

BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

178-200 Isabella

Ottawa, Ontario

for
Minto Communities

Project No. 19048
Date 2023-03-07
Issued for REZONING RE-SUBMISSION

ARCHITECTURAL DRAWINGS

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STRUCTURAL ENGINEER

Adjeleian Allen Rubeli Ltd.
75 Albert Street, Suite 1005
Ottawa, On K1P 5E7
T 613 232 5786

MECHANICAL & ELECTRICAL ENGINEER

Quasar Consulting Group
1025-130 Slater Street
Ottawa, On
T 905 507 0800

PLANNING

Fotenn
396 Cooper St, Suite 300
Ottawa, ON K2P 0Z8
T 613 730 5709

LANDSCAPE ARCHITECT

DTAH
296 Park Road
Toronto, ON M4W 2N5
T 416 968 9479

SITE SERVICING

IBI Group
400-333 Preston Street
Ottawa ON K1S 5N4
T 613 225 1311

TRANSPORTATION

IBI Group
400-333 Preston Street
Ottawa ON K1S 5N4
T 613 225 1311

SURVEY

Stantec
400-1331 Clyde Avenue
Ottawa, ON, K2C 2G4
T 613 784 2211

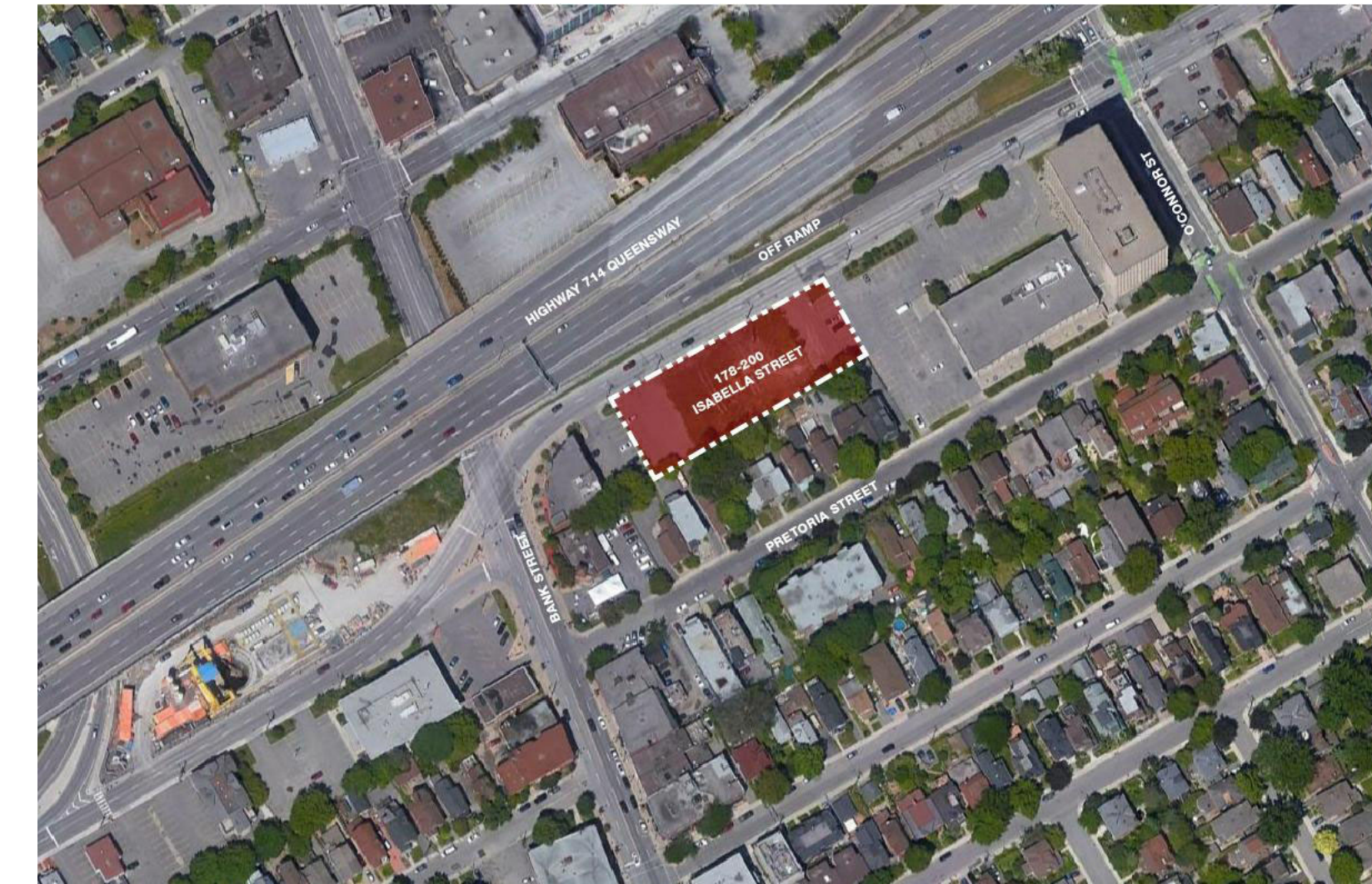
WIND & ACOUSTICS

Gradient Wind
127 Walgreen Road
Ottawa, ON K0A 1L0
T 613 836 0834

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PROJECT STATISTICS SUMMARY	
Municipal Address:	178 - 200 Isabella Street
Lot Area	2,391.00
Zoning Bylaw 569-2013	GM3 F3.0
Average Grade:	68.04
Building Height (Storeys): (excl. Mech Penthouse)	19
Building Height above Average Grade:	63.71
	(m)
GFA - Residential Uses	14,189.58
GFA - Non-Residential Uses	0.00
By-Law 569-2013, Total GFA	14,189.58
Floor Space Index (FSI)	5.93
Number of Residential Suites	234
	(m)
Min. Residential Amenity Space Required	1,404.00
Total Residential Amenity Space Provided	2,203.23
Min. Communal Residential Amenity Space Required	702.00
Communal Residential Amenity Space Provided	730.90
Vehicular Parking Total Required	112
Vehicular Parking Total Provided	132
Bicycle Parking Total Required	117
Bicycle Parking Total Provided	242
Total Loading Spaces Required	1
Total Loading Spaces Provided	1



SUMMARY

CONTEXT PLAN

General Mixed Use Zone		Required	Provided	Bicycle Parking		Required	Provided	Loading Spaces		Required	Provided
VEHICULAR PARKING	Residential	0.4 x 222	89	109	Residential	(0.5/unit)	0.5 x 234	117	242	Residential	1
	Visitor (0.1dwelling unit)	0.1 x 222	23	23	Long Term						
	Retail (1.25/100sm)	1.3 x 0.00	0	0	Non-Residential (1.0/1500sm)	1 x 0.00	0	0	Retail	0.00 sm	
	TOTAL		112	132	TOTAL		117	242	TOTAL		1
	Included in the TOTAL above:				Change & Shower Facilities - Non-Residential				Garbage Room Size (Residential only)		143
	Number of Visitor Accessible Parking Spaces		1	1	Change & Shower facility per gender required		NA		Bulk Waste Storage Room		10
	Number of Residential Accessible Parking Spaces		5	5	Total Non-Res Long-Term bicycle spaces required =		NA				
	Number of parking spaces dedicated for priority LEV parking			X							
	Number of parking spaces with EVSE			X							

Parking Space Location		Residential		Non-Residential		TOTAL		AMENITY SPACE		NOTES	
VEHICULAR PARKING LOCATION	Level	RESIDENTIAL	NON-RESIDENTIAL	Occupant	Visitor	Retail	Office				
	Surface	3						3			
	P1	21	20					41			
	P2	41						41			
	P3	47						47			
TOTAL		109	23	0	0			132			
	Interior Amenity							353.4			
	Ground - Lobby							38.6			
	Ground - Amenity							225.6			
	Floor 7							89.2			
	Outdoor Amenity							1581.8			
	Private Balconies							777.5			
	Private Terrace							616.7			
	Floor 7							187.6			
	TOTAL Res Amenity = 6.0sm/dwelling unit							1,404.00			1,935.21

PARKING, LOADING AND AMENITY STATISTICS

Floor	No. Typ. Floors	GBA Gross Building Area		GCA Gross Construction Area (no exclusions)		GFA Exempt (sm)	City-Wide By-Law				Suite Breakdown					Res. Saleable Area (sf)	Office Usable Area (sf)	Retail Usable Area (sf)	Efficiency (Saleable / GBA)	
		sm	sf	sm	sf		GFA (Res)	GFA (Non-Res)	Bach <45sm	Bach >45sm	1 Bdrm	2 Bdrm	2 Bdrm +Den	3 Bdrm	Total Suites					Balcony
Mech Penthouse	1	548.3	5,902.1	548.3	5,902.1	548.3	0.0	0.0	0.0											
19	1	540.4	5,816.6	697.2	7,504.1	315.3	381.8	4110.1	0.0				4		4			3,820	66%	
18	1	689.2	7,418.6	801.3	8,625.5	266.8	534.5	5753.3	0.0				8		8			6,170	83%	
17	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
16	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
15	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
14	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
13	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
12	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
11	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
10	1	771.6	8,305.1	816.2	8,785.7	198.8	617.4	6645.8	0.0				4	1	6			7,057	85%	
9	1	879.4	9,465.8	929.6	10,006.4	211.0	718.6	7734.9	0.0				9	1	4			8,189	87%	
8	1	879.4	9,465.8	929.6	10,006.4	211.0	718.6	7734.9	0.0				9	1	4			8,189	87%	
7	1	879.4	9,465.8	1,453.9	15,649.1	610.5	643.3	6924.7	0.0				6	2	4			7,137	75%	
6	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4			14,211	91%	
5	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4			14,211	91%	
4	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4			14,211	91%	
3	1	1,453.8	15,648.6	1,514.0	16,296.5	249.0	1,265.0	13616.3	0.0				9	7	4			14,211	91%	
2	1	1,191.3	12,823.0	1,225.9	13,195.5	339.7	886.2	9538.6	0.0				4	3	1			9,966	78%	
Ground	1	1,076.1	11,583.0	1,076.1	11,583.0	788.9	307.2	3306.5	0.0						5			3,490	30%	
P1				2086		0.0														
P2				2086		0.0														
P3				2086		0.0														
TOTALS	19	18,671.3	203,608.0	20,608.0	226,608.0	14,189.6	0.0	0.0	0.0	0.0%	0.0%	41.0%	18.4%	38.0%	2.1%	0.4%	100%	69%	% of Suite Type	
GFA USE Breakdown		Non-Res GFA (RETAIL)	0.00 sm							X	X	X	X	X	X	X				Average Unit Size by Unit Type
		Non-Res GFA (OFFICE)	0.00 sm																	Average GFA per Unit
		Total NON-RES GFA	0.00 sm																	
		Total RESIDENTIAL	14,189.58 sm																	
Area Totals & FSI		Combined RES & NON-RES Gross Floor Area Totals				14,189.6														
		Res and Non-Res Floor Space Index				5.93														
		Floor Space Index (FSI)				5.93														

BUILDING STATISTICS

Date	No.	Description
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2020-09-11		ISSUED FOR REZONING APPLICATION

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178-200 Isabella
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19048 PROJECT SCALE RN JS DRAWN REVIEWED

Statistics and Context Plan

A100.S

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HIGHWAY 417
QUEENSWAY

ISABELLA STREET



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TOPOGRAPHIC SKETCH OF
PART OF LOT
REGISTERED PLAN

(GEOGRAPHIC TOWNSHIP OF)
CITY OF OTTAWA
REGIONAL MUNICIPALITY OF

Scale 1:100
Stantec Geomatics Ltd.
ONTARIO LAND SURVEYORS

BOUNDARY NOTE

BOUNDARY LINEWORK AND INFORMATION IS COMPILED FROM PLAN 200300 AND IS NOT BASED ON ACTUAL SURVEY.

METRIC CONVERSION
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
BEARINGS ARE REFERRED TO THE "LIMIT OF", AS SHOWN ON PLAN, HAVING A BEARING OF XXX'XXX".

VERTICAL DATUM NOTE
ELEVATIONS ARE OF GEODETIC ORIGIN AND ARE DERIVED FROM ELEVATIONS REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1985) AND ARE DERIVED FROM BENCHMARK MONUMENT No. 1, HAVING A PUBLISHED ELEVATION OF " METRES.

HORIZONTAL DATUM NOTE
PROJECTION: UNIVERSAL TRANSVERSE MERCATOR
DATUM: (NAD 83) (CGVD2011)
DISTANCES ON THE PLAN MAY BE CONVERTED TO GROUND DISTANCES BY DIVIDING BY A COMBINED SCALE FACTOR OF 0.999902.

LEGEND

■	DENOTES	FOUND ADJUSTMENTS
□	SET MARKERS	SET MARKERS
▬	IRON BAR	IRON BAR
▬	RODDED IRON BAR	RODDED IRON BAR
▬	STANDARD IRON BAR	STANDARD IRON BAR
▬	SHORT STANDARD IRON BAR	SHORT STANDARD IRON BAR
▬	CUT CROSS	CUT CROSS
▬	CONCRETE PIN	CONCRETE PIN
▬	WINDS	WINDS
▬	PRIORITY IDENTIFICATION NUMBER	PRIORITY IDENTIFICATION NUMBER
▬	MEASURED	MEASURED
▬	PROPOSED	PROPOSED
▬	ORIGIN UNKNOWN	ORIGIN UNKNOWN
▬	STANTEC	STANTEC GEOMATICS LTD.
▬	PLAN	PLAN

UNDERGROUND TELEPHONE

UNDERGROUND HYDRO

WATERMAIN

GASMAIN

STORMSEWER

UNDERGROUND FIBRE OPTIC

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THE SURVEY WAS COMPLETED ON THE DAY OF, 2020.

DATE: _____
DRAWN: * _____ CHECKED: * _____ P.A.: _____ FIELD: * _____ PROJECT No.: 16140000-111

TOPOGRAPHIC LEGEND
AND SURVEY INFORMATION

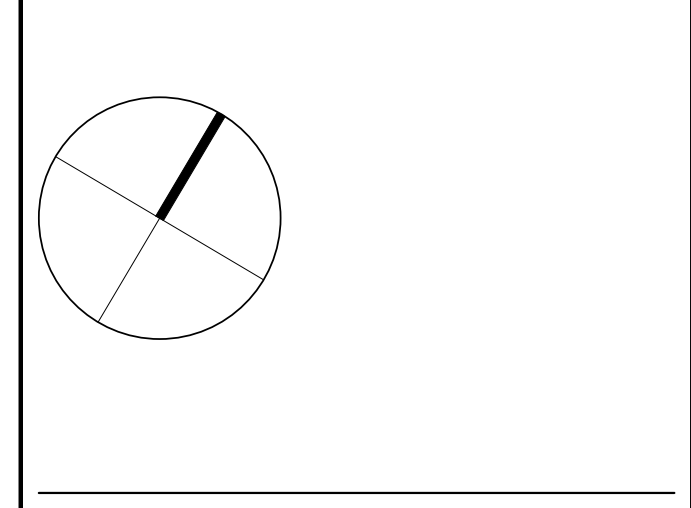
SITE PLAN LEGEND

---	PROPERTY LINE
---	LINE OF UNDER GROUND GARAGE BELOW
←	MAIN BUILDING ENTRANCE
↔	RETAIL ENTRANCE
↔	EXIT
↔	VEHICLE / LOADING ENTRANCE / EXIT
⊙	FIRE HYDRANT
⊙	SIAMSE CONNECTION
⊙	MANHOLE COVER
⊙	AREA DRAIN
⊙	CATCH BASIN
⊙	FLOOR DRAIN
⊙	EXISTING LIGHT
⊙	F.F.E.
⊙	EXISTING ELEVATION
⊙	PROPOSED ELEVATION
⊙	TOP OF ROOF
▭	BUILDING ENVELOPE
▭	FIRE ACCESS ROUTE HEAVY DUTY PAVING. ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.

REVISION RECORD

Date	No.	Description
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2020-09-11		ISSUED FOR REZONING APPLICATION

ISSUE RECORD



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178-200 Isabella
Ottawa, Ontario
for
Minto Communities

19048 As indicatedRN JS
PROJECT SCALE DRAWN REVIEWED

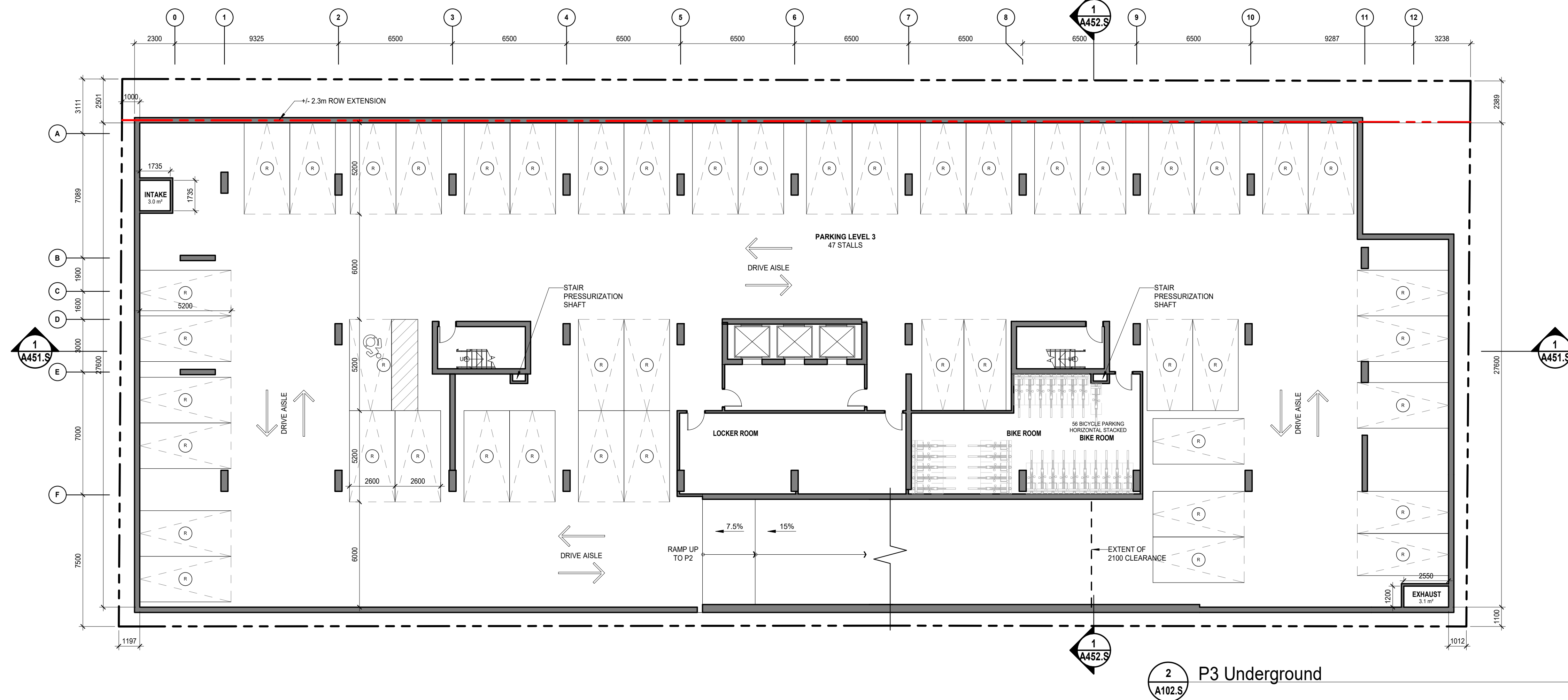
Site Plan

A101.S

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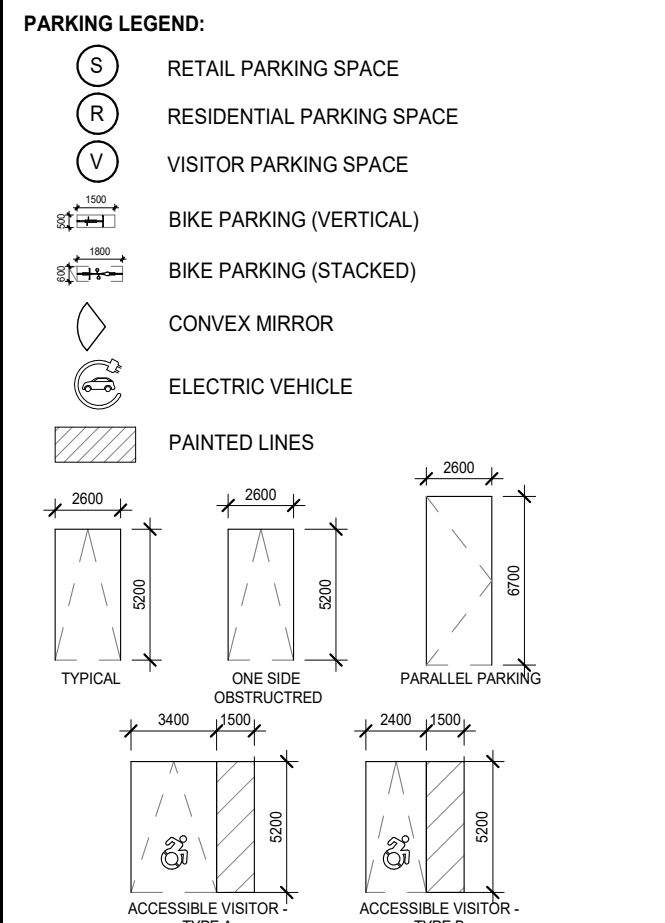
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2 P3 Underground
A102.S

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2600mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
 - 2600mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
 - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

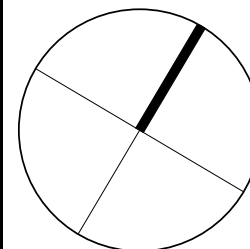


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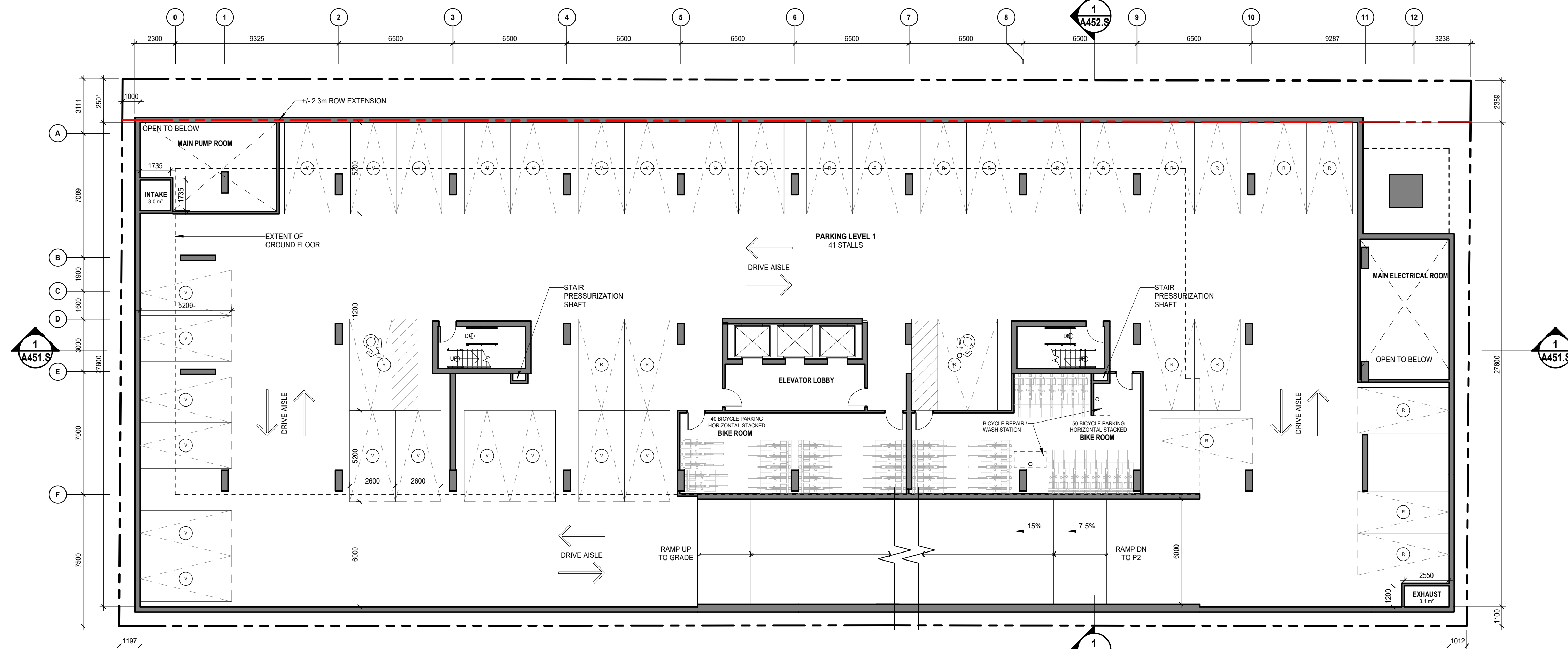
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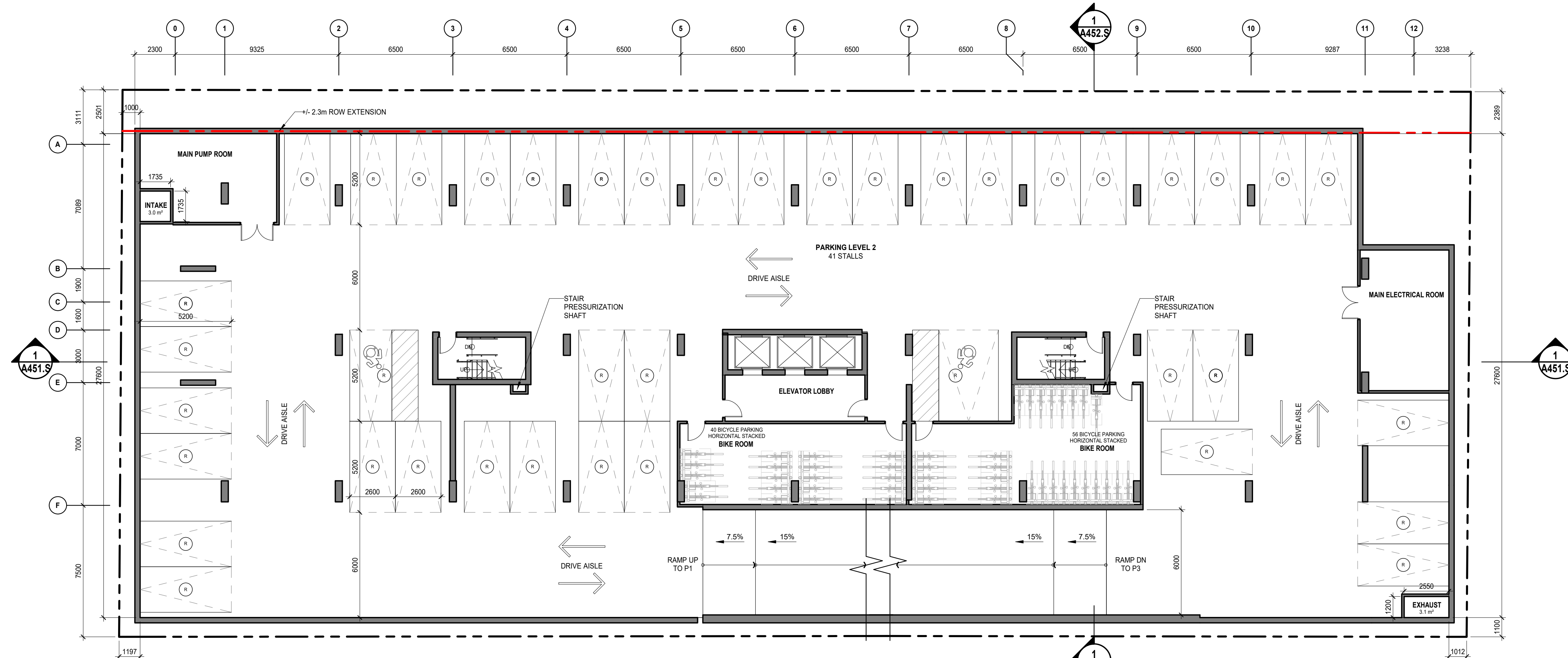
P3 Underground

A102.S

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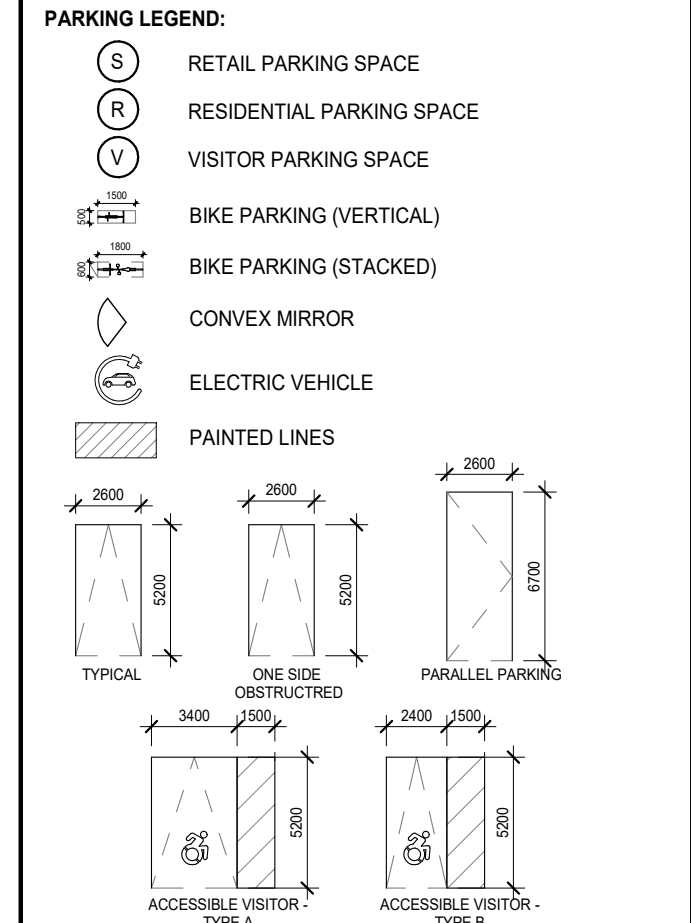


2 P1 Underground
A103.S



1 P2 Underground
A103.S

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2800mm WIDE X 5200mm LONG (NO SIDES OBSTRUCTED)
 - 2900mm WIDE X 5200mm LONG (ONE SIDE OBSTRUCTED)
 - 3200mm WIDE X 5200mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.



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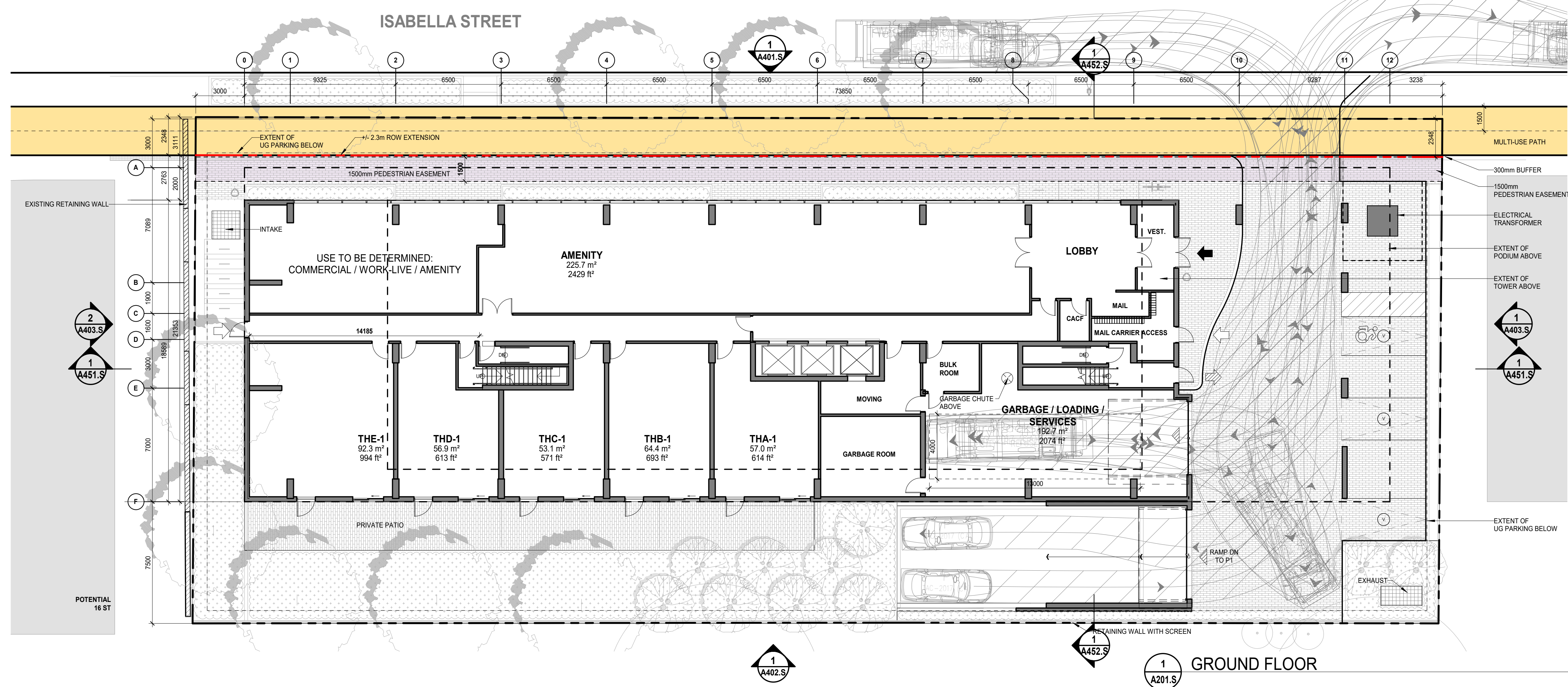
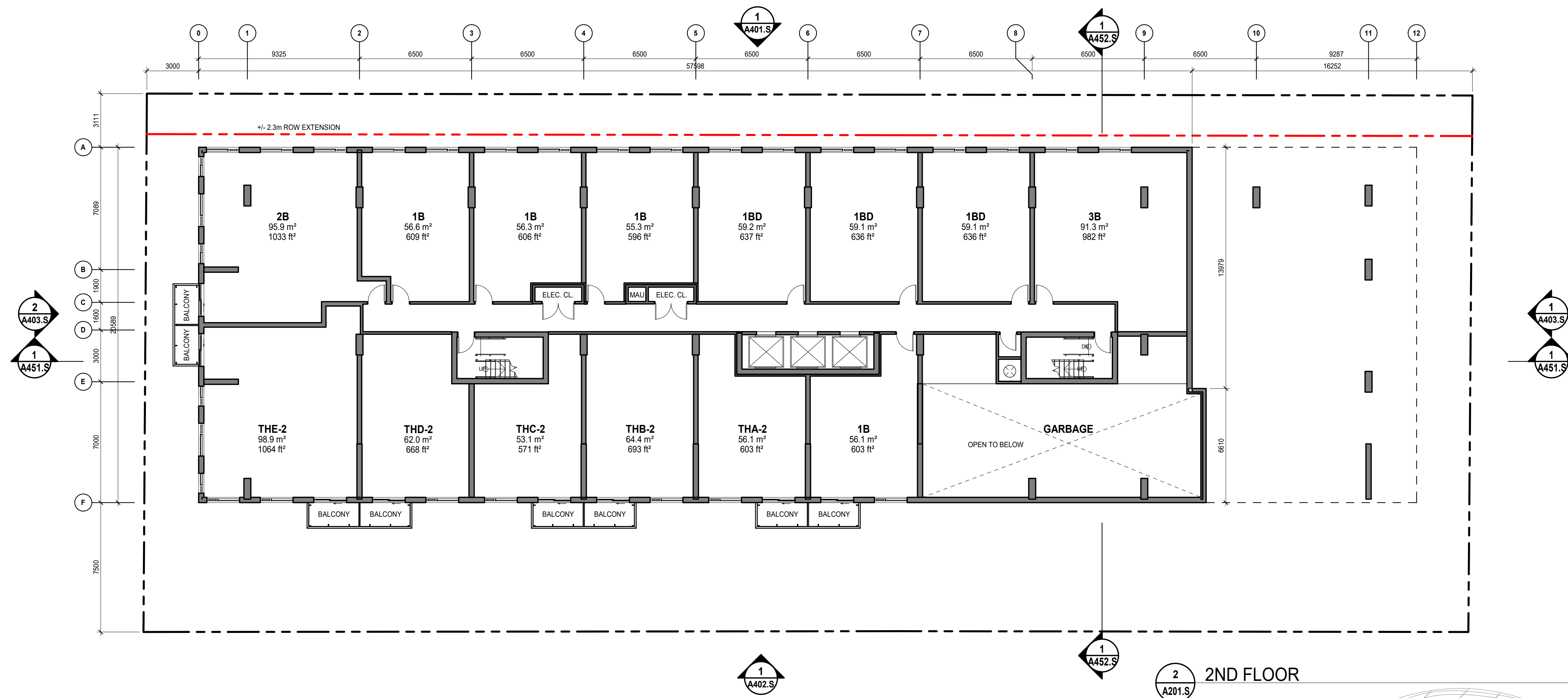
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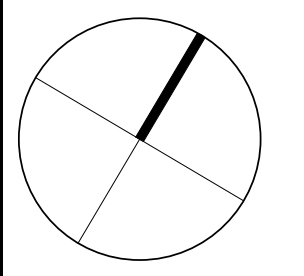
P2 and P1 Underground

A103.S

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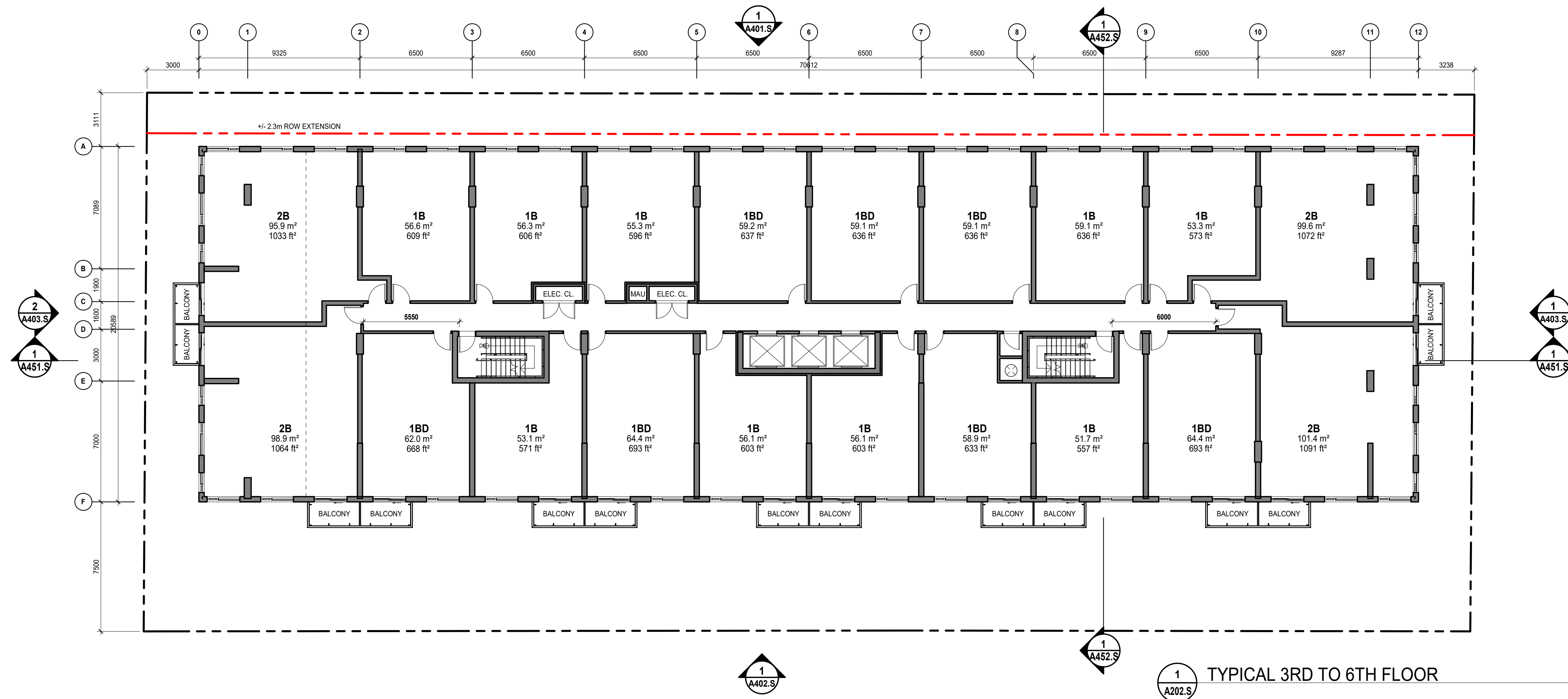
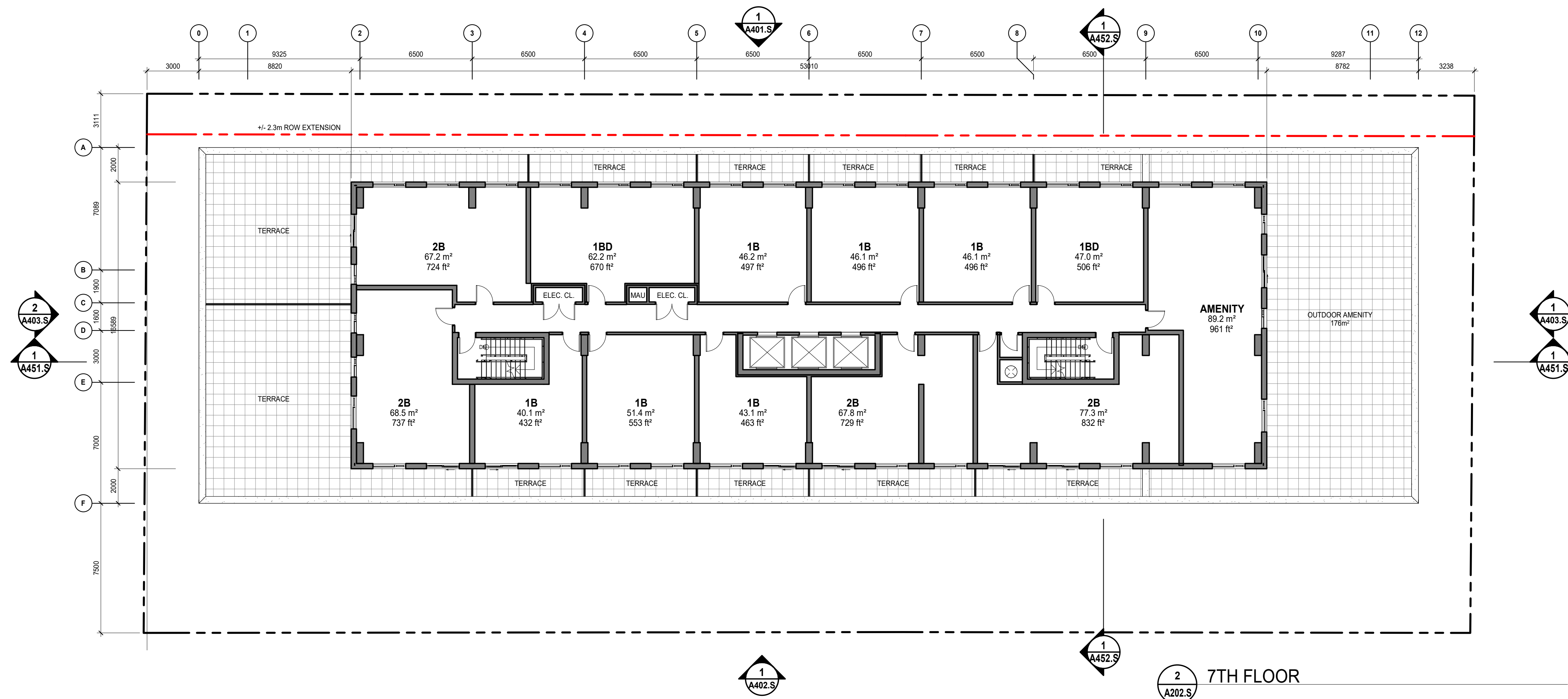
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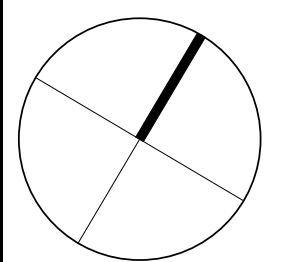
Ground and 2nd Floor Plan

A201.S

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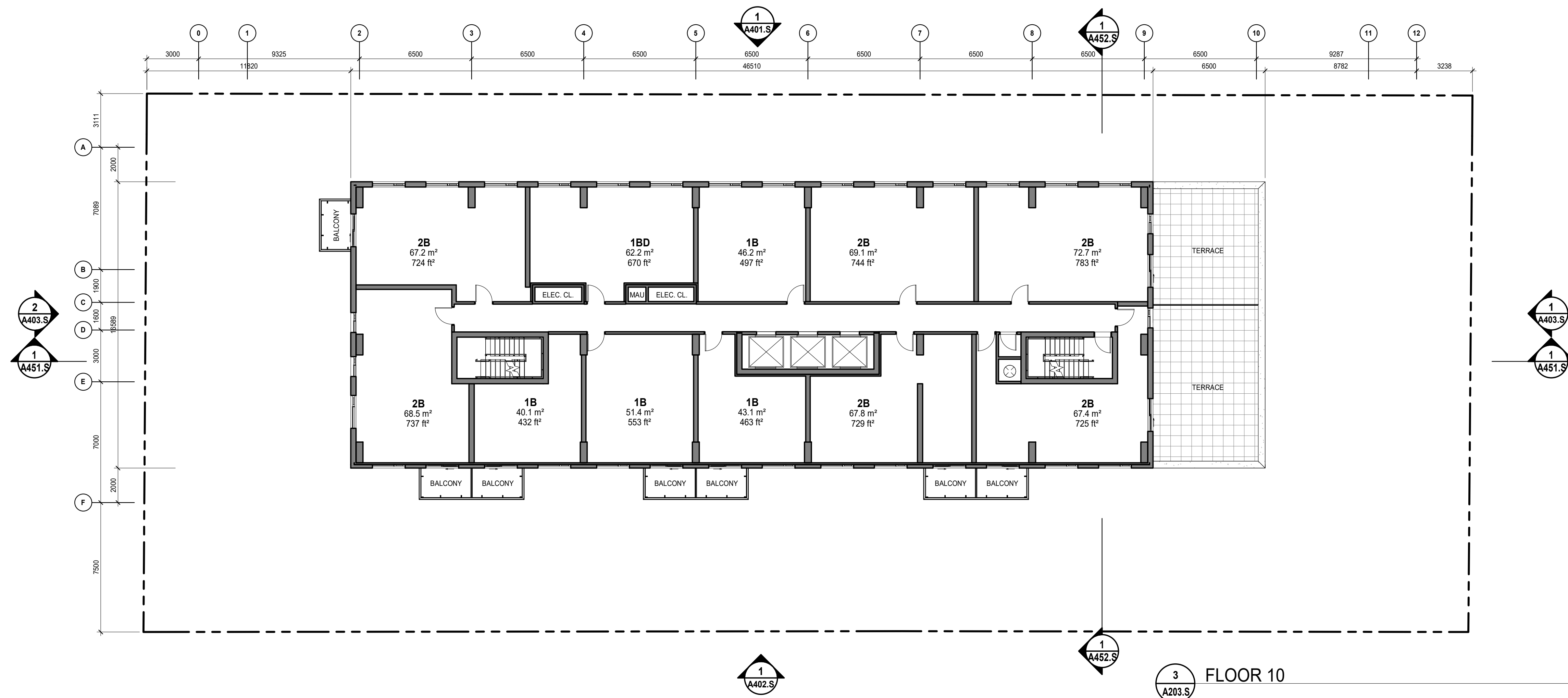
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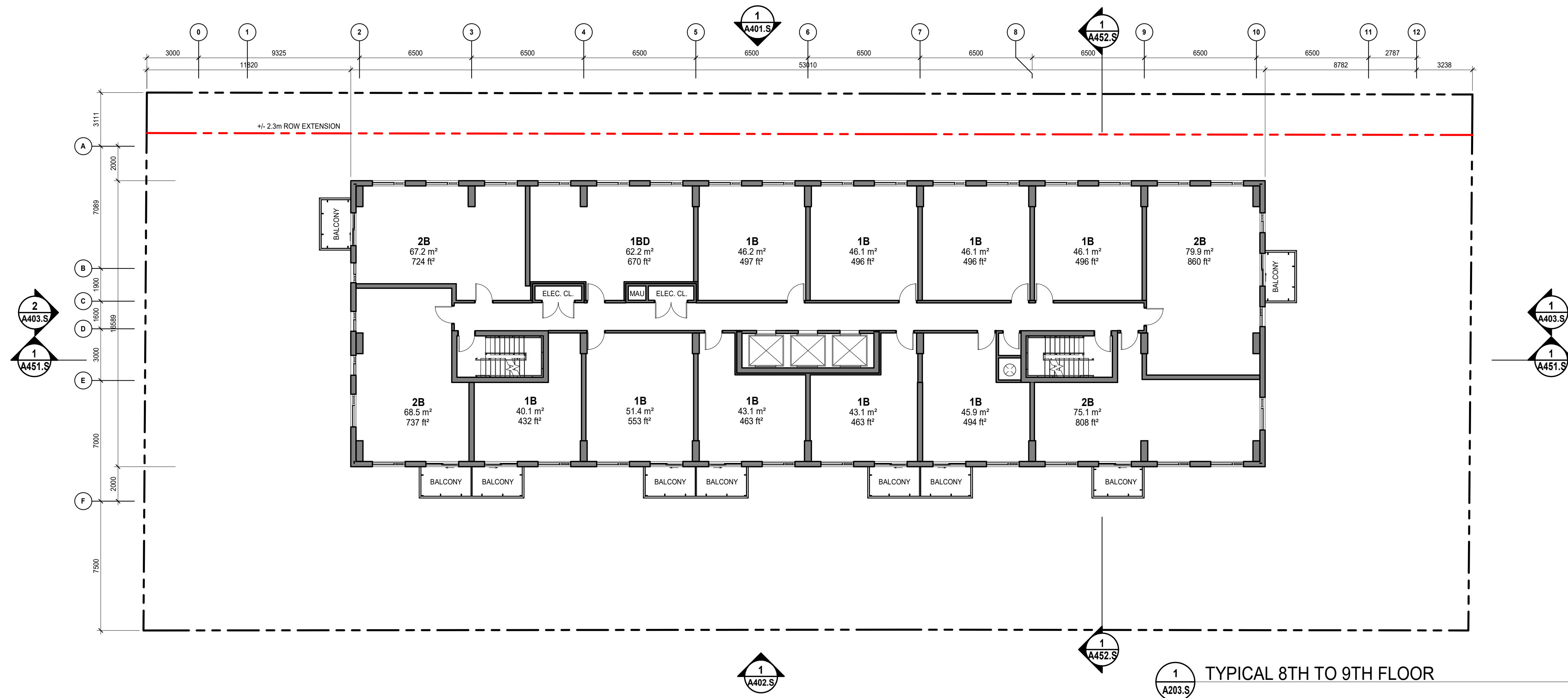
Typical 3rd to 6th and 7th Floor Plan

A202.S

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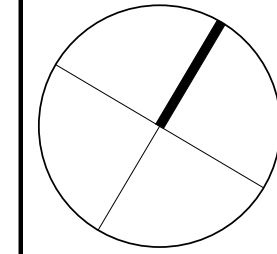


3 FLOOR 10
A203.S



1 TYPICAL 8TH TO 9TH FLOOR
A203.S

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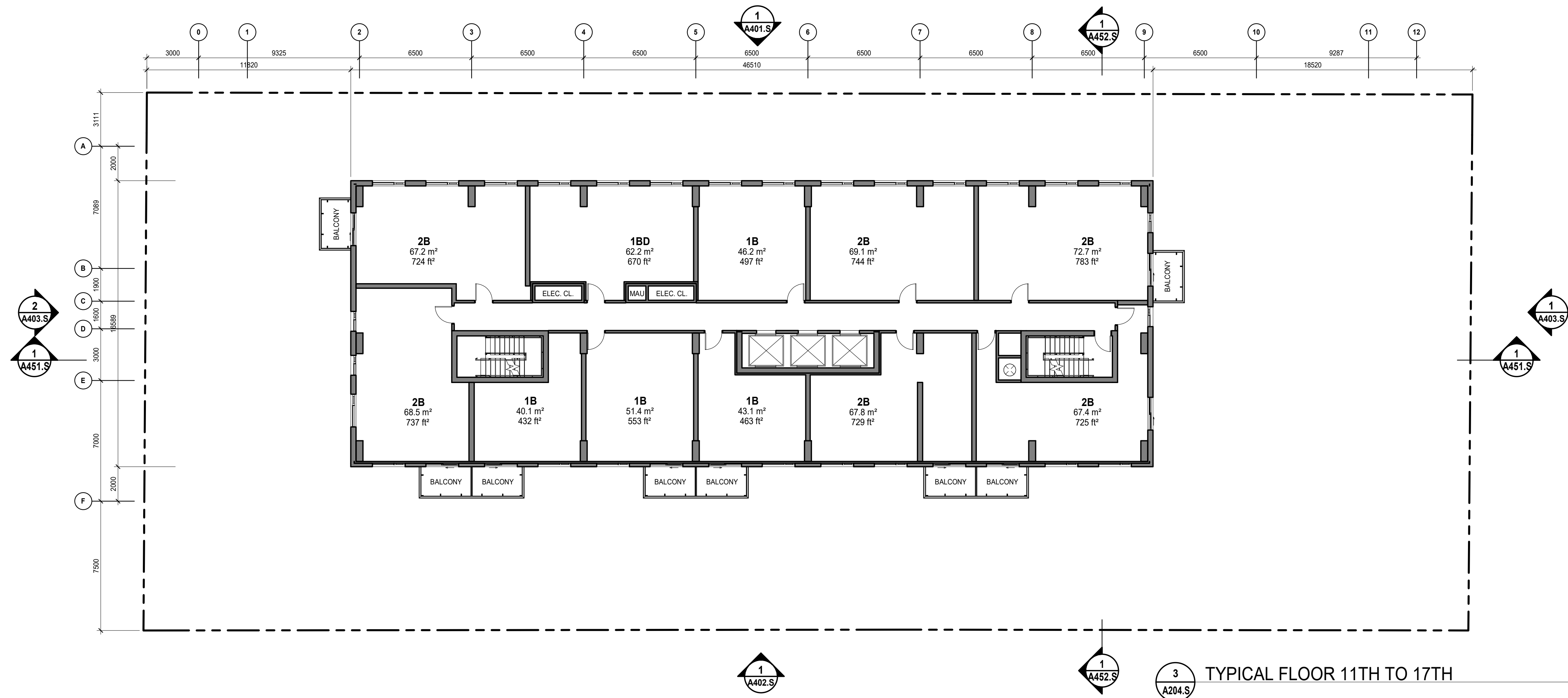
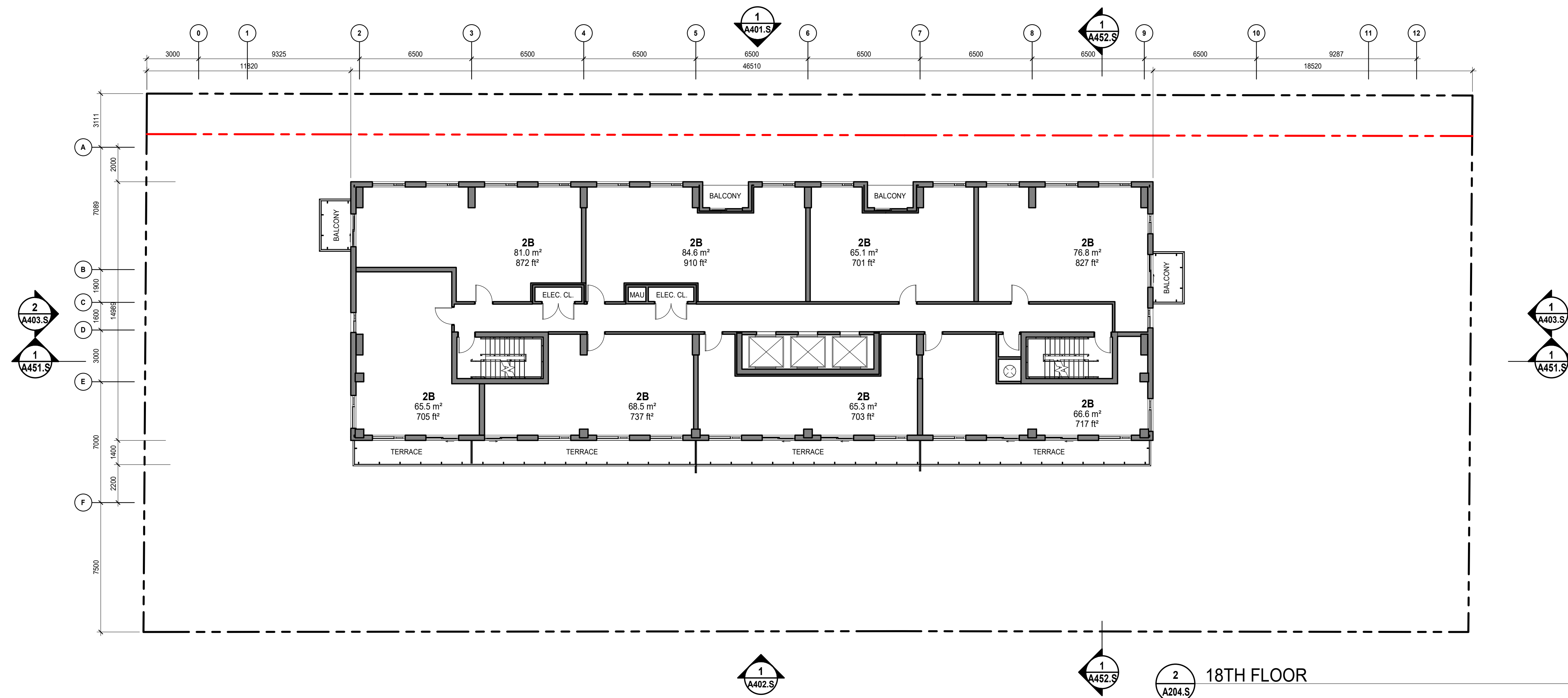
178-200 Isabella
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for
Minto Communities

19048 1 : 150 RN JS
PROJECT SCALE DRAWN REVIEWED

Typical 8th to 9th and 10th Floor Plan

A203.S

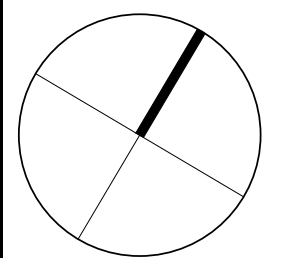
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Date	No.	Description
REVISION RECORD		

2023-03-07		RE-ISSUED FOR REZONING APPLICATION
2022-12-15		RE-ISSUED FOR REZONING APPLICATION

ISSUE RECORD



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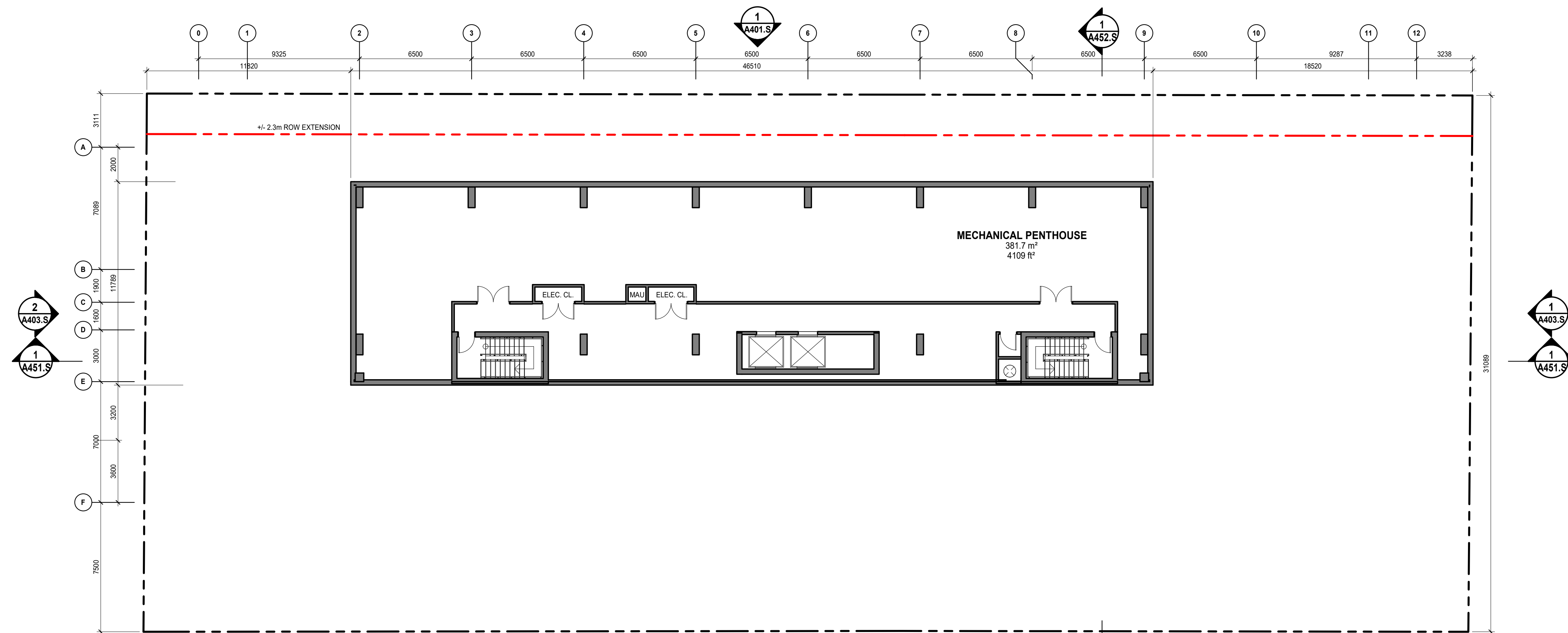
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19048 1 : 150 Author Checker
PROJECT SCALE DRAWN REVIEWED

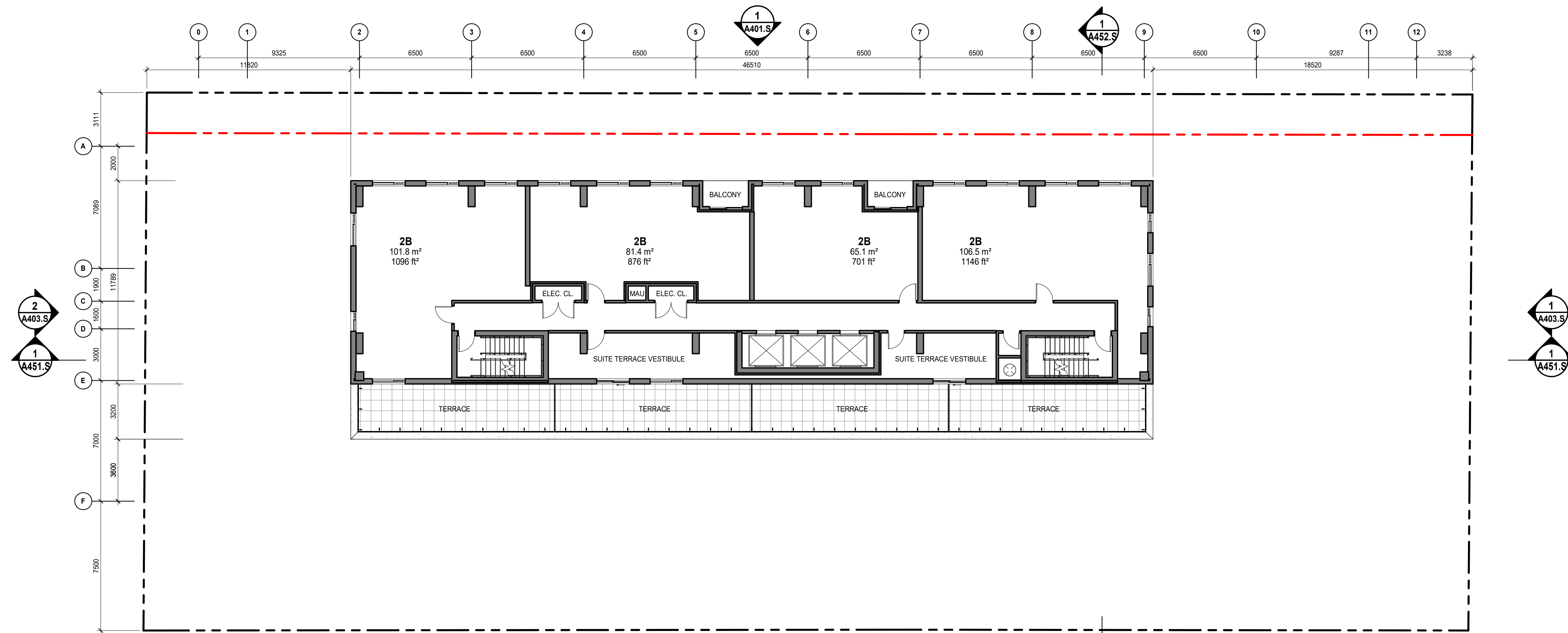
Typical 11th to 17th and 18th Floor

A204.S

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MECHANICAL PENTHOUSE
A205.S



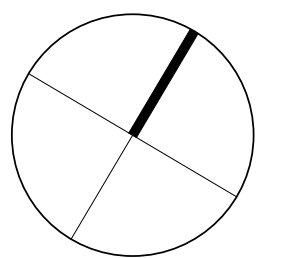
19TH FLOOR
A205.S

Date No. Description

REVISION RECORD

2023-03-07	RE-ISSUED FOR REZONING APPLICATION
2022-12-15	RE-ISSUED FOR REZONING APPLICATION
2021-04-30	RE-ISSUED FOR REZONING APPLICATION
2020-09-11	ISSUED FOR REZONING APPLICATION

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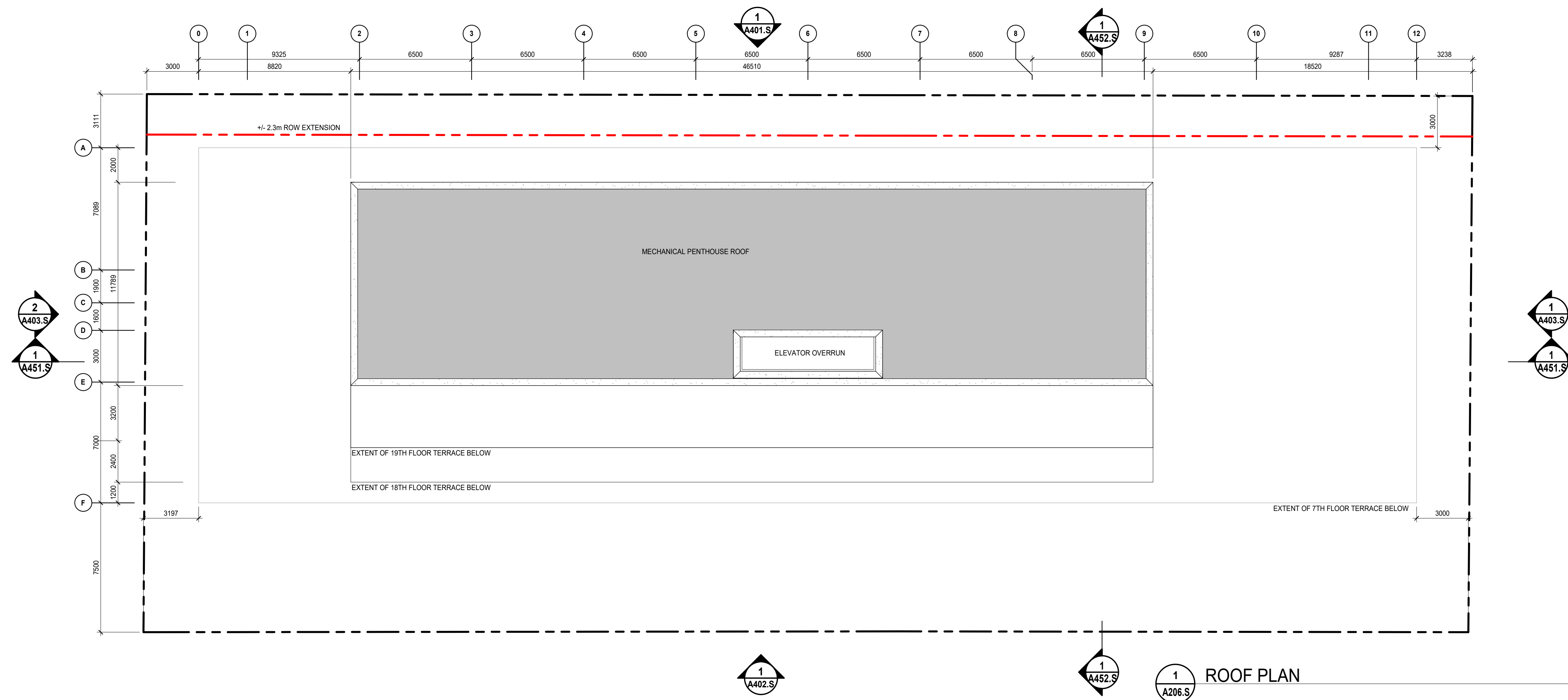
19048 1 : 150 RN JS
PROJECT SCALE DRAWN REVIEWED

19th and Mechanical Penthouse
Floor Plan

A205.S

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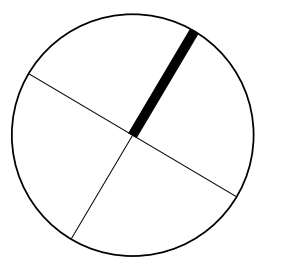
1 A206.S ROOF PLAN

Date	No.	Description
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REVISION RECORD

2023-03-07		RE-ISSUED FOR REZONING APPLICATION
2022-12-15		RE-ISSUED FOR REZONING APPLICATION
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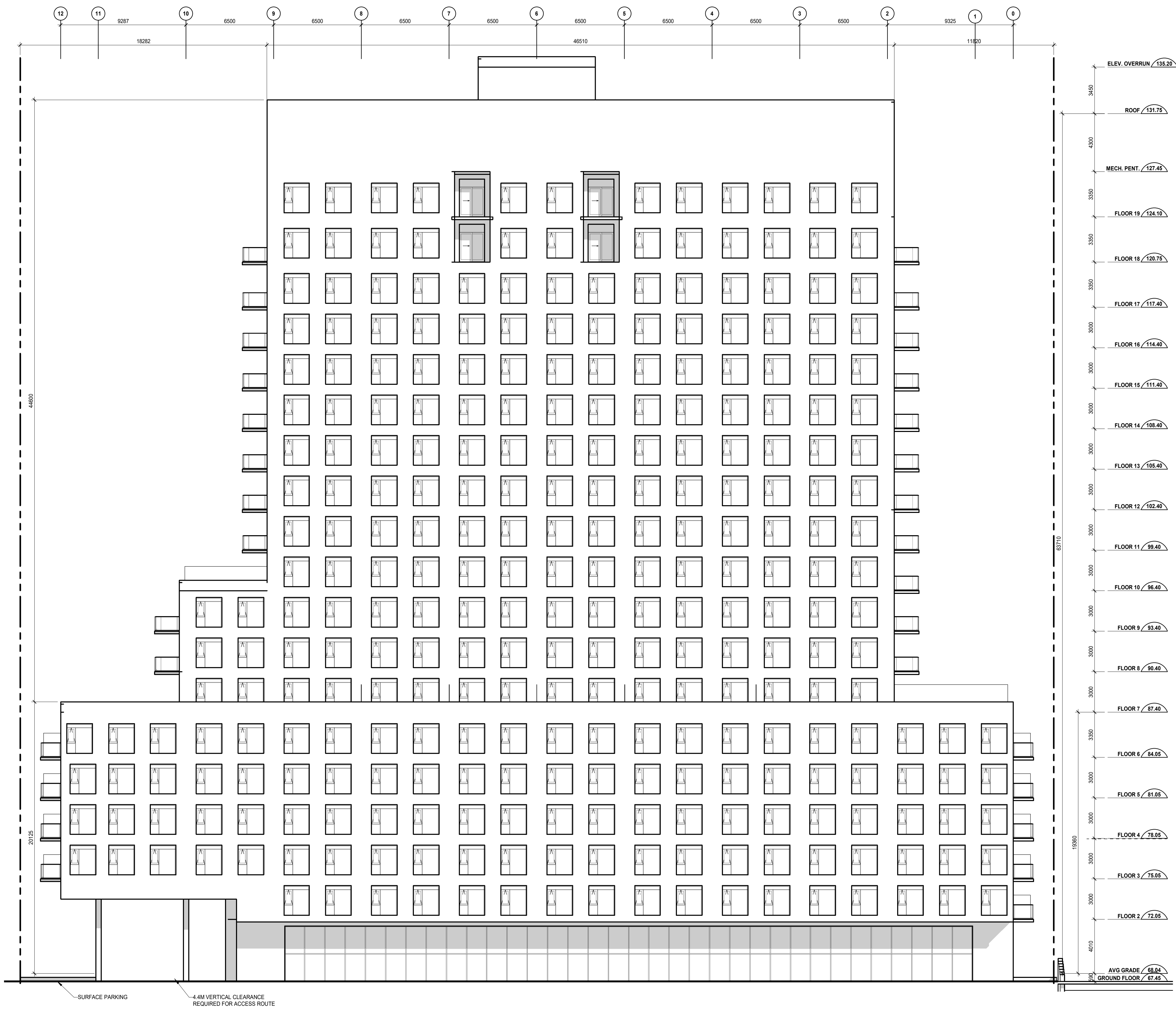
19048 1 : 150 PROJECT SCALE
RN JS DRAWN REVIEWED

Roof Plan

A206.S

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PROJECT SCALE DRAWN REVIEWED

Building Elevations
A401.S

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1 NORTH ELEVATION
A401.S

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2020-09-11		ISSUED FOR REZONING APPLICATION
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19048 1 : 150 RN JS
PROJECT SCALE DRAWN REVIEWED

Building Elevations

A402.S

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1 SOUTH ELEVATION
SCALE: 1 : 150

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2 WEST ELEVATION
A403.S

1 EAST ELEVATION
A403.S

Date	No.	Description
REVISION RECORD		
2023-03-07		RE-ISSUED FOR REZONING APPLICATION
2022-12-15		RE-ISSUED FOR REZONING APPLICATION
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PROJECT SCALE DRAWN REVIEWED

Building Elevations

A403.S

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1 SECTION EAST-WEST
A451.S

Date	No.	Description
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2023-03-07		RE-ISSUED FOR REZONING APPLICATION
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2020-09-11		ISSUED FOR REZONING APPLICATION

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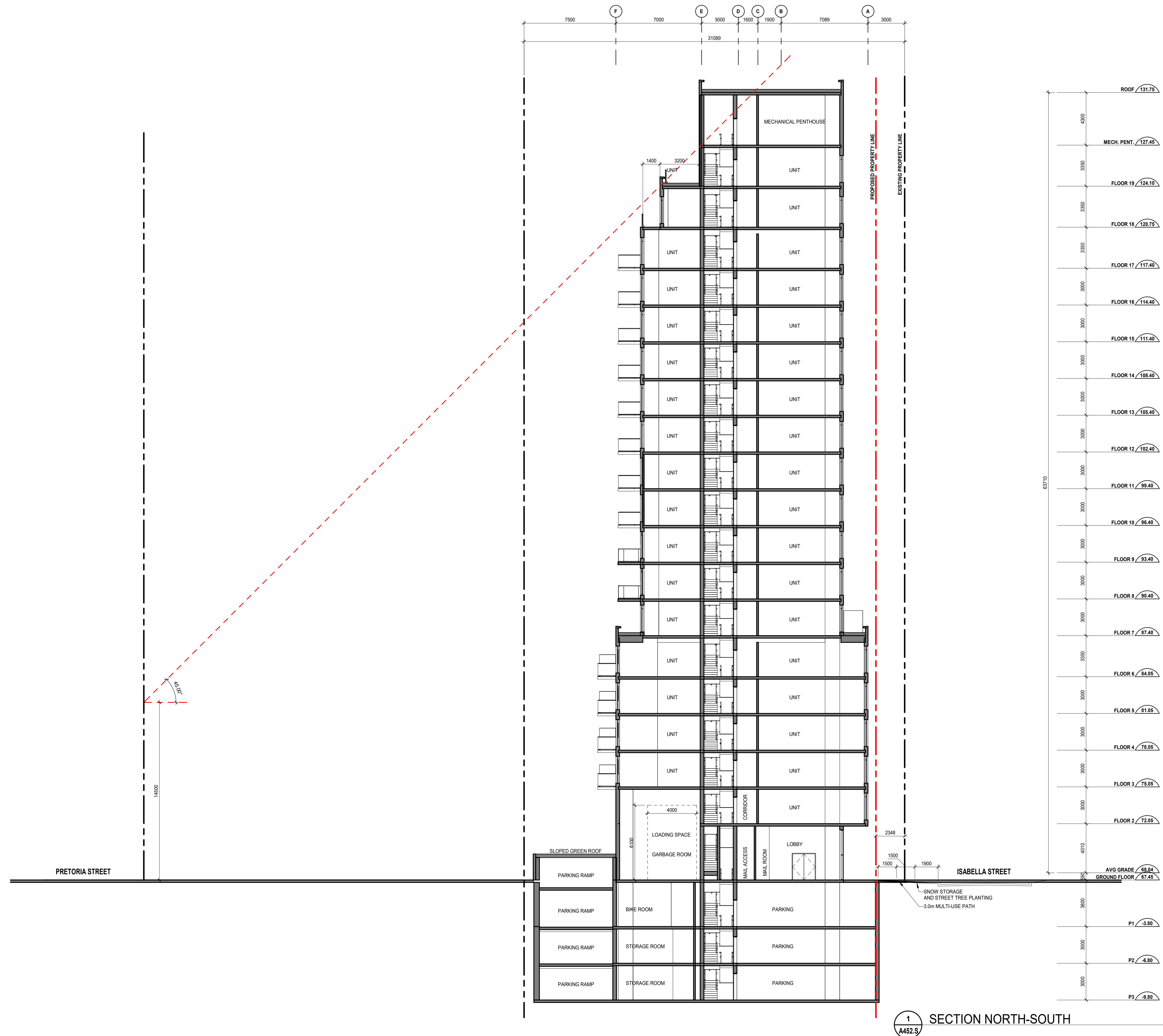
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PROJECT SCALE DRAWN REVIEWED

Building Section
A451.S

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1 SECTION NORTH-SOUTH
A452.S

Date	No.	Description
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2023-03-07		RE-ISSUED FOR REZONING APPLICATION
2022-12-15		RE-ISSUED FOR REZONING APPLICATION
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PROJECT SCALE DRAWN REVIEWED

Building Section
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