

BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

178-200 Isabella

Ottawa, Ontario

for
Minto Communities

Project No. 19048
Date 2023-09-28
Issued for REZONING RE-SUBMISSION

ARCHITECTURAL DRAWINGS

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STRUCTURAL ENGINEER

Adjeleian Allen Rubeli Ltd.
75 Albert Street, Suite 1005
Ottawa, On K1P 5E7
T 613 232 5786

MECHANICAL & ELECTRICAL ENGINEER

Quasar Consulting Group
1025-130 Slater Street
Ottawa, On
T 905 507 0800

PLANNING

Fotenn
396 Cooper St, Suite 300
Ottawa, ON K2P 0Z8
T 613 730 5709

LANDSCAPE ARCHITECT

DTAH
296 Park Road
Toronto, ON M4W 2N5
T 416 968 9479

SITE SERVICING

IBI Group
400-333 Preston Street
Ottawa ON K1S 5N4
T 613 225 1311

TRANSPORTATION

IBI Group
400-333 Preston Street
Ottawa ON K1S 5N4
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SURVEY

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400-1331 Clyde Avenue
Ottawa, ON, K2C 2G4
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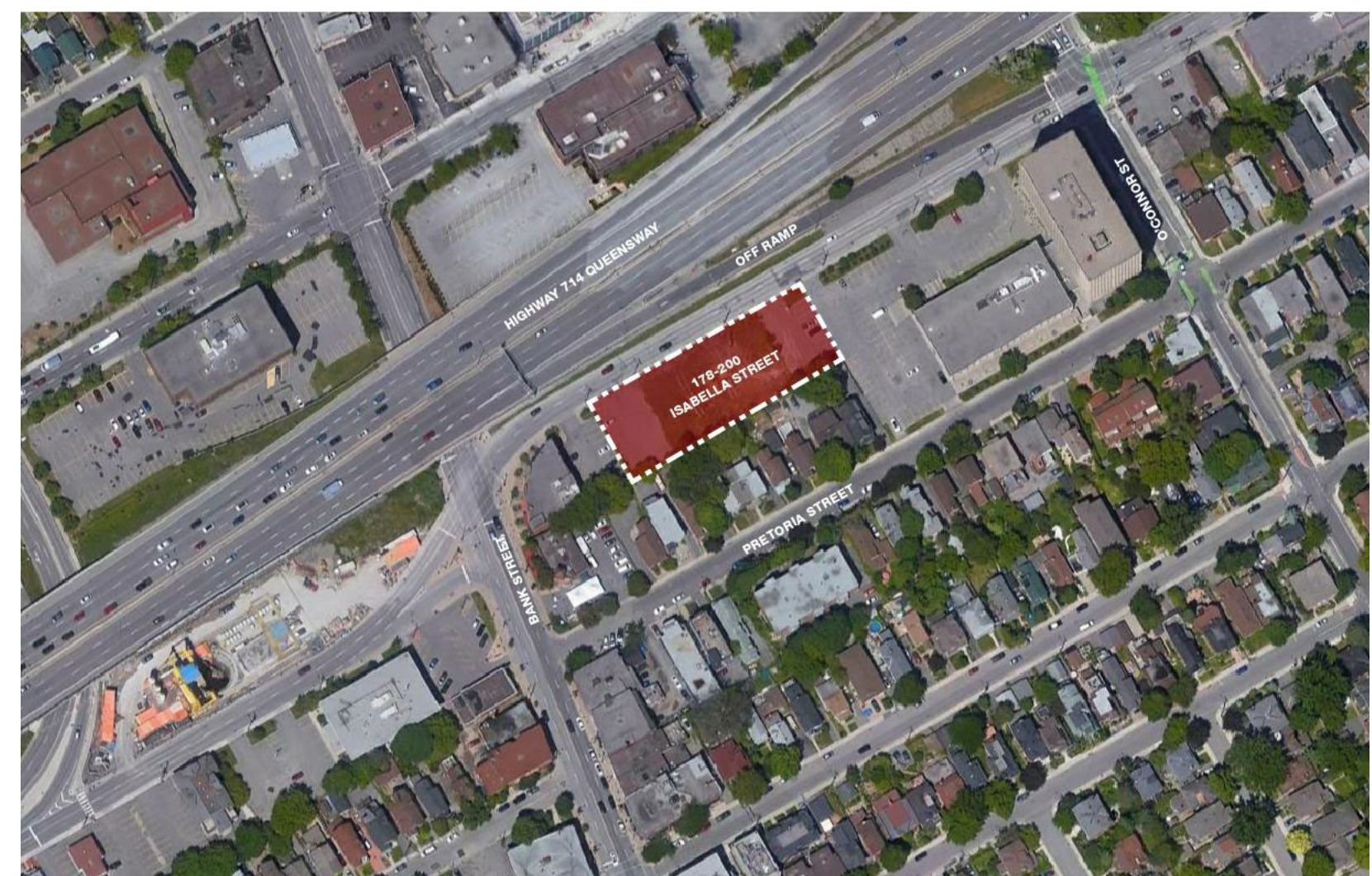
WIND & ACOUSTICS

Gradient Wind
127 Walgreen Road
Ottawa, ON K0A 1L0
T 613 836 0834

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PROJECT STATISTICS SUMMARY	
Municipal Address:	178 - 200 Isabella Street
Lot Area	2,391.00
Zoning Bylaw 569-2013	GM3 F(3.0)
Average Grade:	68.04
Building Height (Stores): (excl. Mech Penthouse)	19
Building Height above Average Grade:	63.71
	(m)
GFA - Residential Uses	14,189.58
GFA - Non-Residential Uses	0.00
By-Law 569-2013, Total GFA	14,189.58
Floor Space Index (FSI)	5.93
Number of Residential Suites	234
	(m)
Min. Residential Amenity Space Required	1,404.00
Total Residential Amenity Space Provided	2,274.73
Min. Communal Residential Amenity Space Required	702.00
Communal Residential Amenity Space Provided	805.20
Vehicular Parking Total Required	122
Vehicular Parking Total Provided	122
Bicycle Parking Total Required	117
Bicycle Parking Total Provided	242
Total Loading Spaces Required	1
Total Loading Spaces Provided	1



SUMMARY

CONTEXT PLAN

General Mixed Use Zone	Required	Provided	Bicycle Parking	Required	Provided	Loading Spaces	Required	Provided
Residential			Residential			Residential		
0.5 unit after first 12 units = 222 units less 10% if located below grade	0.5 x 222 (111)	111	Long Term (0.5/unit)	0.5 x 234	117	1		
Visitor (0.1 dwelling unit)			Non-Residential			Retail		
0.1 unit after first 12 units = 222 units	0.1 x 222	22	(1.0/1500sm)	1 x 0.00	0	0.00 sm		
Retail								
(1.25/100sm)	1.3 x 0.00	0	TOTAL		117	TOTAL		1
TOTAL		122			242			1
Included in the TOTAL above:			Change & Shower Facilities - Non-Residential			Garbage Room Size (Residential only)		
Number of Visitor Accessible Parking Spaces		1	Change & Shower facility per gender required	NA		Bulk Waste Storage Room		143
Number of Residential Accessible Parking Spaces		5	Total Non-Res Long-Term bicycle spaces required =	NA				10
Number of parking spaces dedicated for priority LEV parking		X						
Number of parking spaces with EVSE		X						

Parking Space Location	Required	Provided	Residential	Required	Provided	Notes
VEHICULAR PARKING LOCATION			Communal Amenity			
Level			Ground - Lobby	702.00 sm	805.20 sm	
Occupant			Interior	(50% of total)	36	
Visitor			Ground - Amenity		225.7	
Retail			Floor 7 - Amenity		89.5	
Office			Ground		265.0	
Surface			Floor 7 - Terrace		188.0	
P1			Private Amenity			
P2			Balconies/Terraces		1469.5	
P3			Exterior		1469.5	
TOTAL		122	TOTAL Res Amenity = 6.0sm/dwelling unit	1,404.00 sm	2,274.73 sm	

PARKING, LOADING AND AMENITY STATISTICS

Floor	No. Typs/Floors	GFA Gross Building Area		GCA Gross Construction Area (no exclusions)		GFA Exempt (sm)	City-Wide By-Law				Suite Breakdown					Res Saleable Area (sf)	Office Usable Area (sf)	Retail Usable Area (sf)	Efficiency (Gawabe / GBA)
		sm	sf	sm	sf		GFA (Res)	GFA (Non-Res)	Bach <45sm	Bach >45sm	1 Bdrm	2 Bdrm	2 Bdrm +Den	3 Bdrm	Total Suites				
Mech Penthouse	1	548.3	5,902.7	548.3	5,902.7	548.3	0.0	0.0	0.0										
19	1	540.4	5,816.6	697.2	7,504.1	315.3	381.6	4110.1	0.0										
18	1	689.2	7,418.6	801.3	8,625.5	266.8	534.5	5753.3	0.0										
17	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
16	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
15	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
14	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
13	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
12	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
11	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
10	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.6	0.0										
9	1	879.4	9,465.8	929.6	10,006.4	211.0	718.6	7734.9	0.0										
8	1	879.4	9,465.8	929.6	10,006.4	211.0	718.6	7734.9	0.0										
7	1	879.4	9,465.8	1,453.9	15,649.1	610.5	643.3	6924.7	0.0										
6	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0										
5	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0										
4	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0										
3	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0										
2	1	1,191.3	12,823.0	1,225.9	13,195.5	339.7	886.2	9538.6	0.0										
Ground	1	1,076.1	11,583.0	1,076.1	11,583.0	788.9	307.2	3306.5	0.0										
TOTALS	19	16,871.3		26,209.0		14,189.6	0.0			0	0	96	43	89	5	1	234	162	160,261
GFA USE Breakdown																			
Non-Res GFA (RETAIL)		0.00 sm		Communal Interior Amenity		351.20 sm		57%		X	X	X	X	X	X	X			
Non-Res GFA (OFFICE)		0.00 sm		Communal Exterior Amenity		454.00 sm		702.00 req											
Total NON-RES GFA		0.00 sm		Private Balcony/Terrace		1469.53 sm		(50% of req. total amenity)											
Total RESIDENTIAL		14,189.58 sm		Total Amenity		2,274.73 sm													
Area Totals & FSI				Combined RES & NON-RES Gross Floor Area Totals		14,189.6													
				Res and Non-Res Floor Space Index		5.93													
				Floor Space Index (FSI)		5.93													

BUILDING STATISTICS

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2022-12-15		RE-ISSUED FOR REZONING APPLICATION
2021-04-30		RE-ISSUED FOR REZONING APPLICATION
2020-09-11		ISSUED FOR REZONING APPLICATION

ISSUE RECORD



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19048 PROJECT SCALE RN JS DRAWN REVIEWED

Statistics and Context Plan

A100.S

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HIGHWAY 417
QUEENSWAY

ISABELLA STREET

PROPOSED 19 STOREY
RESIDENTIAL BUILDING

GROUND FLOOR FFE = 67.450
AVERAGE GRADE = 68.040
BUILDING HEIGHT = 63.710m

MECHANICAL PENTHOUSE ROOF
132010.000

ELEVATOR OVERRUN

TERRACE AT 7TH FLOOR

TERRACE AT 19TH FLOOR

BALCONY AT 18TH FLOOR

BALCONY BELOW

BALCONY BELOW

BALCONY BELOW

BALCONY BELOW

BALCONY BELOW

BALCONY BELOW

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TOPOGRAPHIC SKETCH OF
PART OF LOT
REGISTERED PLAN
(GEOGRAPHIC TOWNSHIP OF)
CITY OF OTTAWA
REGIONAL MUNICIPALITY OF
Scale 1:100
Stantec Geomatics Ltd.
ONTARIO LAND SURVEYORS

BOUNDARY NOTE
BOUNDARY LINEWORK AND INFORMATION IS COMPILED FROM PLAN 200300 AND IS NOT BASED ON ACTUAL SURVEY.
METRIC CONVERSION
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
BEARING NOTE
BEARINGS ARE REFERRED TO THE "LIMIT OF", AS SHOWN ON PLAN, HAVING A BEARING OF XXX'XXX".
VERTICAL DATUM NOTE
ELEVATIONS ARE OF GEODETIC ORIGIN AND ARE DERIVED FROM ELEVATIONS REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1985) AND ARE DERIVED FROM BENCHMARK MONUMENT NO. 1, HAVING A PUBLISHED ELEVATION OF * METRES.
HORIZONTAL DATUM NOTE
PERFECTED UNIVERSAL TRANSVERSE MERCATOR (MUTUAL ZONE 9, CAMP/9307W) DATUM (MAD 83) (CGCR2010)

LEGEND
DENOTES FOUND ADJUSTMENTS
IB IRON BARS
SBM BENCH MARK
SIB STANDARD IRON BAR
SSIB SHORT STANDARD IRON BAR
CC CUT CROSS
CP CONCRETE FIN
WT WELDS
PNS PROPERTY IDENTIFICATION NUMBER
AL/MEAS MEASURED
PROP PROPOSED
OU UNKNOWN
STANTEC STANTEC GEOMATICS LTD.
PI PLAN

UNDERGROUND TELEPHONE
UNDERGROUND HYDRO
WATERMAIN
GASMAIN
STORMSEWER
UNDERGROUND FIBRE OPTIC

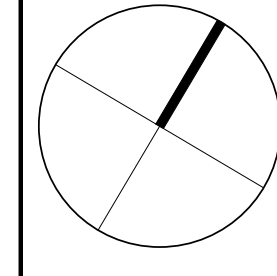
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THE SURVEY WAS COMPLETED ON THE DAY OF, 2020.
DATE: _____
DRAWN: * CHECKED: * PAK: * FIELD: * PROJECT No.: 16140000-111

TOPOGRAPHIC LEGEND AND SURVEY INFORMATION

SITE PLAN LEGEND	
	PROPERTY LINE
	LINE OF UNDER GROUND GARAGE BELOW
	MAIN BUILDING ENTRANCE
	RETAIL ENTRANCE
	EXIT
	VEHICLE / LOADING ENTRANCE / EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	MANHOLE COVER
	AREA DRAIN
	CATCH BASIN
	FLOOR DRAIN
	EXISTING LIGHT
	FINISH FLOOR ELEVATION
	EXISTING ELEVATION
	PROPOSED ELEVATION
	TOP OF ROOF
	BUILDING ENVELOPE
	FIRE ACCESS ROUTE HEAVY DUTY PAVING. ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.

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ISSUE RECORD	



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Minto Communities

19048 As indicatedRN JS
PROJECT SCALE DRAWN REVIEWED

Site Plan

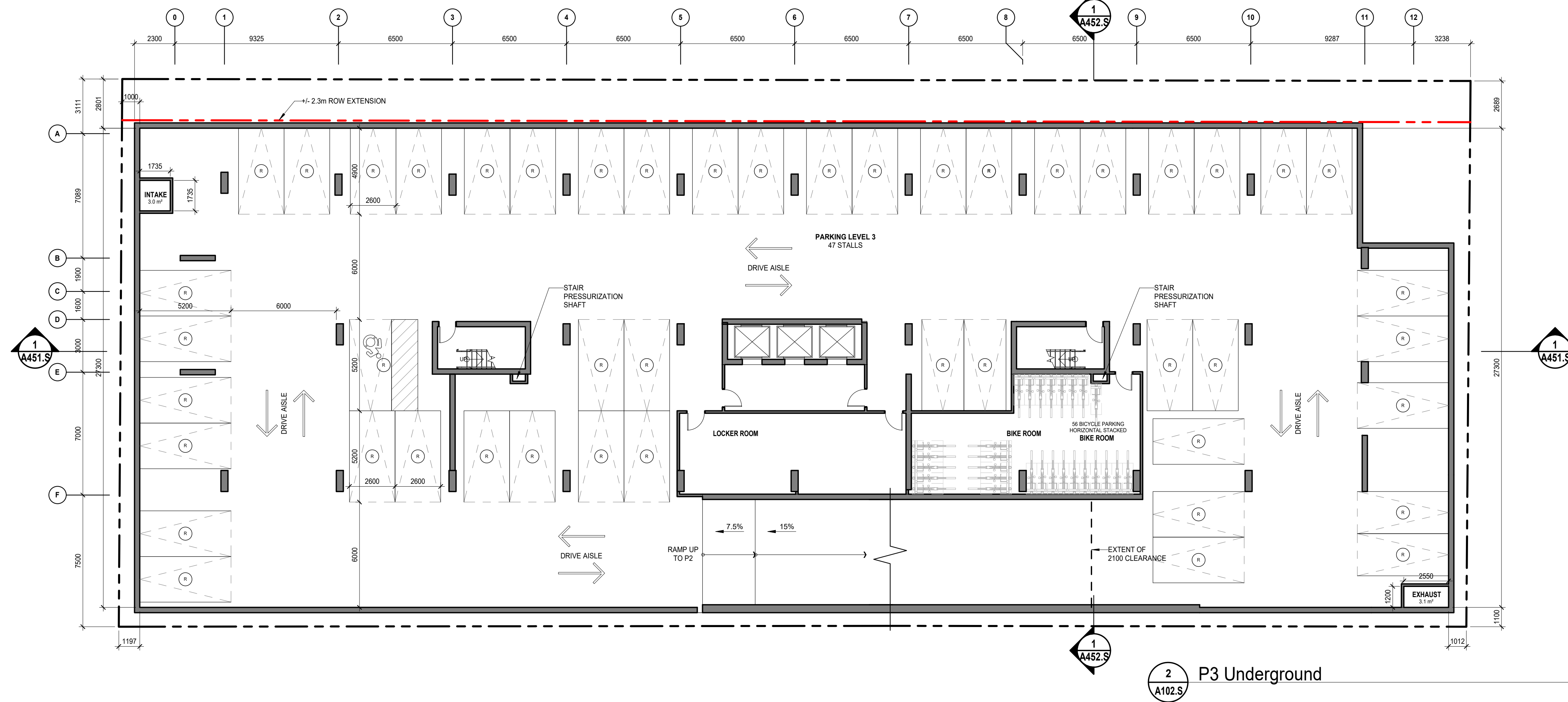
A101.S

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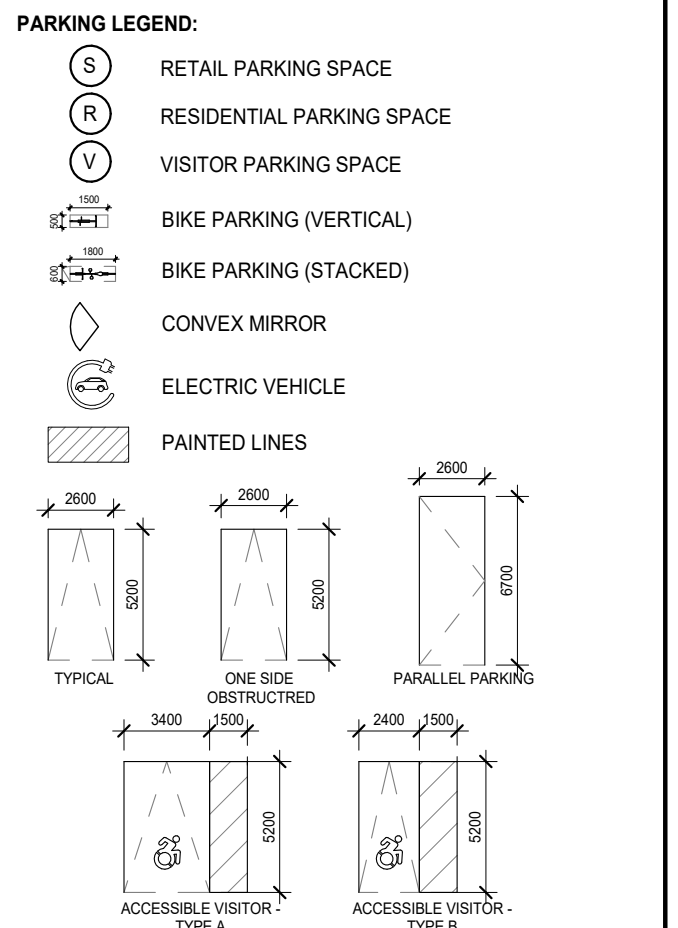
1 SITE PLAN
A101.S

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9/28/2023 1:45:17 PM



- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2800mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
 - 2800mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
 - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.



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ISSUE RECORD	

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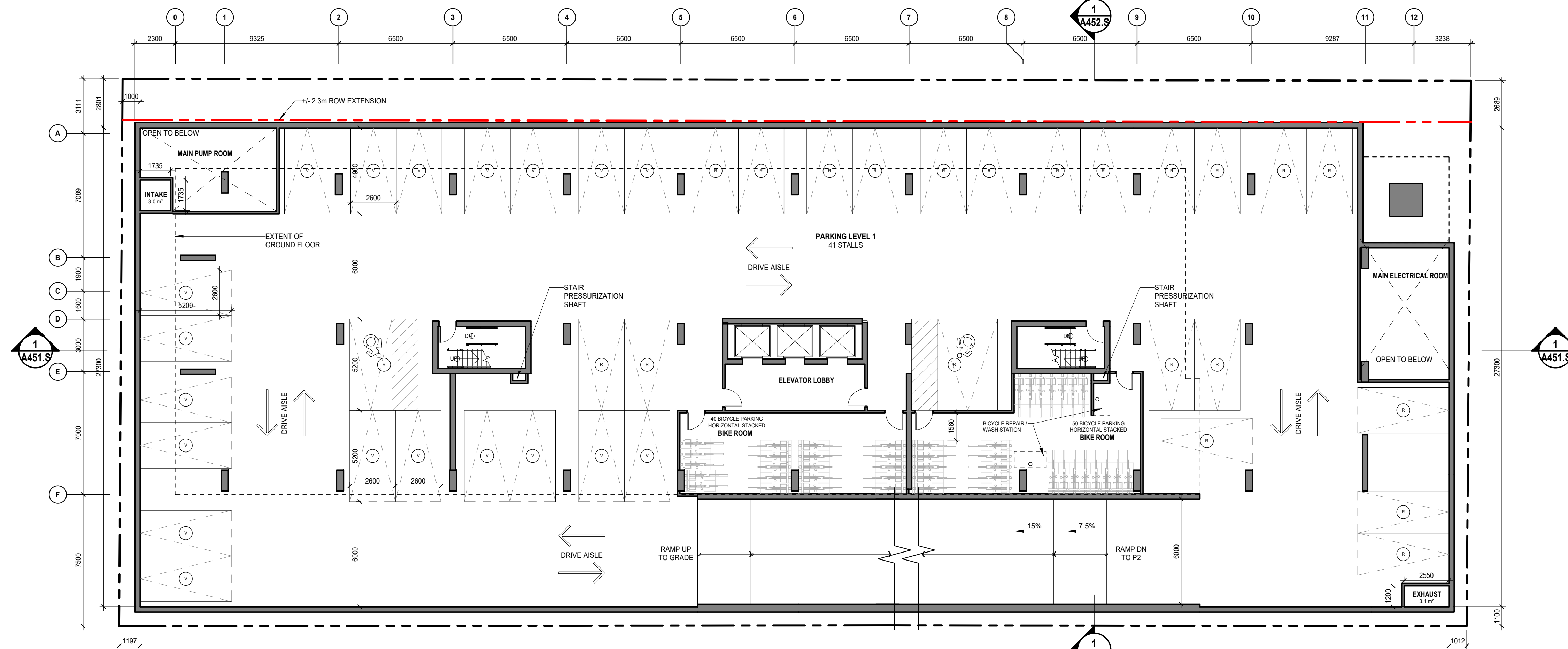
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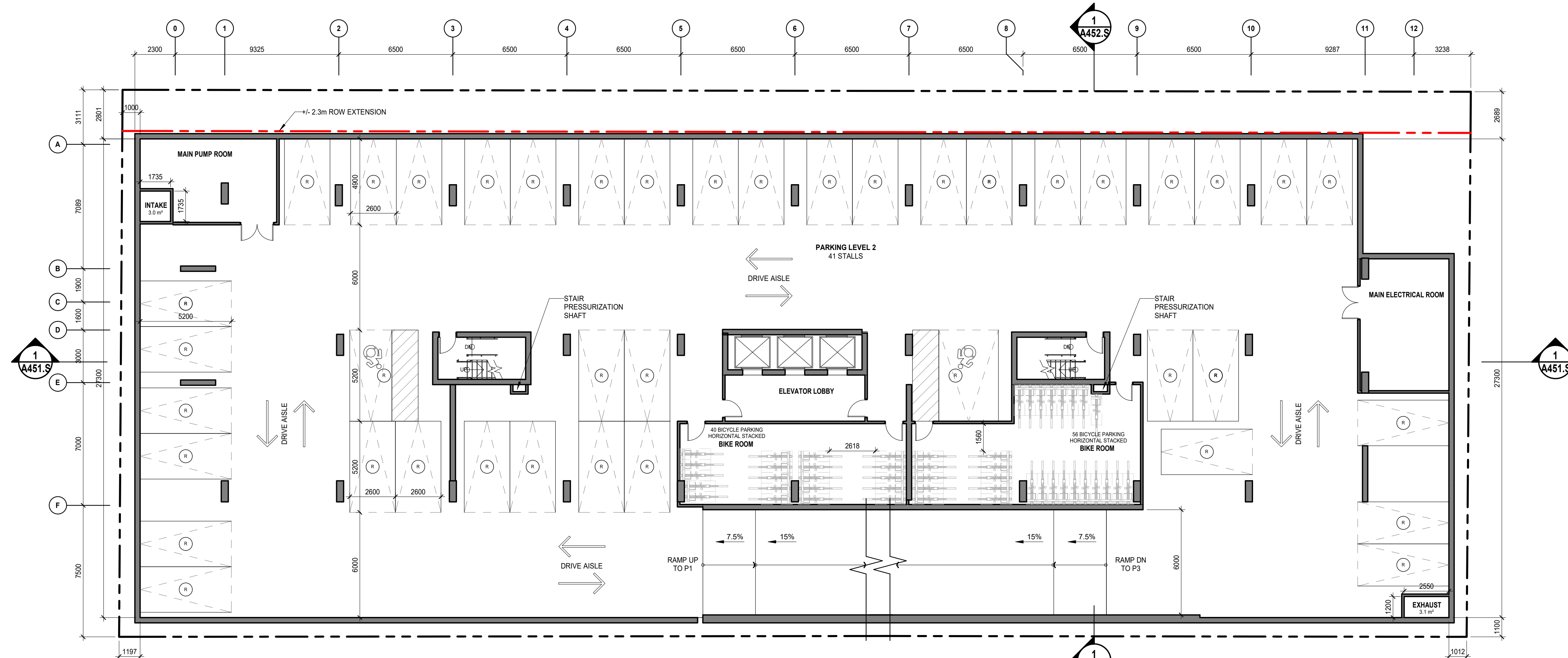
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P3 Underground
A102.S

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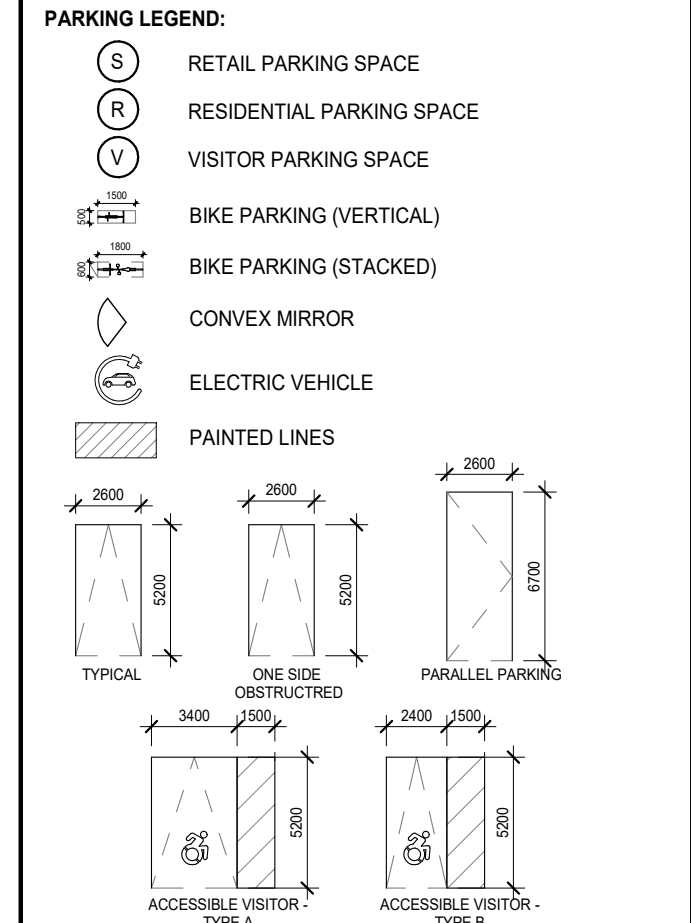


2 P1 Underground
A103.S



1 P2 Underground
A103.S

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
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 - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
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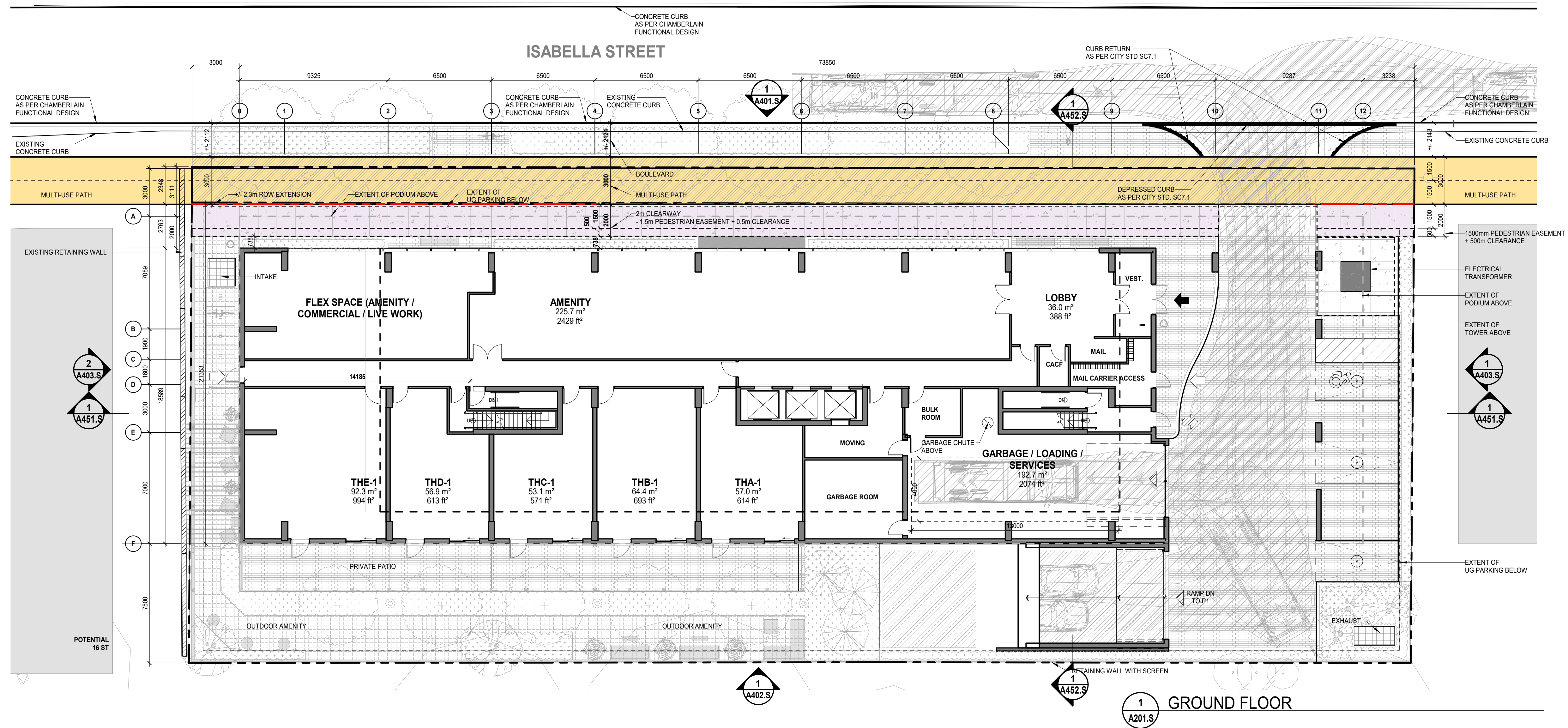
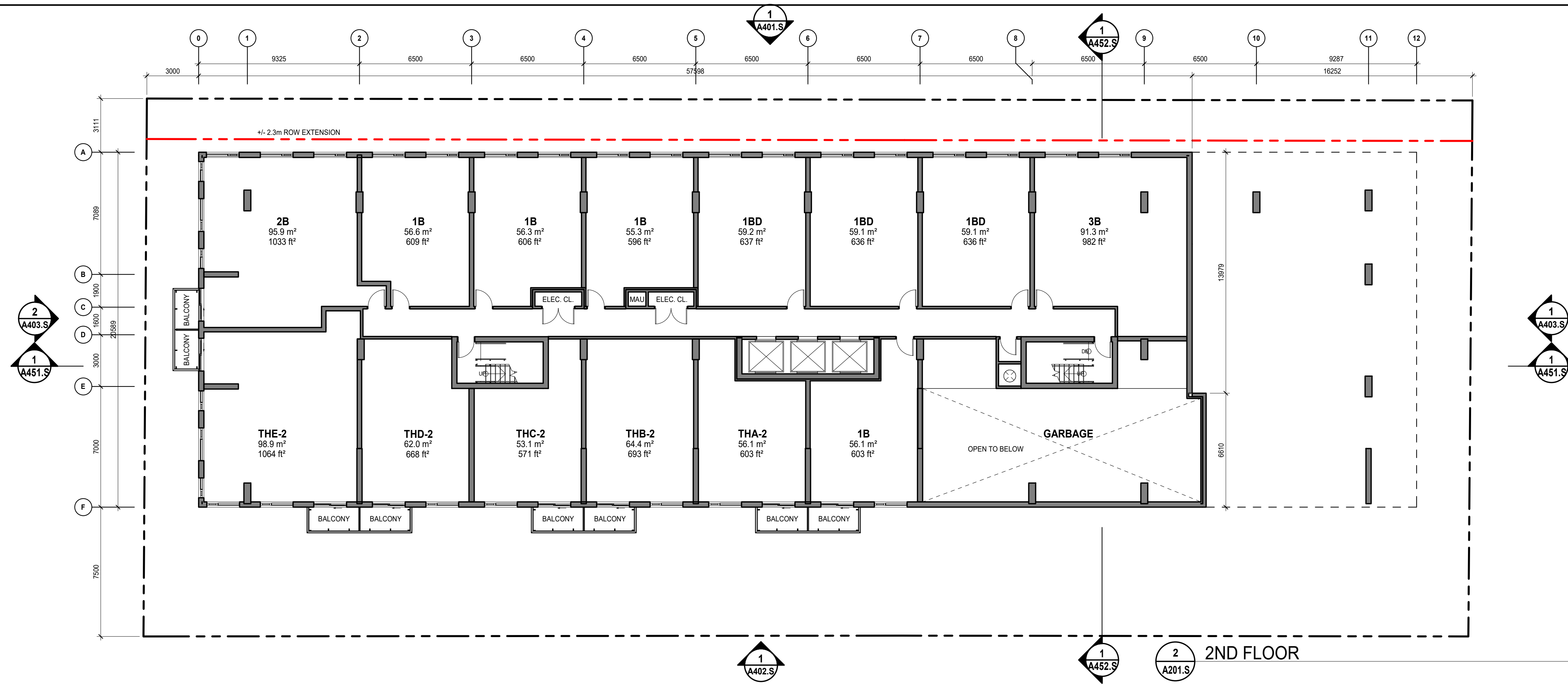
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P2 and P1 Underground

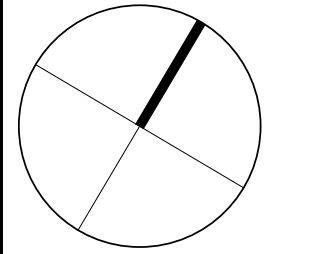
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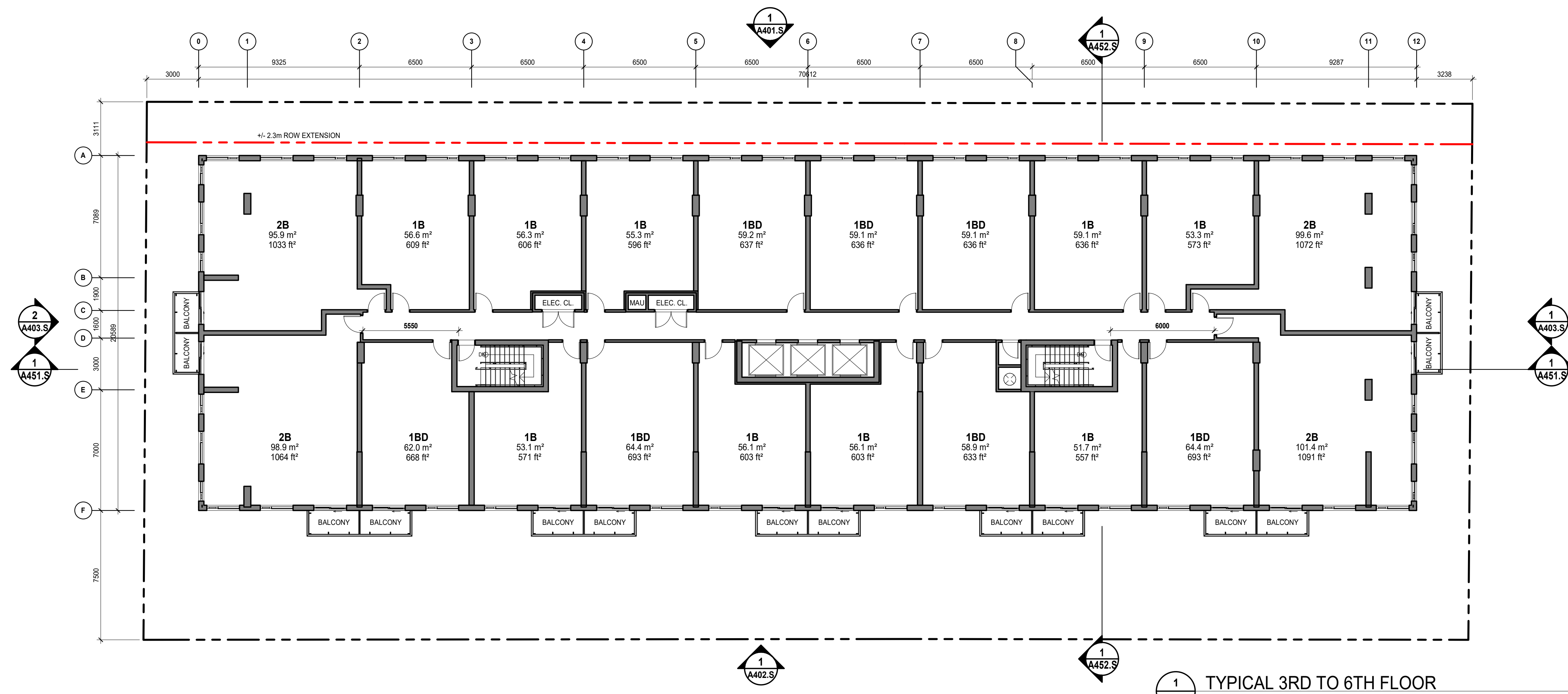
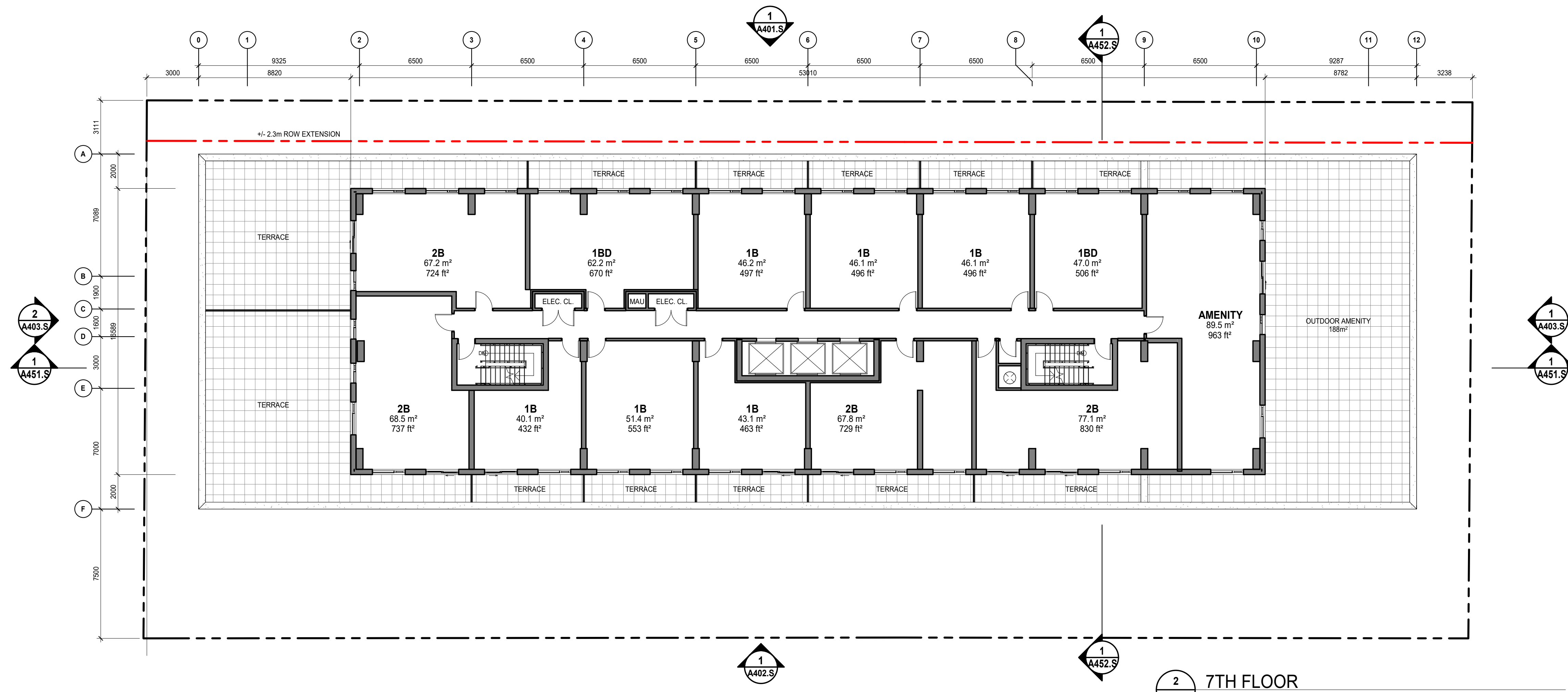
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PROJECT SCALE DRAWN REVIEWED

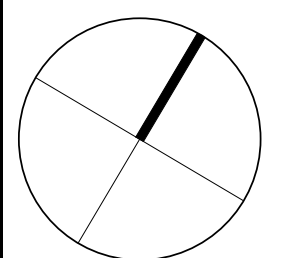
Ground and 2nd Floor Plan

A201.S

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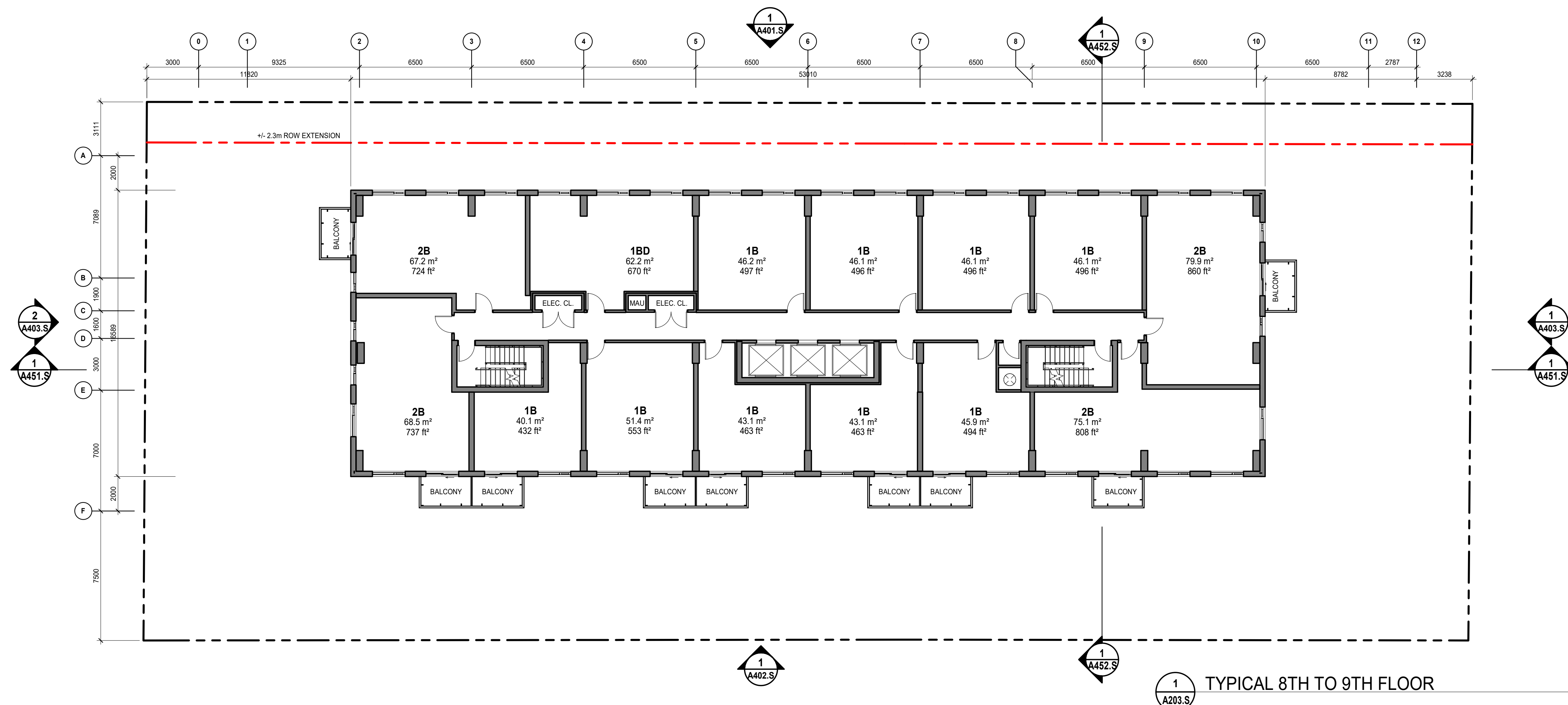
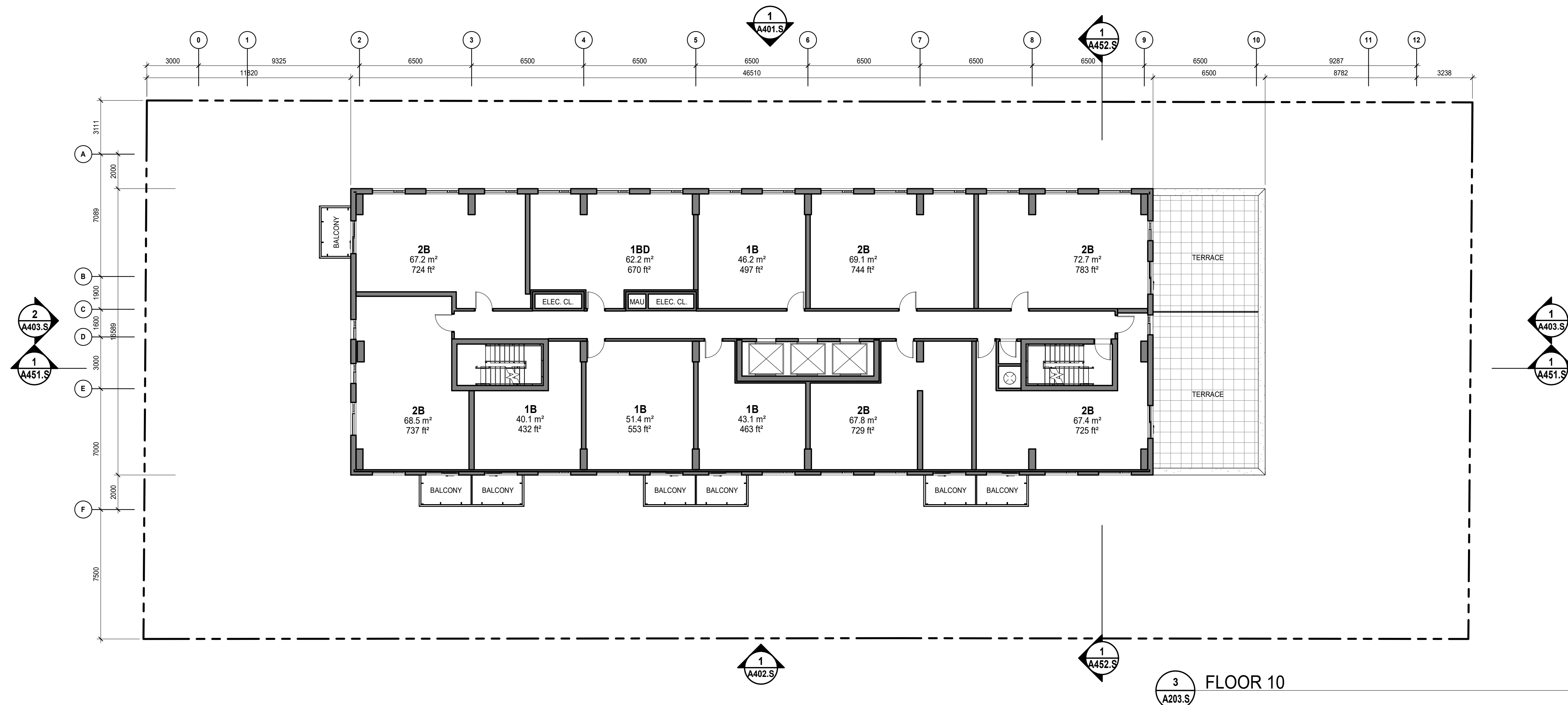
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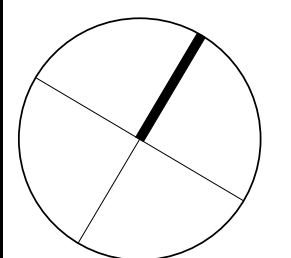
Typical 3rd to 6th and 7th Floor Plan

A202.S

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178-200 Isabella

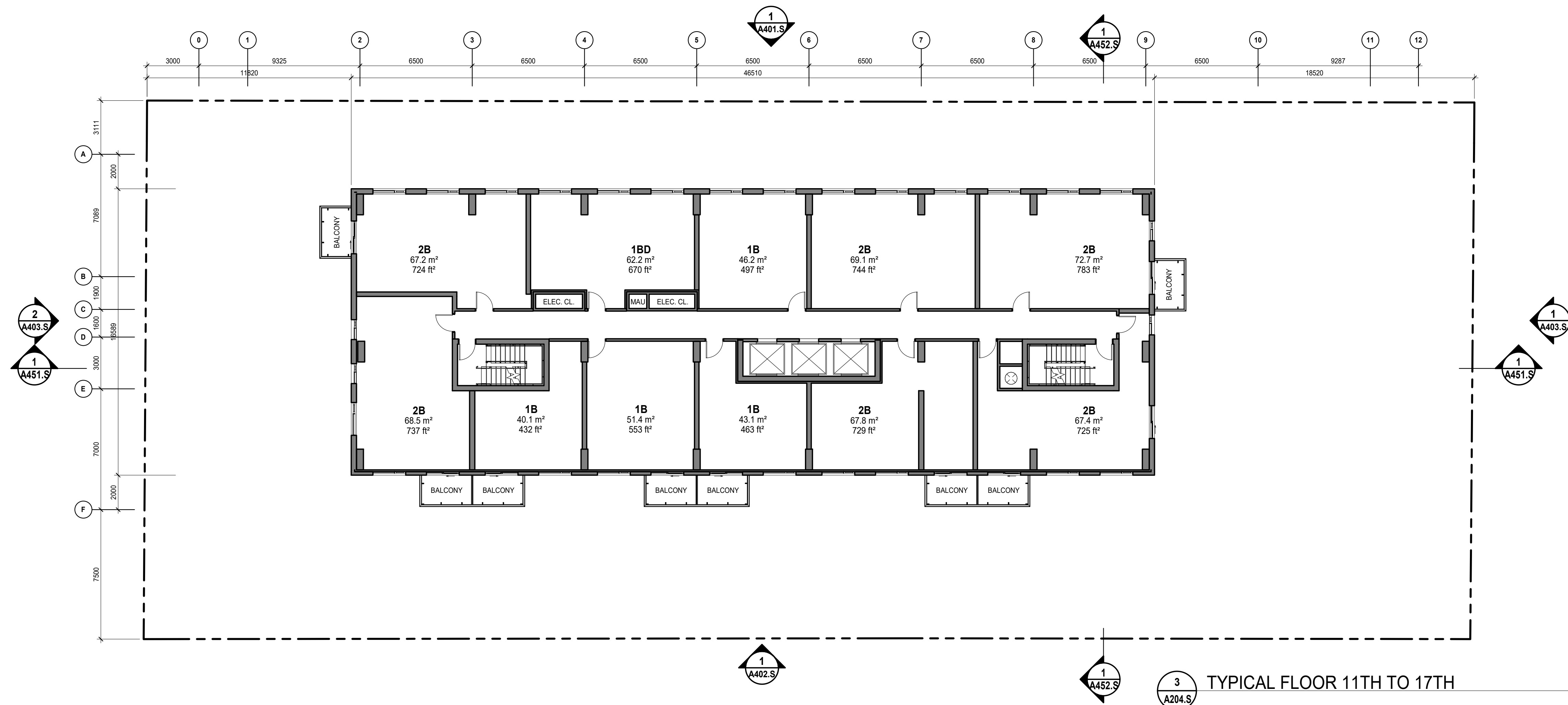
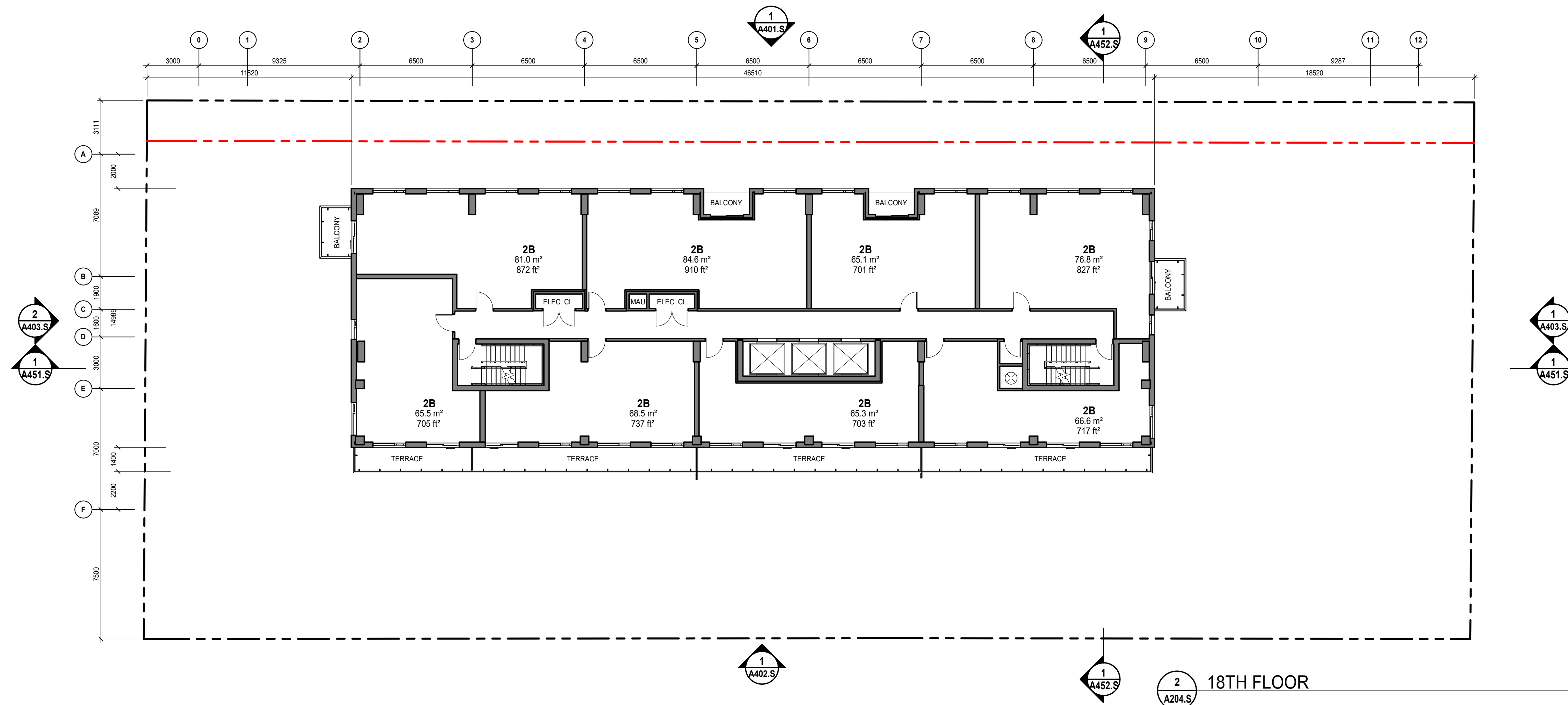
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19048 1 : 150 RN JS
PROJECT SCALE DRAWN REVIEWED

Typical 8th to 9th and 10th Floor
Plan

A203.S

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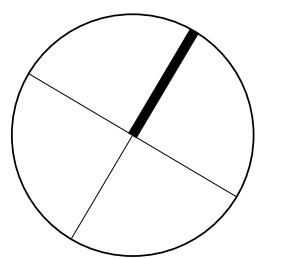


Date No. Description

REVISION RECORD

2023-09-28	1	RE-ISSUED FOR REZONING APPLICATION
2023-08-16	1	RE-ISSUED FOR REZONING APPLICATION
2023-03-07	1	RE-ISSUED FOR REZONING APPLICATION
2022-12-15	1	RE-ISSUED FOR REZONING APPLICATION

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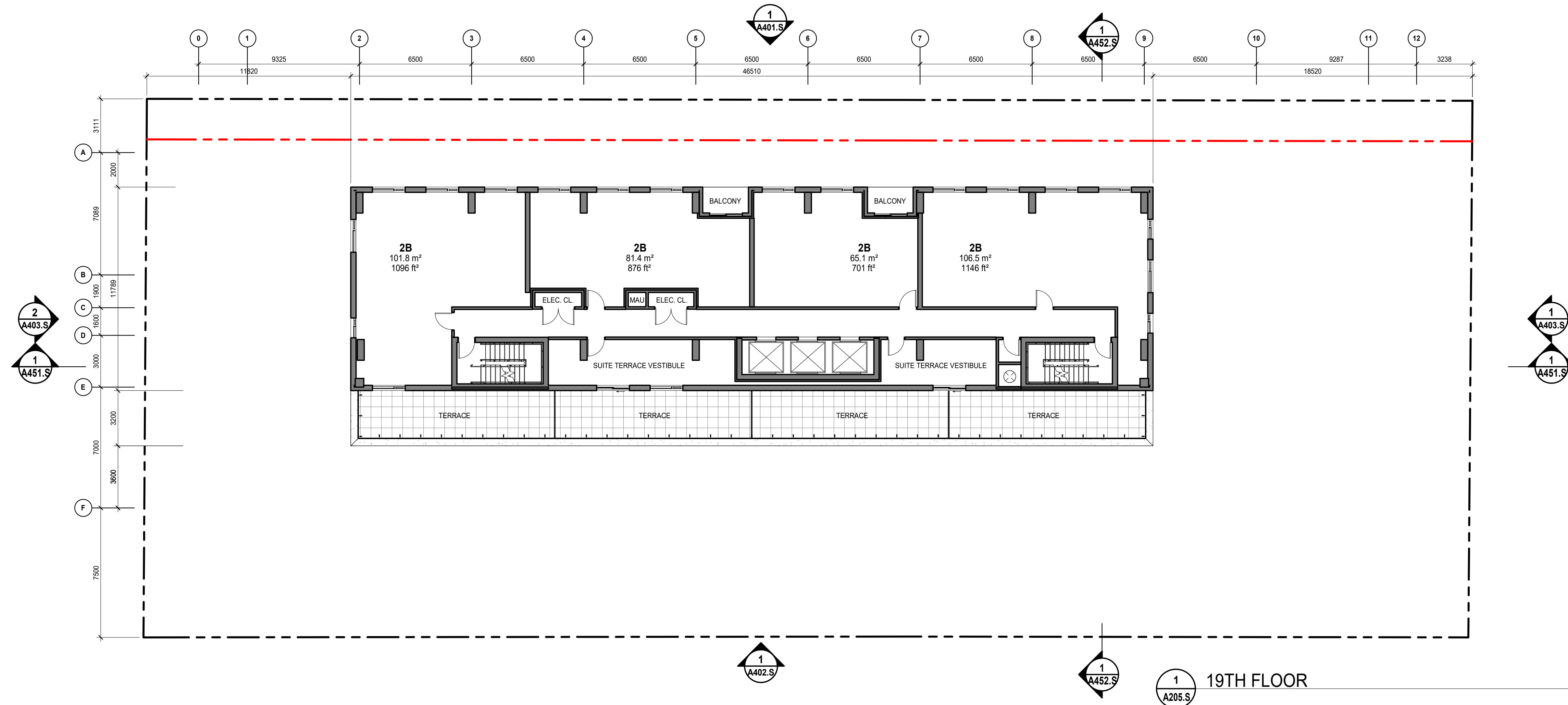
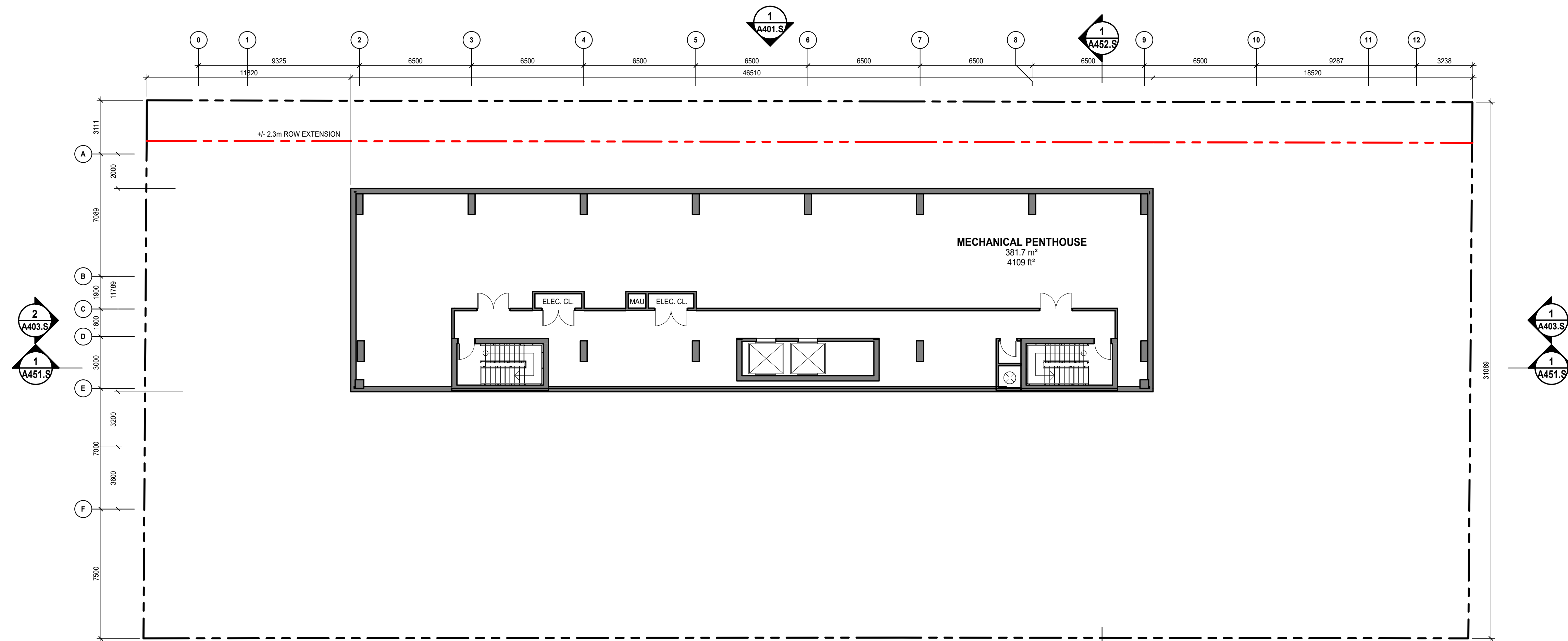
Ottawa, Ontario
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19048 1 : 150 Author Checker
PROJECT SCALE DRAWN REVIEWED

Typical 11th to 17th and 18th
Floor

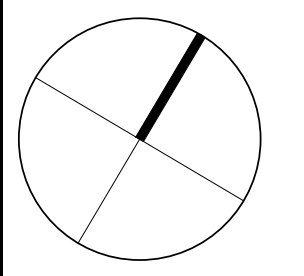
A204.S

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2022-12-15		RE-ISSUED FOR REZONING APPLICATION
2021-04-30		RE-ISSUED FOR REZONING APPLICATION
2020-09-11		ISSUED FOR REZONING APPLICATION

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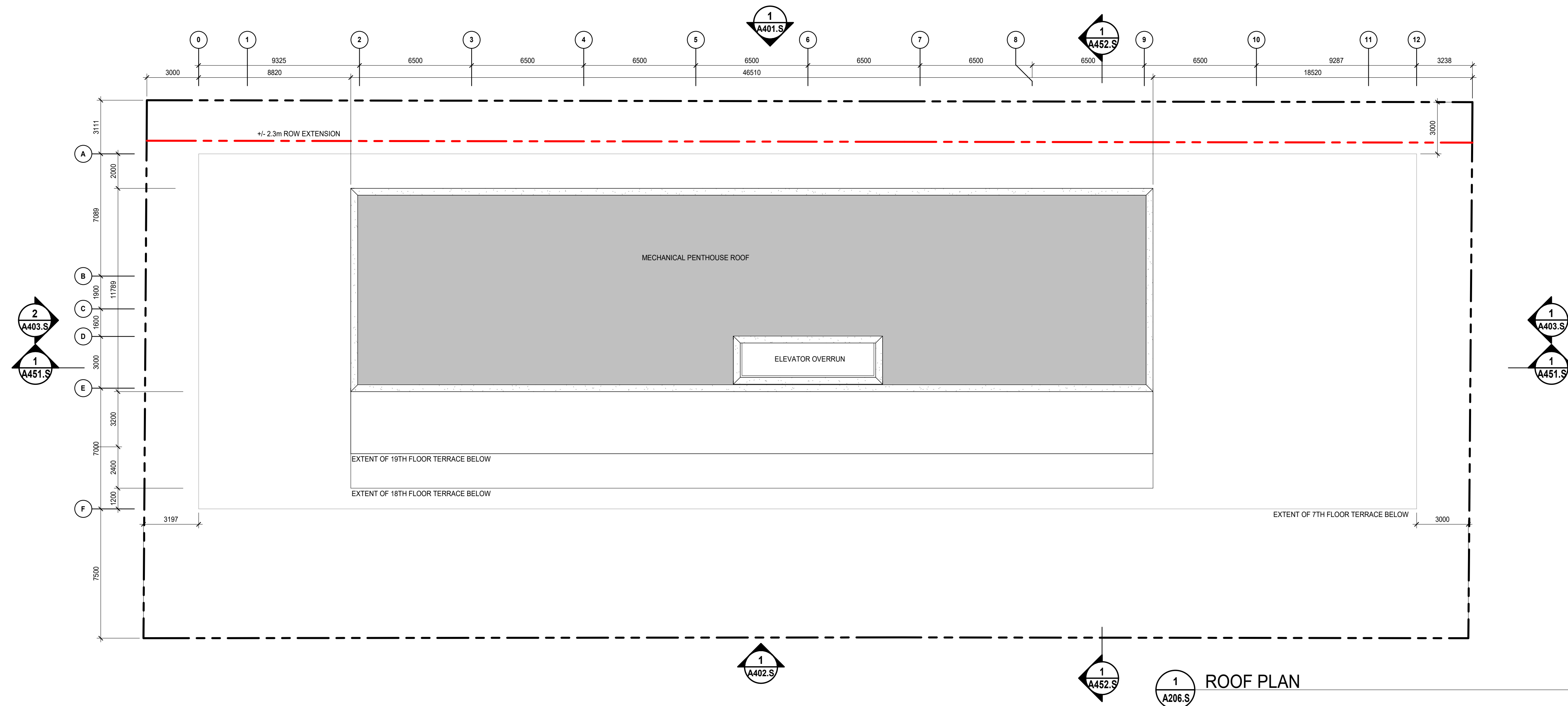
19048 1 : 150 RN JS
PROJECT SCALE DRAWN REVIEWED

19th and Mechanical Penthouse
Floor Plan

A205.S

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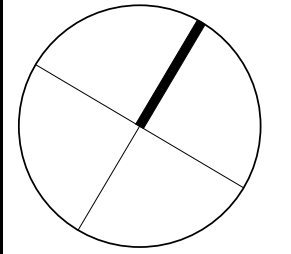
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1 A206.S ROOF PLAN

Date	No.	Description
REVISION RECORD		
2023-09-28		RE-ISSUED FOR REZONING APPLICATION
2023-08-16		RE-ISSUED FOR REZONING APPLICATION
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2022-12-15		RE-ISSUED FOR REZONING APPLICATION
2021-04-30		RE-ISSUED FOR REZONING APPLICATION
2020-09-11		ISSUED FOR REZONING APPLICATION

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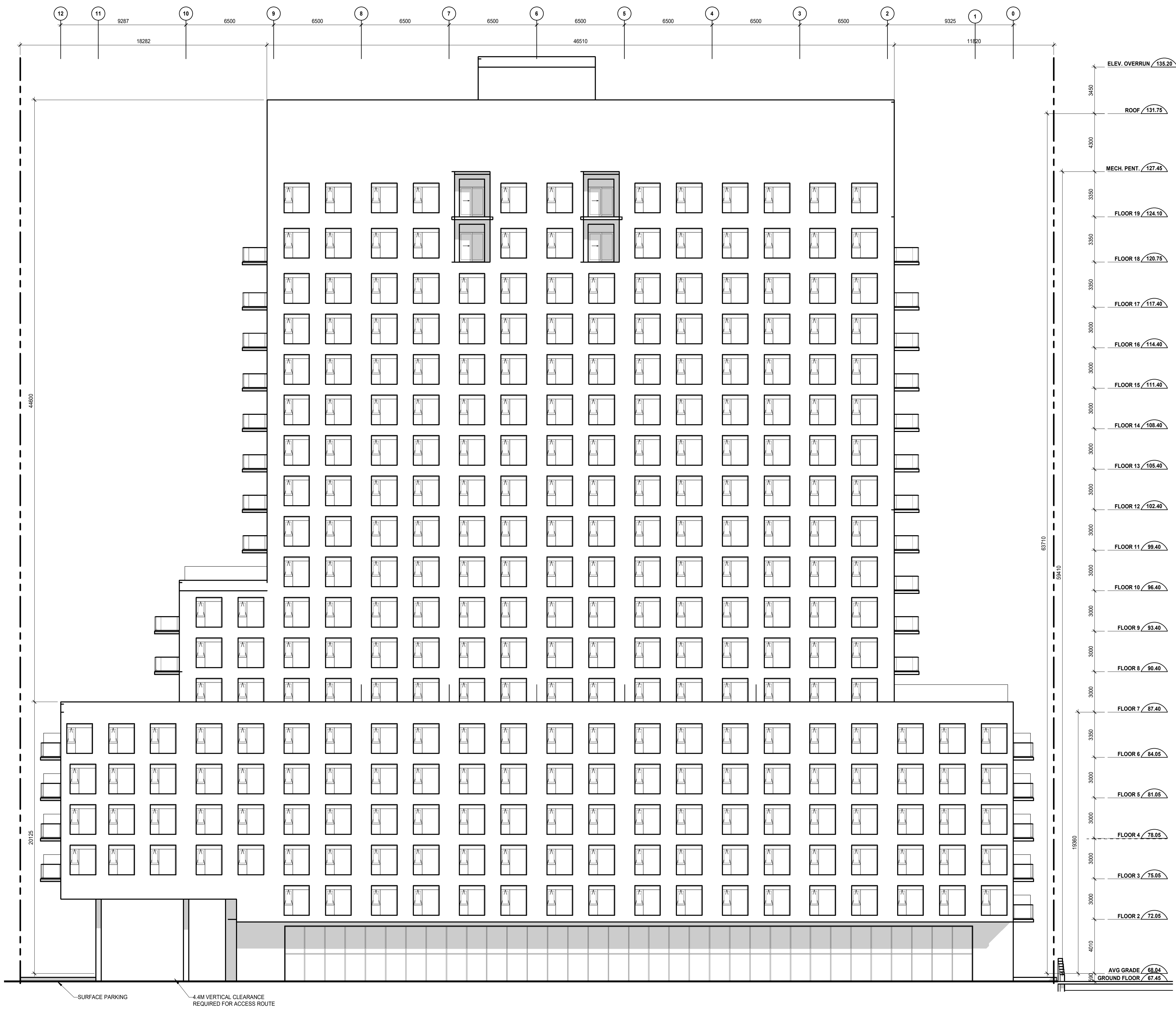
19048 1 : 150 PROJECT SCALE
RN JS DRAWN REVIEWED

Roof Plan

A206.S

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2021-04-30		RE-ISSUED FOR REZONING APPLICATION
2020-09-11		ISSUED FOR REZONING APPLICATION

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PROJECT SCALE DRAWN REVIEWED

Building Elevations

A401.S

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1 NORTH ELEVATION
A401.S

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Date	No.	Description
REVISION RECORD		
2023-09-28		RE-ISSUED FOR REZONING APPLICATION
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2020-09-11		ISSUED FOR REZONING APPLICATION

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PROJECT SCALE DRAWN REVIEWED

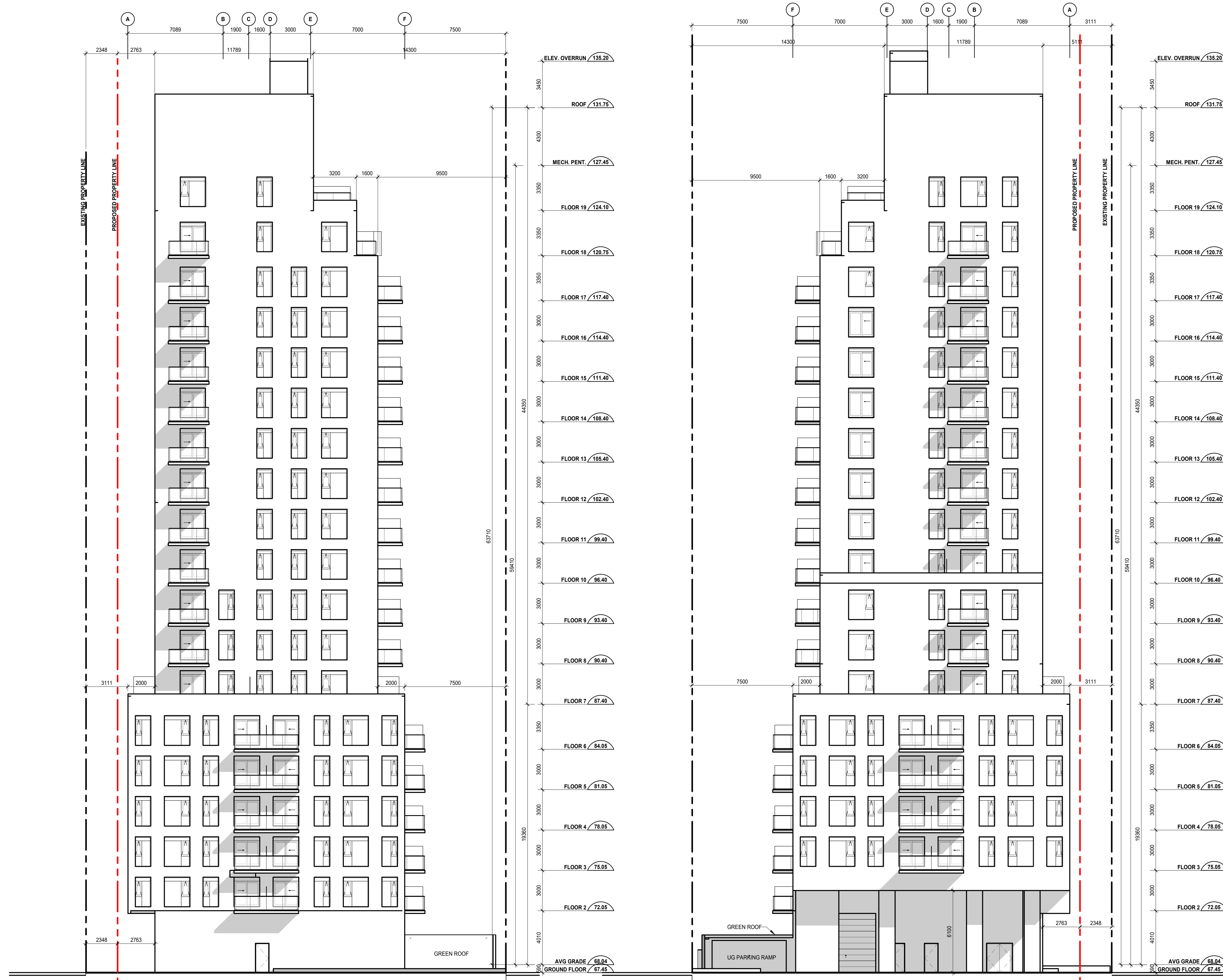
Building Elevations

A402.S

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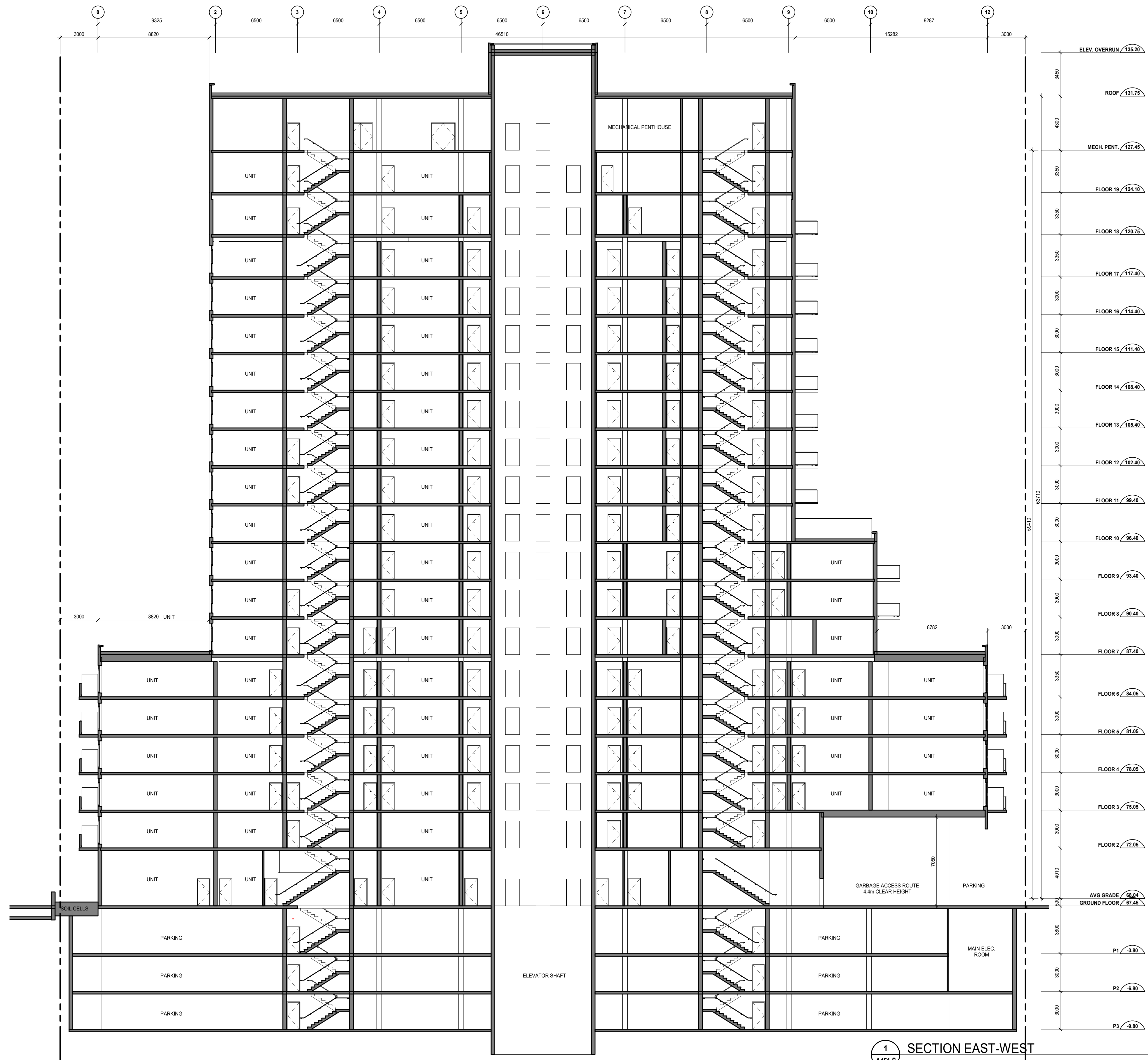
1 SOUTH ELEVATION
SCALE: 1 : 150

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2 WEST ELEVATION
A403.S

1 EAST ELEVATION
A403.S



1 SECTION EAST-WEST
A451.S

Date	No.	Description
REVISION RECORD		
2023-09-28		RE-ISSUED FOR REZONING APPLICATION
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2020-09-11		ISSUED FOR REZONING APPLICATION

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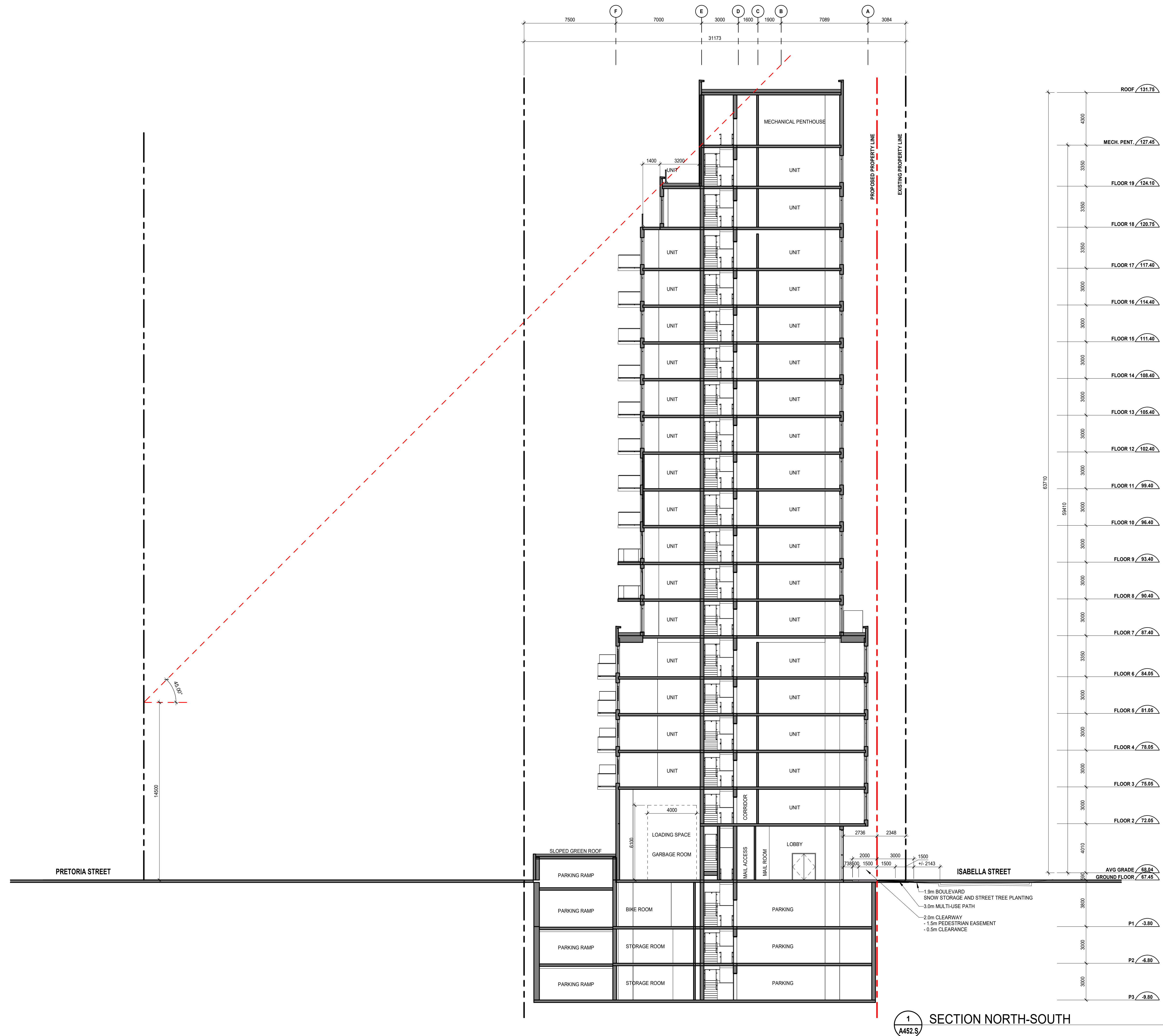
19048 1 : 150 RN JS
PROJECT SCALE DRAWN REVIEWED

Building Section

A451.S

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 PROJECT SCALE DRAWN REVIEWED

Building Section

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1 SECTION NORTH-SOUTH
 A452.S

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