

PAPER SIZE: ISO Full Bleed B1 (1000.00 X 707.00 MM) OT DATE: Monday, October 07, 2024

PLOT SCALE: 1:1

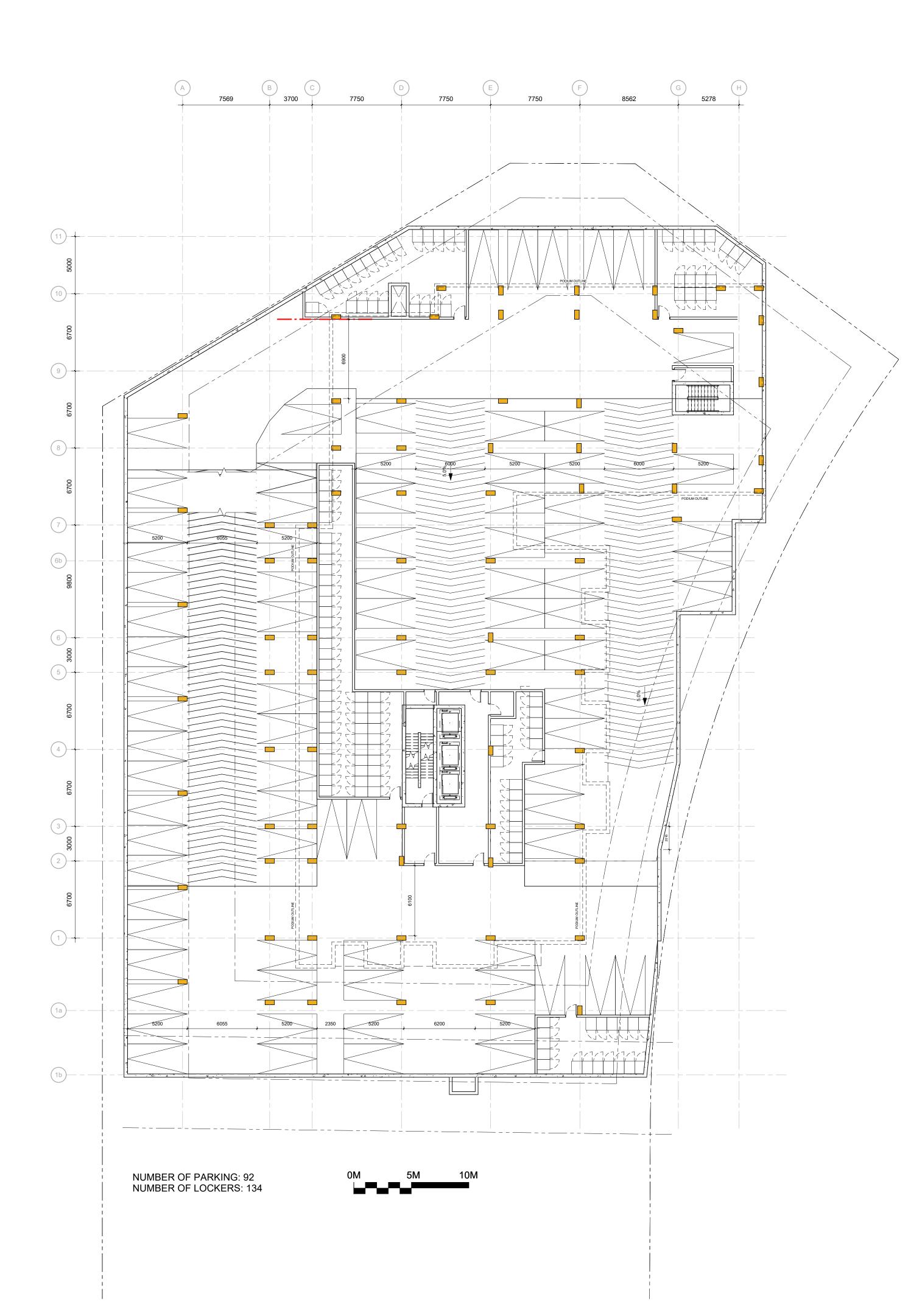
	DRAWING NOTES:	PROJECT INFORMATION	IT IS THE RESPONSIBILITY OF THE APP CONTRACTOR TO CHECK AND VERIFY
EGAL DESCRIPTION		ZONING	ON SITE AND TO REPORT ALL ERRORS OMISSIONS TO THE ARCHITECT.
ART OF LOT 20 ONCESSION 2 (Ottawa Front)	 (2) BUILDING / HEIGHT SETBACK LINE (3) OUTLINE OF TOWER 	Zoning By-Law 2008-250 GM [62] F (0.25)	ALL CONTRACTORS MUST COMPLY W PERTINENT CODES AND BY-LAWS.
ownship of Nepean	4 LINE OF PODIUM (L2-L4) LEVEL	SITE AREA 4,195.2 sq. m. (45,157) sq. ft.	THIS DRAWING MAY NOT BE USED FOI UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.
	 5 LINE OF PARKING GARAGE BELOW 6 RAMP TO U/G GARAGE (BELOW GRADE) 	BUILDING HEIGHT 18.0 m	COPYRIGHT RESERVED.
ART OF DUMAURIER AVENUE s Closed by By-Law 372-78 Inst. NS41961)	7 EXISTING FIRE HYDRANT	FRONT YARD SETBACK3.0 mINTERIOR YARD SETBACK0.0 m	NOTATION SYM
ND PART OF THE 1' RESERVE EGISTERED PLAN 479600	8 EXISTING COMMERCIAL BUILDING 2.0m WIDE CONCRETE SIDEWALK C/W DEPRESSED	REAR YARD SETBACK 7.5 m AMENITY SPACE (6.0 m² PER UNIT) 2,532.0 m²	(00) INDICATES DRAWING NOTES, L
TY OF OTTAWA EGIONAL MUNICIPALITY OF	CURBS AT DRIVEWAY ENTRANCE		INDICATES ASSEMBLIE TYPE; F
TTAWA-CARLETON	 (10) BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE (11) EXISTING 1.5m WIDE ASPHALT CITY SIDEWALK 		ASSEMBLIES SCHEDUAL.
epared by Annis, O'Sullivan, Vollebekk Ltd.	(12) SIAMESE CONNECTION	PROJECT STATISTICS	
ROJECT DEVELOPER	 (13) REAR YARD LANDSCAPE SETBACK (14) LINE OF U/G HYDRO VAULT 	BUILDING HEIGHT126.0 mBUILDING HEIGHT - STOREY'S40	000 INDICATES DOOR TYPE, REFER
RIGIL Construction	15 2.6 X 5.2m STANDARD PARKING SPACES	AVERAGE MEAN GRADE(GEO. ELEV.)74.20FRONT YARD SETBACK5.9 m	
8, Lois street atineau, Qc, J8Y 3R7	(16) AREA OF TEMPORARY SNOW STORAGE	INTERIOR YARD SETBACK 0.0 m	DETAIL REFERENCE PAGE
el: (819) 243-7392 ax: (819) 243-5126	17 STANDARDS C/W DEPRESSED CURB @ DRIVEWAY	REAR YARD SETBACK 15.7 m	
-Mail: brigil@brigil.com	(18) SOFT LANDSCAPING (19) HARD LANDSCAPING - PAVERS	GROSS BUILDING - AREAS (PER CITY OF OTTAWA ZONING AREA DEFINITION)	
	 EXISTING CITY BOULEVARD TO BE REINSTATED UPON COMPLETION OF SITE WORK 	PARKING LEVEL 0.0 sq. m. 000 sq. ft.	
URVEYOR nnis O'Sullivan Vollebekk Ltd.	(21) CONCRETE RETAINING WALL C/W STONE FACE. PROVIDE GUARD IF GRADE CHANGE EXCEEDS 600mm -	GROUND FLOOR 1335.0 sq. m. 14,370 sq. ft.	
ntario Land Surveyors	SEE SECTION DETAIL A-AA	2nd to 4th FLOOR 3 x 1,455.2 sq. m. 3 x 15,665 sq. ft. 4,365.6 sq. m. 46,995 sq. ft.	
4 Concourse Gate, Suite 500, epean, Ontario K2E 7S6	 (22) EXISTING TREE TO BE REMOVED - SEE LANDSCAPE (23) LINE OF U/G CISTERN; SEE CIVIL AND MECHANICAL FOR DETAILS 	33 x 710 7 sq m 23 453 1 sq m	
el: (613) 727-0850 ax: (613) 727-1079	LIGHT STANDARD - SEE ELECTRICAL LIGHTING	6th - 38th FLOOR 33 x 7,650 sq. ft. 252,450 sq. ft.	
-Mail: EdH@aovItd.com	 (24) CERTIFICATE (25) CATCH BASIN / TRENCH DRAIN - SEE CIVIL & MECH. 	38th - 40th FLOOR 2 x 5,753 sq. ft. 11,505 sq. ft. MECHANICAL LEVEL 0.0 sq. m.	
RBAN PLANNER	(26) NEW CURB TO TIE INTO EXISTING - SEE CIVIL	30.933.3 sq. m	
oTenn Consultants Inc.	 (27) 1670mm W. CONCRETE B/F RAMP - SEE GRADING PLANS RAISED COMMERCIAL TERRACE - SEE GRADING AND 	TOTAL AREA 332,970 sq. ft.	
96 Cooper Street, Suite 300 Dttawa, ON Canada, K2P 2H7	(28) LANDSCAPE PLANS	UNIT STATISTICS	
el.:(613) 730-5709 ex. 287 Fax: (613) 730-1136	PAINTED LINES	ONE BEDROOM UNIT 240 TWO BEDROOM UNIT 161	
-Mail: church@fotenn.com	EXISTING STM TO BE REMOVED/RELOCATED - SEE 30 CIVIL	THREE BEDROOM UNIT 6	
	SEE CIVIL DRAWINGS FOR ALL SERVICING WORK (31) BEYOND PROPERTY LINE OF PROPOSED APPLICATION	TOTAL 407 COMMERCIAL	
tantec Engineering Ltd.	 (32) RETAINING EXISTING STREET TREE - SEE LANDSCAPE (33) GAS PRESSURE RELEASE STATION 	COMMERCIAL200.0 sq. m.TOTAL NFA, COMMERCIAL2,150 sq. ft.(PER CITY OF OTTAWA DEFINITION)2,150 sq. ft.	
331 Clyde Avenue, Suite 400, ttawa, ON K2C 3G4	(34) EXISTING HYDRO POLE TO BE REMOVED		
el: (613) 724-4337 -Mail: kris.kilborn@stantec.com	(35) EXHAUST/INTAKE FOR PARKING GARAGE, FLUSH TO GRADE	CAR PARKING REQUIRED by ZONING BY-LAW	
	(36) EXISTING ASPHALT PARKING LOT & ENTRANCE	RESIDENCE - 0.5 PER DWELLING UNIT (AFTER 12 UNITS) 198	
ANDSCAPE ARCHITECT	37) B/F PARKING AS PER CITY STANDARD. ONE TYPE 'A' & ONE TYPE 'B' SPACE	VISITOR - 0.1 PER DWELLING UNIT 30 (NO MORE THAN 30	
evstek Consulting	 PRIVATE ENTRANCE CROSSING AS PER CITY OF OTTAWA STANDARDS SC-7.1 	SPACES REQ'D)COMMERCIAL- 5.0 MAX.PER 100 m² GFA15	
371 Hugh Crescent ttawa, (Osgoode) ON K0A 2W0	(39) HEATED CONCRETE RAMP DOWN TO GARAGE ENTRY. PROVIDE GUARD WHEN ADJACENT GRADE TO RAMP EXCEEDS 600mm	(PENDING UNIT USE) TOTAL 243	
el: (613) 826-0518 -Mail: rlevstek@larocquelevstek.com	(40) PAINTED LINES TO INDICATE PEDESTRIAN CROSSING	PROVIDED	
	 (41) RAISED PLANTER - SEE LANDSCAPE (42) LINE OF WATER ENTRY ROOM BELOW 	RESIDENCE (BELOW GRADE) (0.42/ UNIT) 174 VISITOR & COMMERCIAL (BLENDED)	
	(42) RETAINING WALL - SEE LANDSCAPE AND CIVIL	ABOVE GRADE: 06 BELOW GRADE: 24	
	 (44) CISTERN ACCESS COVERS - SEE CIVIL (45) L5 PERGOLA STRUCTURE ABOVE - SEE LANDSCAPE 	TOTAL: 30 TOTAL 204	
	 (45) L5 PERGOLA STRUCTURE ABOVE - SEE LANDSCAPE (46) LINE OF ELECTRICAL ROOM BELOW 	MAXIMUM PARKING RATE FOR RESIDENTIAL LISE	
	(47) 5th LEVEL EXTERIOR AMENITY TERRACE WITH 1.8m HT. WIND SCREEN	1.75 per UNIT (INCLUDING VISITOR)	4 ISSUED FOR SPA / RE-ZONING - R4
	(48) CONCRETE STEPS	BICYCLE PARKING	3 ISSUED FOR SPA / RE-ZONING - R3 2 ISSUED FOR SPA / RE-ZONING
	 (49) FIRE HYDRANT (50) LINE OF BALCONY ABOVE 	REQUIREDRESIDENTIAL- 0.5 PER UNIT (407UNITS)204	Issued for design concept No.
	51) EXISTING UTILITY POLE	COMMERCIAL - 1.5 PER 250 m2 GFA 2 (200 M2)	REVISIONS:
	52 EXISTING CHAIN LINK FENCE TO BE REPLACED AS REQUIRED	TOTAL: 206	ARCHITECT SEAL: NORTH
	53) EXIT STAIR PROJECTION AT L5 EXTERIOR TERRACE	PROVIDED EXTERIOR: 10	ARCHITECT SEAL: NORTH
	(54) 2.0M H. OPAQUE SCREEN FOR GARBAGE SITE PLAN SYMBOLS:	INTERIOR: 304 TOTAL: 314	E RODEFNICK L LAHEY S
		LOT COVERAGE	LICENCE HART
		PAVED SURFACE = 720.0 sq. m. 17.2% BUILDING FOOTPRINT = 1,570.0 sq. m. 37.4%	SEAL DATE: STAMP DATE
	CONCRETE SIDEWALK	LANDSCAPE OPEN SPACE = 1,905.0 sq. m. 45.4%	
	COMMERCIAL PATIO / CONCRETE PAVERS	TOTAL = 4,195.0 sq. m. 100.0%	hric
METAL GUARD	PAVERS @ TERRACE LEVEL	REAR PARKING/LANDSCAPE AREA	Dric
STONE CLAD CONCRETE RETAINING	TWSI CROSSING AS PER CITY OF	PAVED SURFACE = 511.0 sq. m. 39.5% LANDSCAPE OPEN SPACE = 784.0 sq. m. 60.5%	
	OTTAWA STANDARDS	TOTAL = 1,295.0 sq. m. 100.0%	ARCHITECT:
SOFT LANDSCAPING. > SEE LANDSCAPE & CIVIL FOR ADDITIONAL DETAILS . 	AREA OF MAIN TOWER ABOVE		rla larchite
	PROPERTY LINE	AT GRADE COMMUNAL EXTERIOR = 1,673.0 sq. m. GROUND COMMUNAL INTERIOR = 555.0 sq. m.	
SEE STRUCTURAL FOR	BUILDING SETBACK LINE	PRIVATE BALCONIES = 5,250.0 sq. m. 5th FLOOR COMMUNAL INTERIOR = 355.0 sq. m.	roderick lahey 56 beech street, ottawa, o
RETAINING WALL SECTION A-AA	11.5M TOWER SETBACK LINE	5th FLOOR COMMUNAL EXTERIOR =755.0 sq. m.ROOF TOP COMMUNAL EXTERIOR =0.0 sq. m.	t. 613.724.9932 f. 613.724.1209
410 gr.	PROPOSED WATER SERVICE		PROJECT TITLE:
BELAIR PARK	PROPOSED SANITARY SERVICE	TOTAL COMMUNAL = 3,338.0 sq. m. TOTAL OVERALL = 8,588.0 sq. m.	2829 DUMAL
KENSON PARK		REQUIRED - 6.0M ² PER UNIT (407) = 2,442.0 sq. m.	AVENU
PARKWAY PARK	BIKE RACK	REQUIRED COMMUNAL @ 50% = 1,221.0 sq. m.	
PARKWAY PARK	FH FIRE HYDRANT	REFUSE REQUIREMENT (407 UNITS)	
École élémentaire Catholique Terre-des.	VEHICULAR DIRECTION	GARBAGE - 0.053 PER UNIT 22 YARDS (COMPACTED) RECYCLING GMP - 0.018 PER UNIT 8 YARDS	SHEET TITLE:
	EXISTING TREE TO BE REMOVED - SEE	RECYCLING FIBER - 0.038 PER UNIT 16 YARDS	
Hamilton P	+ EXISTING TREE TO BE RETAINED - SEE LANDSCAPE DRAWINGS	ORGANICS - 240L PER 50 UNITS 9	SITE PLA
Pinecrest Recreation over the Article			
Sir Guy Carleton	h h		DRAWN: CHECK
RYAN T	SIAMESE CONNECTION PRIMARY ENTRANCE / EGRESS DOOR		R.V. J.G.
And the second s	SECONDARY DOOR		SCALE: SHEET 1:150
RBC Royal Ban Bramp Indian	GAS METER REGULATOR - SEE CIVIL & MECHANICAL DRAWINGS		1:150 PROJECT No.
пов	NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN		1922

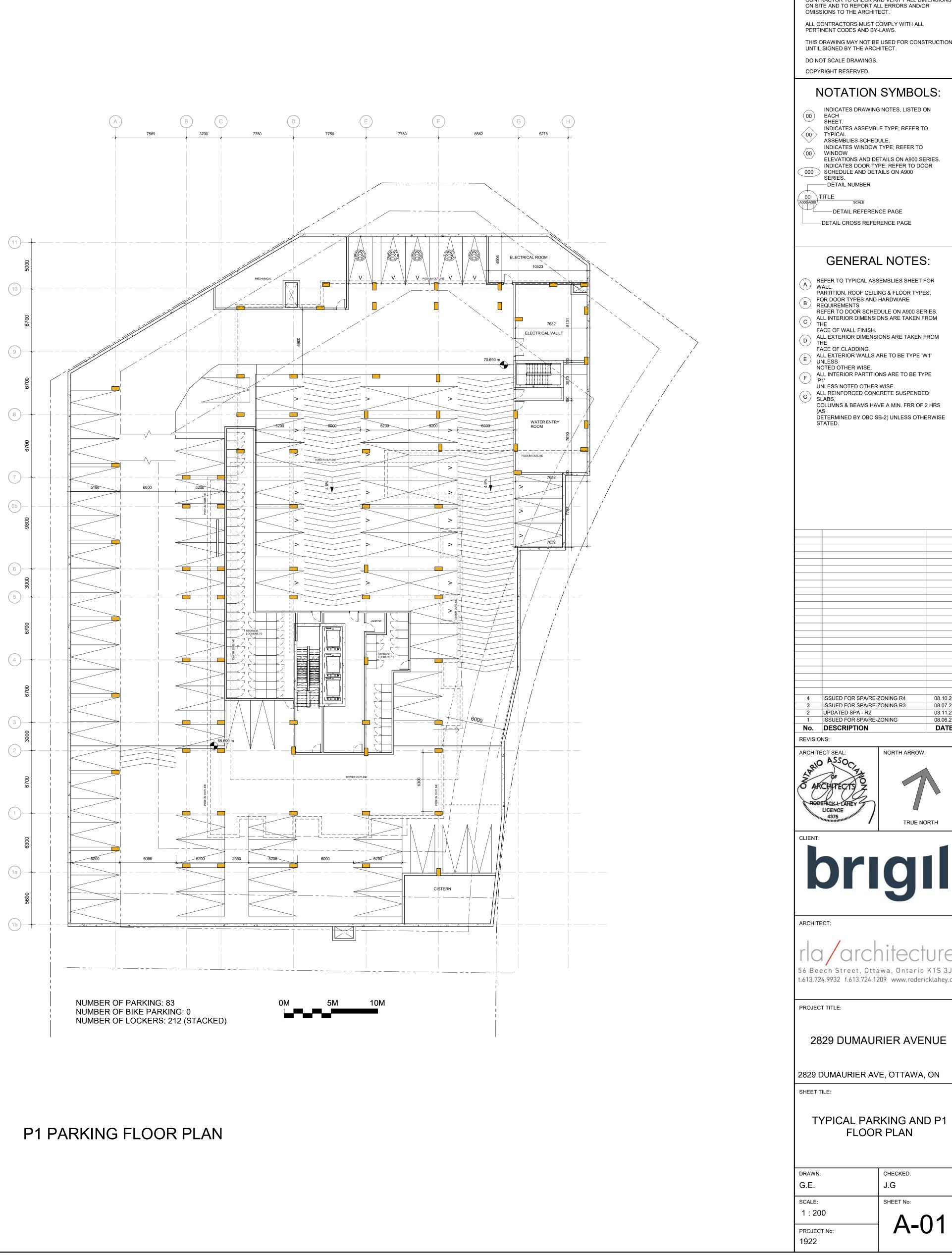
F:\2019\1922 - 2829 Dumaurier\01_Design Development\1922 SP-1 Site Plan CURRENT 2024 09 06.dwg

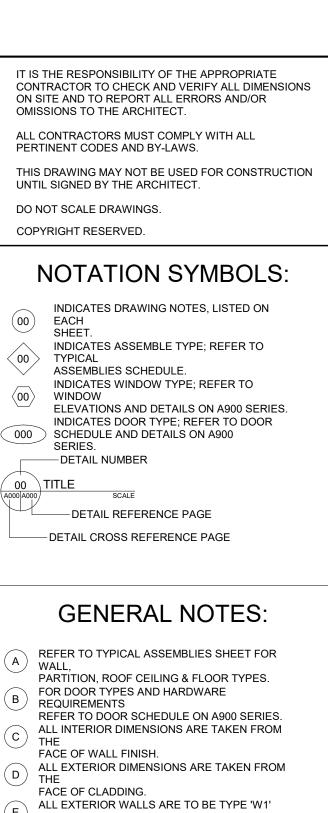


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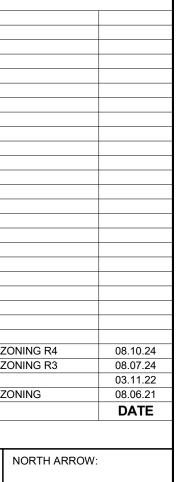
P2 PARKING FLOOR PLAN



















#17421

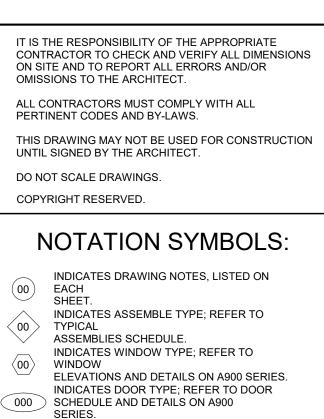


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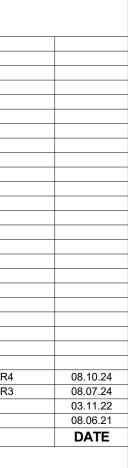
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COPY	NT SCALE DRAWINGS. RIGHT RESERVED.	SYMBOL
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A W P/ B FC RR RI C F/ D F/ E UI N AI F/ C F UI A S C (A D C) F UI G AI	NLESS NOTED OTHER LL REINFORCED CONC _ABS, OLUMNS & BEAMS HA'	SEMBLIES SHEET F NG & FLOOR TYPE HARDWARE DULE ON A900 SER DNS ARE TAKEN FF ONS ARE TAKEN F NRE TO BE TYPE 'W NS ARE TO BE TYPE 'W WISE. CRETE SUSPENDED
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ARCHITE	OF OF CONTECTS CONTEC	NORTH ARROW:
CLIENT:	Dri	g
56 Bee	ECT: I/OICC ech Street, Otta 4.9932 f.613.724.12	awa, Ontario
PROJEC		RIER AVEI
2829 E SHEET T		E, OTTAWA,
	FLOOR	PLANS
DRAWN: G.E. SCALE:		CHECKED: J.G SHEET No:
1 : 20 PROJEC 1922		A-(



DTES: 6 SHEET FOR OOR TYPES. **ARE** N A900 SERIES. E TAKEN FROM E TAKEN FROM E TYPE 'W1' TO BE TYPE JSPENDED . FRR OF 2 HRS ESS OTHERWISE









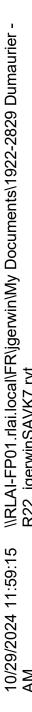


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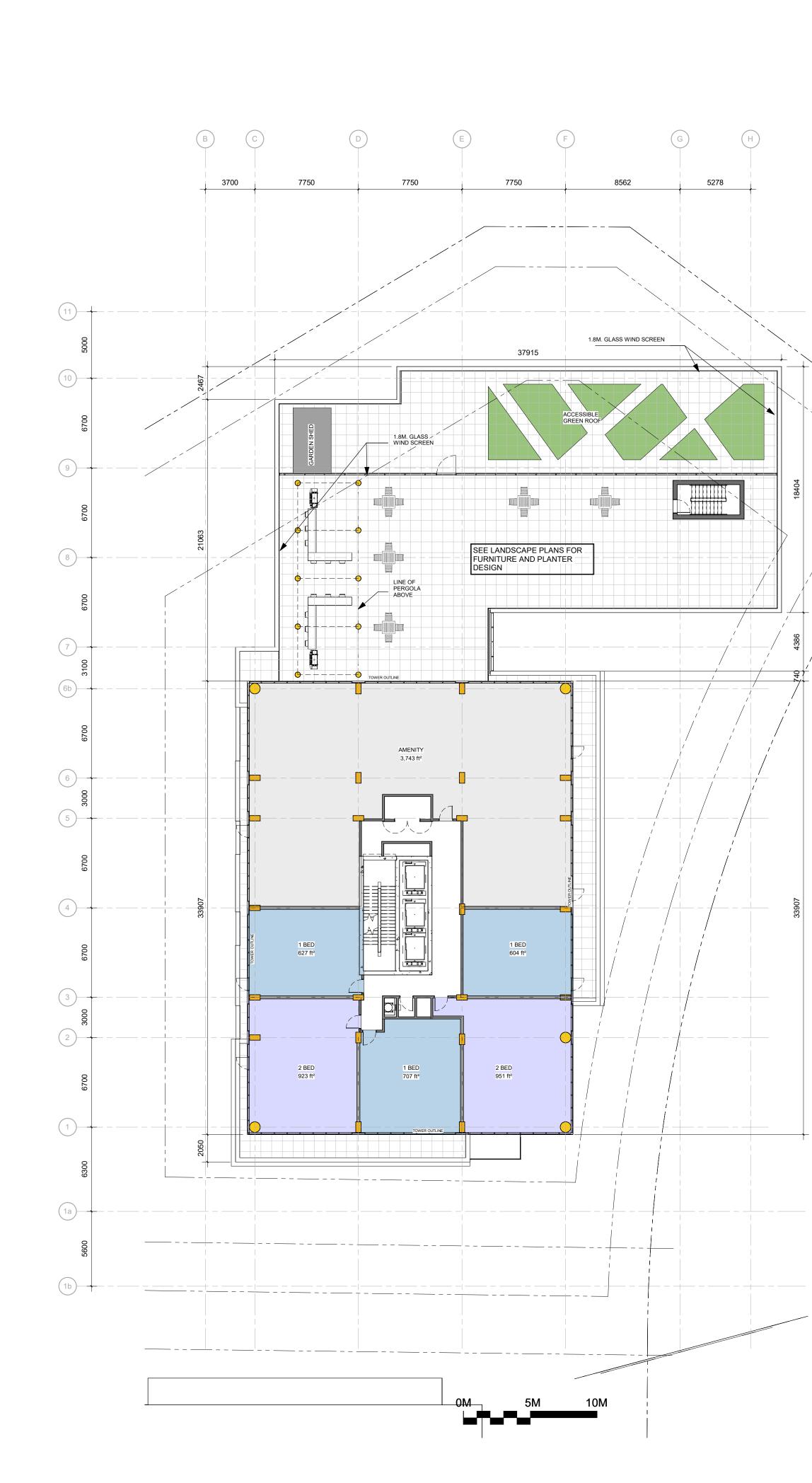
4-02

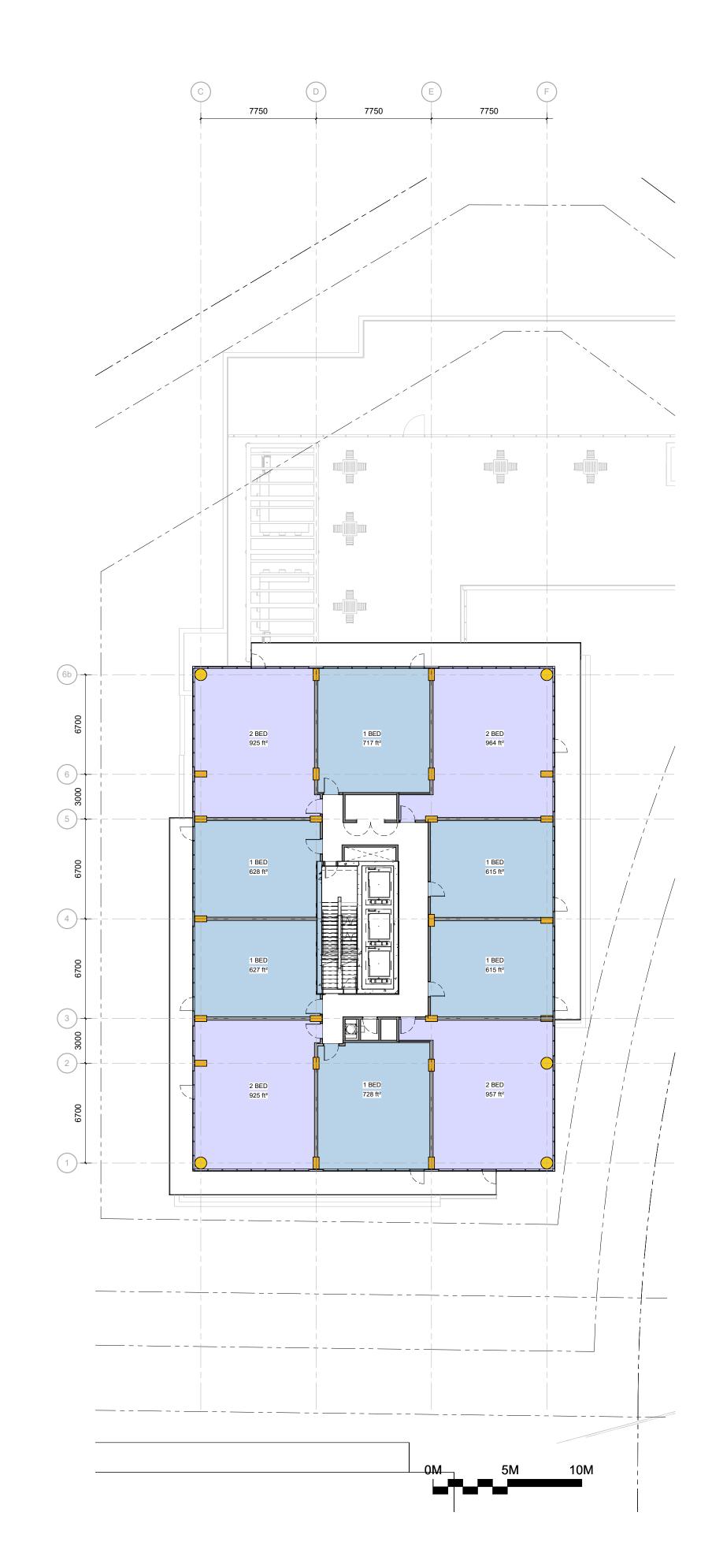




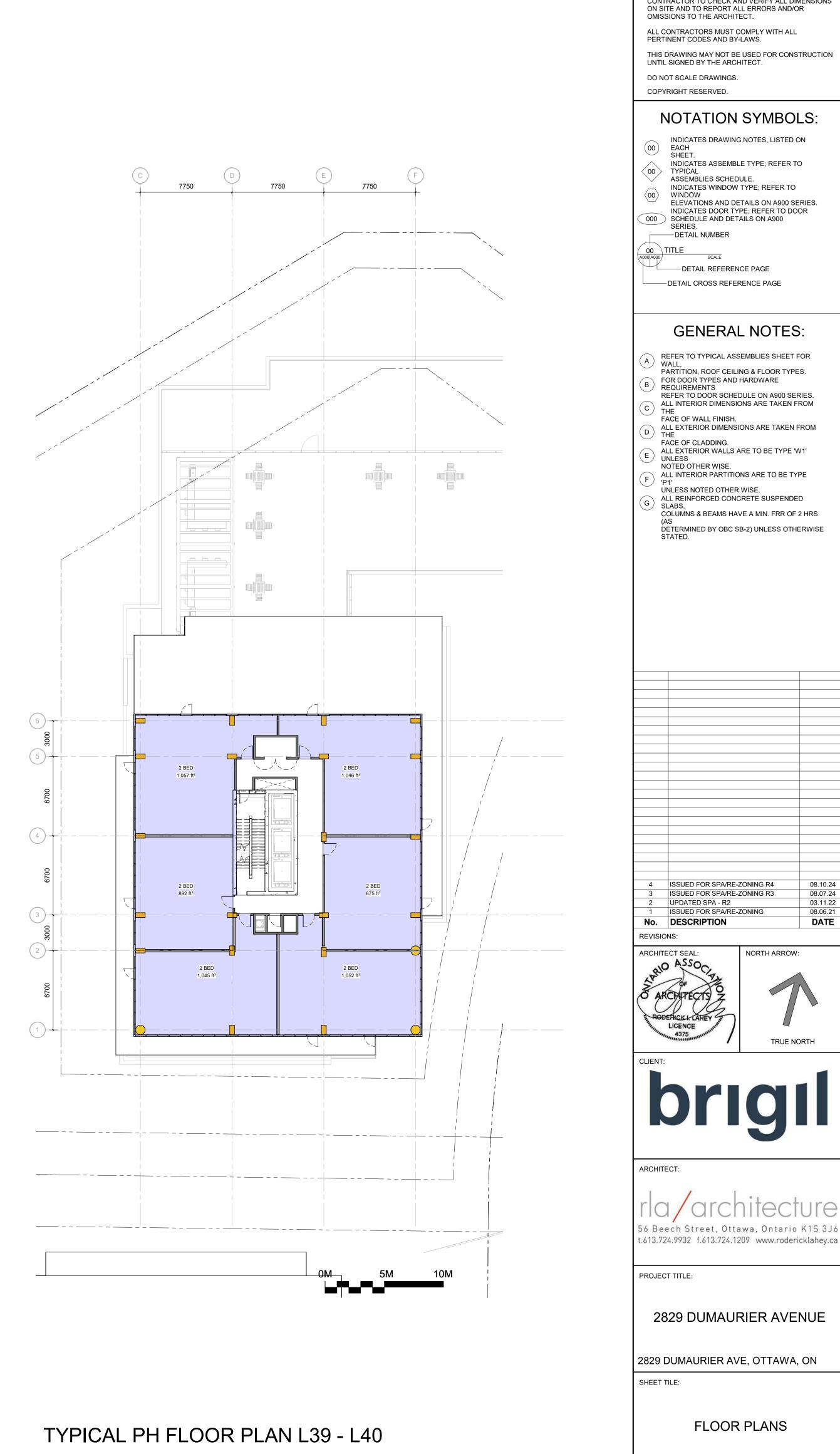


5TH FLOOR PLAN

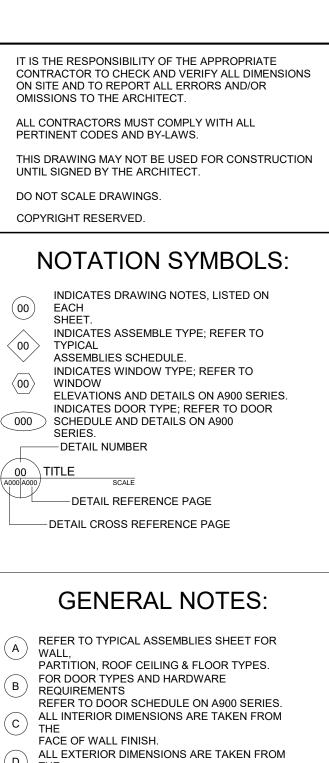




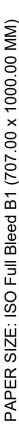
TYPICAL TOWER FLOOR PLAN L6 - L38

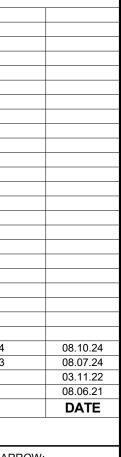


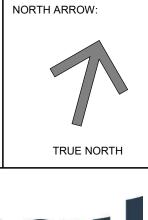
CHECKED: DRAWN: J.G. G.E. SCALE: 1 : 200 SHEET No: PROJECT No: 1922







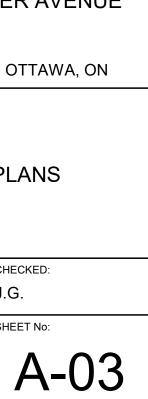








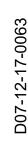


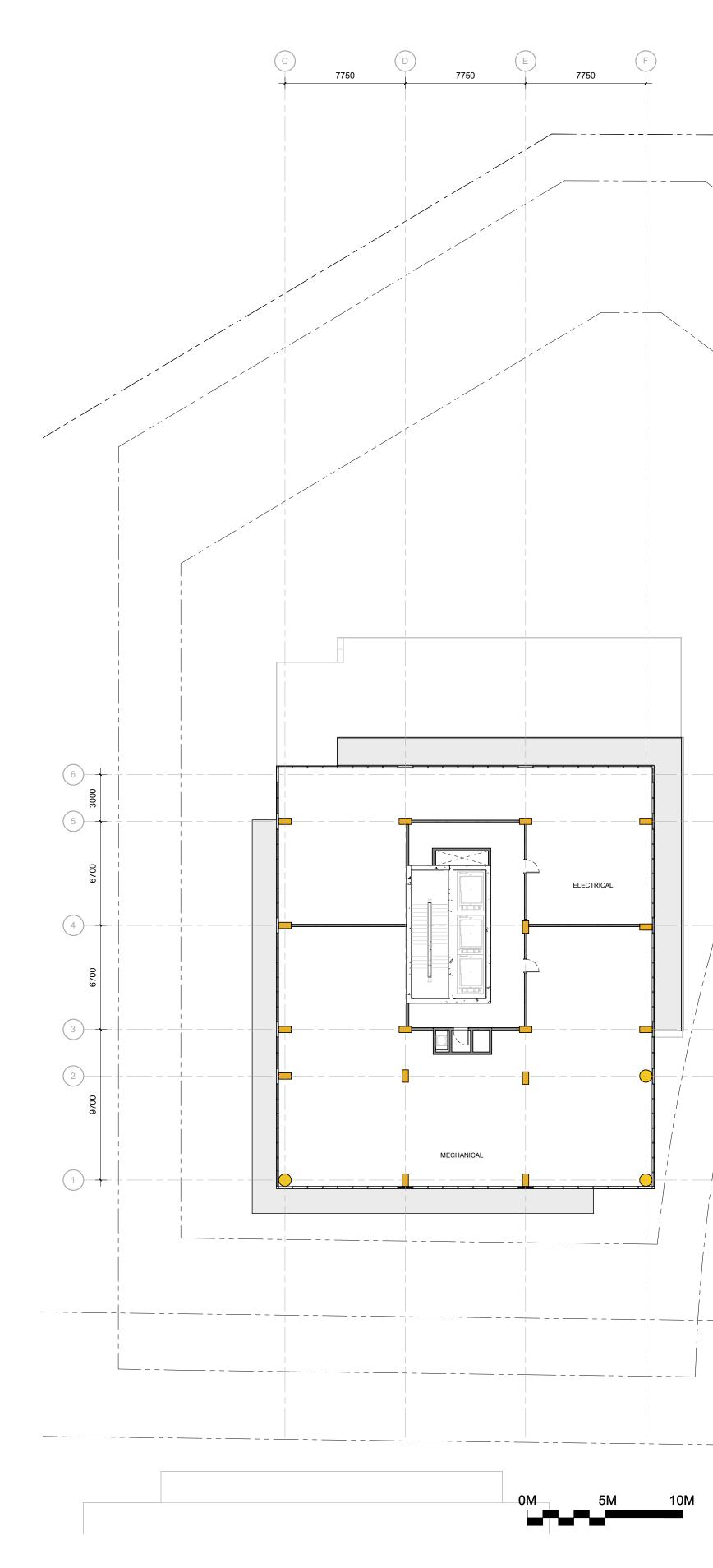




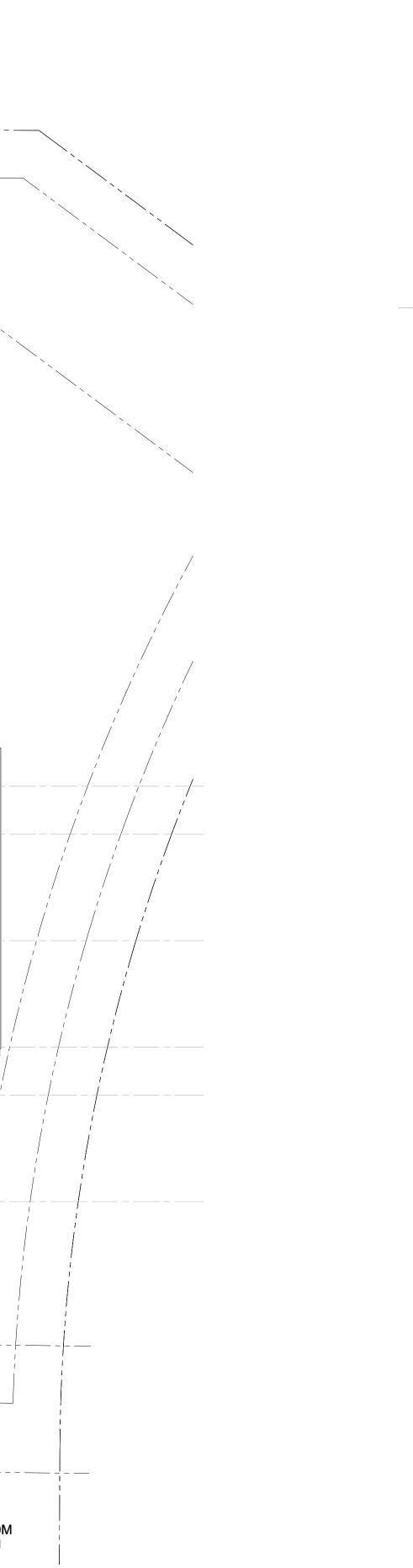


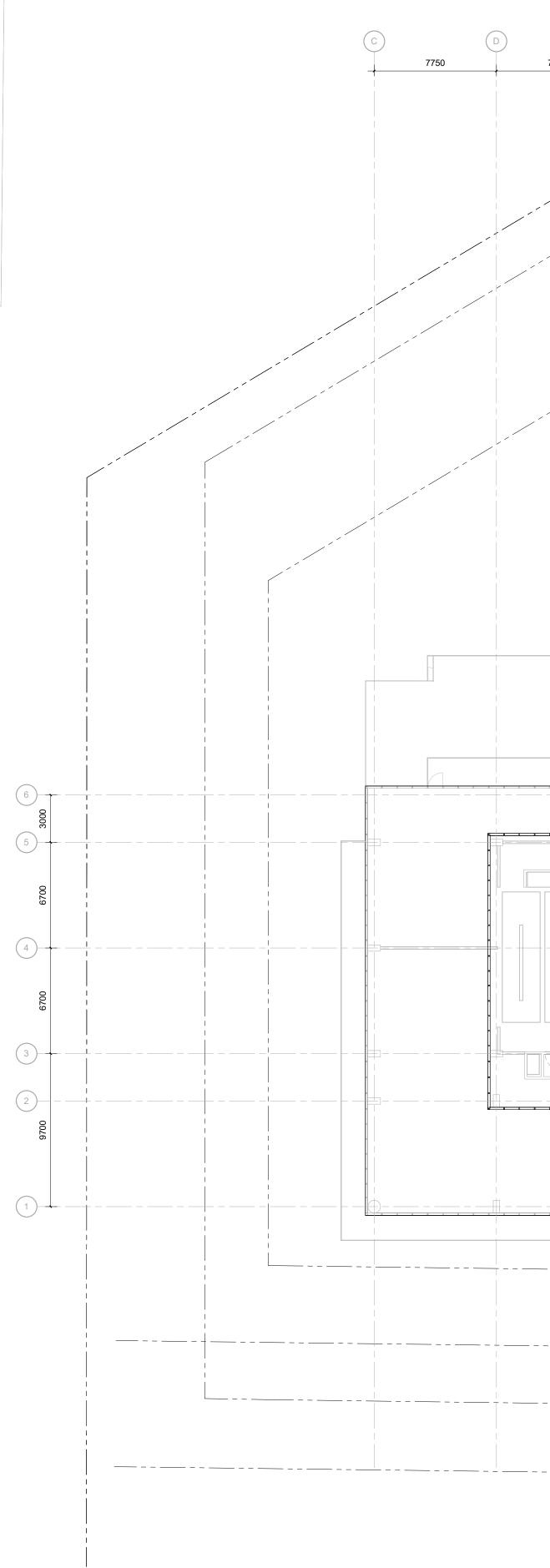
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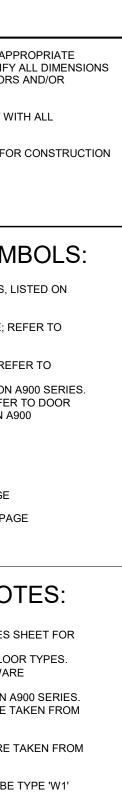
MECHANICAL FLOOR PLAN

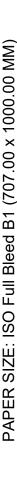




ROOF PLAN

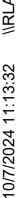
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				FLOO	R PLANS
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0M 5M	10M			2829 DUMAU 2829 DUMAURIER A	JRIER AVENUE
				56 Beech Street, Ot t.613.724.9932 f.613.724.	tawa, Ontario K1S 3J 1209 www.rodericklahey.c
				architect:	hitecture
					gl
				ARCHITECTS Z	
				ARCHITECT SEAL:	NORTH ARROW:
		/		4 ISSUED FOR SPA/R 3 ISSUED FOR SPA/R 2 UPDATED SPA - R2 1 ISSUED FOR SPA/R No. DESCRIPTION	E-ZONING R3 08.07.24 03.11.22
		/			
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				A WALL, PARTITION, ROOF CE FOR DOOR TYPES AN REQUIREMENTS REFER TO DOOR SCH	IEDULE ON A900 SERIES.
					AL NOTES:
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				00 INDICATES DRAWI EACH SHEET. INDICATES ASSEM	N SYMBOLS: NG NOTES, LISTED ON BLE TYPE; REFER TO
				THIS DRAWING MAY NOT UNTIL SIGNED BY THE AR DO NOT SCALE DRAWING COPYRIGHT RESERVED.	
				IT IS THE RESPONSIBILITY CONTRACTOR TO CHECK ON SITE AND TO REPORT OMISSIONS TO THE ARCH ALL CONTRACTORS MUST PERTINENT CODES AND E	AND VERIFY ALL DIMENSIONS ALL ERRORS AND/OR IITECT.









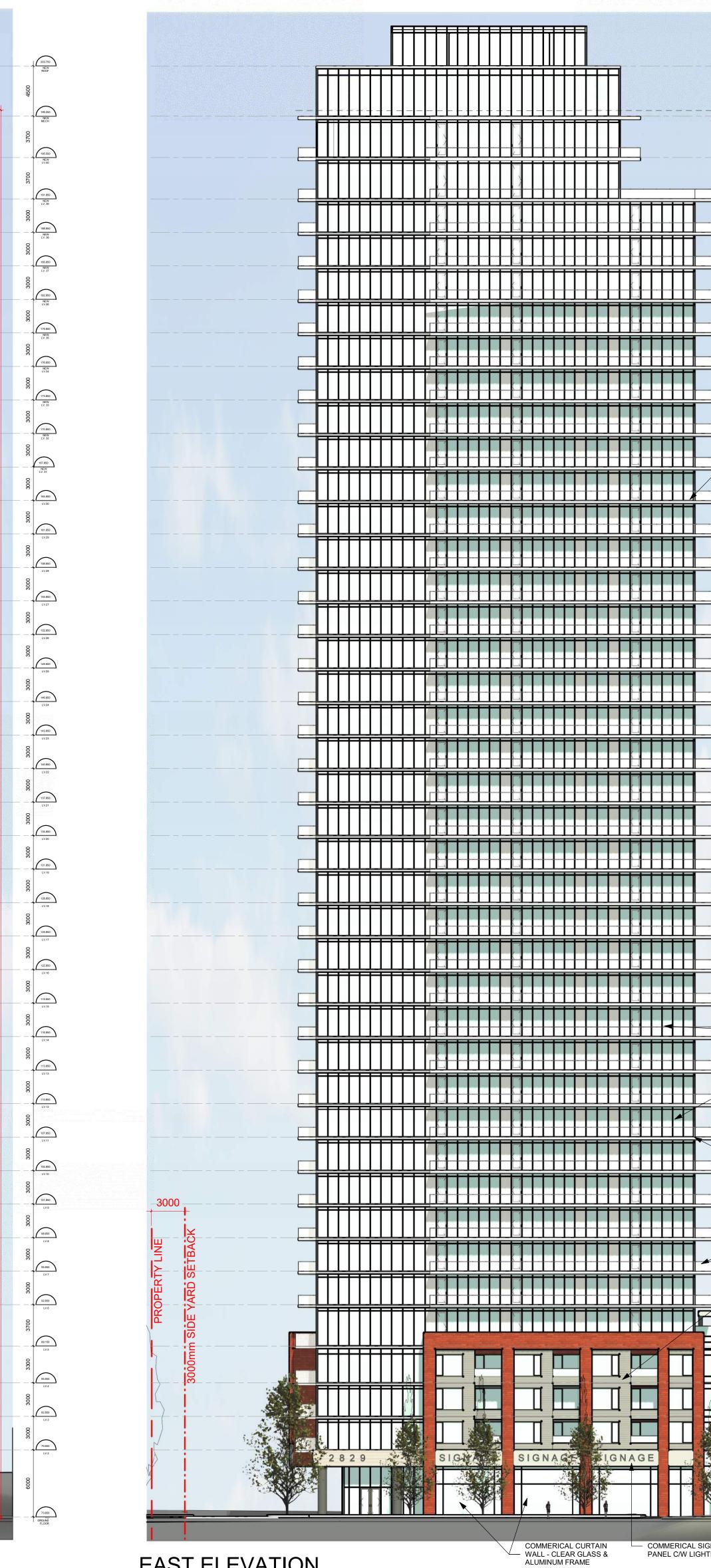


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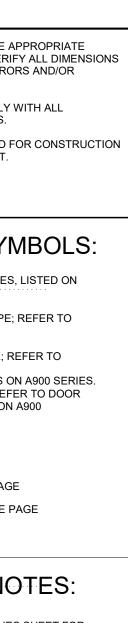
NORTH ELEVATION

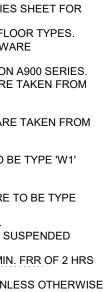
	ALUMINUM MULLION	
		17500
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− − − − 0000 HINE BACK		4000750
PROPERTY LINE	SPANDREL PANEL —	PER CITY
RONT YAI	1.8M GLASS WIND SCREEN	ACK AS
6000mm FRONT		11500mm SETBACK AS PER C 7500mm REAR YARD SETBAC
METAL SIDING - LIGHT GREY		11500 7500m

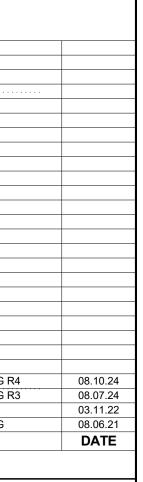
EAST ELEVATION



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					IT IS THE RESPONSIBILITY OF THE APPROP CONTRACTOR TO CHECK AND VERIFY ALL I ON SITE AND TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH AN PERTINENT CODES AND BY-LAWS.
					THIS DRAWING MAY NOT BE USED FOR CON UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.
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					(00)WINDOW ELEVATIONS AND DETAILS ON A900 INDICATES DOOR TYPE; REFER TO D SCHEDULE AND DETAILS ON A900 SERIES.
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			0000 173850 173850 NEW N. 25		GENERAL NOTE
			000 170.850 NEW LV 34		A REFER TO TYPICAL ASSEMBLIES SHEE WALL, PARTITION, ROOF CEILING & FLOOR TY
			0000 173.850 NEW LV.33		B FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A900 S ALL INTERIOR DIMENSIONS ARE TAKEN
ALUMINUM RAILING w/CLEAR GLASS					C THE FACE OF WALL FINISH. ALL EXTERIOR DIMENSIONS ARE TAKEN THE FACE OF CLADDING.
			0000		E ALL EXTERIOR WALLS ARE TO BE TYPE UNLESS NOTED OTHER WISE. ALL INTERIOR PARTITIONS ARE TO BE
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1.8M GLASS WIND SCREEN WINDOW ALUMINUM FRAME METAL SIDING - LIGHT GREY					rla/architec
WINDOW ALUMINUM FRAME METAL SIDING - LIGHT GREY RED BRICK					56 Beech Street, Ottawa, Ontari t.613.724.9932 f.613.724.1209 www.rode
			002	аналанан алтан алтан Алтан алтан алта Алтан алтан алта	PROJECT TITLE:
					2829 DUMAURIER AV
JULIETTE BALCONY					
			000 (79.850) LV2		2829 DUMAURIER AVE, OTTAW
			6000		ELEVATIONS
			73.850 GROUND FLOOR		
SIGNAGE CLEAR GLASS & GHTING SPANDREL PANEL WINDOW WALL					DRAWN: CHECKED:
					G.E. J.G. SCALE: SHEET NO:













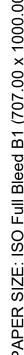


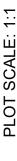
SHEET No:

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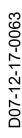
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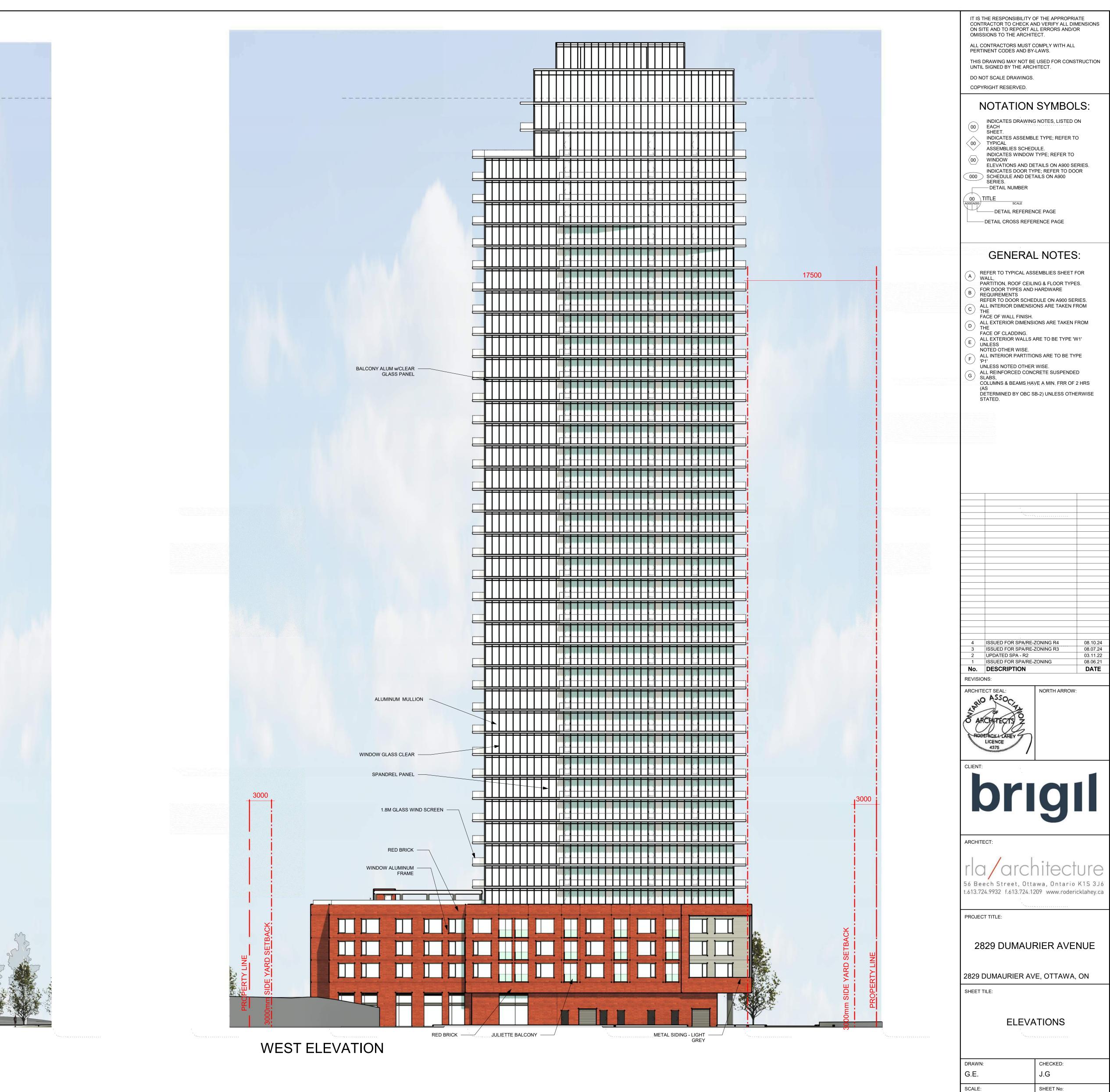
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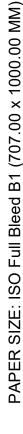
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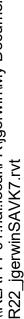


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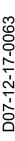




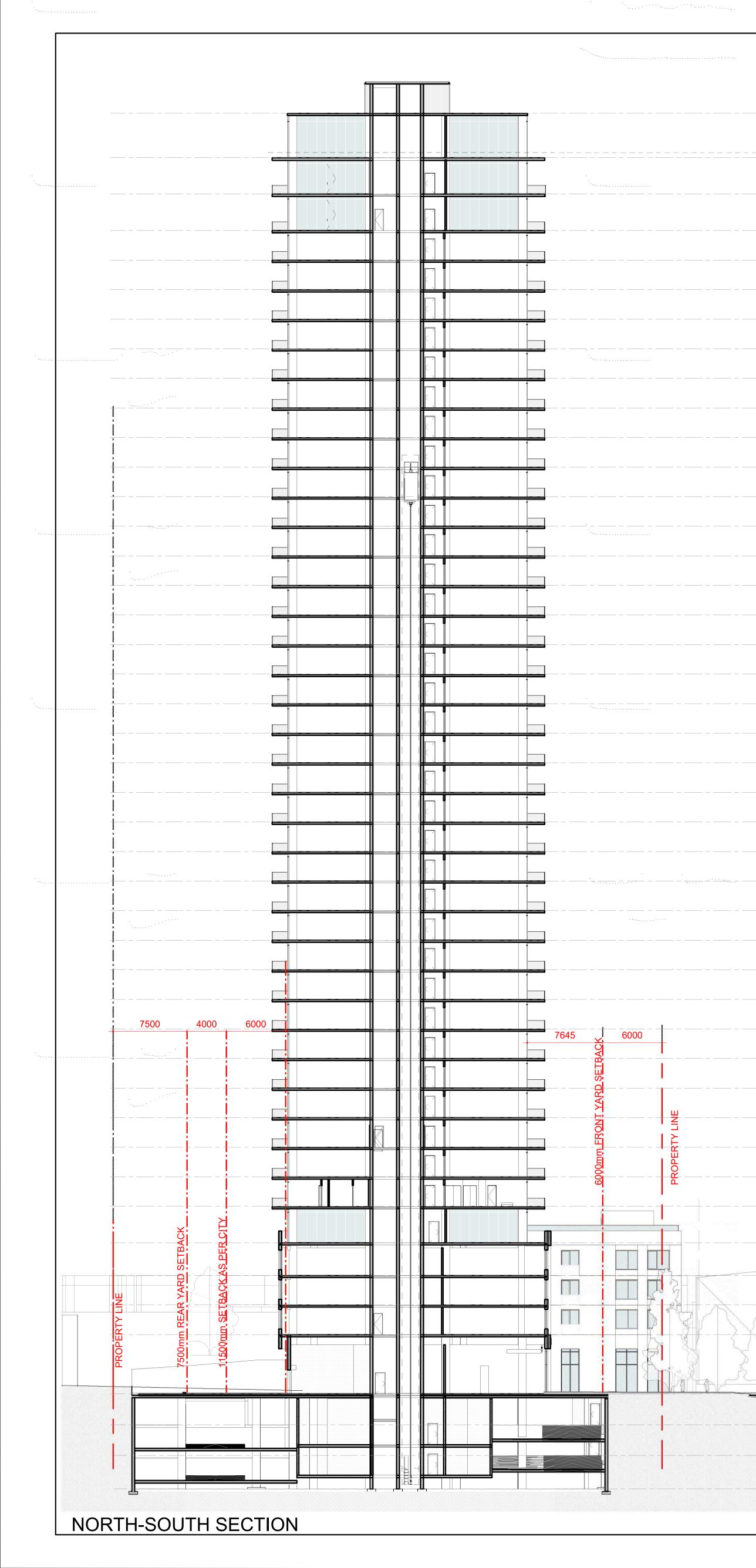




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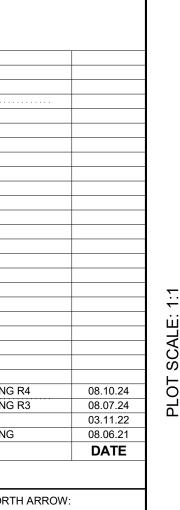
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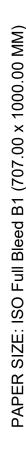
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VIEW LOOKING NORTH-WEST



VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH ALONG DUMAURIER AVE.

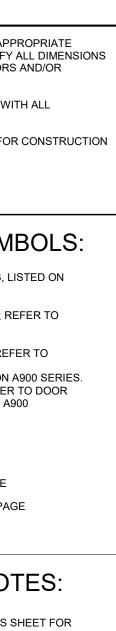
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ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTIO UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.
NOTATION SYMBOLS:
 INDICATES DRAWING NOTES, LISTED ON EACH SHEET. INDICATES ASSEMBLE TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE. INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES. INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES. DETAIL NUMBER TITLE DETAIL REFERENCE PAGE DETAIL CROSS REFERENCE PAGE
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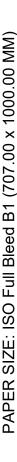
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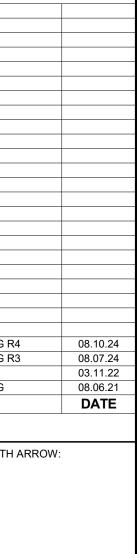




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VIEW LOOKING NORTH-EAST



VIEW LOOKING NORTH-WEST STREETSCAPE ALONG DUMAURIER AVE.

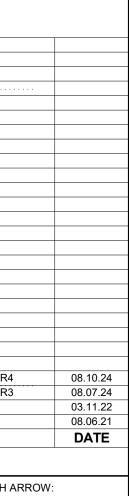


VIEW LOOKING SOUTH-EAST STREETSCAPE ALONG DUMAURIER AVE.

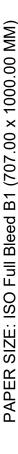
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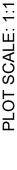


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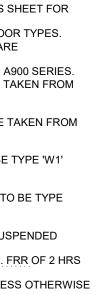


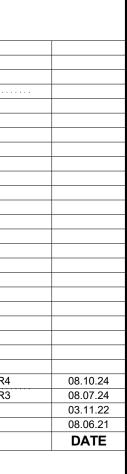
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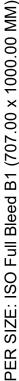




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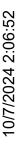
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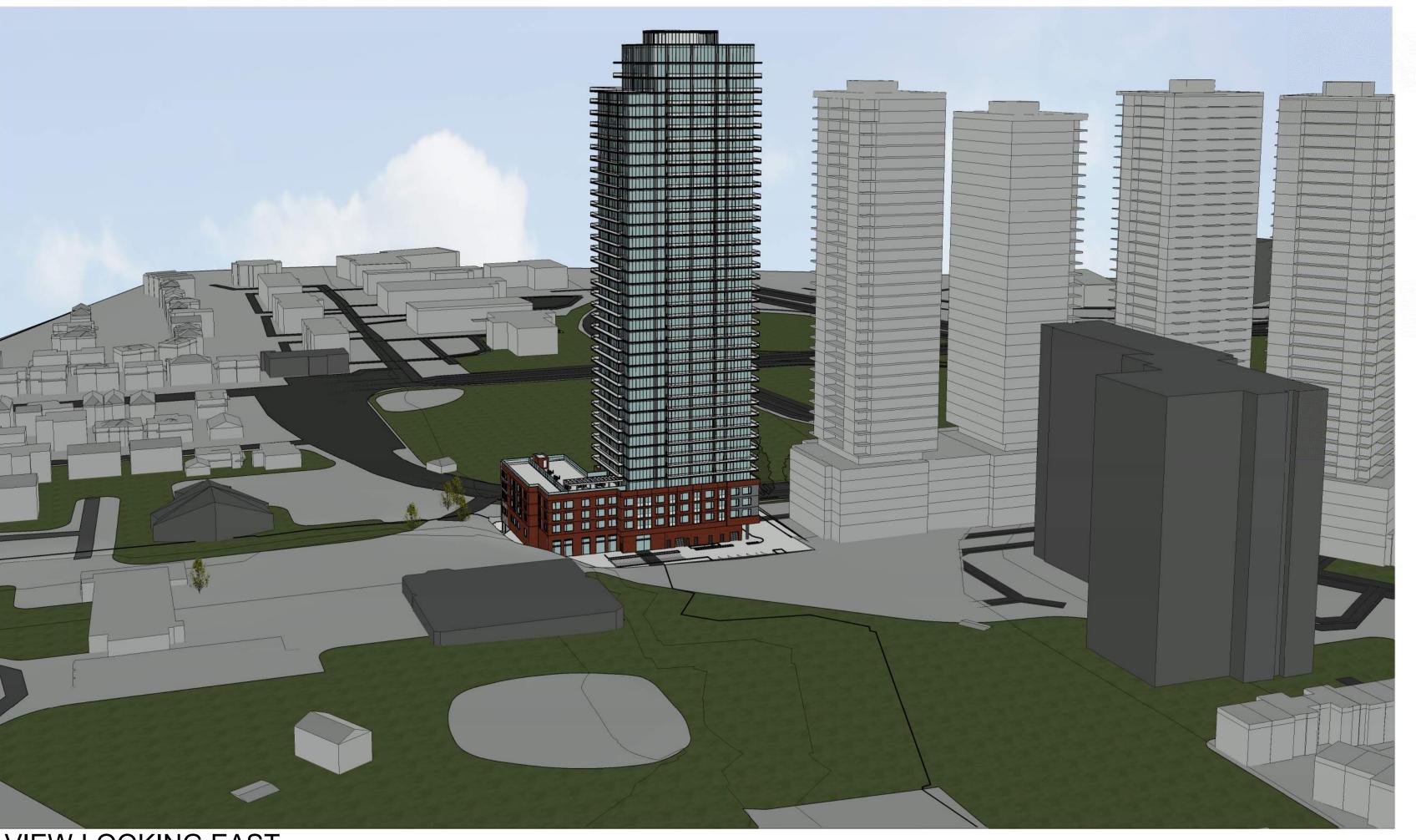


VIEW LOOKING SOUTH-WEST



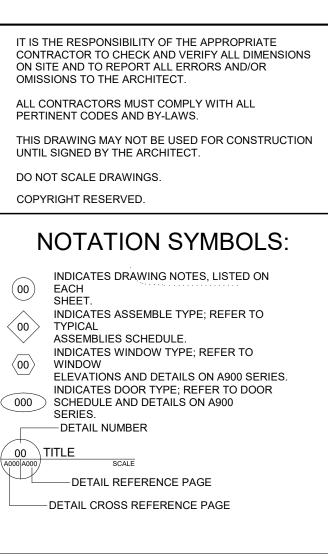


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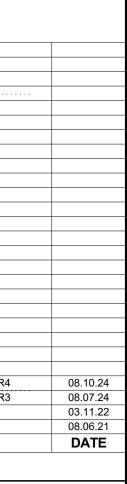


VIEW LOOKING EAST

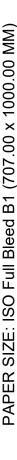
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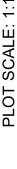


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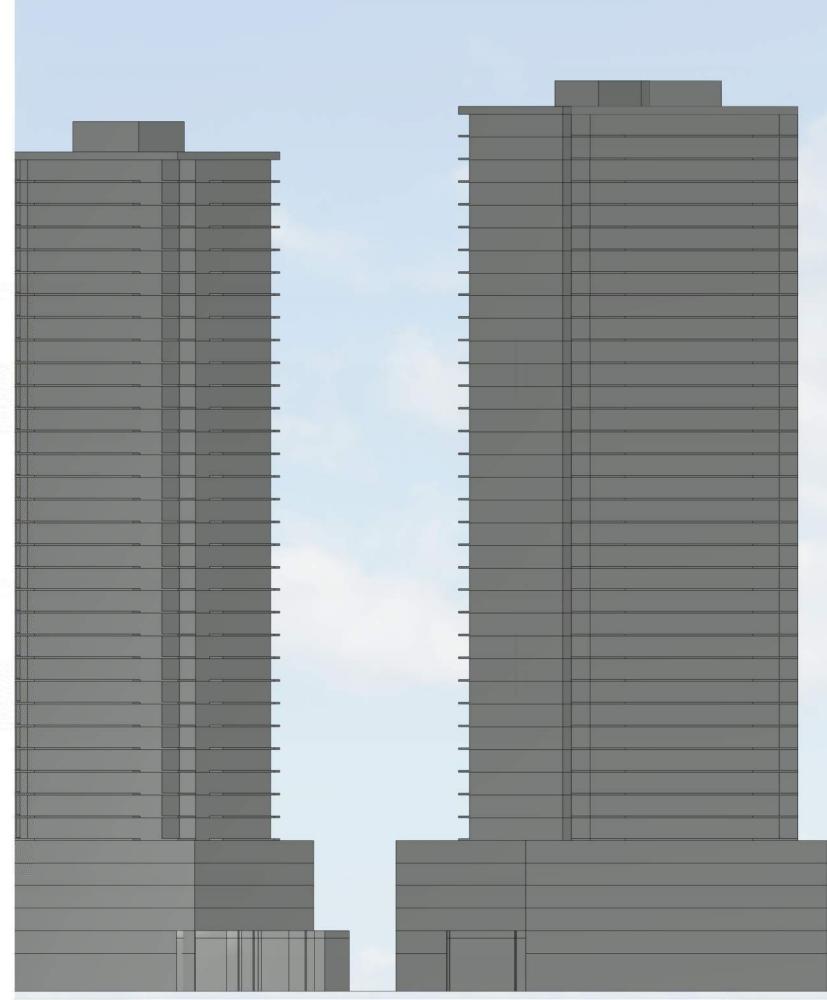


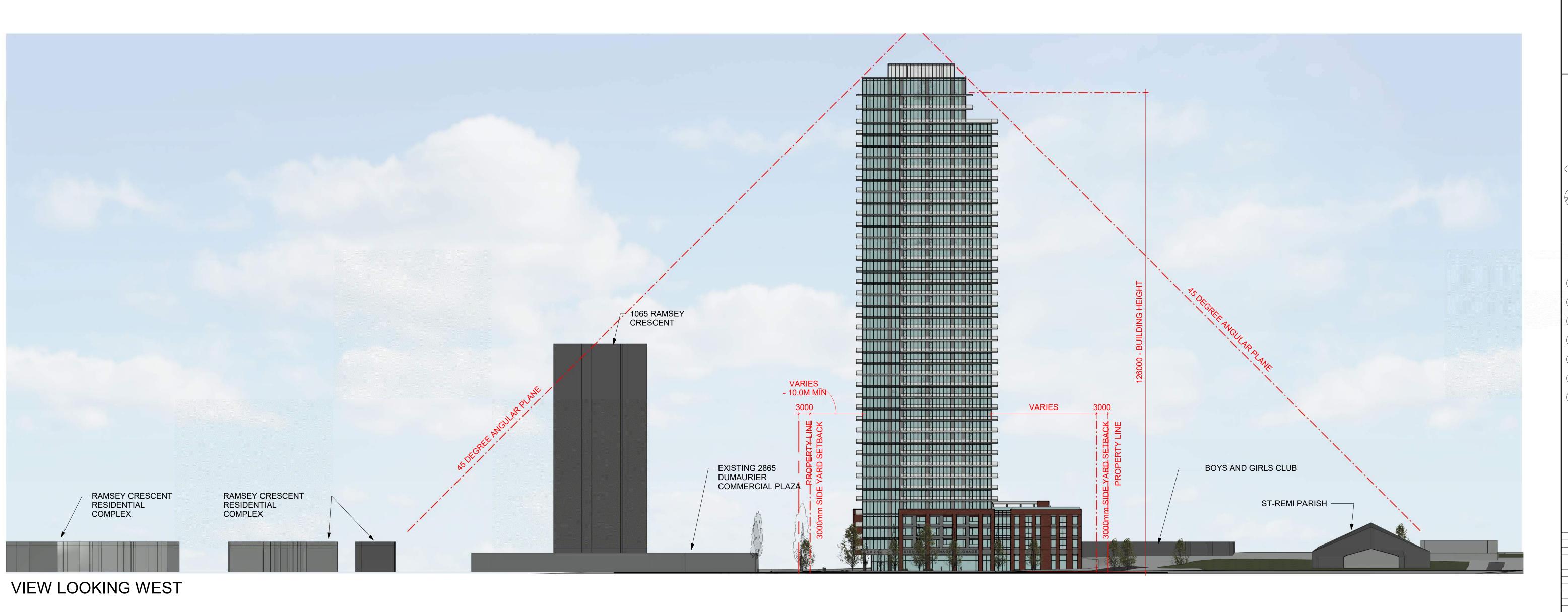


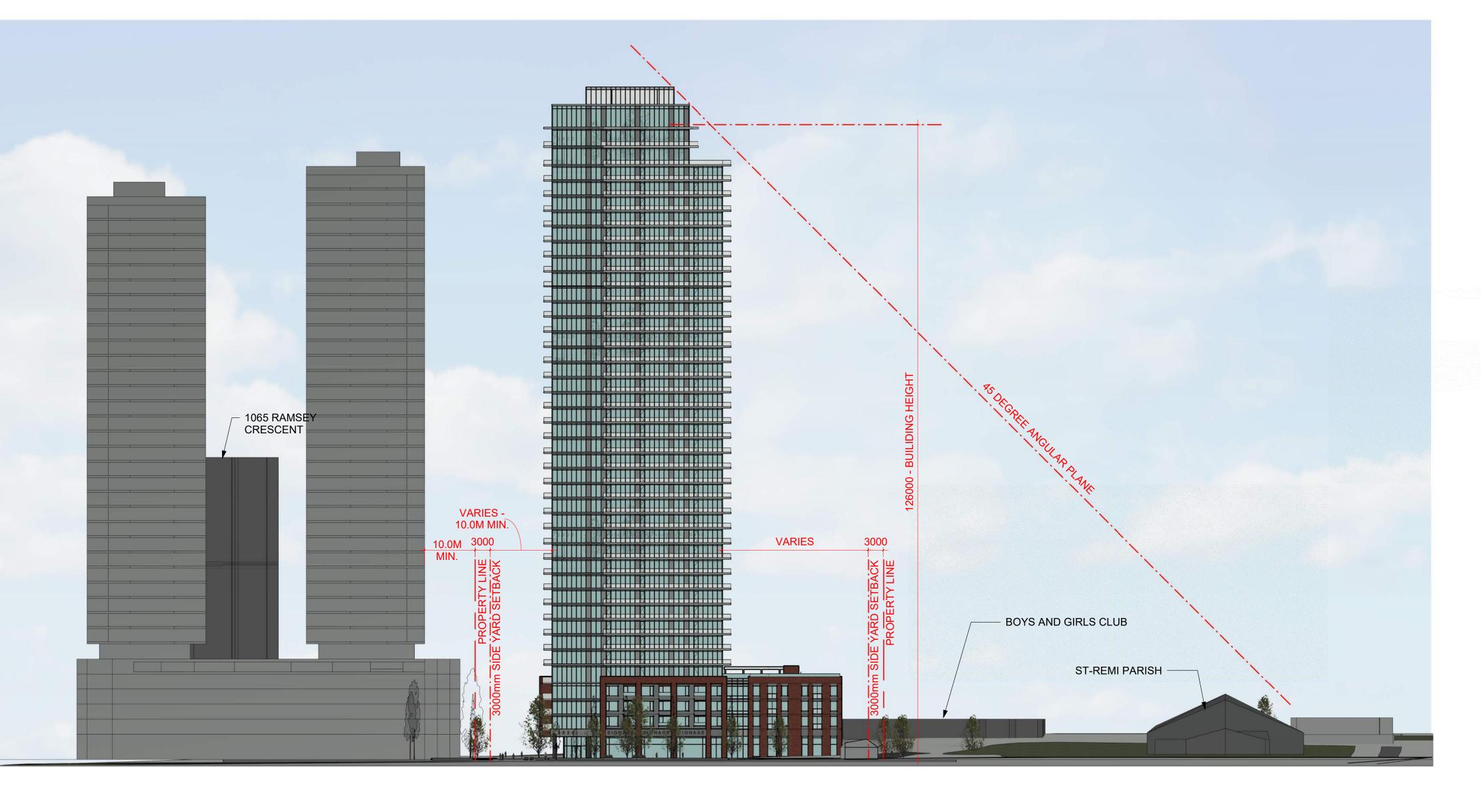


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t.613.724.9932 f.613.724.1209 www.rodericklahey.ca PROJECT TITLE:

2829 DUMAURIER AVENUE

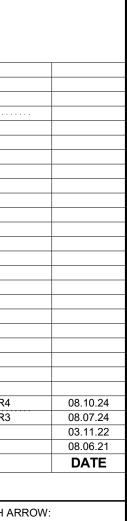
2829 DUMAURIER AVE, OTTAWA, ON SHEET TILE:

OVERALL SITE ELEVATIONS

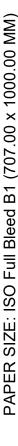
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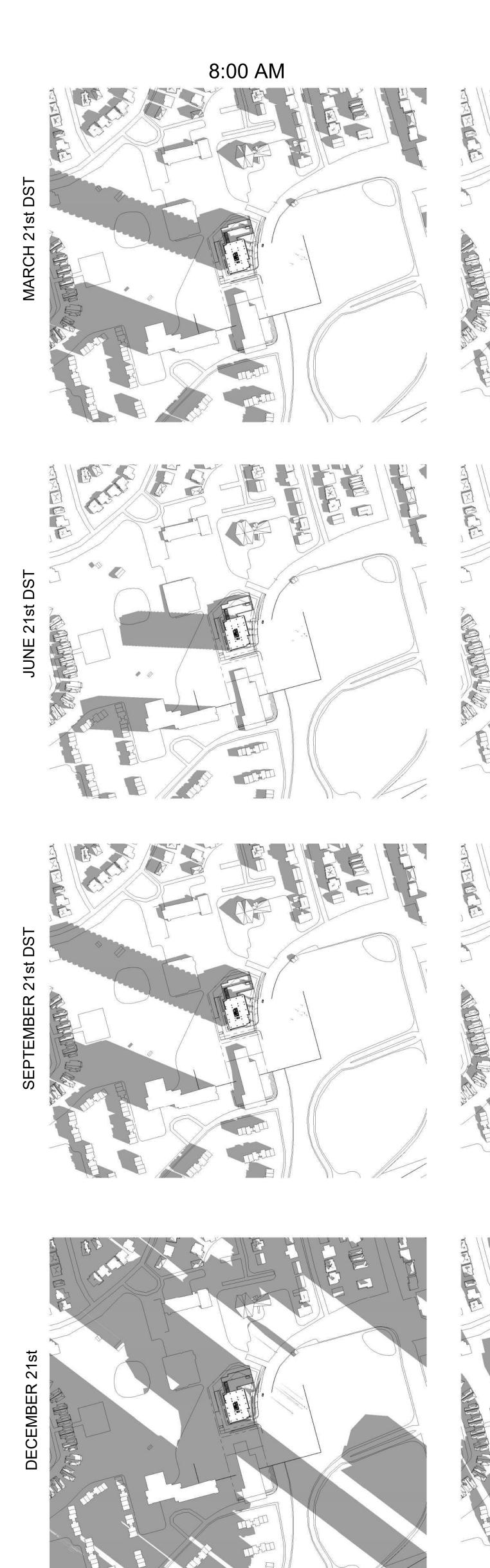


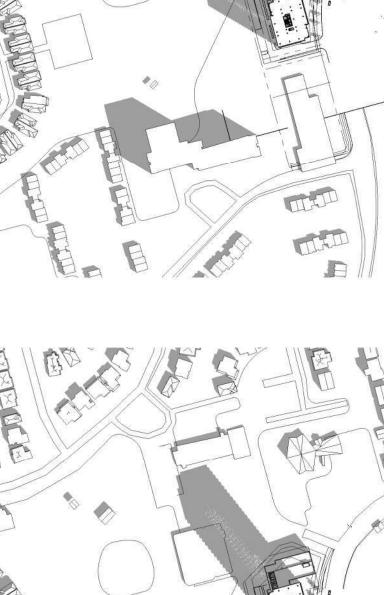


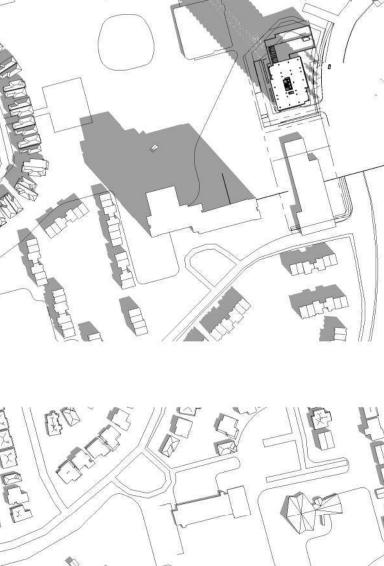




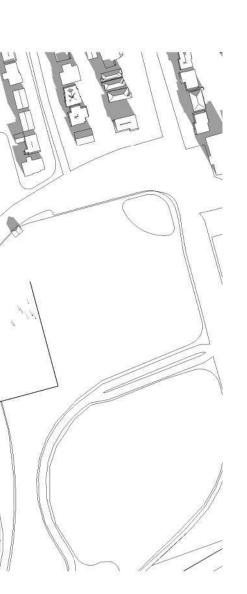
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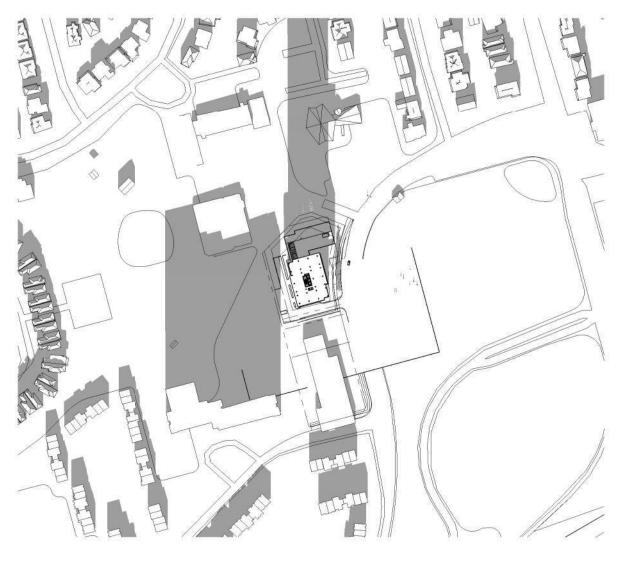




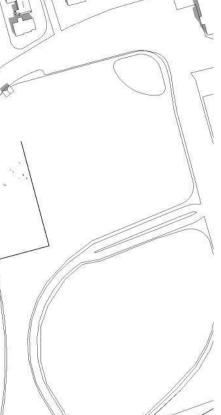


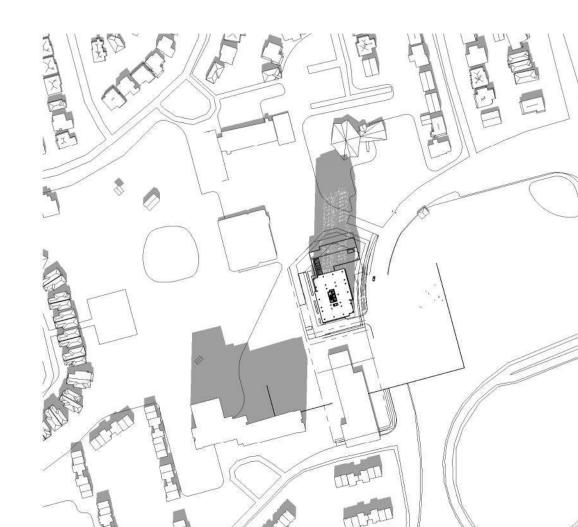
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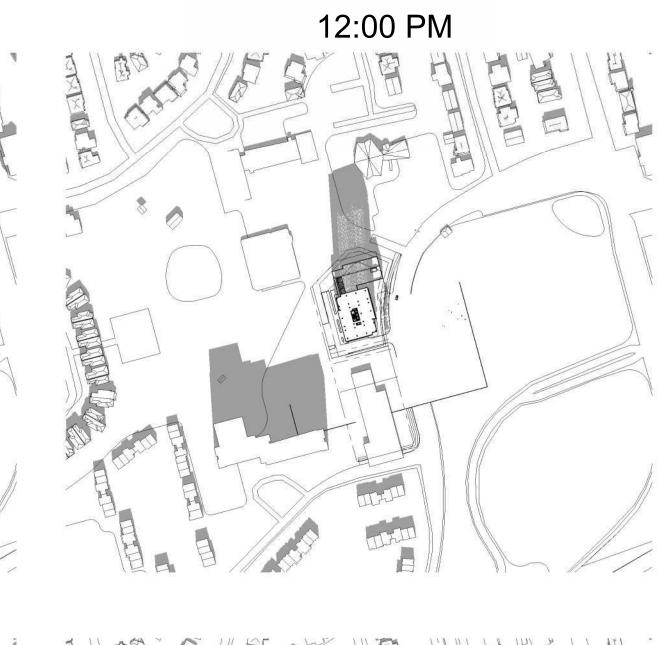


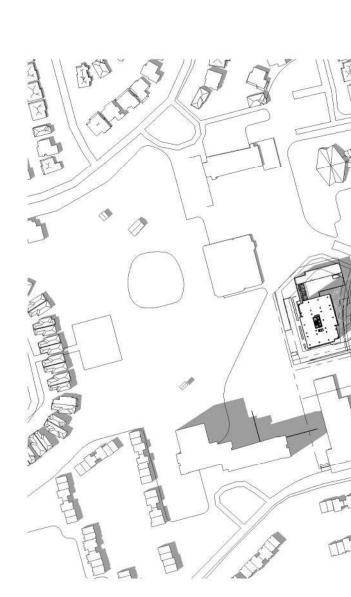




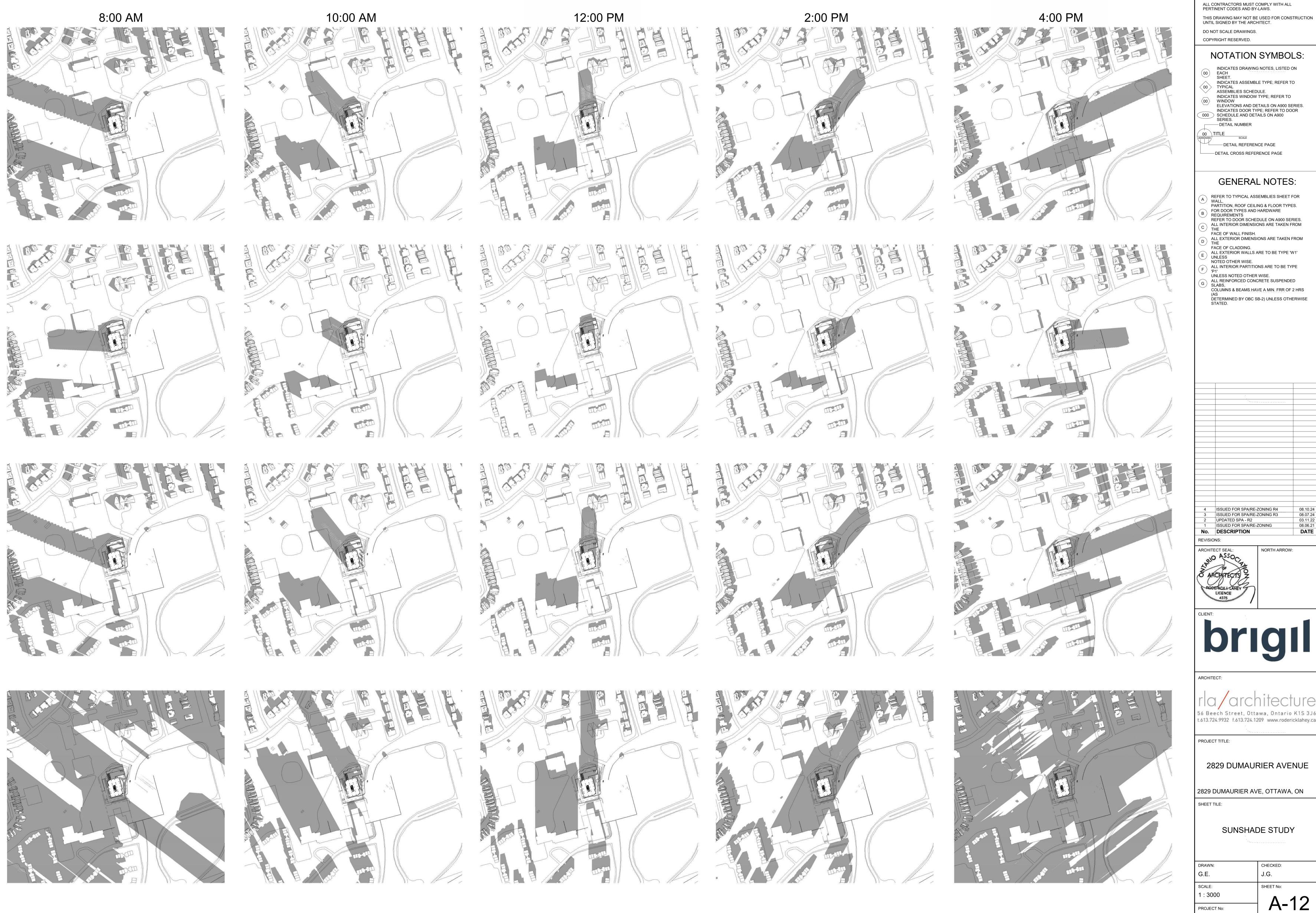


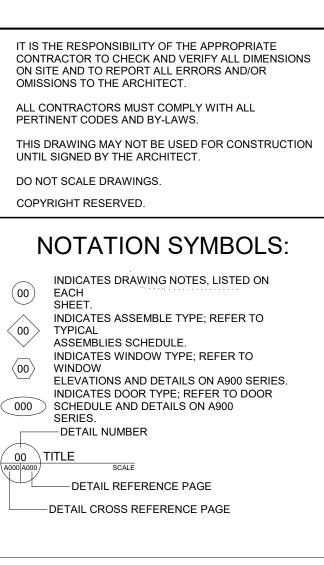










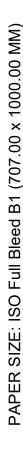


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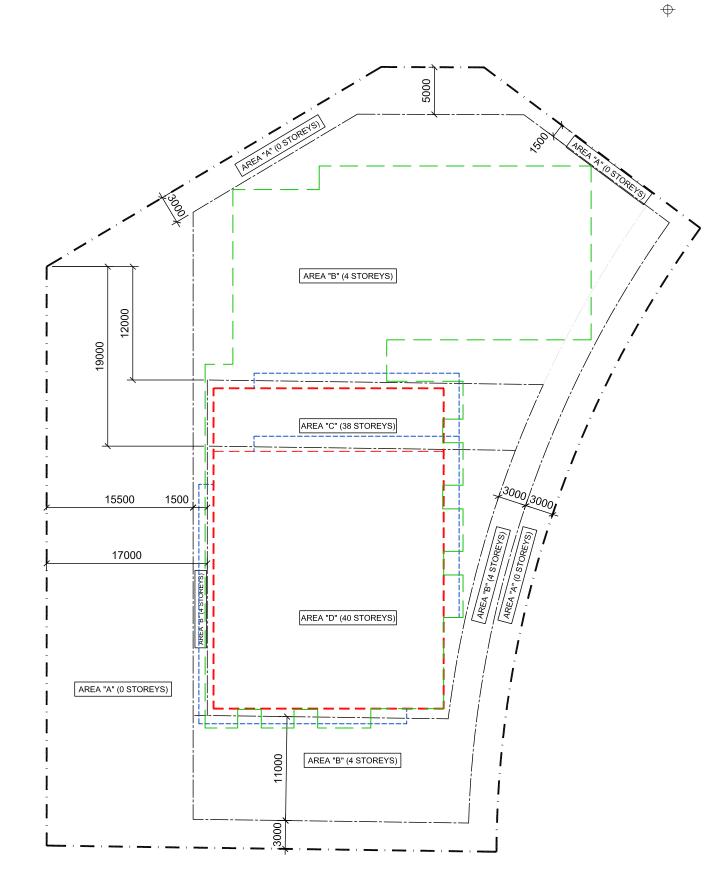
1922







-12-





rla/architecture

ZONING SCHEDULE - DRAFT



PLOT DATE: Friday, July 05, 2024

MAXIMUM BUILDING HEIGHTS AND MAXIMUM NUMBER OF STOREYS

LA HAUTEUR DE BATIMENT MAXIMALE

- AREA/ SECTEUR A : 0.0m (0 storeys/ étages)
- AREA/ SECTEUR B : 17.0m (4 storeys/ étages)
- AREA/ SECTEUR C : 118.0m (38 storeys/ étages)
- AREA/ SECTEUR D : 126.0m (40 storeys/ étages)

LEGEND:

- **PROPERTY LINE**

AVENUE

ONTARIO

- SETBACK LINE

- LINE OF TOWER

LINE OF PODIUM

LINE OF BALCONY

- brigil
 - ZS-1

SHEET #