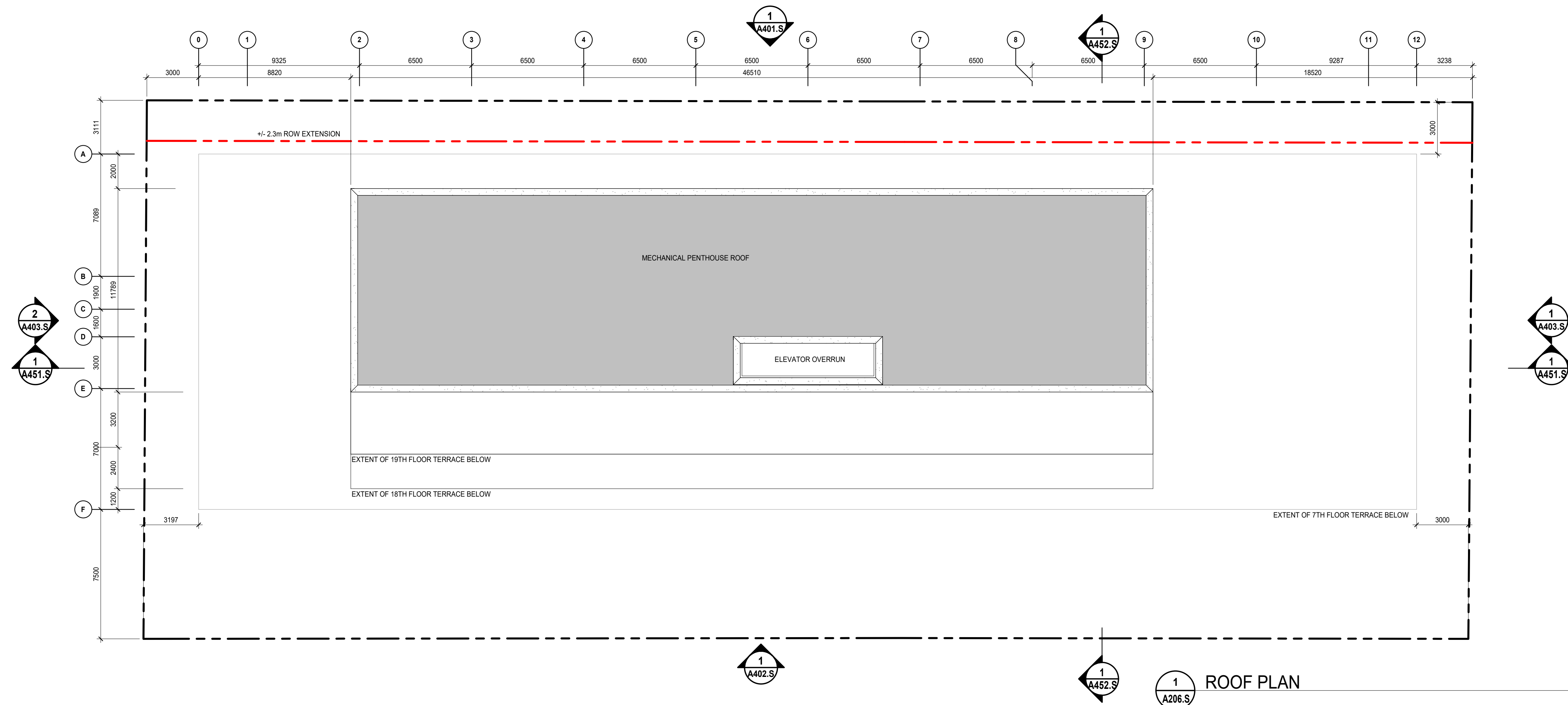
19th and Mechanical Penthouse  
Floor Plan

**A205.S**

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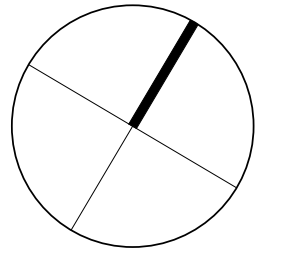
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1 A206.S ROOF PLAN

Date	No.	Description
<b>REVISION RECORD</b>		
2023-08-16		RE-ISSUED FOR REZONING APPLICATION
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RN JS  
DRAWN REVIEWED

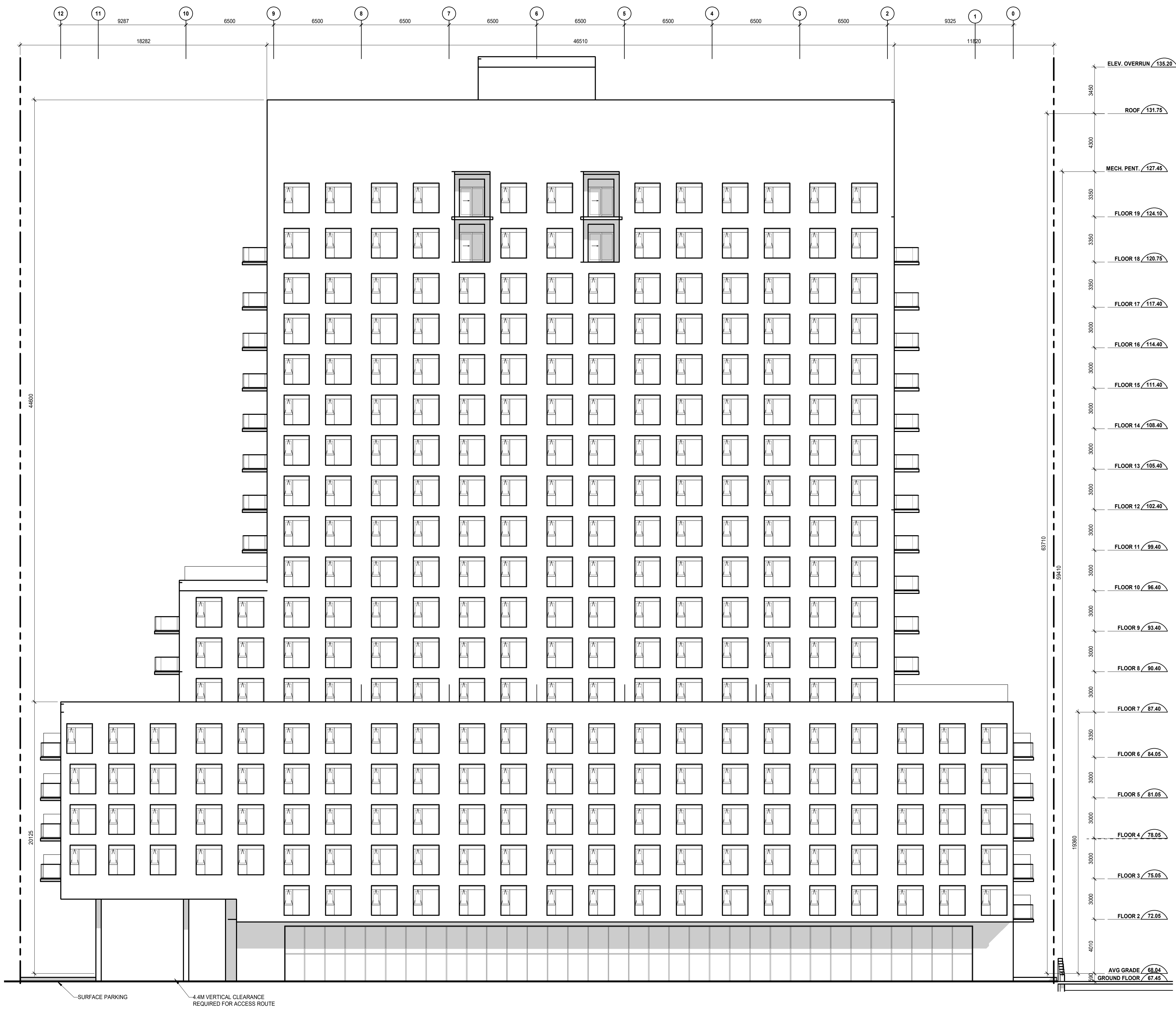
Roof Plan

**A206.S**

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2023-08-16		RE-ISSUED FOR REZONING APPLICATION
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2020-09-11		ISSUED FOR REZONING APPLICATION
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Building Elevations

**A401.S**

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1 NORTH ELEVATION  
A401.S

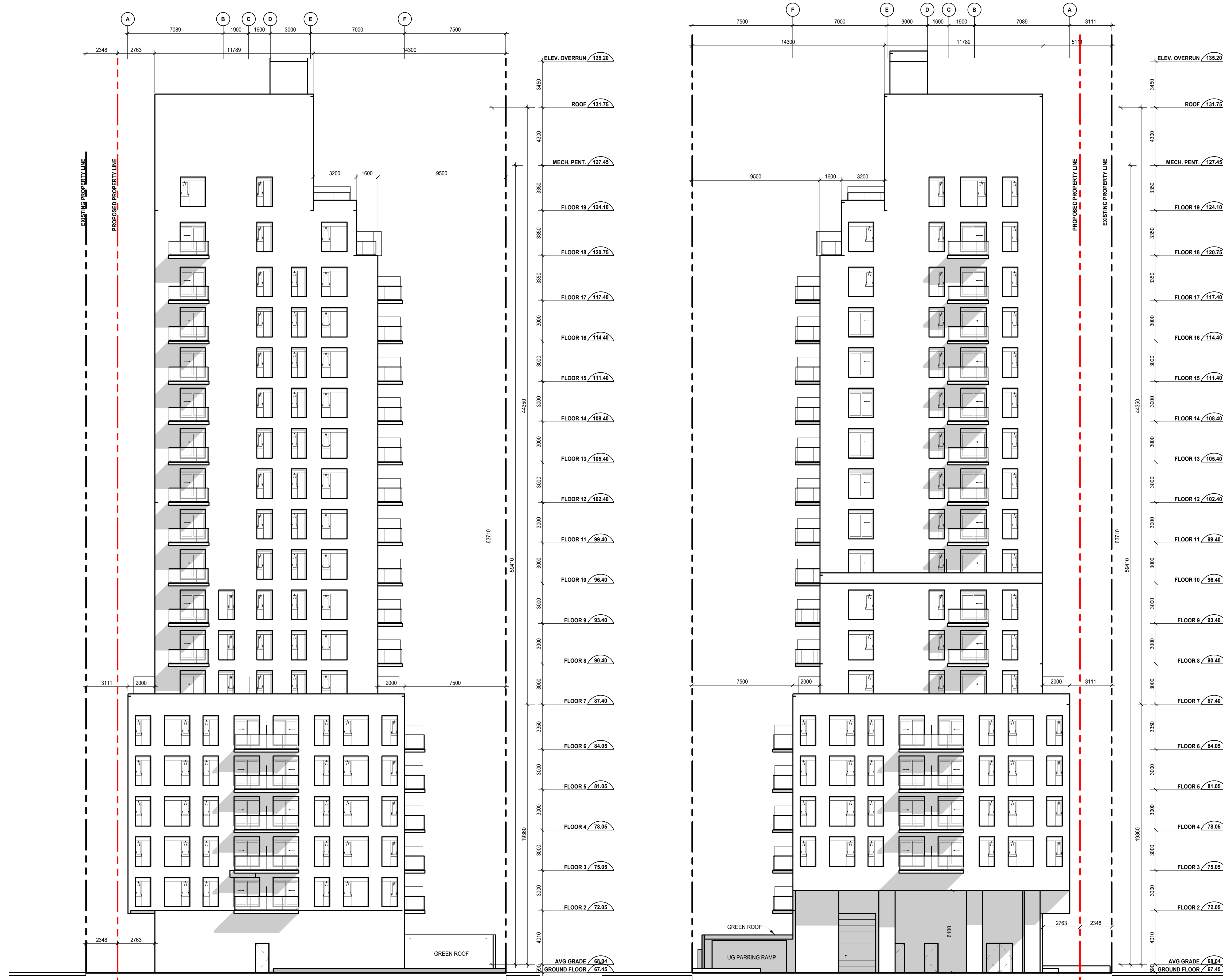
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2 WEST ELEVATION  
A403.S

1 EAST ELEVATION  
A403.S

Date	No.	Description
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2023-08-16		RE-ISSUED FOR REZONING APPLICATION
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2020-09-11		ISSUED FOR REZONING APPLICATION

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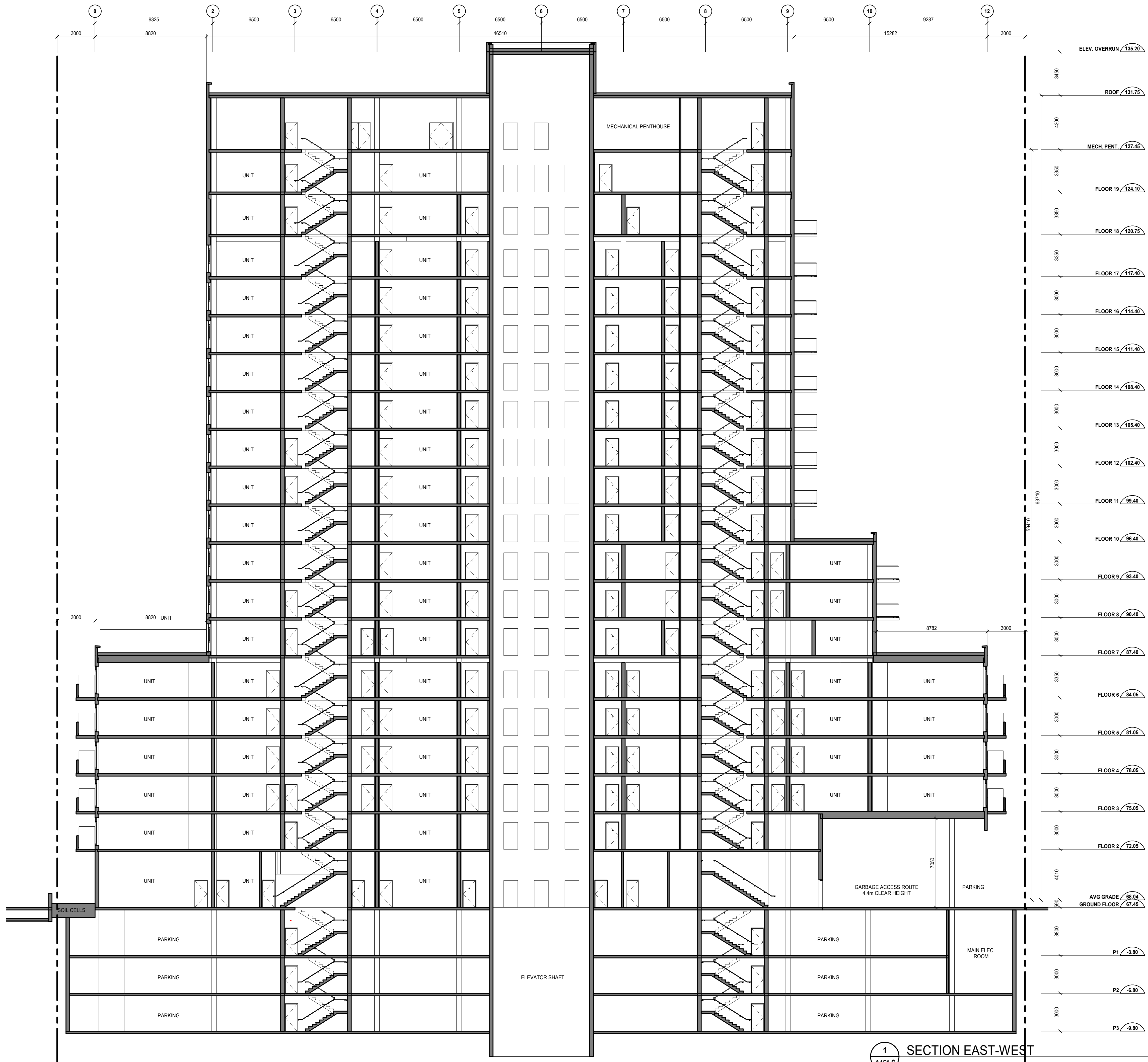
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PROJECT SCALE DRAWN REVIEWED

Building Elevations

**A403.S**

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Date	No.	Description
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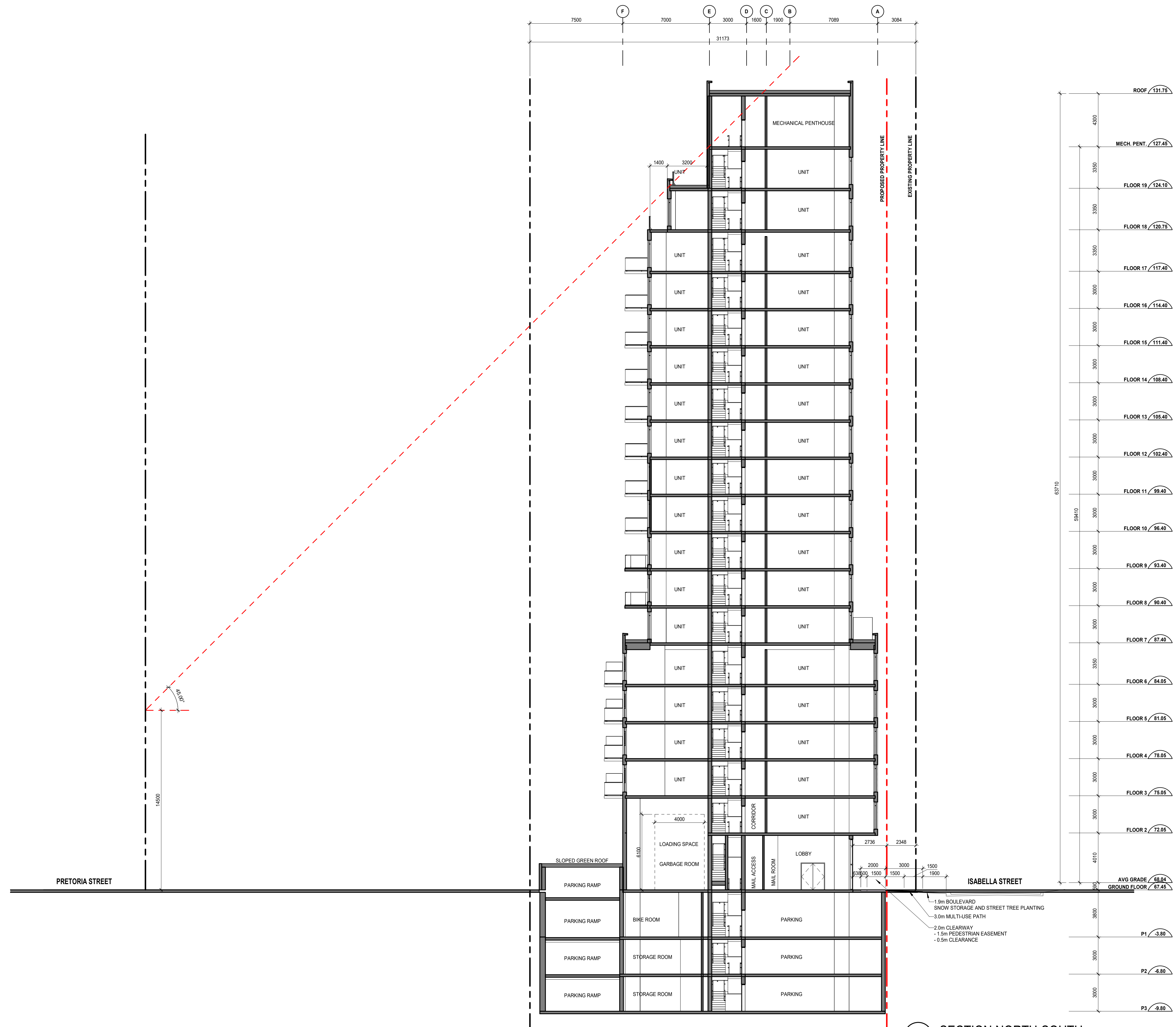
Building Section

**A451.S**

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1 SECTION EAST-WEST  
A451.S





1 SECTION NORTH-SOUTH  
A452.S

Date	No.	Description
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2023-08-16		RE-ISSUED FOR REZONING APPLICATION
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Building Section

**A452.S**

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