



Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

178-200 Isabella

Ottawa, Ontario

for
Minto Communities

Project No. 19048
Date 2020-09-11
Issued for REZONING APPLICATION

ARCHITECTURAL DRAWINGS

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STRUCTURAL ENGINEER

Adjeleian Allen Rubeli Ltd.
75 Albert Street, Suite 1005
Ottawa, On K1P 5E7
T 613 232 5786

MECHANICAL & ELECTRICAL ENGINEER

Quasar Consulting Group
1025-130 Slater Street
Ottawa, On
T 905 507 0800

PLANNING

Fotenn
396 Cooper St, Suite 300
Ottawa, ON K2P 0Z8
T 613 730 5709

LANDSCAPE ARCHITECT

DTAH
296 Park Road
Toronto, ON M4W 2N5
T 416 968 9479

SITE SERVICING

IBI Group
400-333 Preston Street
Ottawa ON K1S 5N4
T 613 225 1311

TRANSPORTATION

IBI Group
400-333 Preston Street
Ottawa ON K1S 5N4
T 613 225 1311

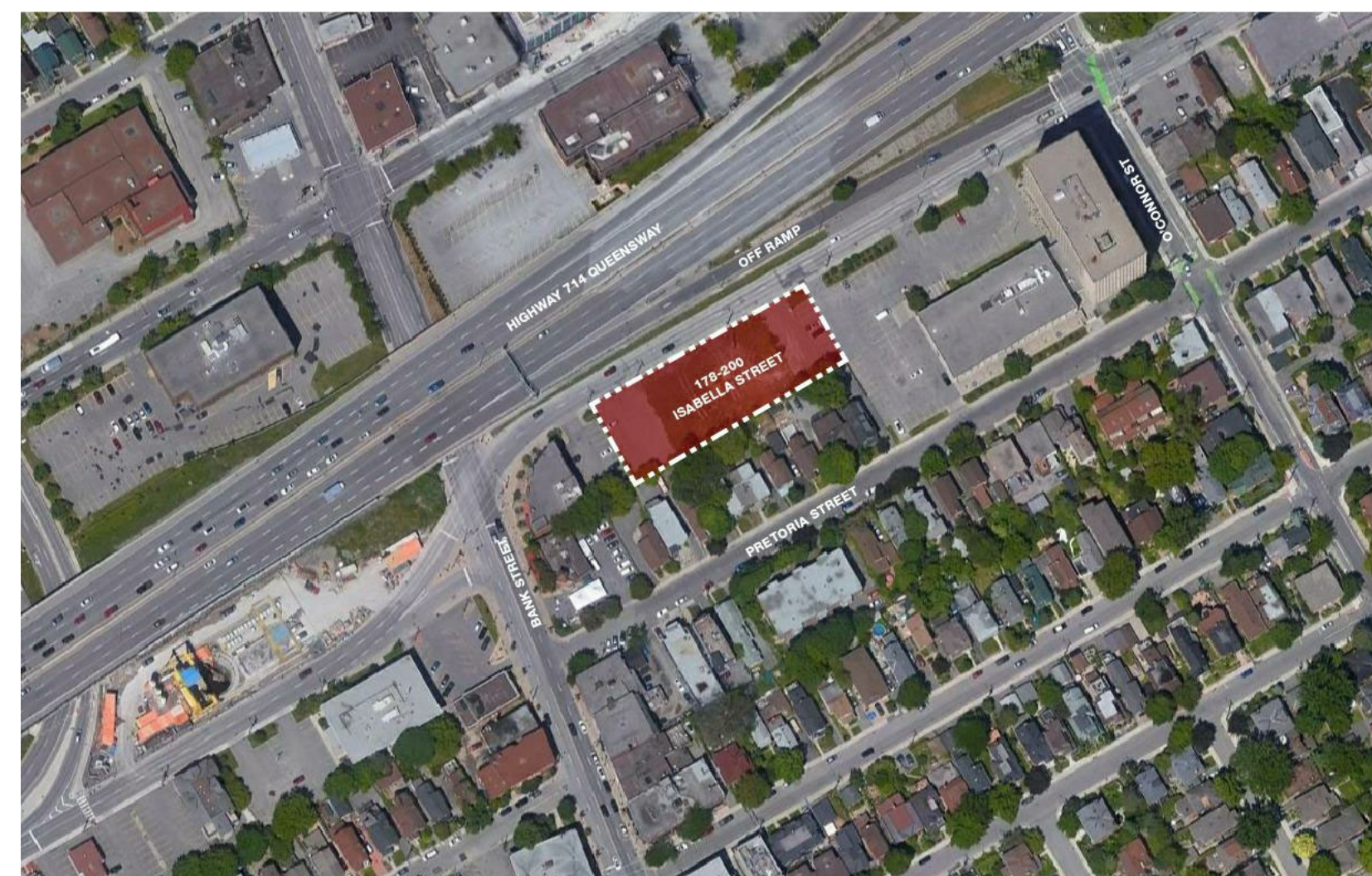
SURVEY

Stanlec
400-1331 Clyde Avenue
Ottawa, ON, K2C 2G4
T 613 784 2211

WIND & ACOUSTICS

Gradient Wind
127 Walgreen Road
Ottawa, ON K0A 1L0
T 613 836 0834

PROJECT STATISTICS SUMMARY	
Municipal Address:	178-200 Isabella Street
Lot Area	2391sqm
Zoning Bylaw 569-2013	GMS F(3.0)
Average Grade:	68.04
Building Height (Storeys): (excl. Mech Penthouse)	16
Building Height above Average Grade:	57.1
	(sm)
GFA - Residential Uses	16,417.00
GFA - Non-Residential Uses	355.00
By Law 569-2013, Total GFA	16,772.00
Floor Space Index (FSI)	4.46
Number of Residential Suites	251
	(sm)
Min. Residential Amenity Space Required	1,506.00
Total Residential Amenity Space Provided	2,327.00
Vehicular Parking Total Required	149
Vehicular Parking Total Provided	176
Bicycle Parking Total Required	127
Bicycle Parking Total Provided	131
Total Loading Spaces Required	1
Total Loading Spaces Provided	1



SUMMARY

CONTEXT PLAN

General Mixed Use Zone		Required	Provided	Bicycle Parking		Required	Provided	Loading Spaces		Required	Provided
VEHICULAR PARKING	Residential	0.5 x 239	120	149	Residential Long Term	(0.5/unit)	0.5 x 251	126	130	Residential	1
	Visitor (0.1dwelling unit)	0.1 x 239	24	29	Non-Residential	(1.0/1500sm)	1 x 0.24	1	1	Retail	355.00 sm
	Retail (1.25/100sm)	1.3 x 3.55	5	5	TOTAL			127	131	TOTAL	1
	TOTAL		149	179						Garbage Room Size (Residential only)	166
Included in the TOTAL above:				Change & Shower Facilities - Non-Residential		Change & Shower facility per gender required		Bulk Waste Storage Room		10	
				Number of Accessible Parking Spaces		7		7			
				Number of parking spaces dedicated for priority LEV parking		X		X			
				Number of parking spaces with EVSE		X		X			

Parking Space Location		NON-RESIDENTIAL		TOTAL	Residential		Required	Provided	NOTES
Level	RESIDENTIAL	Occupant	Visitor	Retail	Office	TOTAL			
Surface				4		4		1,069	sm
P1	15	25	1			41		578	461
P2	41					41		1,258.00	sm
P3	44					44		842	
P4	46					46		416	
TOTAL	146	25	5	0		176	1,506.00 sm	2,327.00 sm	

PARKING, LOADING AND AMENITY STATISTICS

Zoning Mechanism	Zoning Provision	Provided
Minimum Lot Area	No minimum	2391sm
Minimum Lot Width	No minimum	76.3m
Front Yard Setback	3m	3m
Interior Side Yard Setback	No Minimum	3m
Minimum Rear Yard Setback	7.5m	7.5m
Maximum Building Height	23.5m	57.11
Maximum Floor Space Index	3.0	4.46
Minimum Width of Landscaped Area	Abutting Isabella: 3m Abutting Rear Lot Line: 1m (with 1.4m opaque fence) Abutting Side Lot Lines: No minimum	Abutting Isabella: 5.3m Abutting Rear Lot Line: 0m Abutting Side Lot Lines: 3m west, 0m east
Amenity Area Requirements	6m² per unit, and 50% communal: 1,506m² total, 750m² communal; One area min 54m²	Communal - Interior: 1069m² Communal - Exterior: 416m² Private Balcones: 842m² Total: 2327m²
Access	Driveway: 6m (double-lane) Aisle in a parking garage: 5m	Driveway: 6m Aisle: 5m
Minimum Parking Spaces (Area X)	Residential: 0.5/unit after first 12 units (249-12)/0.5 = 120 Visitor: 0.1/unit after first 12 units - (251-12)/0.1 = 24 Retail: 1.25/100m² of GFA = 5 Total: 149	Residential: 146 Visitor: 25 Retail: 5 Total: 176
Bicycle Parking Spaces	Residential: 0.5/unit 251*0.5 = 126 Retail: 1.25/100 m² GFA: 2 Total: 128	Residential: 130 Retail: 1 Total: 131
Loading Spaces	0 required	1 provided

ZONING TABLE

Floor	No. Typ Floors	GBA Gross Building Area		GCA Gross Construction Area (no. w/losses)		GFA Exempt (m²)	City-Wide By-Law			Suite Breakdown						Res Saleable Area (c)	Office Useable Area (c)	Retail Useable Area (c)	Notes:
		sm	sf	sm	sf		GFA (Res)	sf	GFA (Non-Res)	sf	Bach <45sm	Bach >45sm	1 Bdrm +Den	2 Bdrm	2 Bdrm +Den				
Mech Penthouse	1	782.0	8,417.4	1,197.7	12,892.7	1,197.7		0.0	0.0										
16	1	1,197.0	12,884.4	1,424.0	15,327.6	400.0	1,024.0	11,022.2	0.0		2	4	1	7	14				
15	1	1,197.0	12,884.4	1,424.0	15,327.6	400.0	1,024.0	11,022.2	0.0		2	4	1	7	14				
14	1	1,197.0	12,884.4	1,424.0	15,327.6	400.0	1,024.0	11,022.2	0.0		2	4	1	7	14				
13	1	1,197.0	12,884.4	1,424.0	15,327.6	400.0	1,024.0	11,022.2	0.0		2	4	1	7	14				
12	1	1,197.0	12,884.4	1,424.0	15,327.6	400.0	1,024.0	11,022.2	0.0		2	4	1	7	14				
11	1	1,277.0	13,745.5	1,482.0	15,736.6	378.0	1,084.0	11,988.1	0.0		9	3	1	4	17				
10	1	1,277.0	13,745.5	1,482.0	15,736.6	378.0	1,084.0	11,988.1	0.0		9	3	1	4	17				
9	1	1,359.0	14,628.1	1,459.0	15,704.5	399.0	1,150.0	12,378.5	0.0		6	6	1	4	19				
8	1	1,359.0	14,628.1	1,459.0	15,704.5	399.0	1,150.0	12,378.5	0.0		6	6	1	4	19				
7	1	1,359.0	14,628.1	1,459.0	15,704.5	399.0	1,150.0	12,378.5	0.0		6	6	1	4	19				
6	1	1,359.0	14,628.1	1,459.0	15,704.5	399.0	1,150.0	12,378.5	0.0		6	6	1	4	19				
5	1	1,359.0	14,628.1	1,459.0	15,704.5	399.0	1,150.0	12,378.5	0.0		6	6	1	4	19				
4	1	1,352.0	14,552.9	1,445.0	15,553.8	393.0	1,142.0	12,292.4	0.0		6	6	1	4	19				
3	1	1,352.0	14,552.9	1,445.0	15,553.8	393.0	1,142.0	12,292.4	0.0		9	7	1	3	19				
2	1	1,356.0	14,586.8	1,402.0	15,091.0	788.0	698.0	654.5	0.0		4	1			5				
Mezzanine	1	979.0	10,537.9	979.0	10,537.9	683.0	286.0	318.1	0.0						0				
Ground	1	979.0	10,537.9	979.0	10,537.9	788.0	191.0	205.9	355.0	3821.2					5				
P1					2120.8	0.0													
P2					2120.8	0.0													
P3					2120.8	0.0													
TOTALS		18	22,134.0		33,260.1		16,417.0	355.0			0	0	89	70	13	79	0	251	
										TOTALS									
										0.0% 0.0% 38.6% 27.9% 5.2% 31.5% 0.0% 100% % of Suite Type									
										Average Unit Size by Unit Type									
										X X 554.1 636.8 769.0 1046.9 X									
										Non-Res GFA (RETAIL) 355.00 sm									
										Non-Res GFA (OFFICE) 0.00 sm									
										Total NON-RES GFA 355.00 sm									
										Total RESIDENTIAL 16,417.00 sm									
										Combined RES & NON-RES Gross Floor Area Totals									
										Res and Non-Res Floor Space Index									
										Floor Space Index (FSI)									
										R 16,772.0									
										C 4.30									
										C 0.09									

BUILDING STATISTICS

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178-200 Isabella
Ottawa, Ontario
for
Minto Communities

19048 Author Checker
PROJECT SCALE DRAWN REVIEWED

Statistics and Context Plan

A100.S

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417 Direction Est
HIGHWAY 417
QUEENSWAY

ISABELLA

Exit ramp 119
Bretelle de sortie 119

ISABELLA STREET (REGIONAL ROAD NO.62)



Stantec Geomatics Ltd.
400-1331 Clyde Avenue
Ottawa ON
Tel: 613-722-4420
www.stantec.com

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TOPOGRAPHIC SKETCH OF
PART OF LOT
REGISTERED PLAN
(GEOGRAPHIC TOWNSHIP OF)
CITY OF OTTAWA
REGIONAL MUNICIPALITY OF
Scale 1:100
Stantec Geomatics Ltd.
ONTARIO LAND SURVEYORS

BOUNDARY NOTE
BOUNDARY LINES AND INFORMATION IS COMPILED FROM PLAN 200300 AND IS NOT BASED ON ACTUAL SURVEY.
METRIC CONVERSION
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
BEARING NOTE
BEARINGS ARE REFERRED TO THE "LIMIT OF", AS SHOWN ON PLAN, HAVING A BEARING OF XXXXXX".
VERTICAL DATUM NOTE
ELEVATIONS ARE OF GEODETIC ORIGIN AND ARE DERIVED FROM ELEVATIONS REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1985) AND ARE DERIVED FROM BENCHMARK MONUMENT NO. 1, HAVING A PUBLISHED ELEVATION OF * METRES.
HORIZONTAL DATUM NOTE
PROJECTION: UNIVERSAL TRANSVERSE MERCATOR
DATUM: (NAD 83) (CGVD1985)
DISTANCES ON THIS PLAN MAY BE CONVERTED TO GROUND DISTANCES BY DIVIDING BY A COMBINED SCALE FACTOR OF 0.999900.

LEGEND
DENOTES FOUND INSTRUMENTS
IB IRON BAR
SB IRON ROD
SIB STANDARD IRON BAR
SIBB SHORT STANDARD IRON BAR
CC CUT CROSS
CP CONCRETE PIN
WT WELDED
PNS PREFIX IDENTIFICATION NUMBER
AL/MEAS MEASURED
PROP PROPOSED
OU ORIGIN UNKNOWN
STAT/EC STANTEC GEOMATICS LTD.
PI PLAN

UNDERGROUND TELEPHONE
UNDERGROUND HYDRO
WATERMAIN
GASMAIN
STORMSEWER
UNDERGROUND FIBRE OPTIC

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THE SURVEY WAS COMPLETED ON THE DAY OF, 2020.

DATE: _____ BRIAN J. WEBSTER
ONTARIO LAND SURVEYOR
DRAWN: * CHECKED: * P.A. * FIELD: * PROJECT No.: 16140000-111

TOPOGRAPHIC LEGEND
AND SURVEY INFORMATION

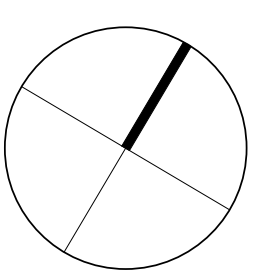
SITE PLAN LEGEND	
	PROPERTY LINE
	LINE OF UNDER GROUND GARAGE BELOW
	MAIN BUILDING ENTRANCE
	RETAIL ENTRANCE
	EXIT
	VEHICLE / LOADING ENTRANCE / EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	MANHOLE COVER
	AREA DRAIN
	CATCH BASIN
	FLOOR DRAIN
	EXISTING LIGHT
	FINISH FLOOR ELEVATION
	EXISTING ELEVATION
	PROPOSED ELEVATION
	TOP OF ROOF
	BUILDING ENVELOPE
	FIRE ACCESS ROUTE HEAVY DUTY PAVING. ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.

Date: _____ No. _____ Description: _____

REVISION RECORD

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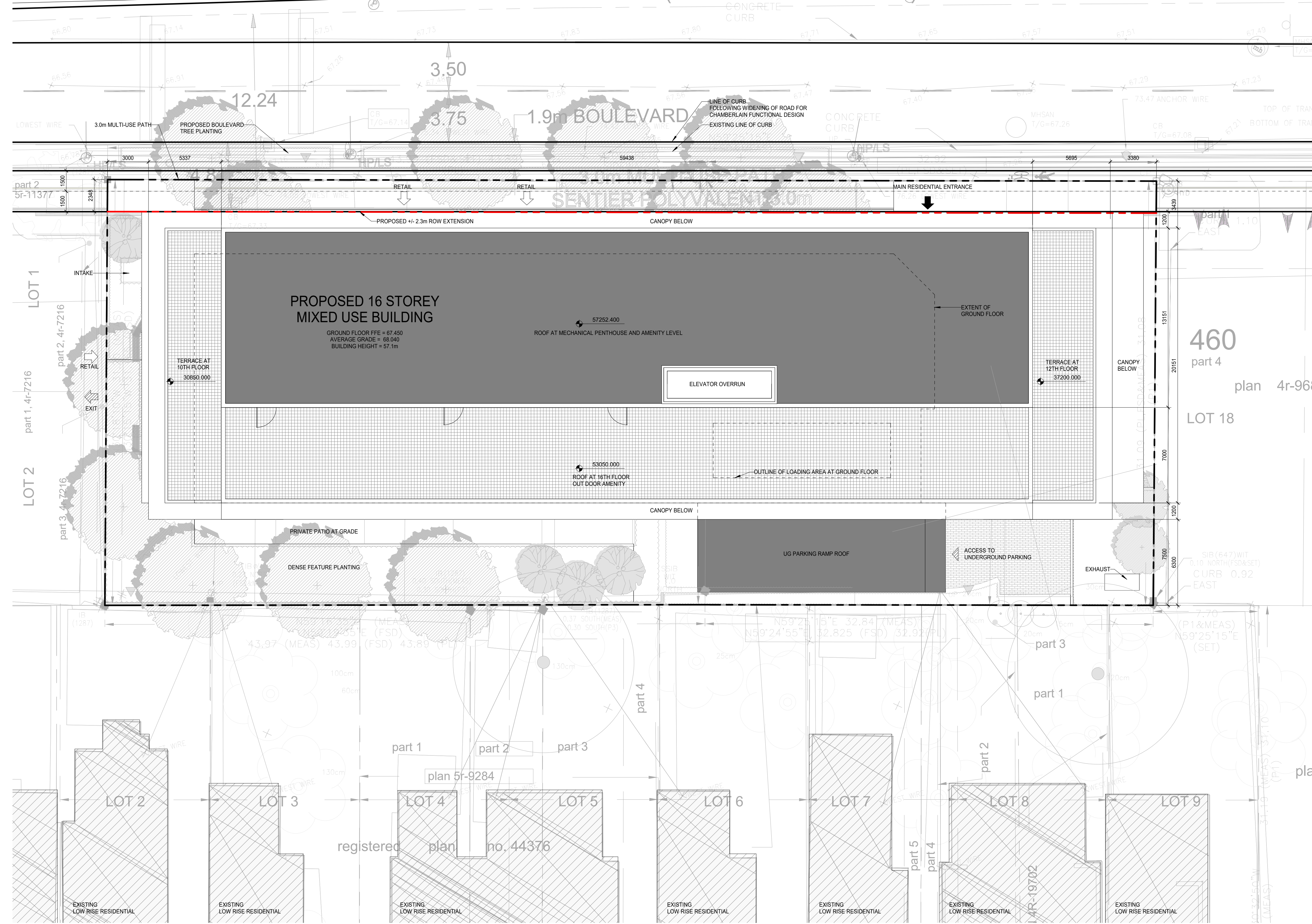
178-200 Isabella
Ottawa, Ontario
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Minto Communities

19048 As indicated Author Checker
PROJECT SCALE DRAWN REVIEWED

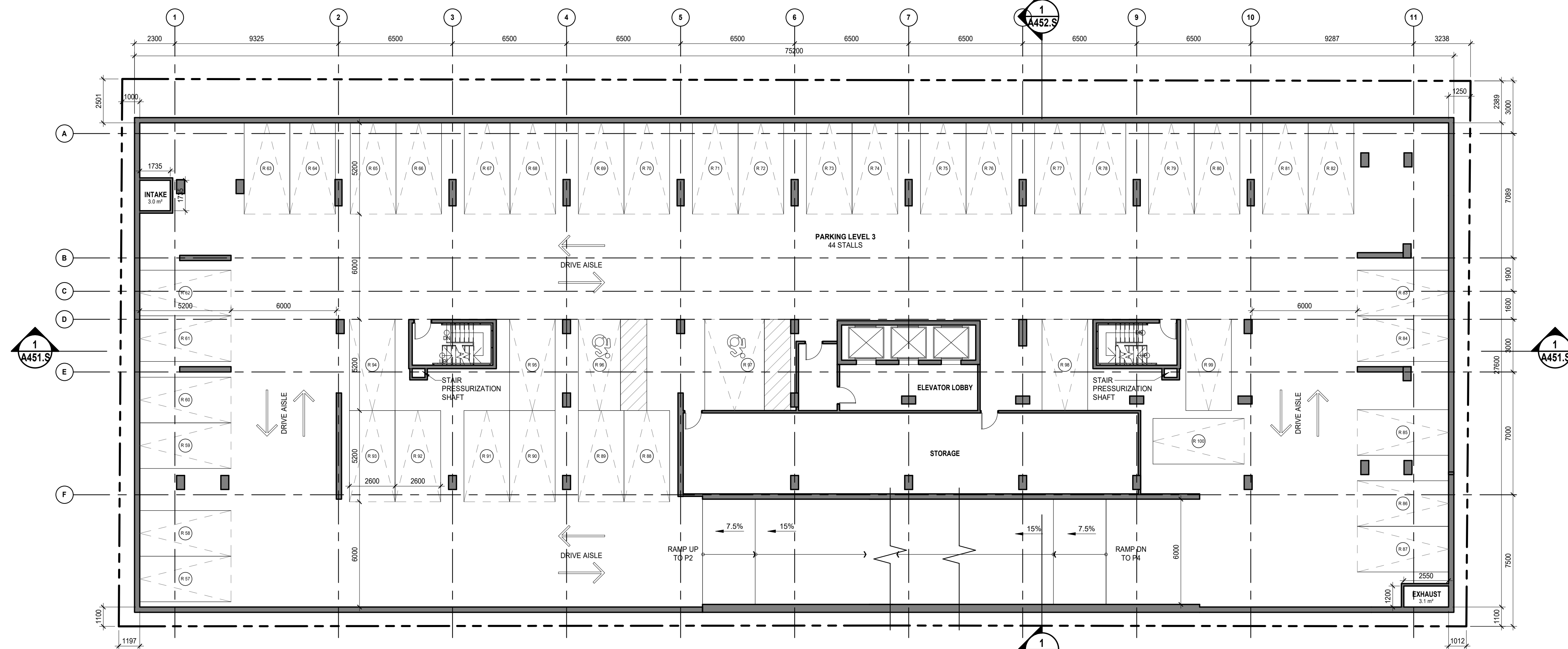
Site Plan

A101.S

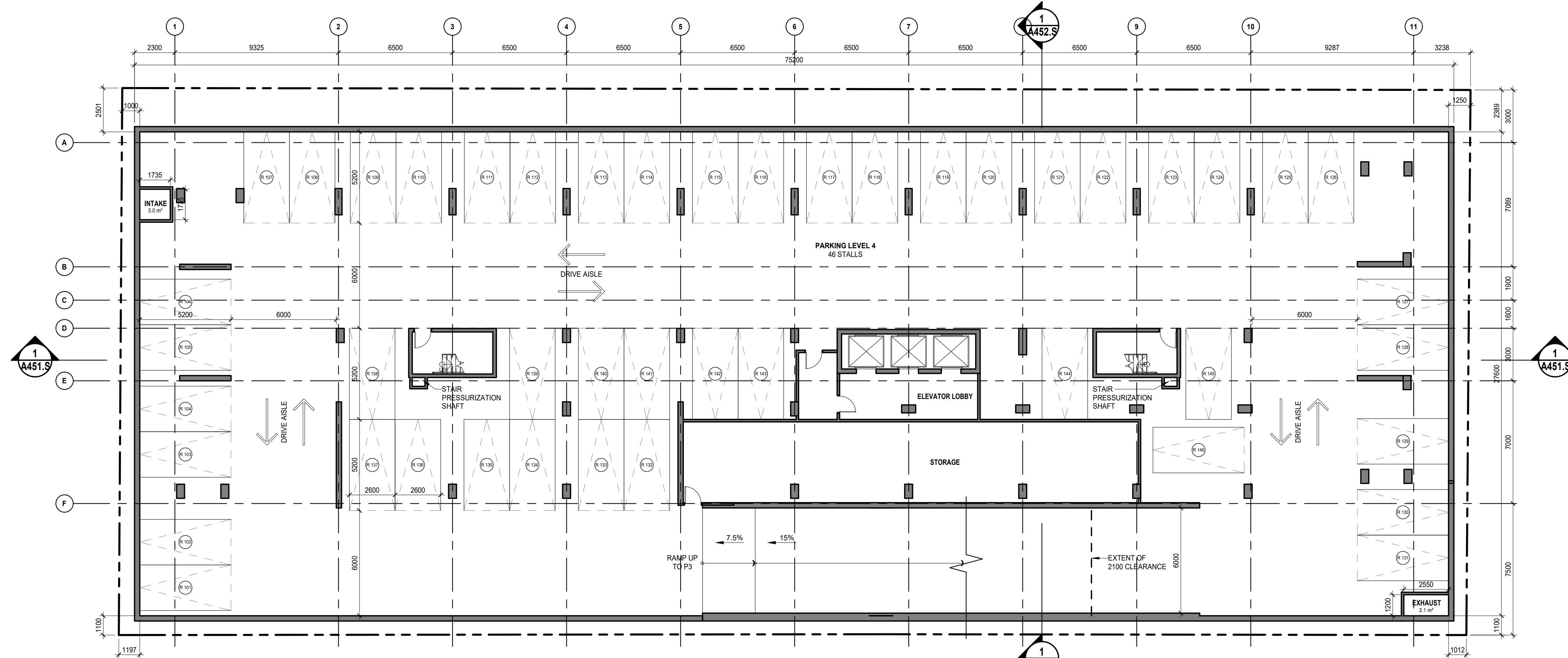
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1 SITE PLAN
A101.S

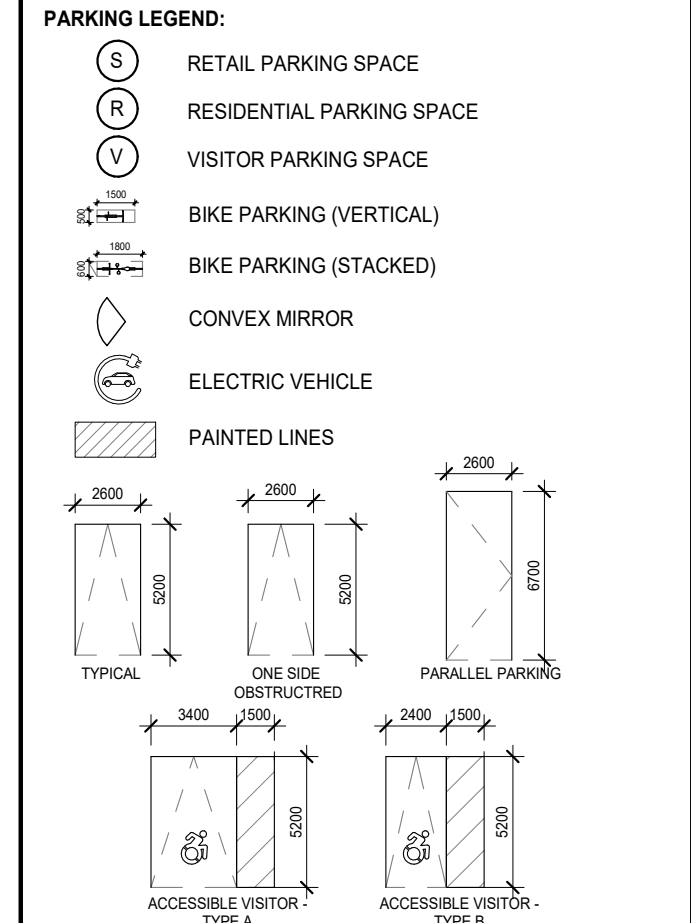


2 P3 Underground
A102.S



1 P4 Underground
A102.S

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2500mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
 - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
 - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.



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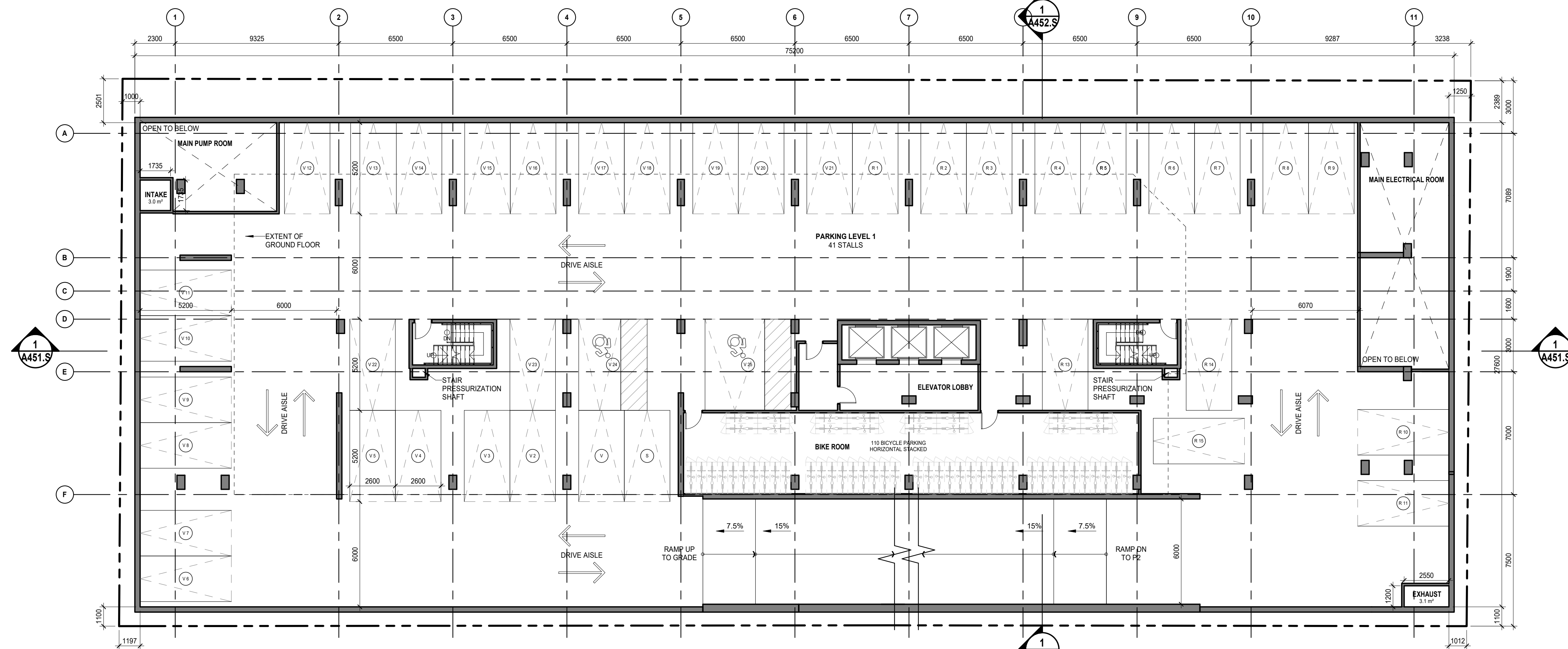
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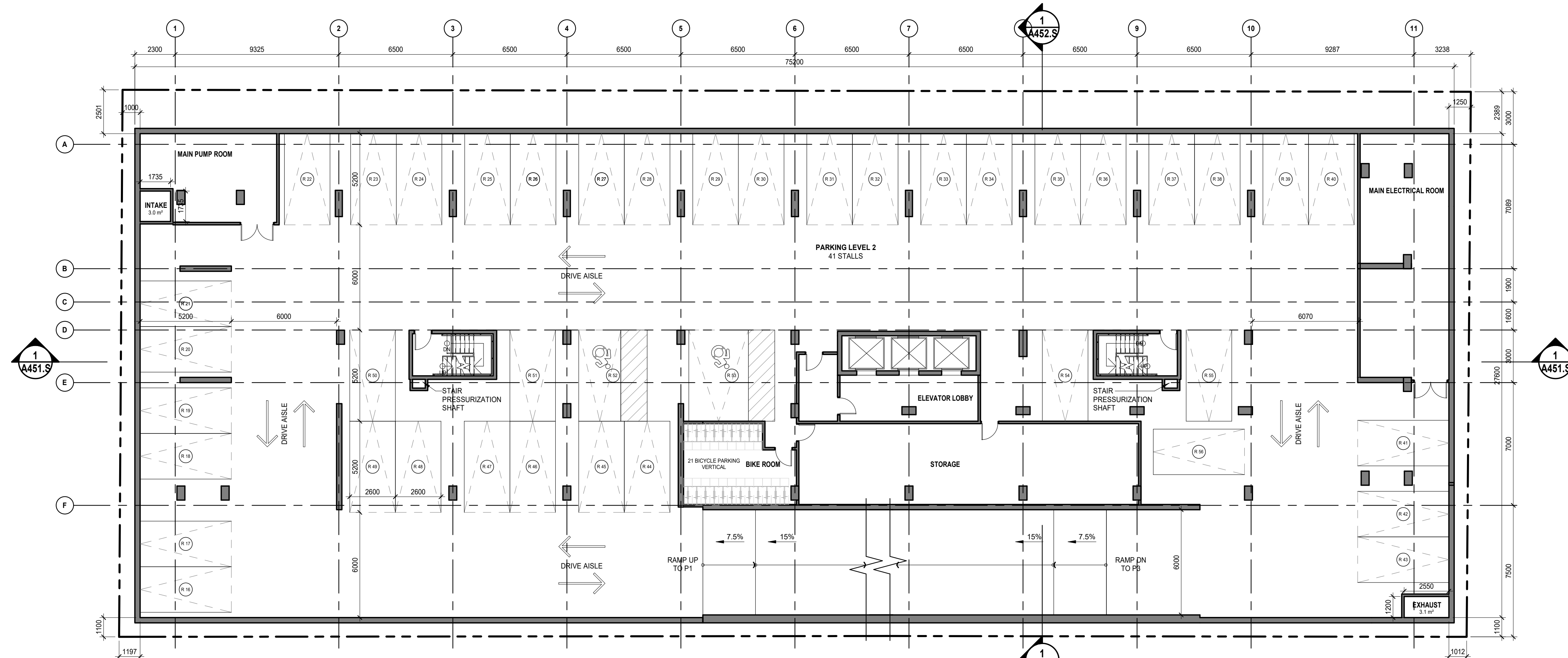
P4 and P3 Underground

A102.S

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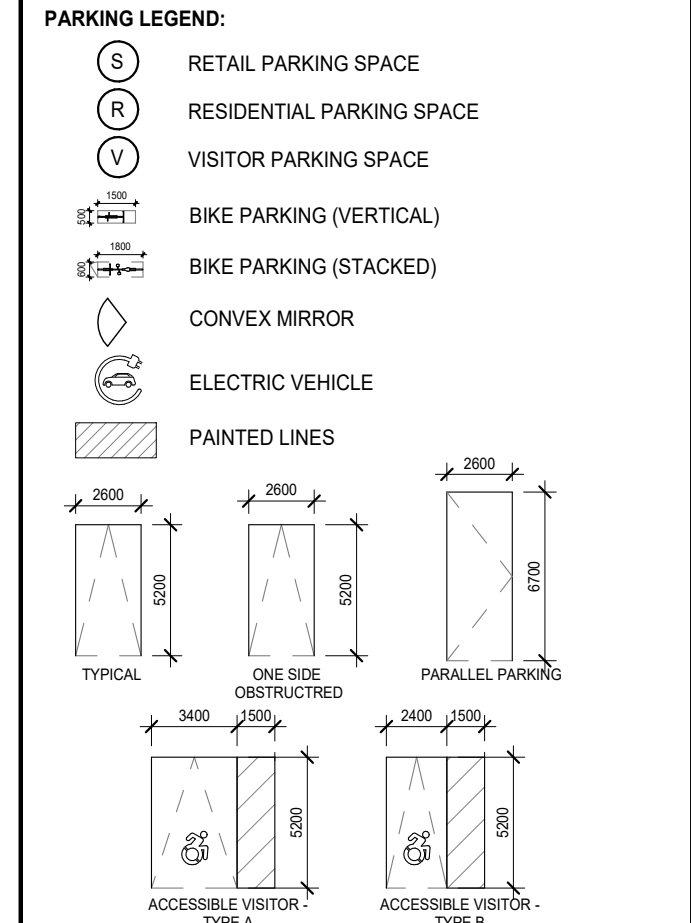


2 P1 Underground
A103.S



1 P2 Underground
A103.S

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2800mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
 - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
 - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.



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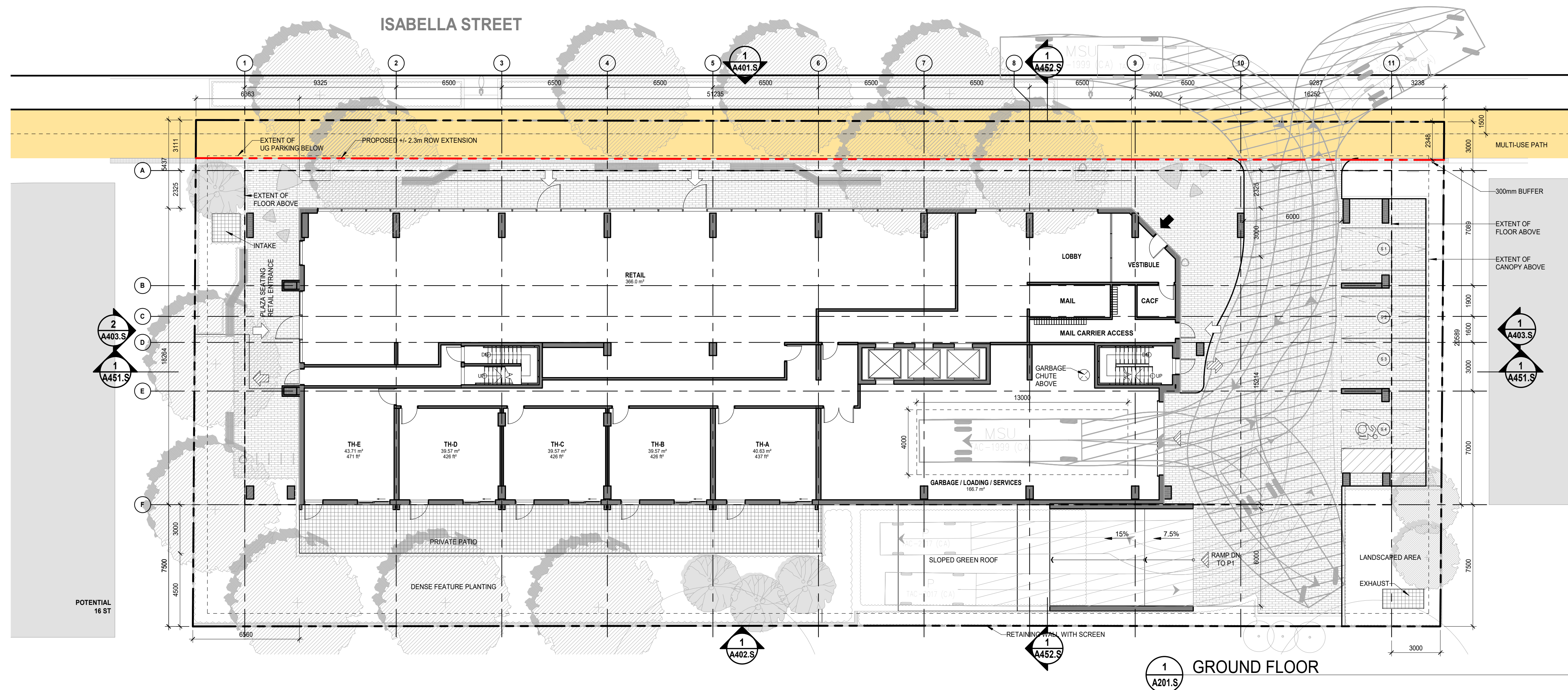
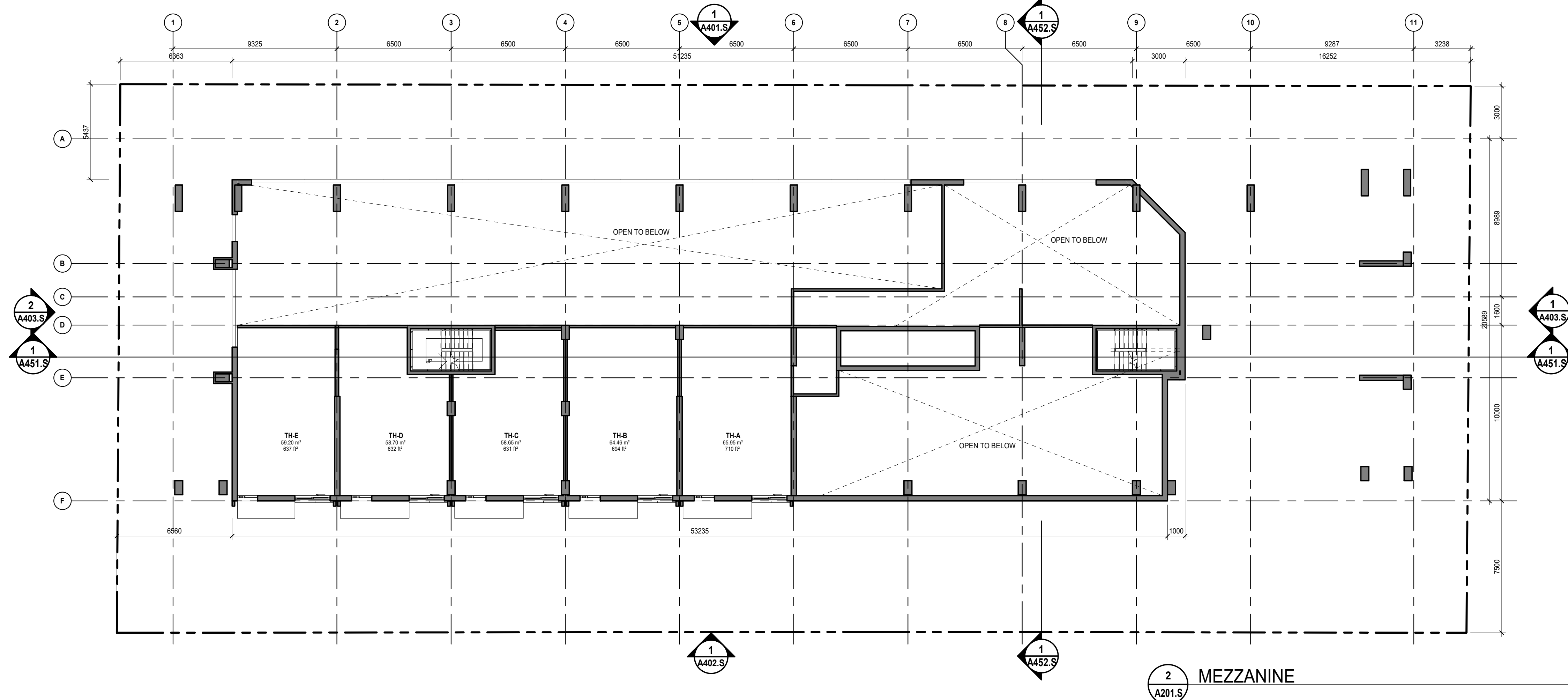
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P2 and P1 Underground

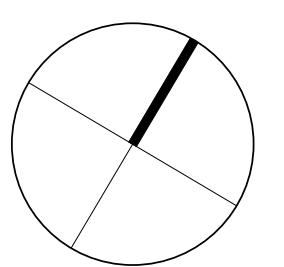
A103.S

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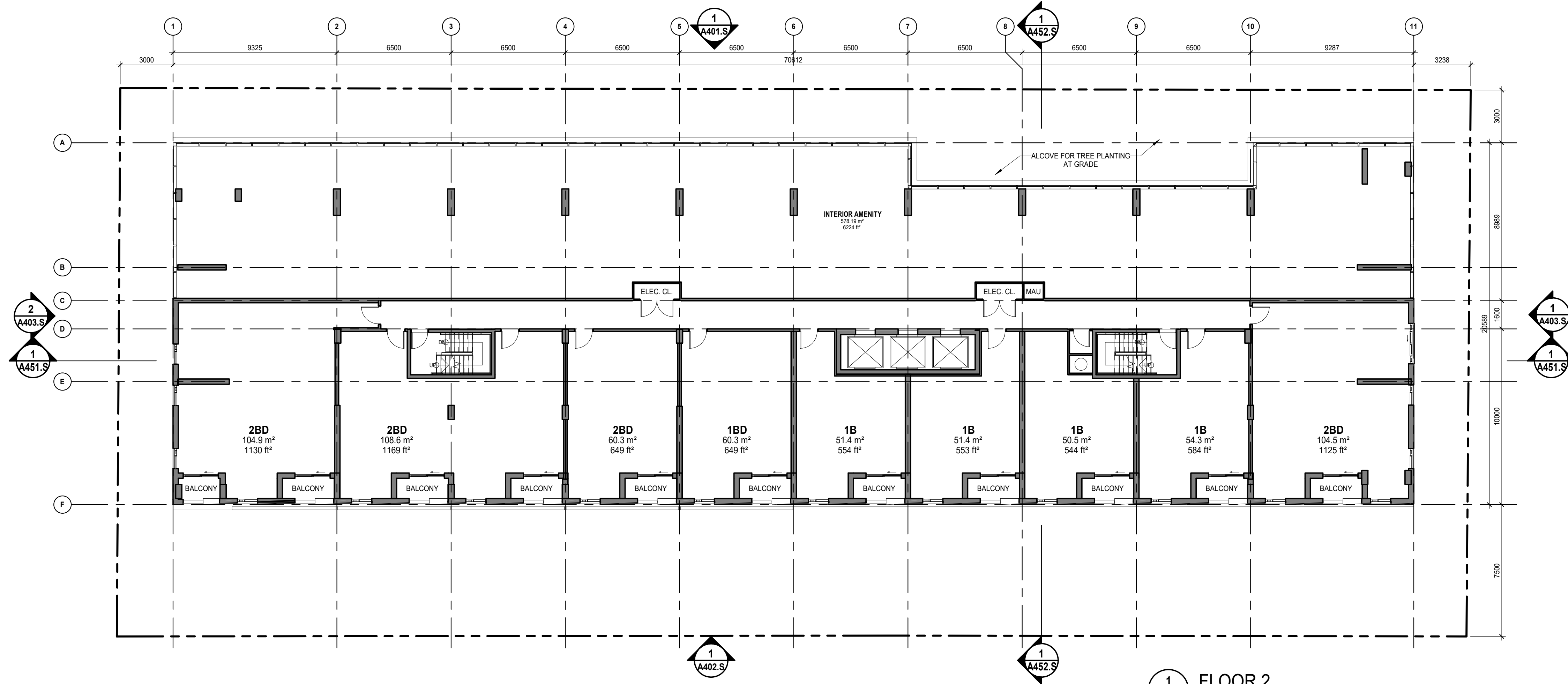
Ground and Mezzanine Floor
Plan

A201.S

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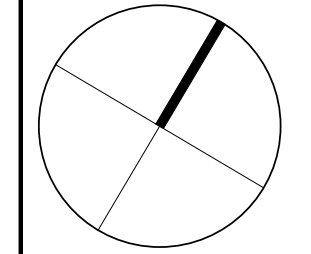
2 FLOOR 3



1 FLOOR 2

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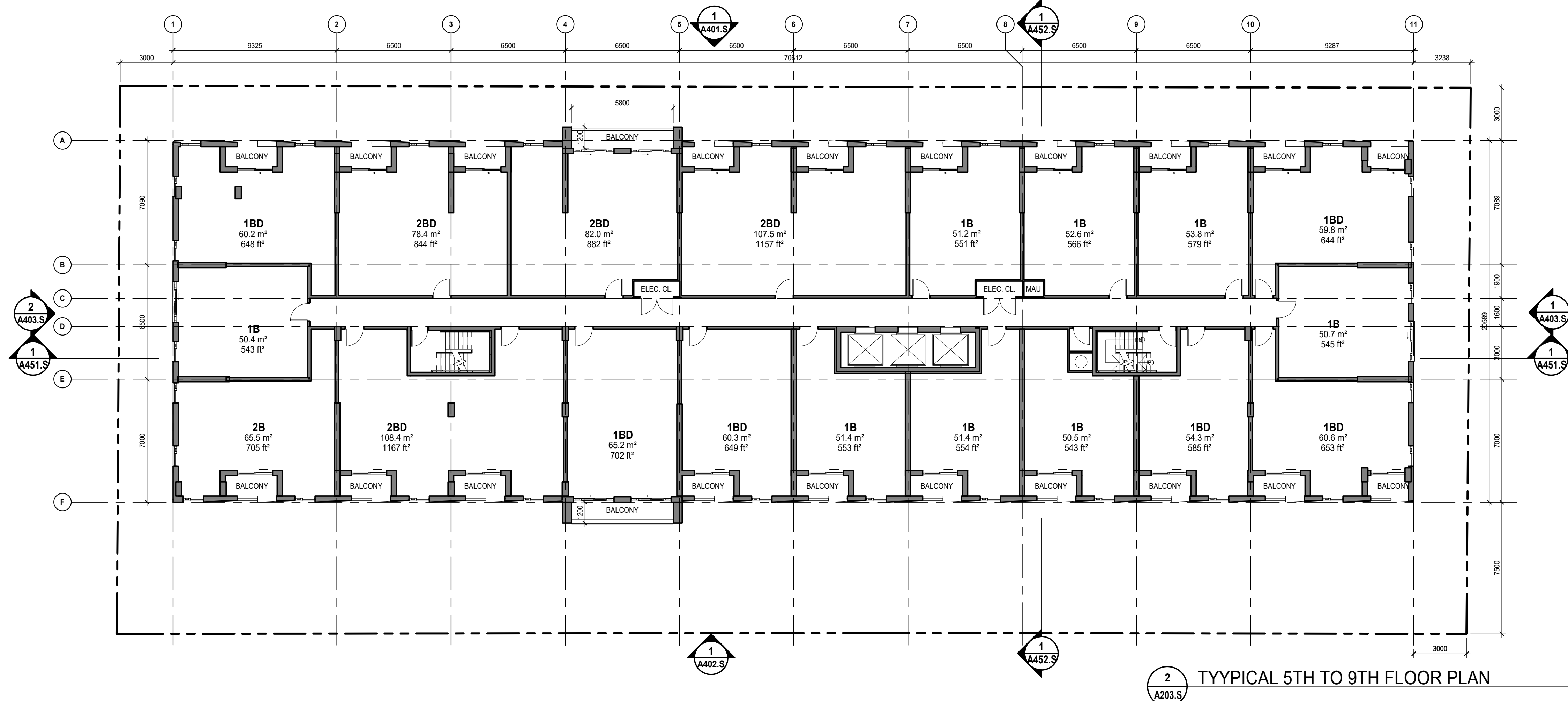
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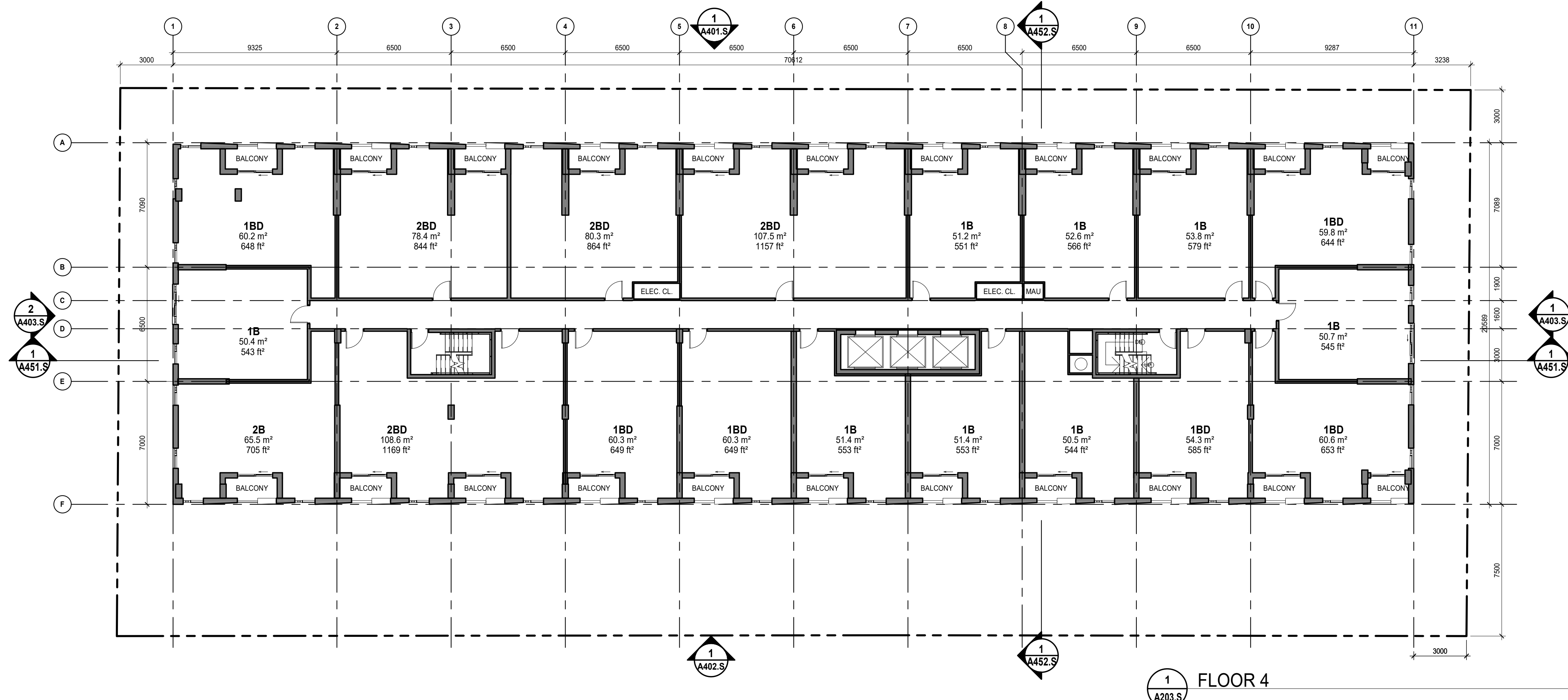
2nd and 3rd Floor Plan

A202.S

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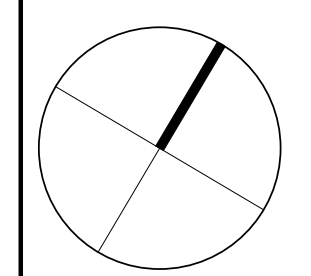
2 TYPICAL 5TH TO 9TH FLOOR PLAN



1 FLOOR 4

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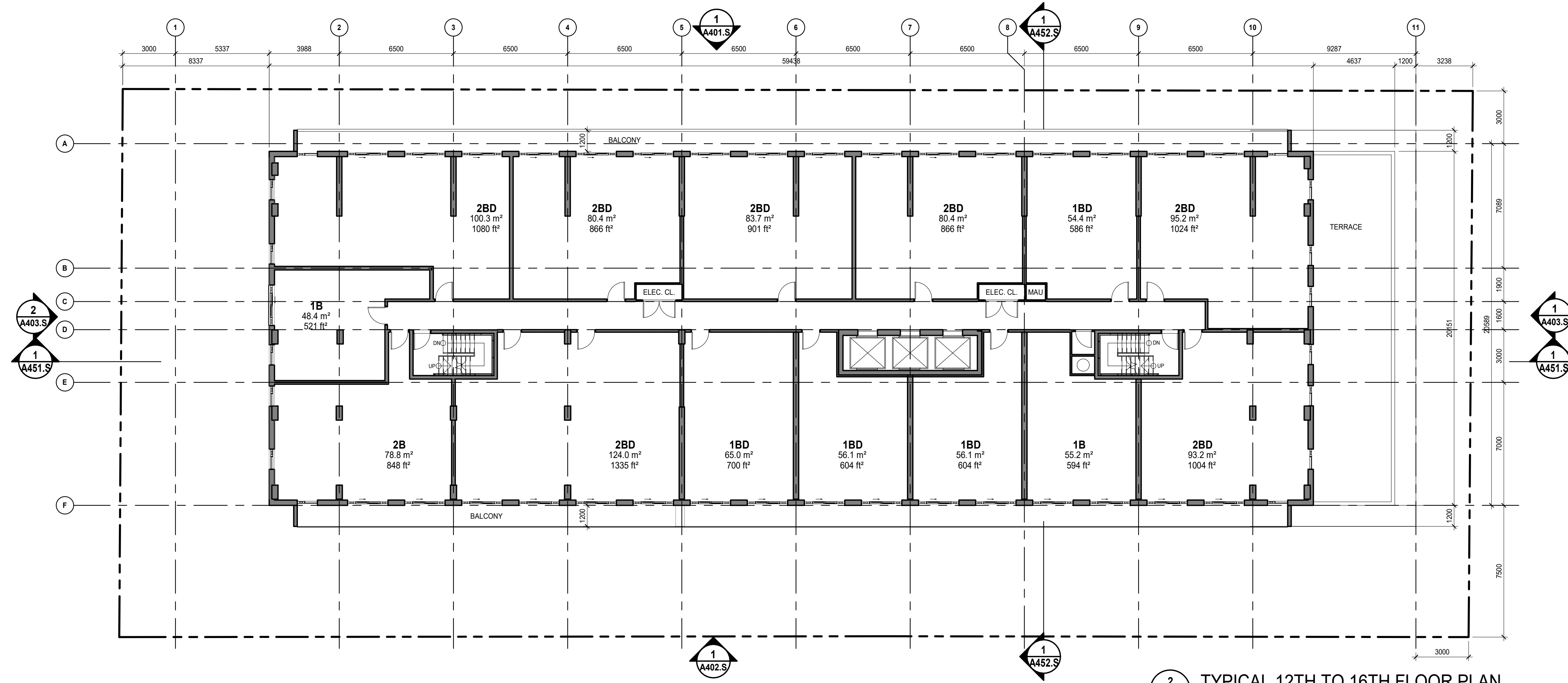
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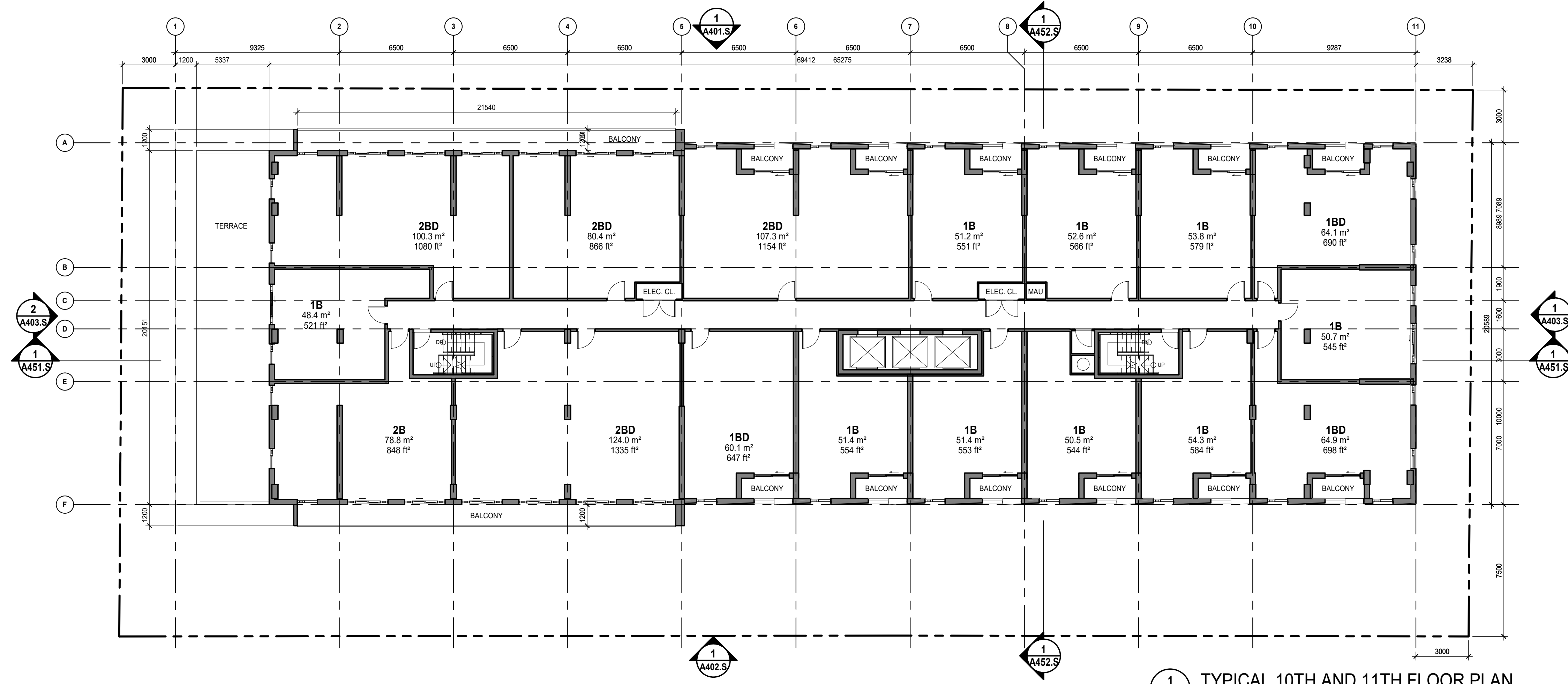
4th and Typical 5th to 9th Floor Plan

A203.S

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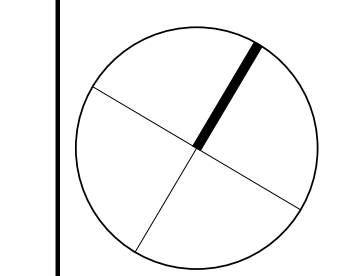
2 TYPICAL 12TH TO 16TH FLOOR PLAN
A204.S



1 TYPICAL 10TH AND 11TH FLOOR PLAN
A204.S

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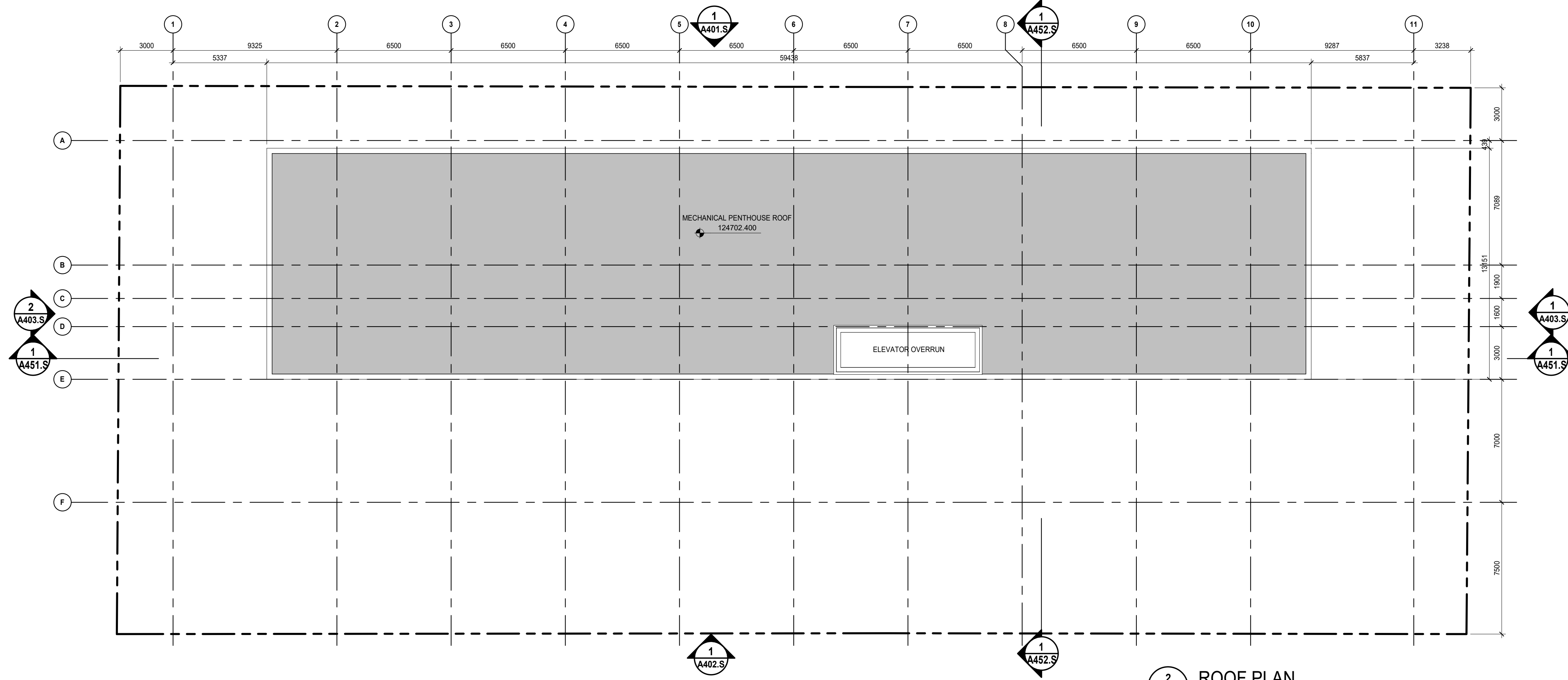
178-200 Isabella
Ottawa, Ontario
for
Minto Communities

19048 1 : 150 Author Checker
PROJECT SCALE DRAWN REVIEWED

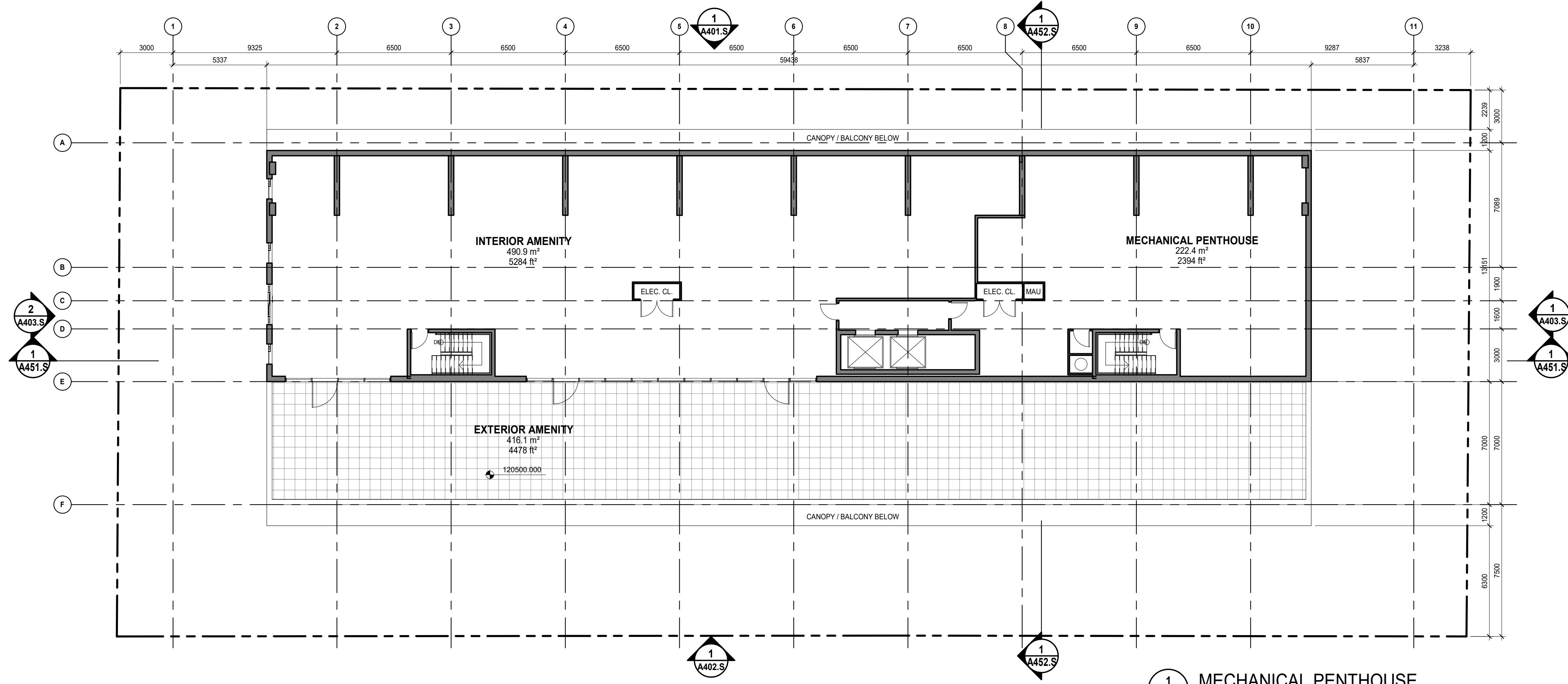
Typical 10th to 11th and Typical
12th to 16th Floor Plan

A204.S

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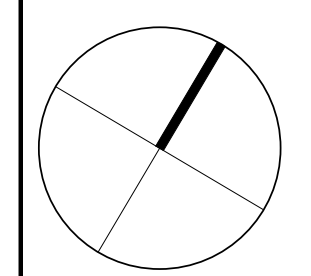
2 ROOF PLAN
A205.S



1 MECHANICAL PENTHOUSE
A205.S

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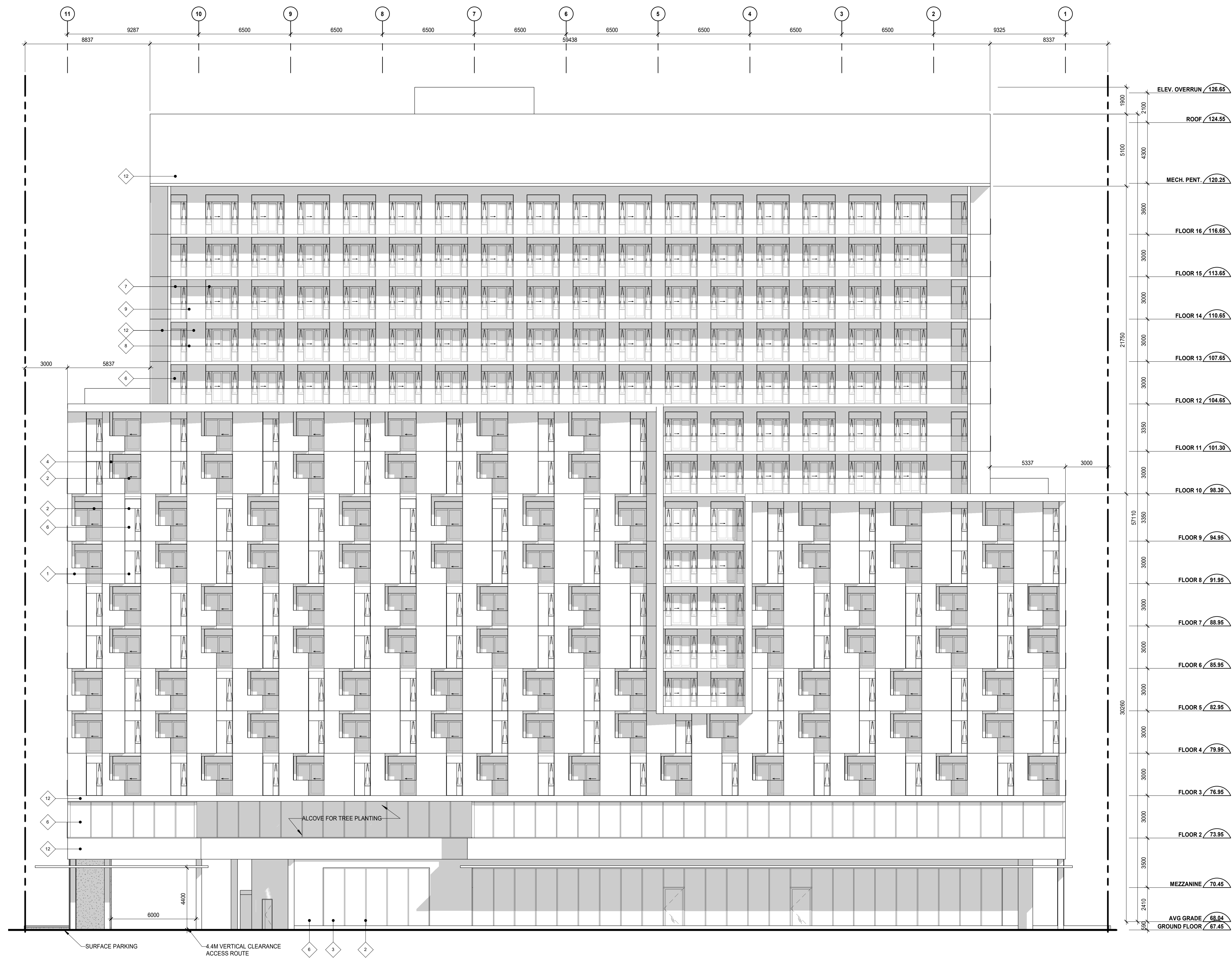
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Mechanical Penthouse and Roof
Plan

A205.S

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1 NORTH ELEVATION
A401.S

LEGEND:

- RAKED CONCRETE
- BRUSHED ANTIQUE BRASS
- REFINED PRECAST
- COLOURED PRECAST CONCRETE PANELS
- VISION GLASS
- BRUSHED NICKEL
- STAINLESS STEEL
- FLUTED GLASS
- DARK PRECAST CONCRETE FRAME
- PRECAST ARCHITECTURAL CONCRETE

Date No. Description

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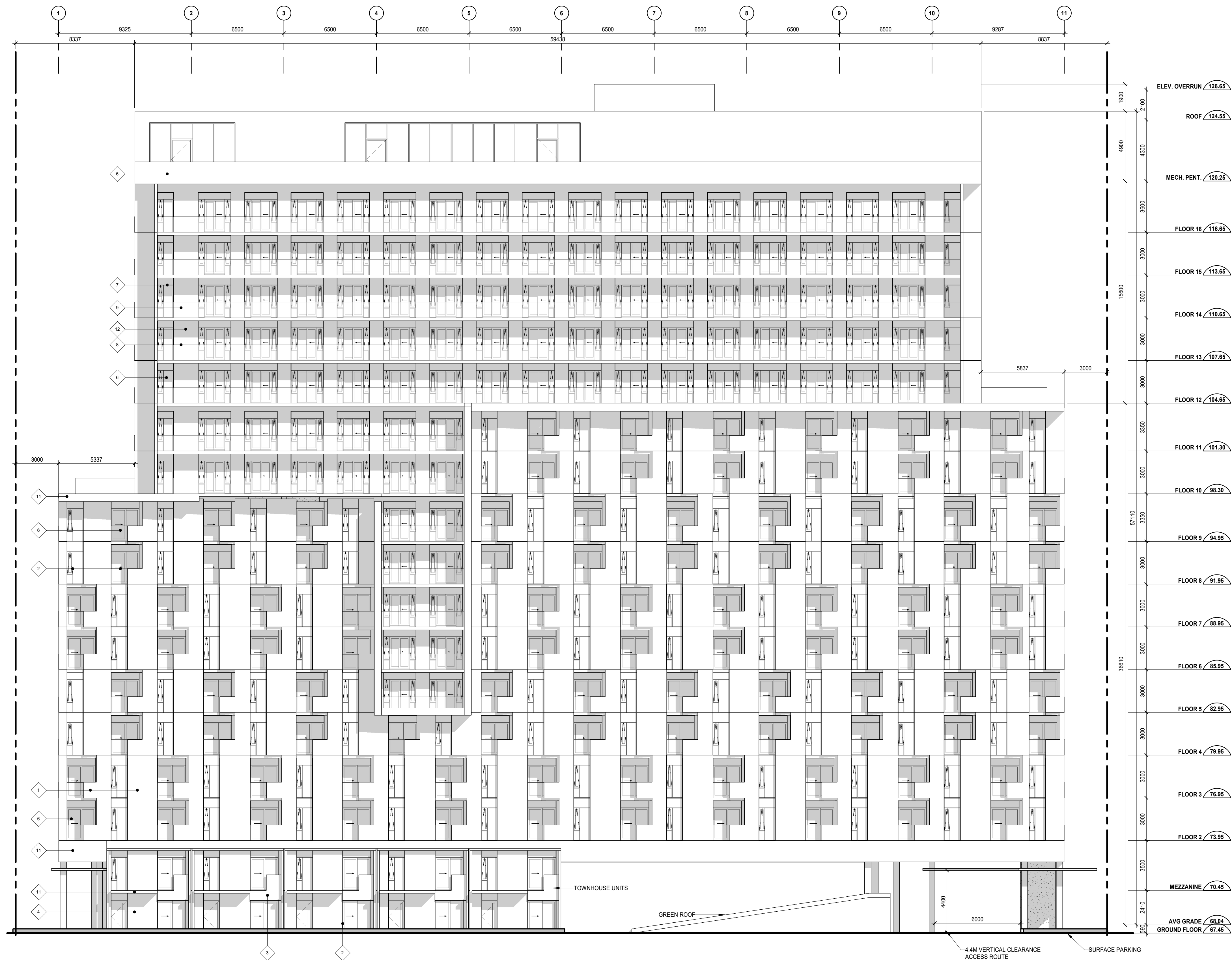
Building Elevations

A401.S

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LEGEND:

- ◊ RAKED CONCRETE
- ◊ BRUSHED ANTIQUE BRASS
- ◊ REFINED PRECAST
- ◊ COLOURED PRECAST CONCRETE PANELS
- ◊ VISION GLASS
- ◊ BRUSHED NICKEL
- ◊ STAINLESS STEEL
- ◊ FLUTED GLASS
- ◊ DARK PRECAST CONCRETE FRAME
- ◊ PRECAST ARCHITECTURAL CONCRETE

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Building Elevations

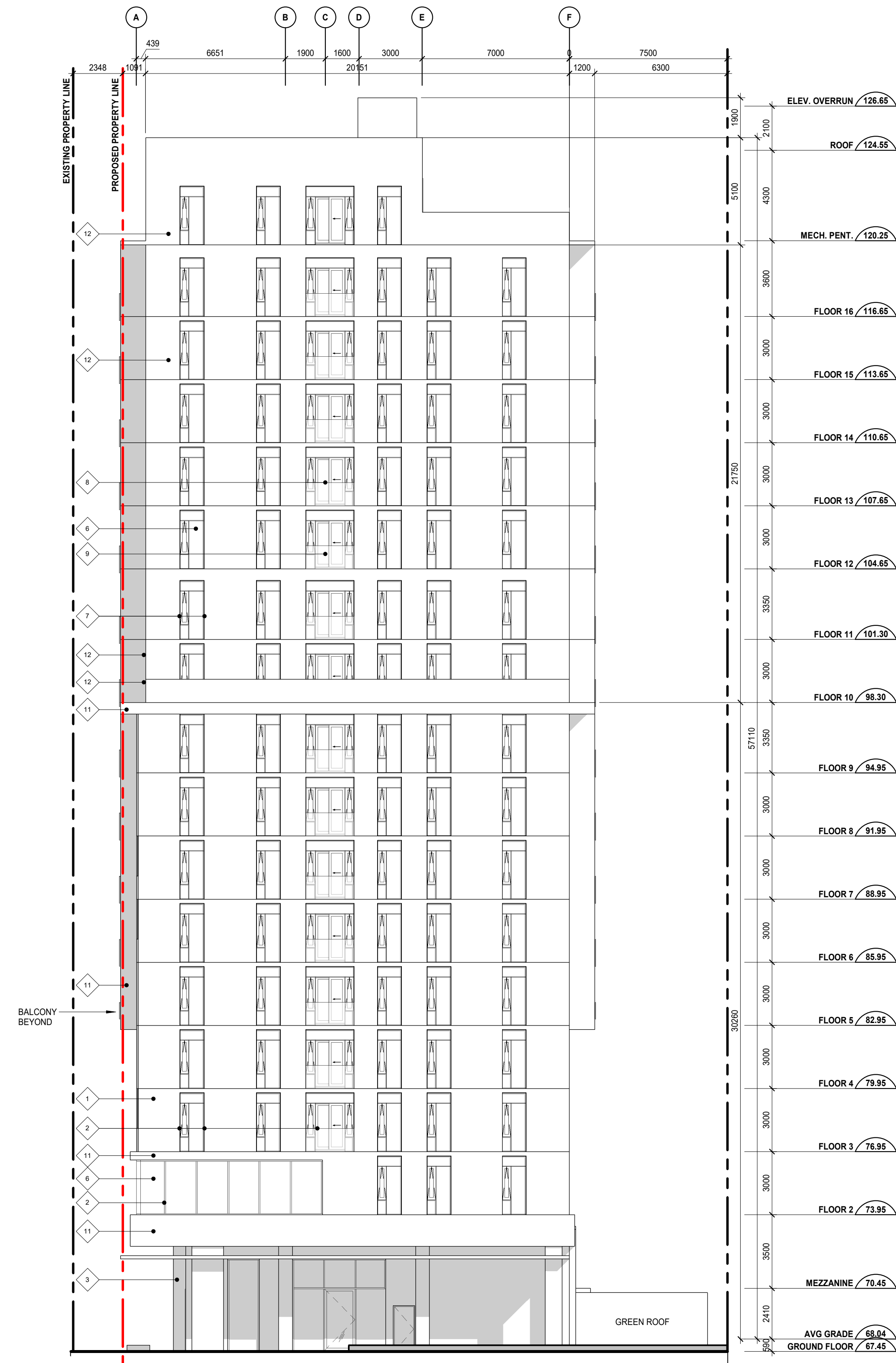
A402.S

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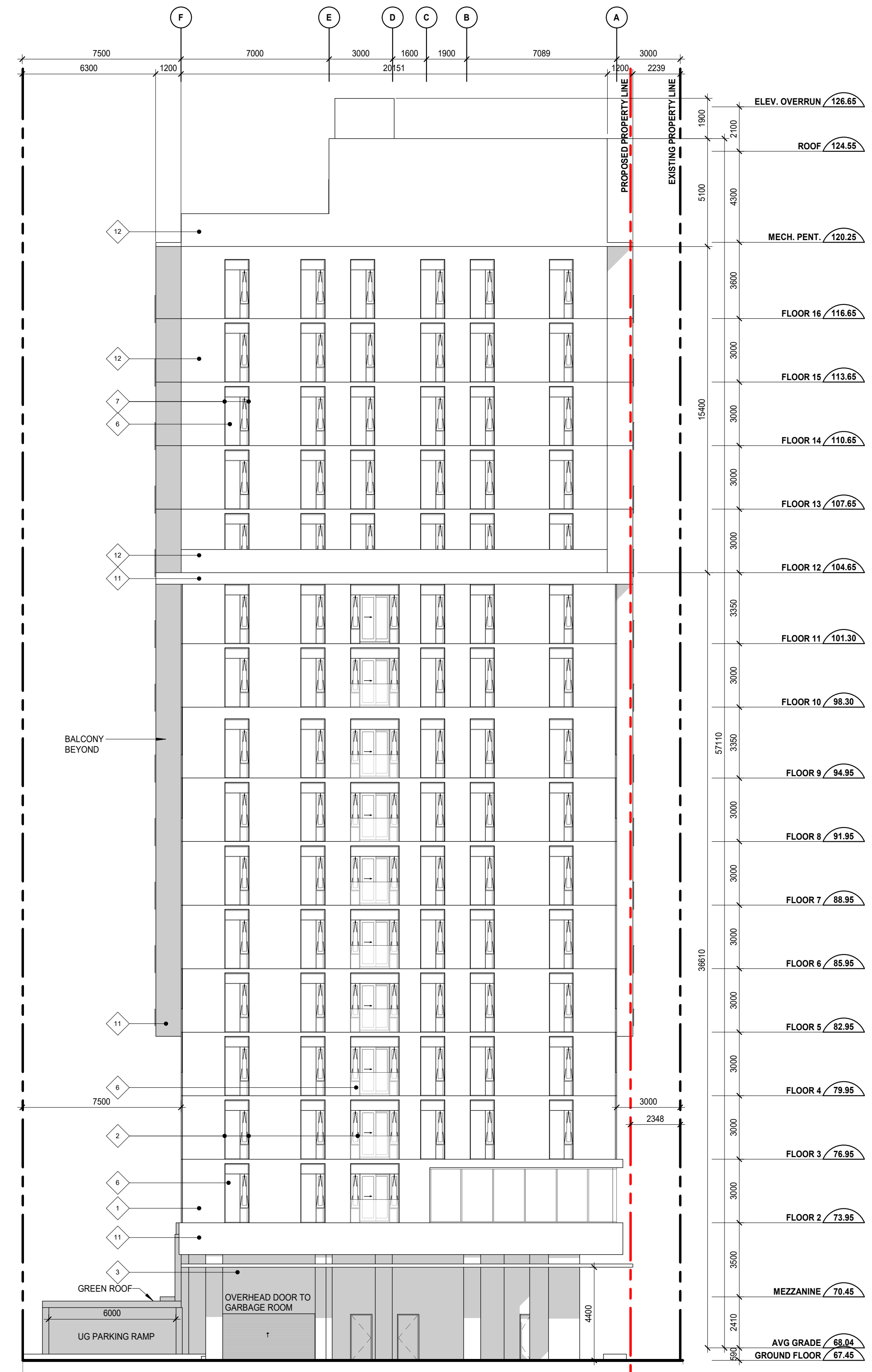
1 SOUTH ELEVATION
A402.S SCALE: 1: 150

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2 WEST ELEVATION
A403.S



1 EAST ELEVATION
A403.S

- LEGEND:**
- RAKED CONCRETE
 - BRUSHED ANTIQUE BRASS
 - REFINED PRECAST
 - COLOURED PRECAST CONCRETE PANELS
 - VISION GLASS
 - BRUSHED NICKEL
 - STAINLESS STEEL
 - FLUTED GLASS
 - DARK PRECAST CONCRETE FRAME
 - PRECAST ARCHITECTURAL CONCRETE

Date	No.	Description
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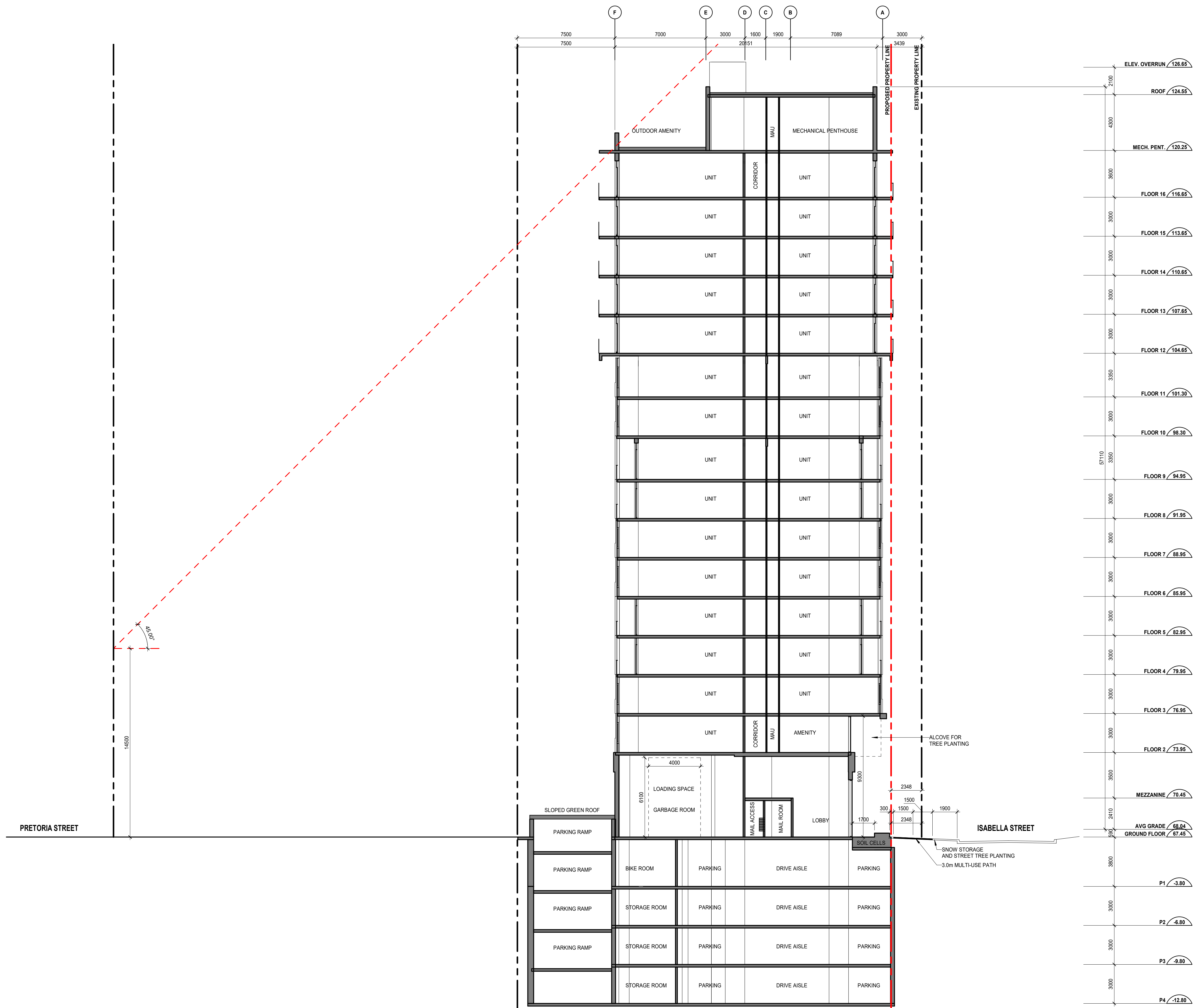
Building Elevations

A403.S

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Building Section

A452.S

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2020-09-14 11:56:17 AM