

**LEGAL DESCRIPTION**  
 PLAN OF SURVEY OF PART OF LOT 20 CONCESSION 2 (Ottawa Front) Township of Nepean NOW CITY OF OTTAWA PART OF DUMAURIER AVENUE (As Closed by By-Law 372-78 Inst. NS41961) AND PART OF THE 1<sup>ST</sup> RESERVE REGISTERED PLAN 479600 CITY OF OTTAWA REGIONAL MUNICIPALITY OF OTTAWA-CARLETON  
 Prepared by Annis, O'Sullivan, Vollebek Ltd.

**PROJECT DEVELOPER**  
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**CIVIL ENGINEER**  
**Stantec Engineering Ltd.**  
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**LANDSCAPE ARCHITECT**  
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 E-Mail: rlevstek@laroquelevstek.com

- DRAWING NOTES:**
- PROPERTY LINE
  - BUILDING / HEIGHT SETBACK LINE
  - OUTLINE OF TOWER
  - LINE OF PODIUM (L2-L4) LEVEL
  - LINE OF PARKING GARAGE BELOW
  - RAMP TO U/G GARAGE (BELOW GRADE)
  - EXISTING FIRE HYDRANT
  - EXISTING COMMERCIAL BUILDING
  - 2.0M WIDE CONCRETE SIDEWALK C/W DEPRESSED CURBS AT DRIVEWAY ENTRANCE
  - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
  - EXISTING 1.5m WIDE ASPHALT CITY SIDEWALK
  - SIAMSESE CONNECTION
  - REAR YARD LANDSCAPE SETBACK
  - LINE OF U/G HYDRO VAULT
  - 2.6 X 5.2m STANDARD PARKING SPACES
  - AREA OF TEMPORARY SNOW STORAGE
  - NEW 2.0M W. CONCRETE SIDEWALK AS PER CITY STANDARDS C/W DEPRESSED CURB @ DRIVEWAY
  - SOFT LANDSCAPING
  - HARD LANDSCAPING - PAVERS
  - EXISTING CITY BOULEVARD TO BE REINSTATED UPON COMPLETION OF SITE WORK
  - CONCRETE RETAINING WALL C/W STONE FACE. PROVIDE GUARD IF GRADE CHANGE EXCEEDS 600mm - SEE SECTION DETAIL A-AA
  - EXISTING TREE TO BE REMOVED - SEE LANDSCAPE CERTIFICATE
  - LINE OF U/G CISTERN; SEE CIVIL AND MECHANICAL FOR DETAILS
  - LIGHT STANDARD - SEE ELECTRICAL LIGHTING CERTIFICATE
  - CATCH BASIN / TRENCH DRAIN - SEE CIVIL & MECH.
  - NEW CURB TO TIE INTO EXISTING - SEE CIVIL
  - 1670mm W. CONCRETE B/F RAMP - SEE GRADING PLANS
  - RAISED COMMERCIAL TERRACE - SEE GRADING AND LANDSCAPE PLANS
  - GARBAGE TRUCK LOADING/BACKUP. HATCH INDICATES PAINTED LINES
  - EXISTING STM TO BE REMOVED/RELOCATED - SEE CIVIL
  - SEE CIVIL DRAWINGS FOR ALL SERVICING WORK BEYOND PROPERTY LINE OF PROPOSED APPLICATION
  - RETAINING EXISTING STREET TREE - SEE LANDSCAPE
  - GAS PRESSURE RELEASE STATION
  - EXISTING HYDRO POLE TO BE REMOVED
  - EXHAUST/TAKE FOR PARKING GARAGE, FLUSH TO GRADE
  - EXISTING ASPHALT PARKING LOT & ENTRANCE
  - B/F PARKING AS PER CITY STANDARD. ONE TYPE 'A' & ONE TYPE 'B' SPACE
  - PRIVATE ENTRANCE CROSSING AS PER CITY OF OTTAWA STANDARDS SC-7.1
  - HEATED CONCRETE RAMP DOWN TO GARAGE ENTRY. PROVIDE GUARD WHEN ADJACENT GRADE TO RAMP EXCEEDS 800mm
  - PAINTED LINES TO INDICATE PEDESTRIAN CROSSING
  - RAISED PLANTER - SEE LANDSCAPE
  - LINE OF WATER ENTRY ROOM BELOW
  - RETAINING WALL - SEE LANDSCAPE AND CIVIL
  - CISTERN ACCESS COVERS - SEE CIVIL
  - L5 PERGOLA STRUCTURE ABOVE - SEE LANDSCAPE
  - LINE OF ELECTRICAL ROOM BELOW
  - 5th LEVEL EXTERIOR AMENITY TERRACE WITH 1.8m HT. WIND SCREEN
  - CONCRETE STEPS
  - FIRE HYDRANT
  - LINE OF BALCONY ABOVE
  - EXISTING UTILITY POLE
  - EXISTING CHAIN LINK FENCE TO BE REPLACED AS REQUIRED
  - EXIT STAIR PROJECTION AT L5 EXTERIOR TERRACE
  - 2.0M H. OPAQUE SCREEN FOR GARBAGE
- SITE PLAN SYMBOLS:**
- EXTERIOR COMMUNAL LANDSCAPE AREA
  - CONCRETE SIDEWALK
  - COMMERCIAL PATIO / CONCRETE PAVERS
  - PAVERS @ TERRACE LEVEL
  - TWIS CROSSING AS PER CITY OF OTTAWA STANDARDS
  - AREA OF MAIN TOWER ABOVE
  - PROPERTY LINE
  - BUILDING SETBACK LINE
  - 11.5M TOWER SETBACK LINE
  - PROPOSED STORM SERVICE
  - PROPOSED WATER SERVICE
  - PROPOSED SANITARY SERVICE
  - FENCE / GUARD LINE
  - BIKE RACK
  - FIRE HYDRANT
  - VEHICULAR DIRECTION
  - EXISTING TREE TO BE REMOVED - SEE LANDSCAPE DRAWINGS
  - EXISTING TREE TO BE RETAINED - SEE LANDSCAPE DRAWINGS
  - NEW TREE - SEE LANDSCAPE PLANS
  - SIAMSESE CONNECTION
  - PRIMARY ENTRANCE / EGRESS DOOR
  - SECONDARY DOOR
  - GAS METER REGULATOR - SEE CIVIL & MECHANICAL DRAWINGS
- NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN**

**PROJECT INFORMATION**

**ZONING**  
 Zoning By-Law 2008-250 GM (R2) F (0.25)

**SITE AREA**  
 4,195.2 sq. m. (45,157) sq. ft.

**BUILDING HEIGHT**  
 18.0 m.

**FRONT YARD SETBACK**  
 3.0 m.

**REAR YARD SETBACK**  
 0.0 m.

**REAR YARD SETBACK**  
 7.5 m.

**AMENITY SPACE (6.0 m<sup>2</sup> PER UNIT)**  
 2,532.0 m<sup>2</sup>

**PROJECT STATISTICS**

|                                 |         |
|---------------------------------|---------|
| BUILDING HEIGHT                 | 126.0 m |
| BUILDING HEIGHT - STOREYS       | 40      |
| AVERAGE MEAN GRADE (GEO. ELEV.) | 74.20   |
| FRONT YARD SETBACK              | 5.9 m   |
| REAR YARD SETBACK               | 0.0 m   |
| REAR YARD SETBACK               | 15.7 m  |

**GROSS BUILDING - AREAS**  
 (PER CITY OF OTTAWA ZONING AREA DEFINITION)

|                   |                    |
|-------------------|--------------------|
| PARKING LEVEL     | 0.0 sq. m.         |
| 000 sq. m.        | 0.0 sq. m.         |
| GROUND FLOOR      | 1335.0 sq. m.      |
| 14,370 sq. ft.    | 14,370 sq. ft.     |
| 2nd to 4th FLOOR  | 3 x 1,455.2 sq. m. |
| 4,365.6 sq. m.    | 46,995 sq. ft.     |
| 5th FLOOR         | 710.7 sq. m.       |
| 7,650 sq. ft.     | 7,650 sq. ft.      |
| 6th - 38th FLOOR  | 33 x 710.7 sq. m.  |
| 23,453.1 sq. m.   | 252,450 sq. ft.    |
| 38th - 40th FLOOR | 2 x 534.5 sq. m.   |
| 1,068.9 sq. m.    | 11,505 sq. ft.     |
| MECHANICAL LEVEL  | 0.0 sq. m.         |
| 000 sq. ft.       | 0.0 sq. ft.        |
| TOTAL AREA        | 30,933.3 sq. m.    |
| 332,970 sq. ft.   | 332,970 sq. ft.    |

**UNIT STATISTICS**

|                    |     |
|--------------------|-----|
| ONE BEDROOM UNIT   | 240 |
| TWO BEDROOM UNIT   | 161 |
| THREE BEDROOM UNIT | 6   |
| TOTAL              | 407 |

**COMMERCIAL**

|  |               |
|--|---------------|
| TOTAL NFA COMMERCIAL (PER CITY OF OTTAWA DEFINITION) | 200.0 sq. m.  |
| 2,150 sq. ft.  | 2,150 sq. ft. |

**CAR PARKING**

**REQUIRED BY ZONING BY-LAW**

|            |  |     |
|------------|--|-----|
| RESIDENCE  | -0.5 PER DWELLING UNIT (AFTER 12 UNITS)                | 198 |
| VISITOR    | -0.1 PER DWELLING UNIT (NO MORE THAN 30 SPACES REQ'D)  | 30  |
| COMMERCIAL | -5.0 MAX PER 100 m <sup>2</sup> GFA (PENDING UNIT USE) | 15  |
| TOTAL      |  | 243 |

**PROVIDED**

|                                     |     |
|-------------------------------------|-----|
| RESIDENCE (BELOW GRADE) (0.42/UNIT) | 174 |
| VISITOR & COMMERCIAL (BLENDED)      | 6   |
| ABOVE GRADE: 06                     |     |
| BELOW GRADE: 24                     |     |
| TOTAL:                              | 30  |

**MAXIMUM PARKING RATE FOR RESIDENTIAL USE:**  
 1.75 PER UNIT (INCLUDING VISITOR) 712

**BICYCLE PARKING**

|             |   |     |
|-------------|---|-----|
| RESIDENTIAL | -0.5 PER UNIT (407 UNITS)                             | 204 |
| COMMERCIAL  | -1.5 PER 250 m <sup>2</sup> GFA (200 M <sup>2</sup> ) | 2   |
| TOTAL:      |   | 206 |

**REVISIONS:**

| No. | DESCRIPTION                     | DATE (DD/MM/YY) |
|-----|---------------------------------|-----------------|
| 1   | ISSUED FOR SPA / RE-ZONING - R4 | 08 / 10 / 24    |
| 2   | ISSUED FOR SPA / RE-ZONING - R3 | 08 / 07 / 24    |
| 3   | ISSUED FOR SPA / RE-ZONING      | 08 / 06 / 21    |
| 4   | ISSUED FOR DESIGN CONCEPT       | 06 / 11 / 20    |

**ARCHITECT SEAL:**  
 ARCHITECT: **brigil**  
 ARCHITECT: **rla/architecture**  
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 t. 613.724.9932 f. 613.724.1209 rla@architecture.ca

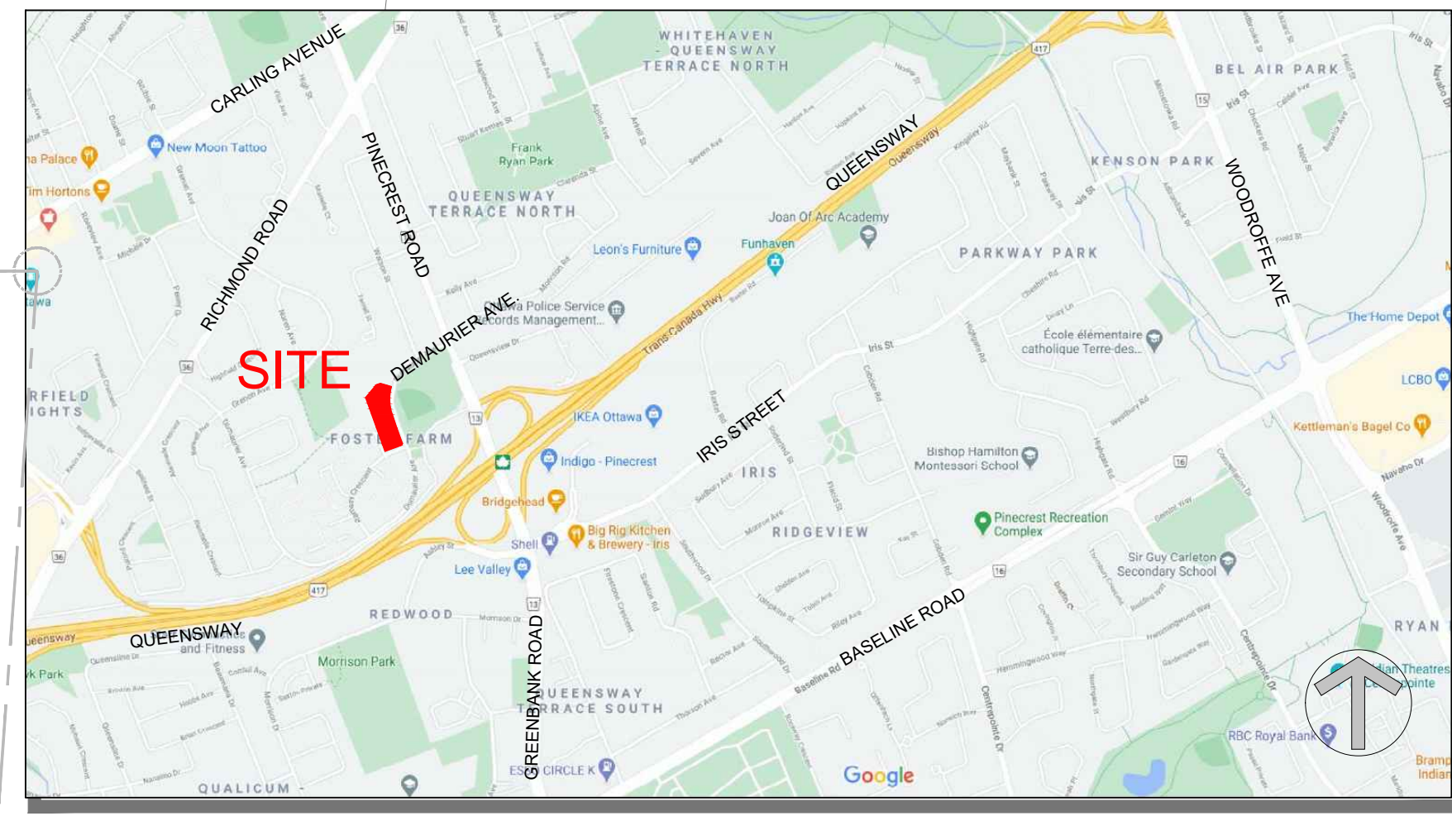
**PROJECT TITLE:**  
**2829 DUMAURIER AVENUE**

**OTTAWA ONTARIO**

**SHEET TITLE:**  
**SITE PLAN**

**DRAWN:** R.V. **CHECKED:** J.G.  
**SCALE:** 1:150 **SHEET No.:**  
**PROJECT No.:** 1922 **SP-1**

**KEY MAP**




IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
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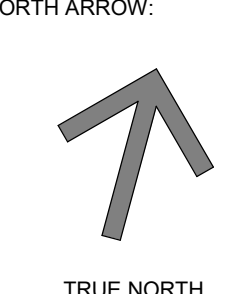
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  - (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHER WISE.
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| 4   | ISSUED FOR SPARE-ZONING R4 | 08 10 24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08 07 24 |
| 2   | UPDATED SPA - R2           | 03 11 22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08 06 21 |

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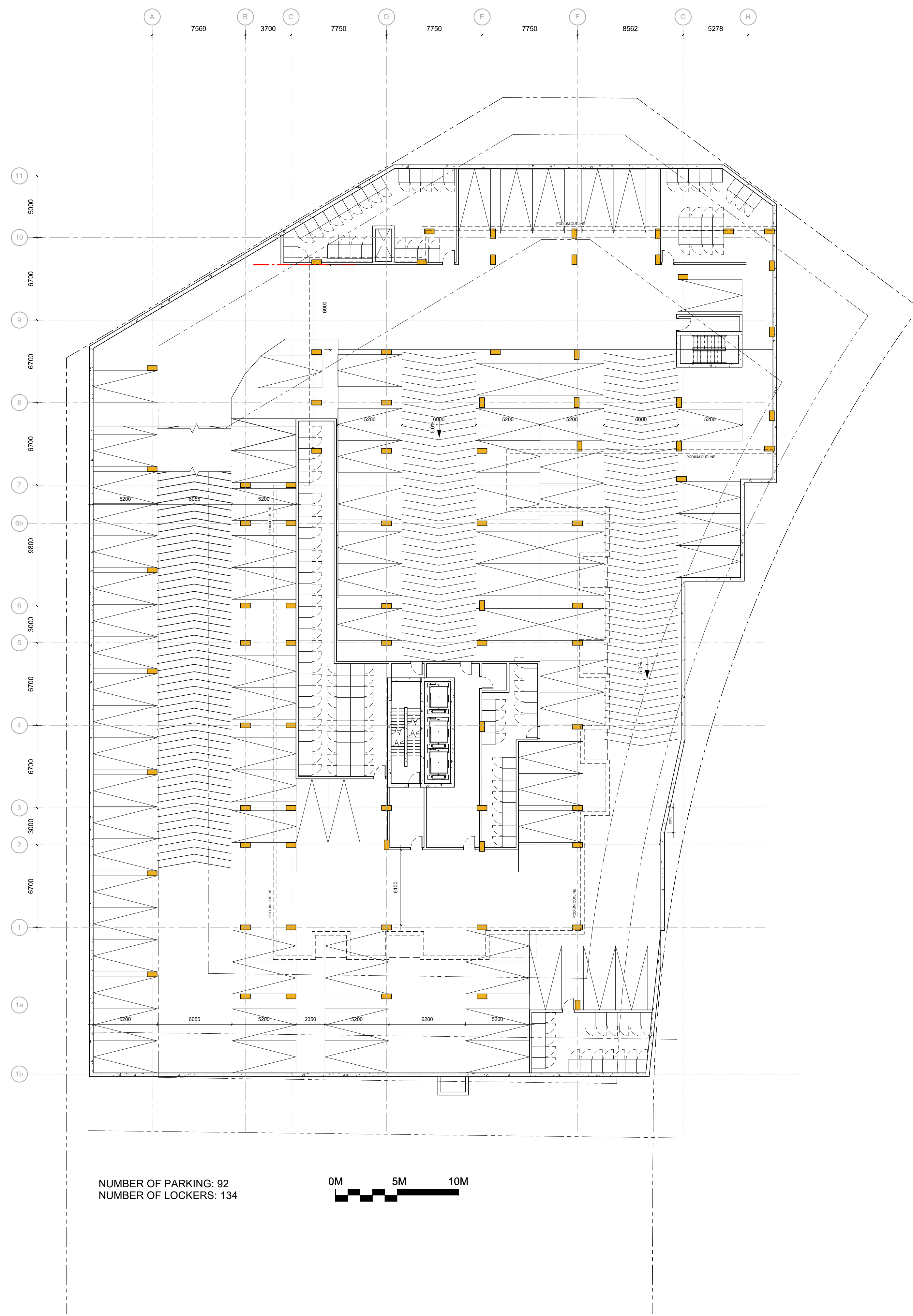
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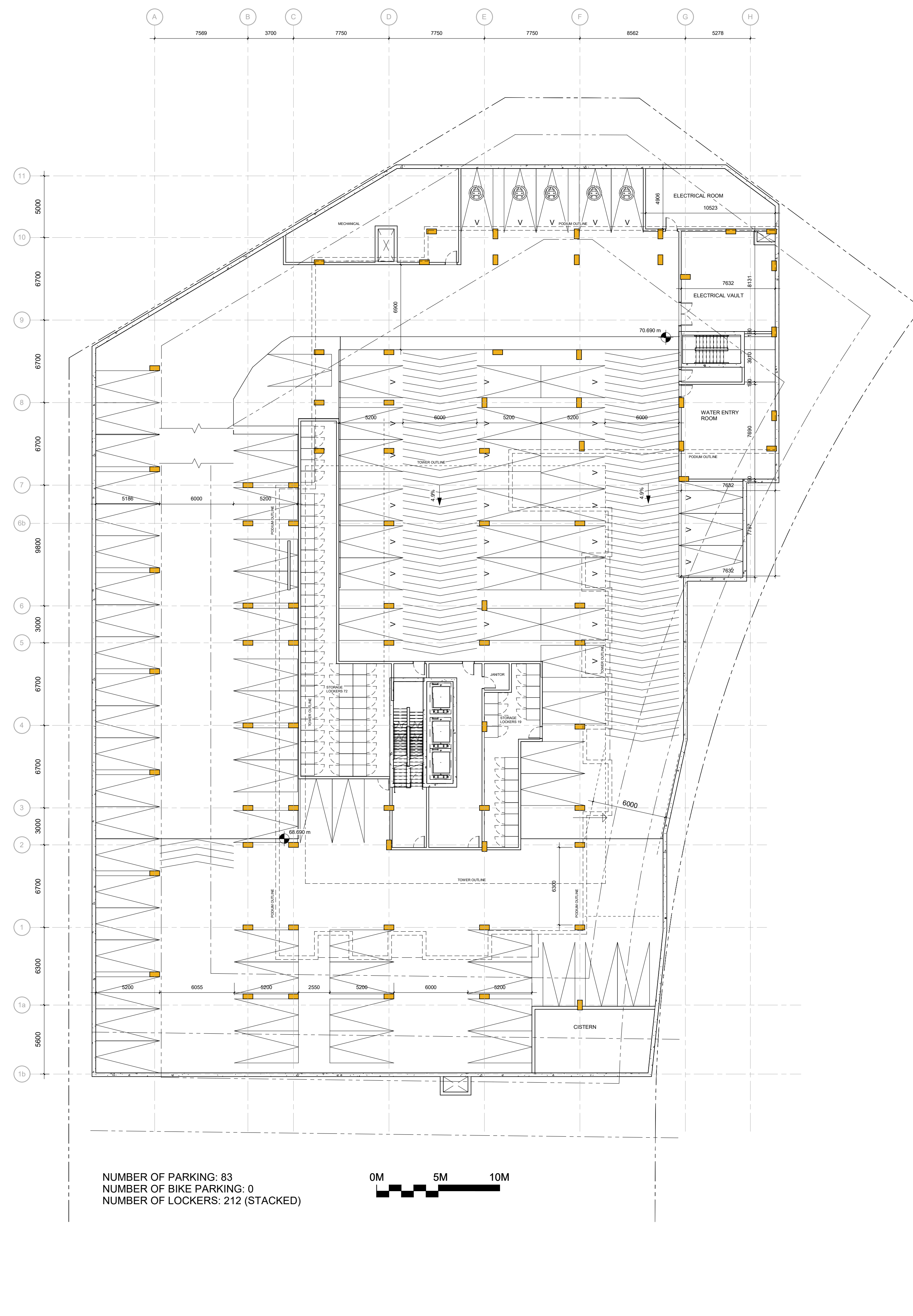
PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**TYPICAL PARKING AND P1 FLOOR PLAN**

|                     |                          |
|---------------------|--------------------------|
| DRAWN:<br>G.E.      | CHECKED:<br>J.G.         |
| SCALE:<br>1 : 200   | SHEET No:<br><b>A-01</b> |
| PROJECT No:<br>1922 |                          |



**P2 PARKING FLOOR PLAN**



**P1 PARKING FLOOR PLAN**

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

FILE: \\RLA\FP01\_rla\local\FR\igenwin\My Documents\1922-2829 Dumauiere - R22\_igenwinSAVK7.rvt

PLOT DATE: 10/7/2024 11:11:48 AM

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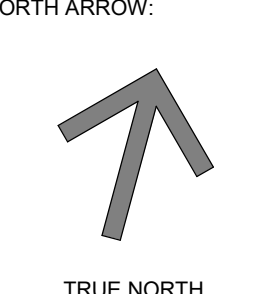
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| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT:  


ARCHITECT:  
  
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 t.613.724.9932 f.613.724.1209 www.roderick-laney.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**FLOOR PLANS**

|                     |                          |
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| SCALE:<br>1 : 200   | SHEET No:<br><b>A-02</b> |
| PROJECT No:<br>1922 |                          |



GROUND FLOOR PLAN



TYPICAL PODIUM L2-L4 FLOOR PLAN

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

PLOT DATE: 10/29/2024 11:59:15 AM

#17421

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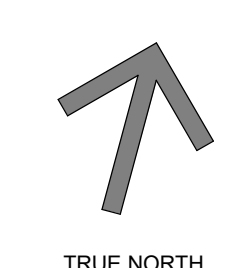
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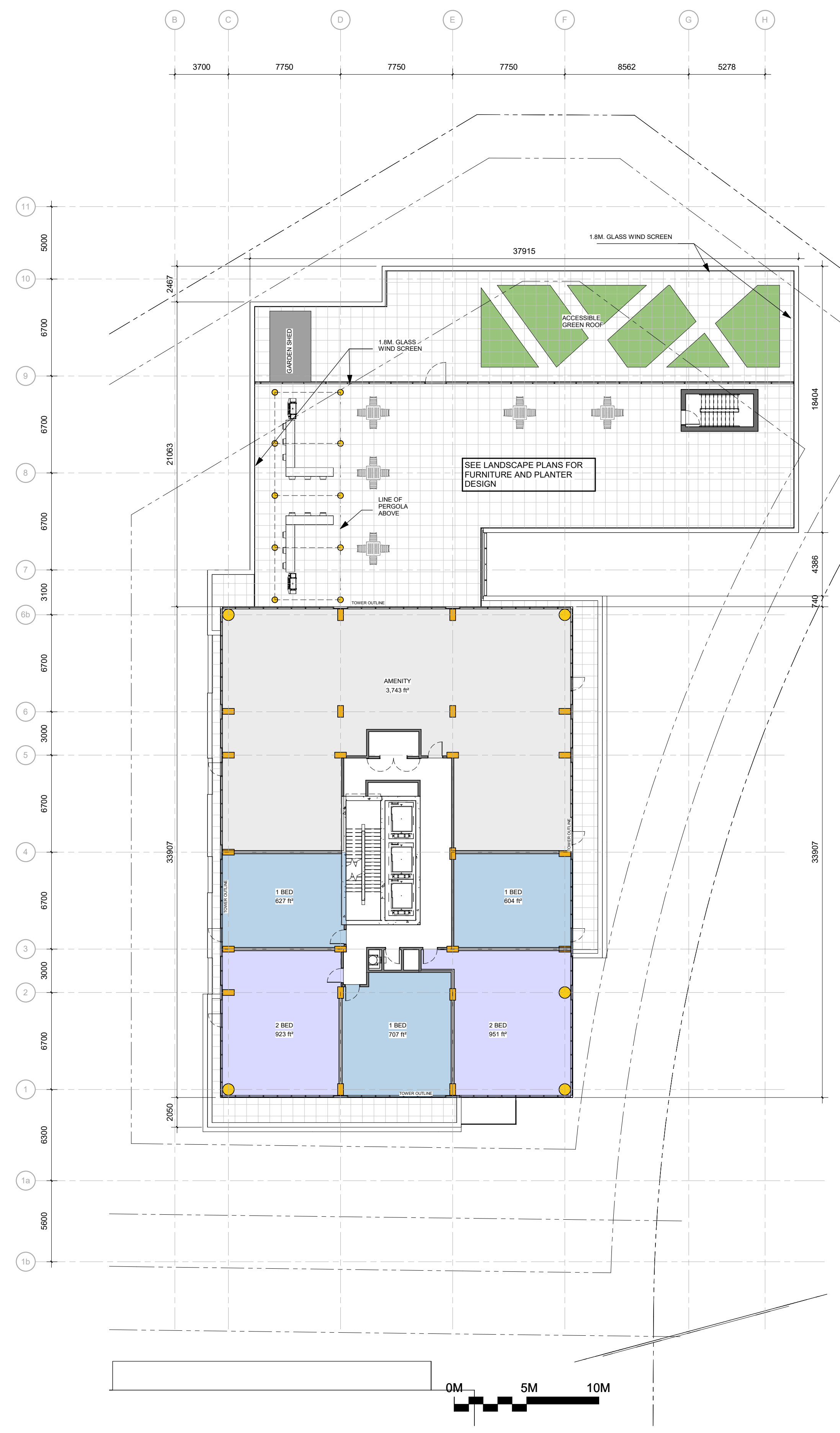
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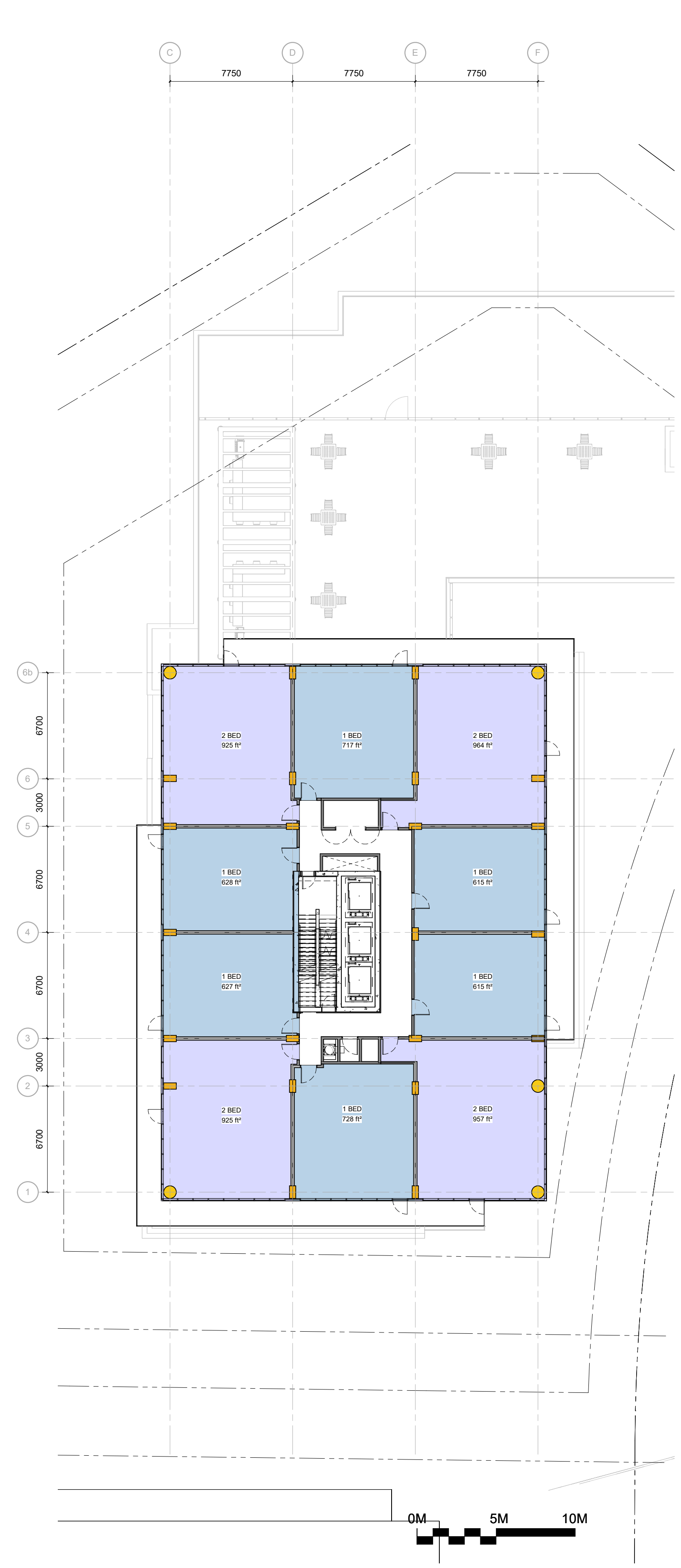
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 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 FLOOR PLANS

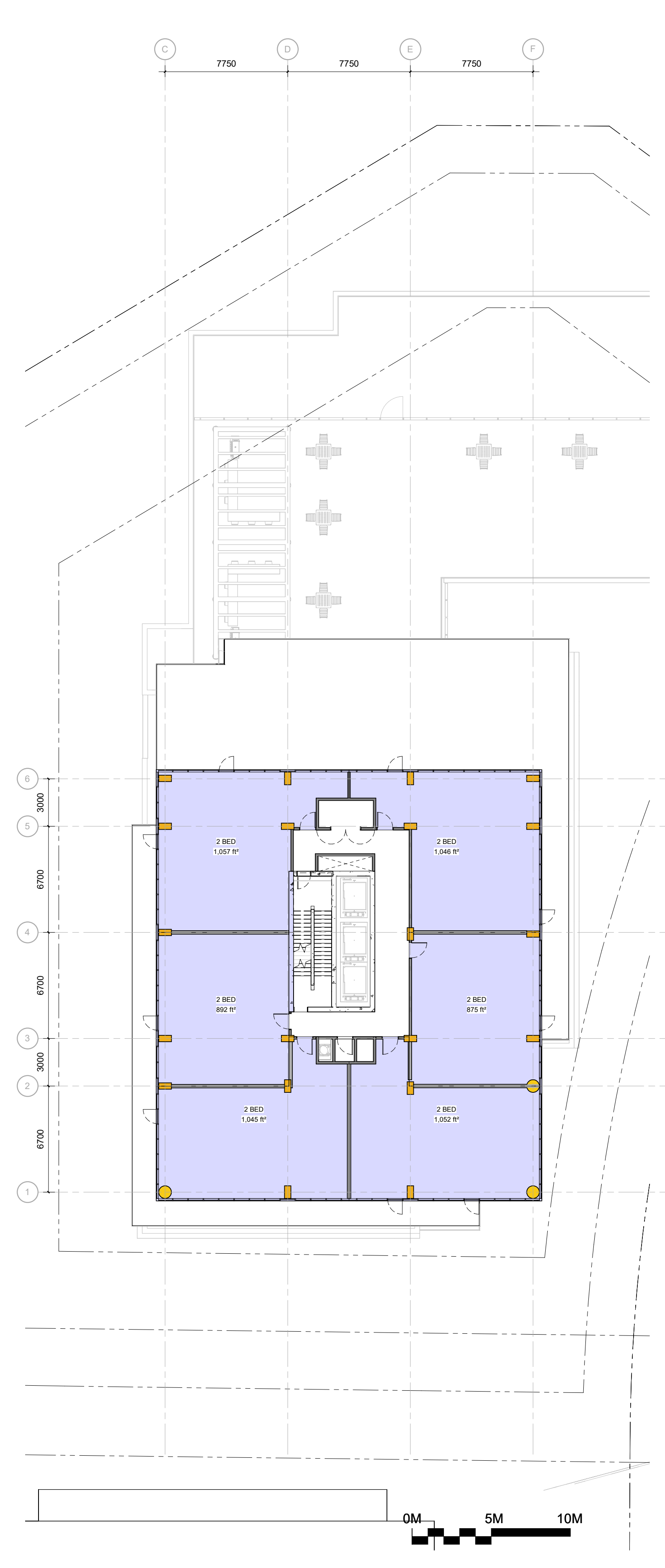
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 SCALE: 1 : 200 SHEET No: **A-03**  
 PROJECT No: 1922



5TH FLOOR PLAN



TYPICAL TOWER FLOOR PLAN L6 - L38



TYPICAL PH FLOOR PLAN L39 - L40

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

PROJECT FILE: \\R22-jgenwin\SAV\KT.rvt

PLOT DATE: 10/7/2024 11:13:07 AM

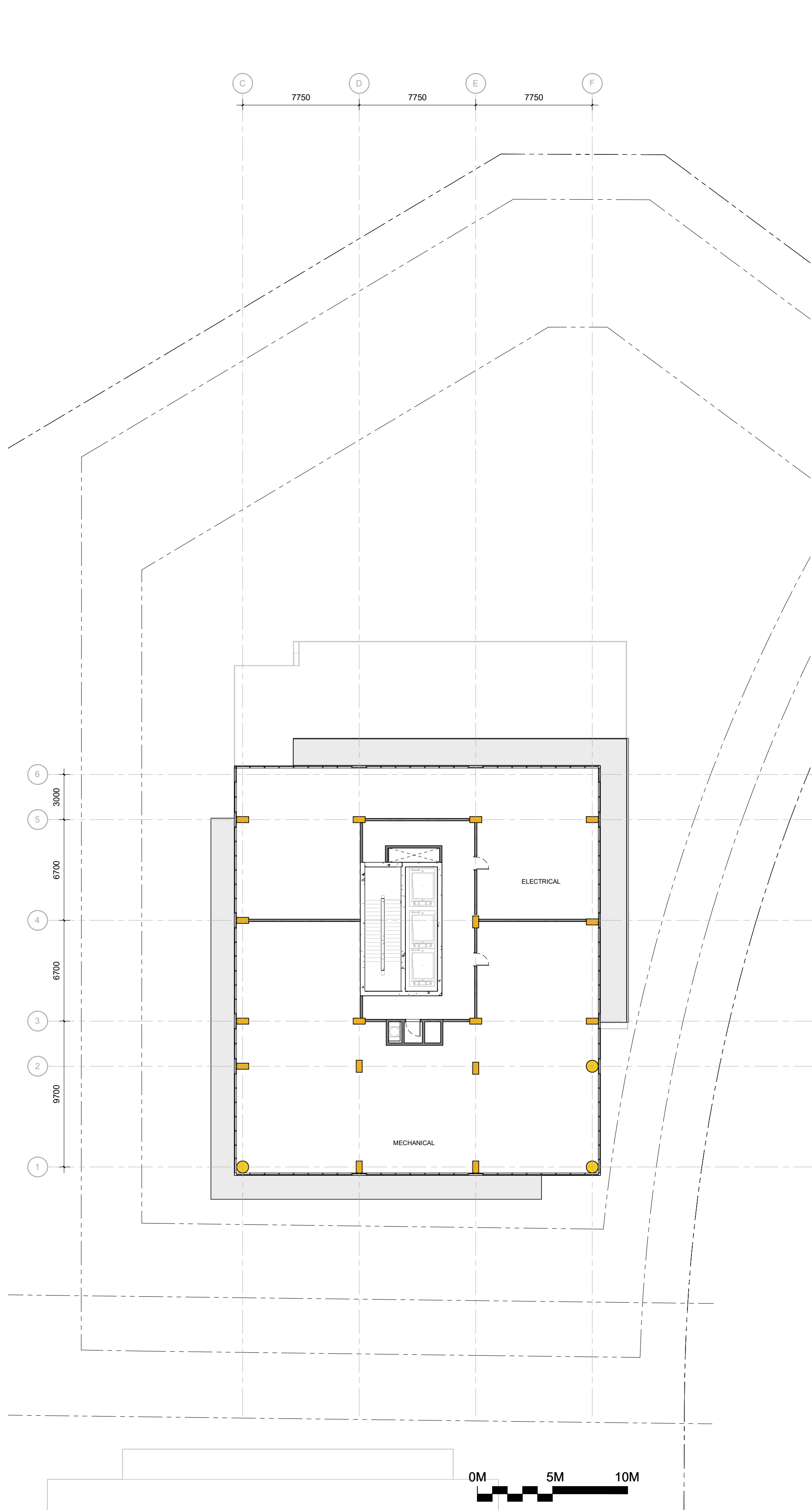
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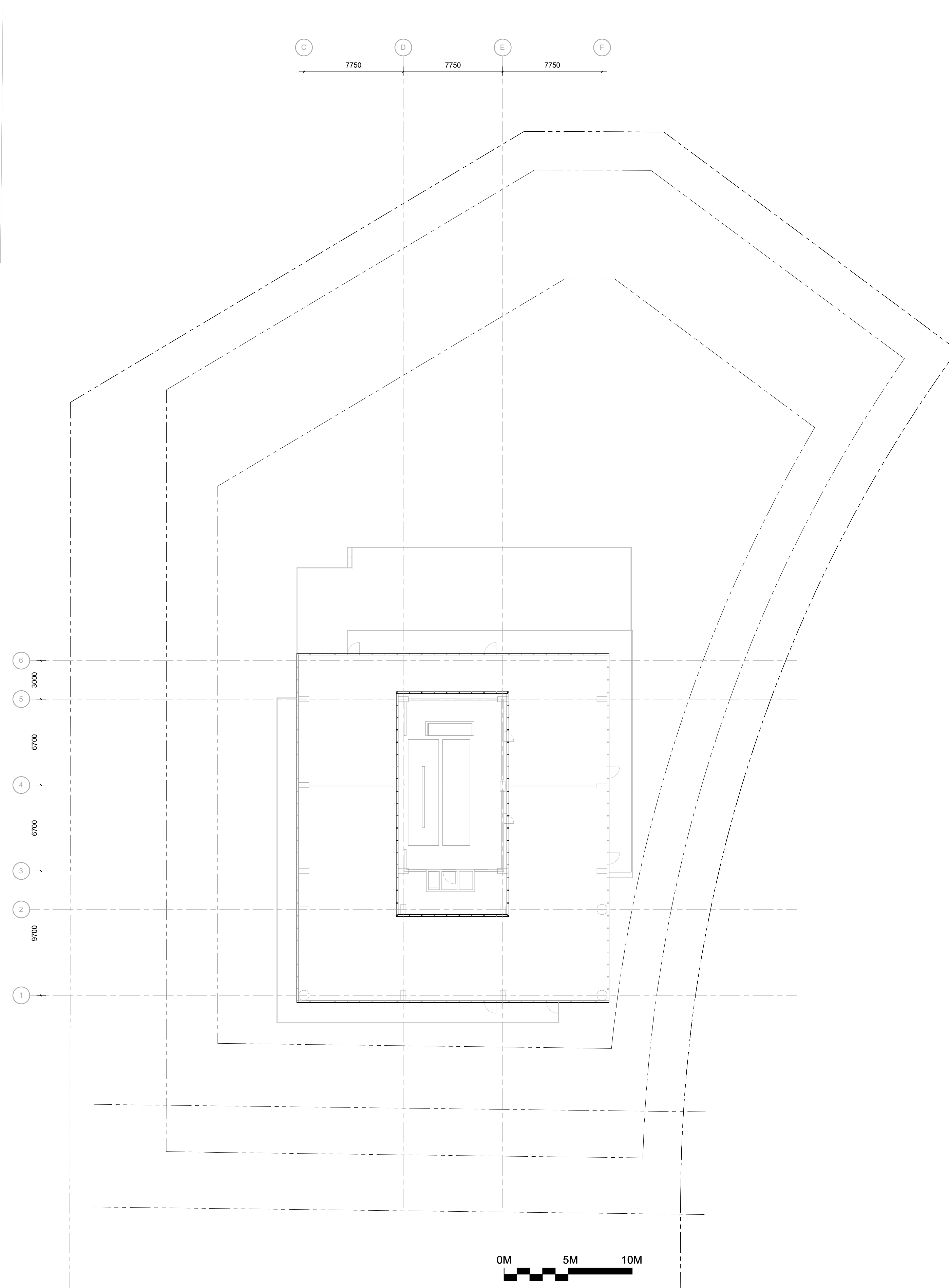
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  - (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHERWISE.
  - (G) ALL REINFORCED CONCRETE SUSPENDED SLABS, COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.



MECHANICAL FLOOR PLAN


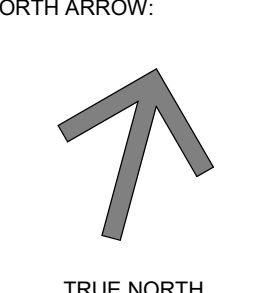


ROOF PLAN

| No. | DESCRIPTION                | DATE     |
|-----|----------------------------|----------|
| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

REVISIONS:

| No. | DESCRIPTION | DATE |
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ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
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PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 FLOOR PLANS

|                     |                          |
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| DRAWN:<br>Author    | CHECKED:<br>Checker      |
| SCALE:<br>1 : 200   | SHEET No:<br><b>A-04</b> |
| PROJECT No:<br>1922 |                          |

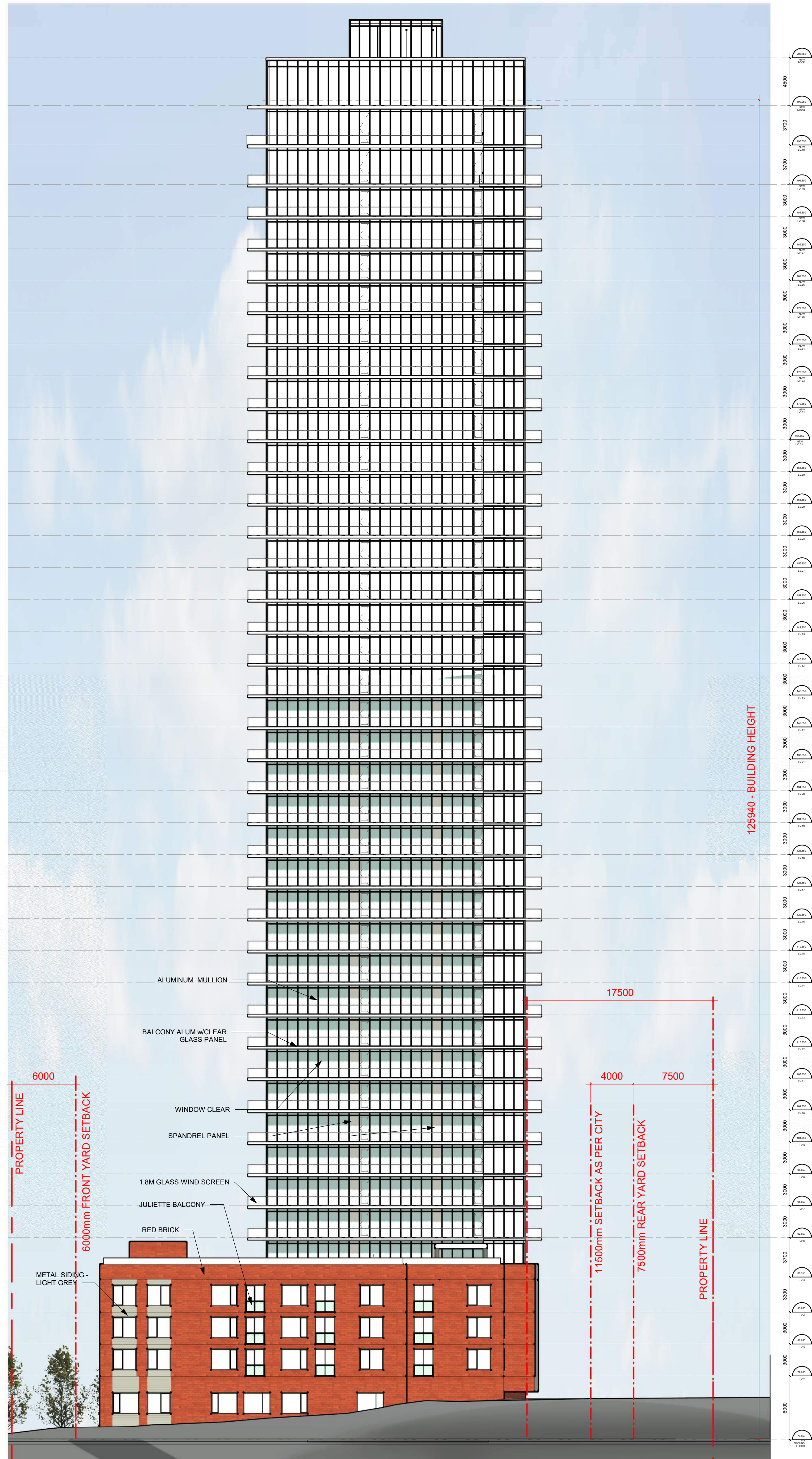
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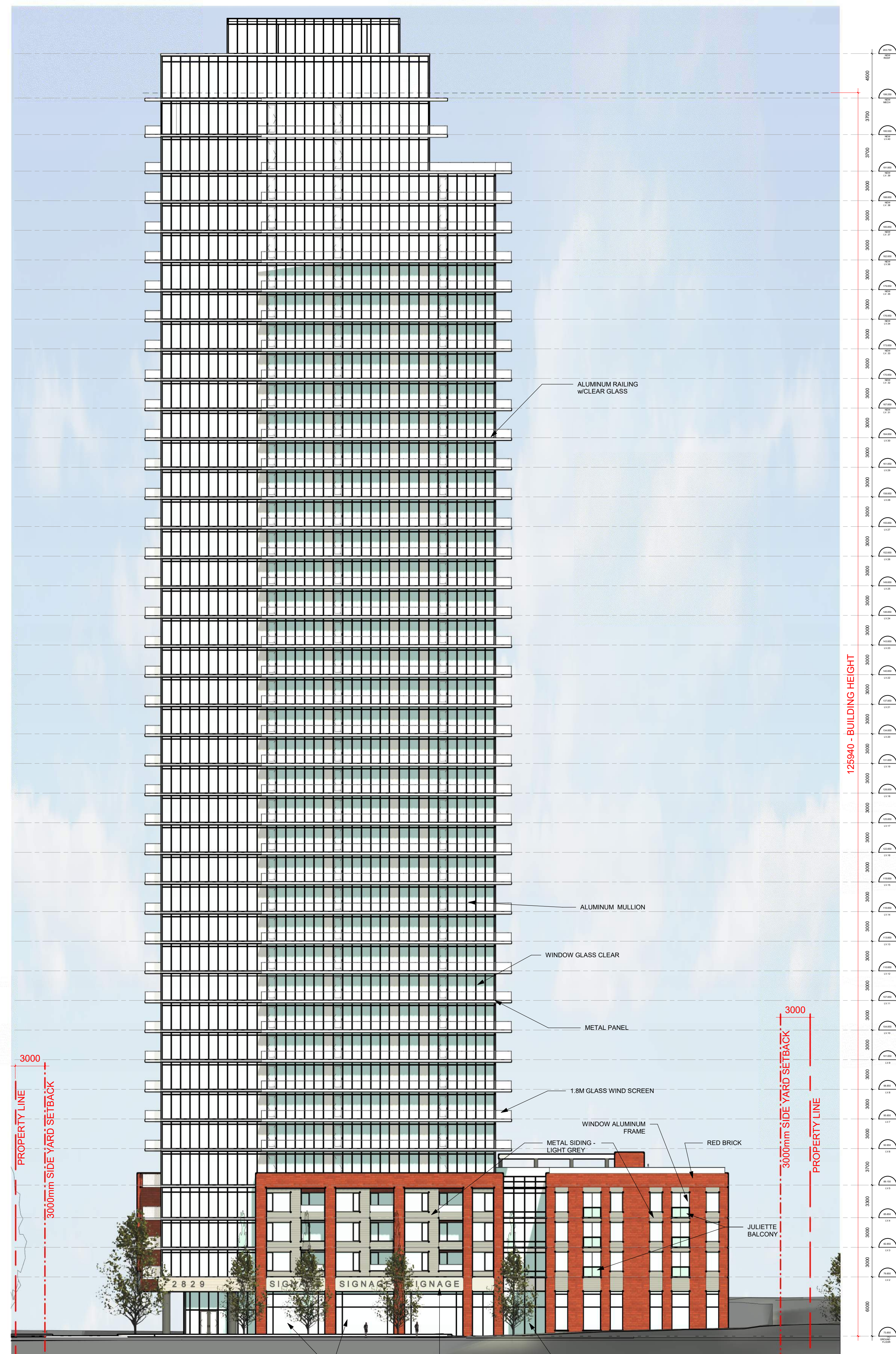
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D07-12-17-0063 #17421



NORTH ELEVATION



EAST ELEVATION

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- Ⓜ INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- Ⓝ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- Ⓞ INDICATES DETAIL NUMBER.
- Ⓟ TITLE SCALE
- Ⓠ DETAIL REFERENCE PAGE
- Ⓡ DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- A REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- B REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
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- D ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- E ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- F ALL INTERIOR PARTITIONS ARE TO BE TYPE UNLESS NOTED OTHERWISE.
- G ALL REINFORCED CONCRETE SUSPENDED SLABS. COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

| No. | DESCRIPTION                | DATE     |
|-----|----------------------------|----------|
| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

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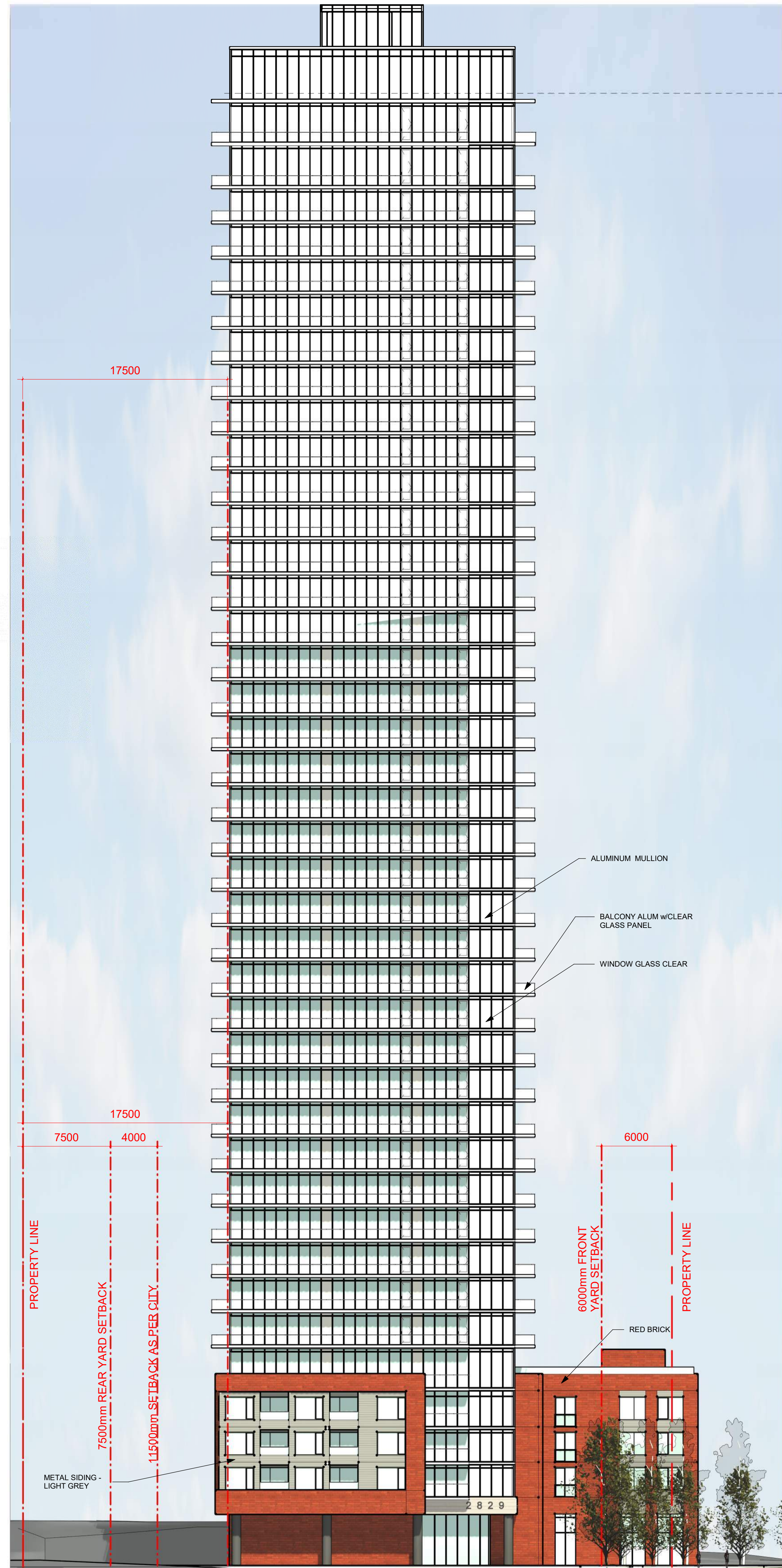
CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

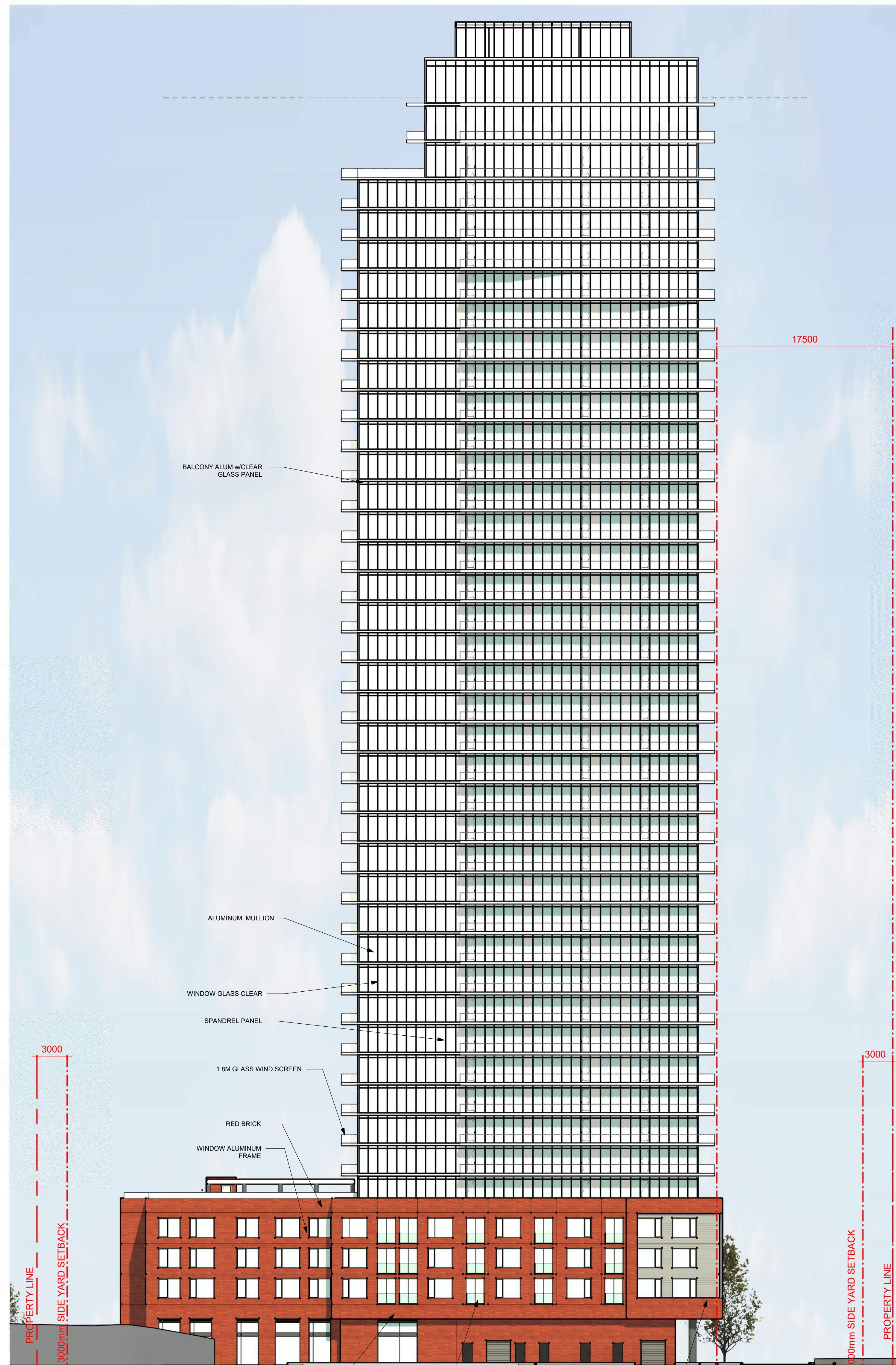
PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 ELEVATIONS

|                     |                    |
|---------------------|--------------------|
| DRAWN:<br>G.E.      | CHECKED:<br>J.G.   |
| SCALE:<br>1 : 225   | SHEET No:<br>A-05a |
| PROJECT No:<br>1922 |                    |



SOUTH ELEVATION



WEST ELEVATION

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**NOTATION SYMBOLS:**

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- (00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- (00) ———— DETAIL NUMBER
- (00) ———— TITLE
- (00/0000) ———— SCALE
- (000000) ———— DETAIL REFERENCE PAGE
- (000000) ———— DETAIL CROSS REFERENCE PAGE

**GENERAL NOTES:**

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
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- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- (G) UNLESS NOTED OTHERWISE, ALL REINFORCED CONCRETE SUSPENDED SLABS, COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

| No. | DESCRIPTION                | DATE     |
|-----|----------------------------|----------|
| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

REVISIONS:

|                 |              |
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|                 |              |

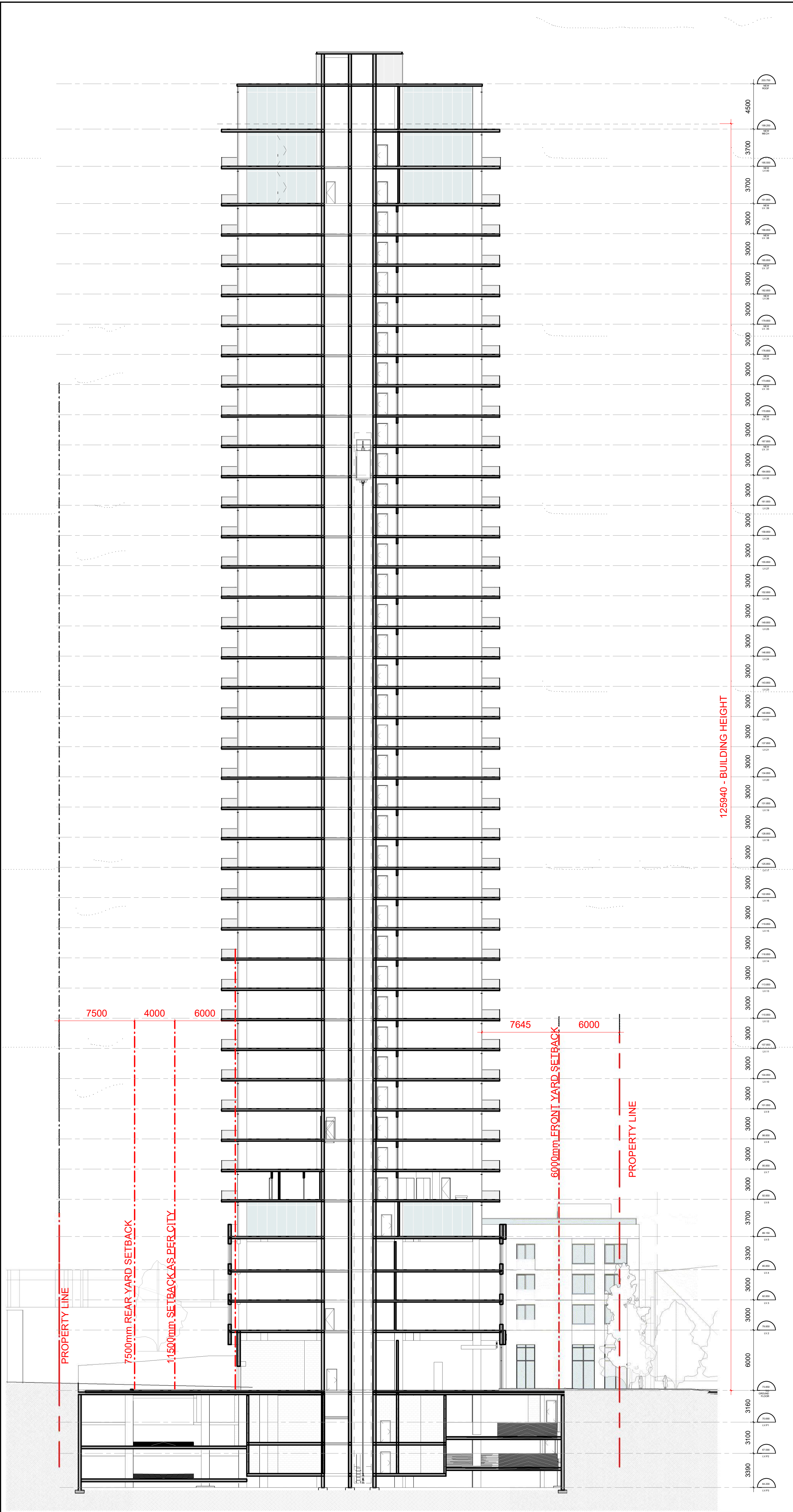
CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

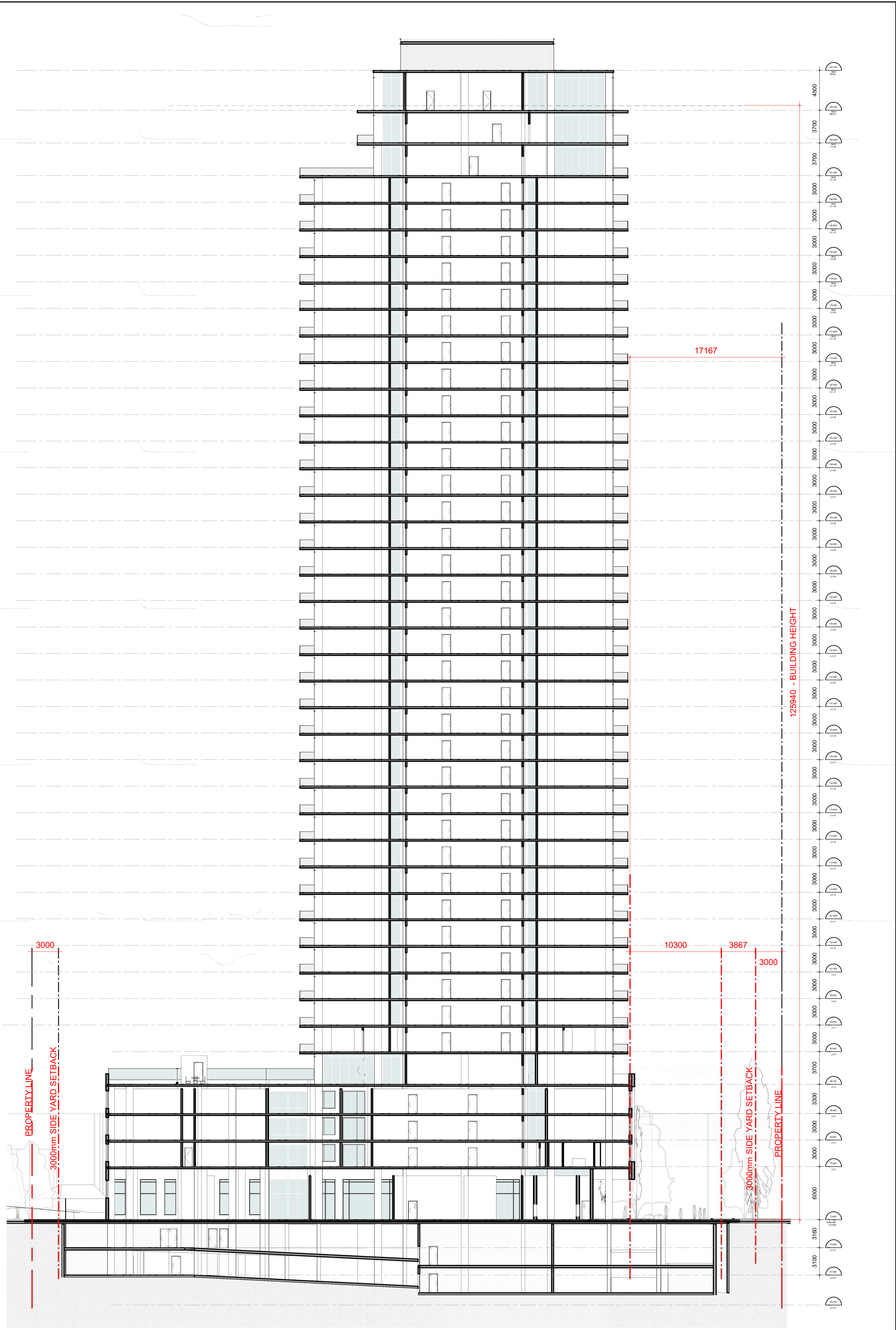
PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 ELEVATIONS

|                     |                    |
|---------------------|--------------------|
| DRAWN:<br>G.E.      | CHECKED:<br>J.G.   |
| SCALE:<br>1 : 225   | SHEET No:<br>A-05b |
| PROJECT No:<br>1922 |                    |



NORTH-SOUTH SECTION



EAST-WEST SECTION


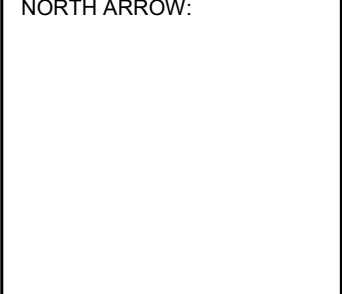
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
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  - (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
  - (00) TITLE SCALE
  - (0000000) DETAIL REFERENCE PAGE
  - (0000000) DETAIL CROSS REFERENCE PAGE

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  - (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
  - (E) ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHER WISE.
  - (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE T1 UNLESS NOTED OTHER WISE.
  - (G) ALL REINFORCED CONCRETE SUSPENDED SLABS, COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

| No. | DESCRIPTION                | DATE     |
|-----|----------------------------|----------|
| 4   | ISSUED FOR SPARE-ZONING R4 | 08 10 24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08 07 24 |
| 2   | UPDATED SPA - R2           | 03 11 22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08 06 21 |

REVISIONS:

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CLIENT:  


ARCHITECT:  
  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**SECTIONS**

|                     |                          |
|---------------------|--------------------------|
| DRAWN:<br>G.E.      | CHECKED:<br>J.G.         |
| SCALE:<br>1 : 225   | SHEET No:<br><b>A-06</b> |
| PROJECT No:<br>1922 |                          |

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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PLOT DATE: 10/7/2024 11:23:29 AM

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VIEW LOOKING NORTH-WEST



VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH ALONG DUMAURIER AVE.

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- ⑤ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- ⑥ TITLE
- ⑦ SCALE
- ⑧ DETAIL REFERENCE PAGE
- ⑨ DETAIL CROSS REFERENCE PAGE

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- F ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHER WISE.
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| No. | DESCRIPTION                 | DATE     |
|-----|-----------------------------|----------|
| 4   | ISSUED FOR SPA-RE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPA-RE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2            | 03.11.22 |
| 1   | ISSUED FOR SPA-RE-ZONING    | 08.06.21 |

REVISIONS:

|                     |                  |
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| ARCHITECT SEAL:<br> | NORTH ARROW:<br> |
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CLIENT:

ARCHITECT:  
  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON  
 SHEET TITLE:  
 PERSPECTIVES

|                     |                          |
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| DRAWN:<br>G.E.      | CHECKED:<br>J.G.         |
| SCALE:<br>1 : 100   | SHEET No:<br><b>A-07</b> |
| PROJECT No:<br>1922 |                          |

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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PLOT DATE: 10/28/2024 3:47:21 PM

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VIEW LOOKING NORTH-EAST



VIEW LOOKING NORTH-WEST STREETSCAPE ALONG DUMAQUIER AVE.



VIEW LOOKING SOUTH-EAST STREETSCAPE ALONG DUMAQUIER AVE.

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**NOTATION SYMBOLS:**


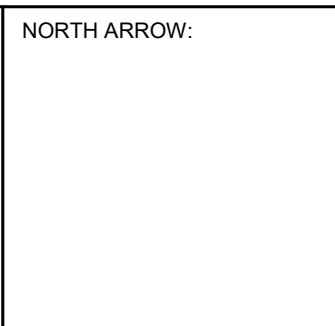
- ① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- ② INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
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| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

**REVISIONS:**

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAQUIER AVENUE**  
 2829 DUMAQUIER AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES**

|                     |                          |
|---------------------|--------------------------|
| DRAWN:<br>G.E.      | CHECKED:<br>J.G.         |
| SCALE:              | SHEET No:<br><b>A-08</b> |
| PROJECT No:<br>1922 |                          |

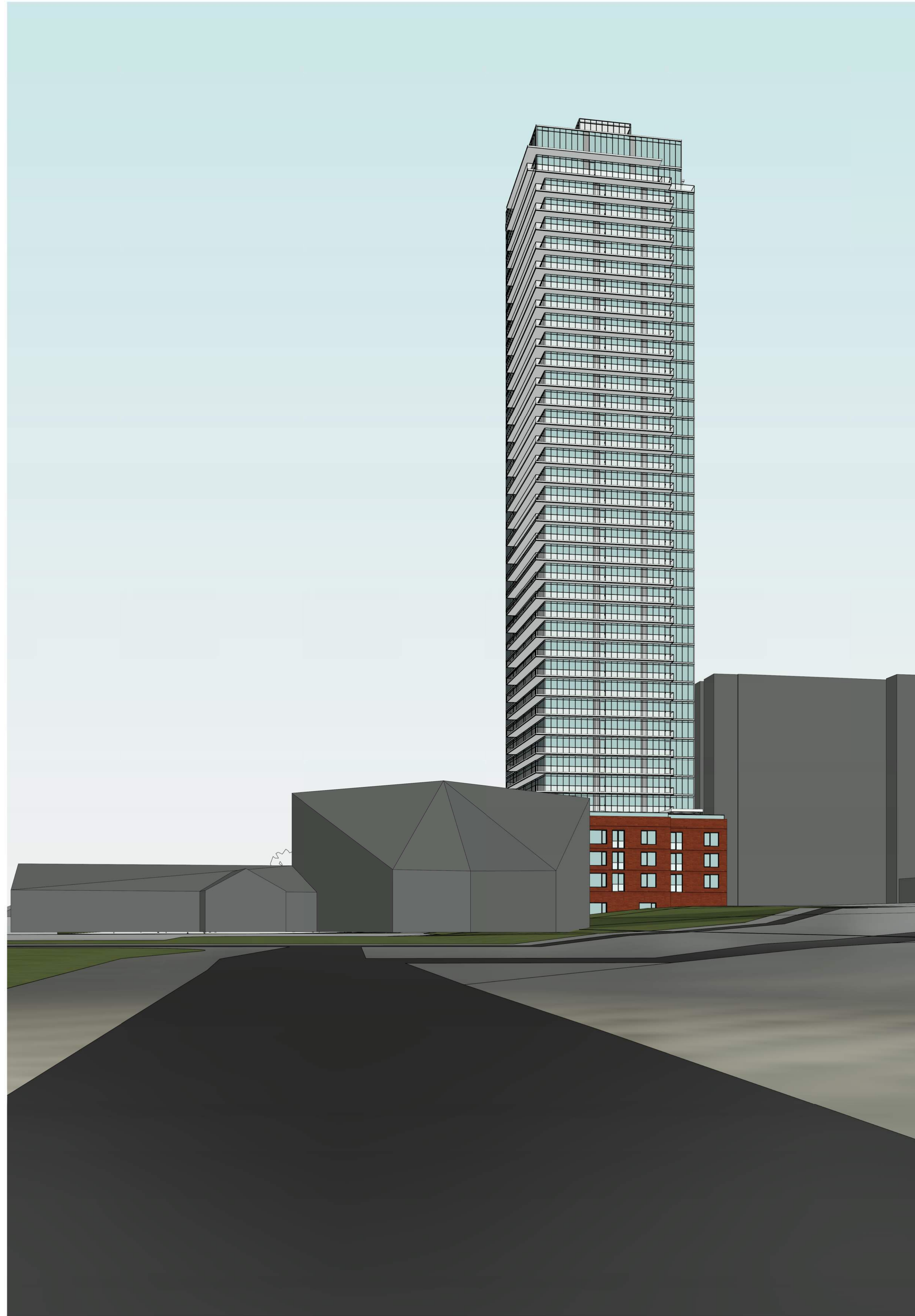
PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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PLOT DATE: 10/17/2024 2:02:27 PM

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VIEW FROM FARRELL STREET



VIEW FROM DUMAUIET AVENUE AND WATSON STREET



VIEW FROM DUMAUIET AND RAMSEY CRESCENT

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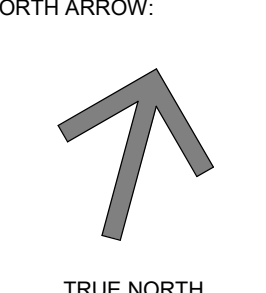
- NOTATION SYMBOLS:**
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  - (00) TITLE SCALE
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| 2   | UPDATED SPA - R2            | 03.11.22 |
| 1   | ISSUED FOR SPA-RE-ZONING    | 08.06.21 |

REVISIONS:

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| 1   | ISSUED FOR SPA-RE-ZONING    | 08.06.21 |

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAUIET AVENUE**  
 2829 DUMAUIET AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES**

|                     |                          |
|---------------------|--------------------------|
| DRAWN:<br>Author    | CHECKED:<br>Checker      |
| SCALE:              | SHEET No:<br><b>A-09</b> |
| PROJECT No:<br>1922 |                          |

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PLOT SCALE: 1:1

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PLOT DATE: 10/7/2024 2:06:52 PM

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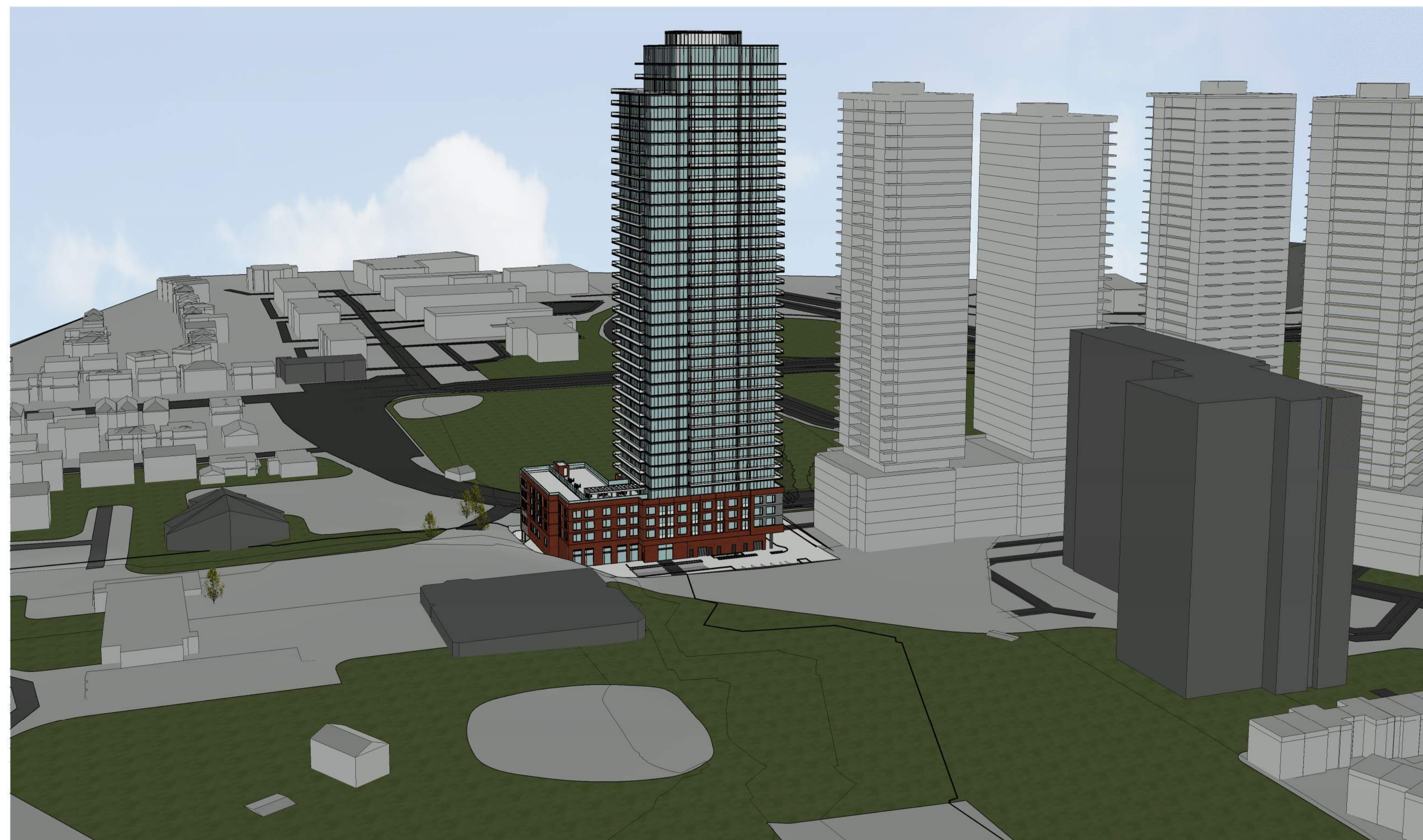
VIEW LOOKING SOUTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING EAST

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- (00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- (00) INDICATES DETAIL NUMBER.
- (00) TITLE SCALE
- (000000) DETAIL REFERENCE PAGE
- (000000) DETAIL CROSS REFERENCE PAGE


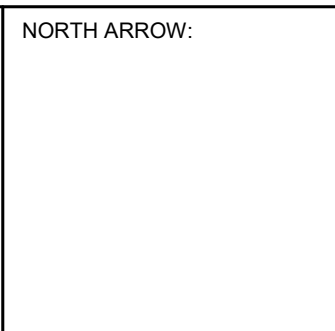
**GENERAL NOTES:**

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
- (C) REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHERWISE.
- (G) ALL REINFORCED CONCRETE SUSPENDED SLABS, COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

| No. | DESCRIPTION                | DATE     |
|-----|----------------------------|----------|
| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

REVISIONS:

| No. | DESCRIPTION                | DATE     |
|-----|----------------------------|----------|
| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES - FUTURE BUILD-OUT**

DRAWN: G.E. CHECKED: J.G.

SCALE: SHEET No:

PROJECT No: 1922 **A-10**

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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PLOT DATE: 10/17/2024 2:14:31 PM

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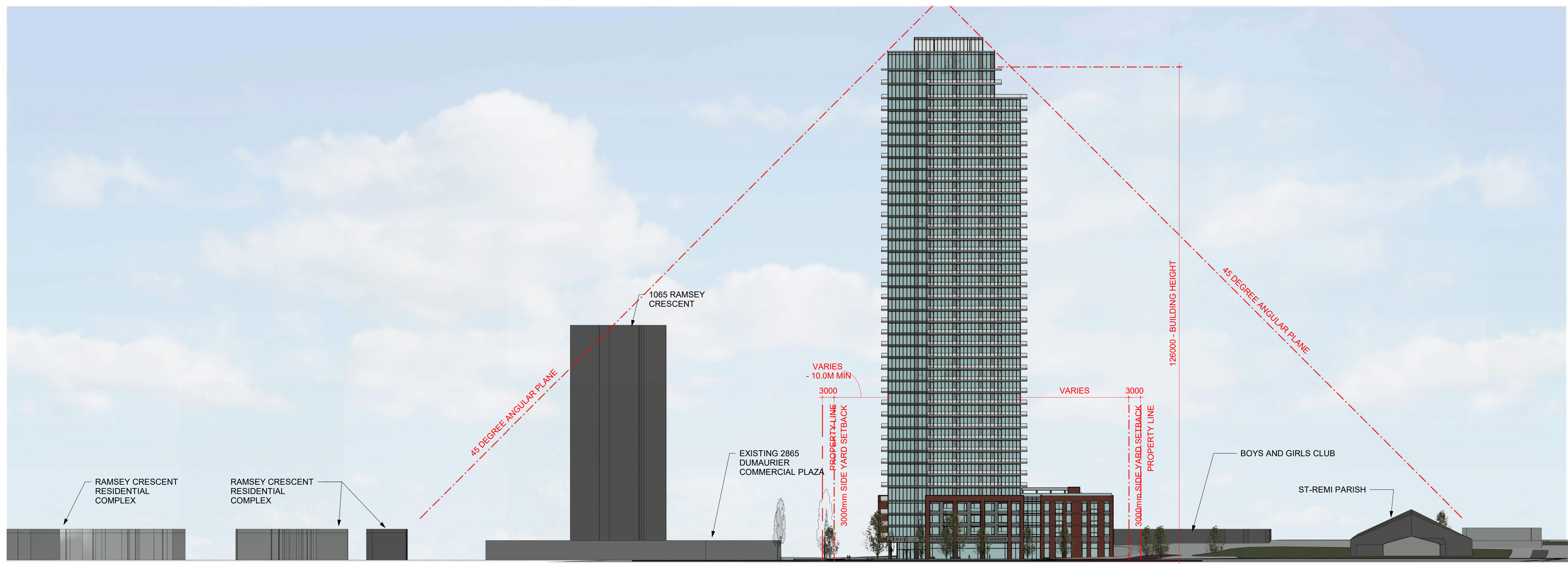
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
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**NOTATION SYMBOLS:**

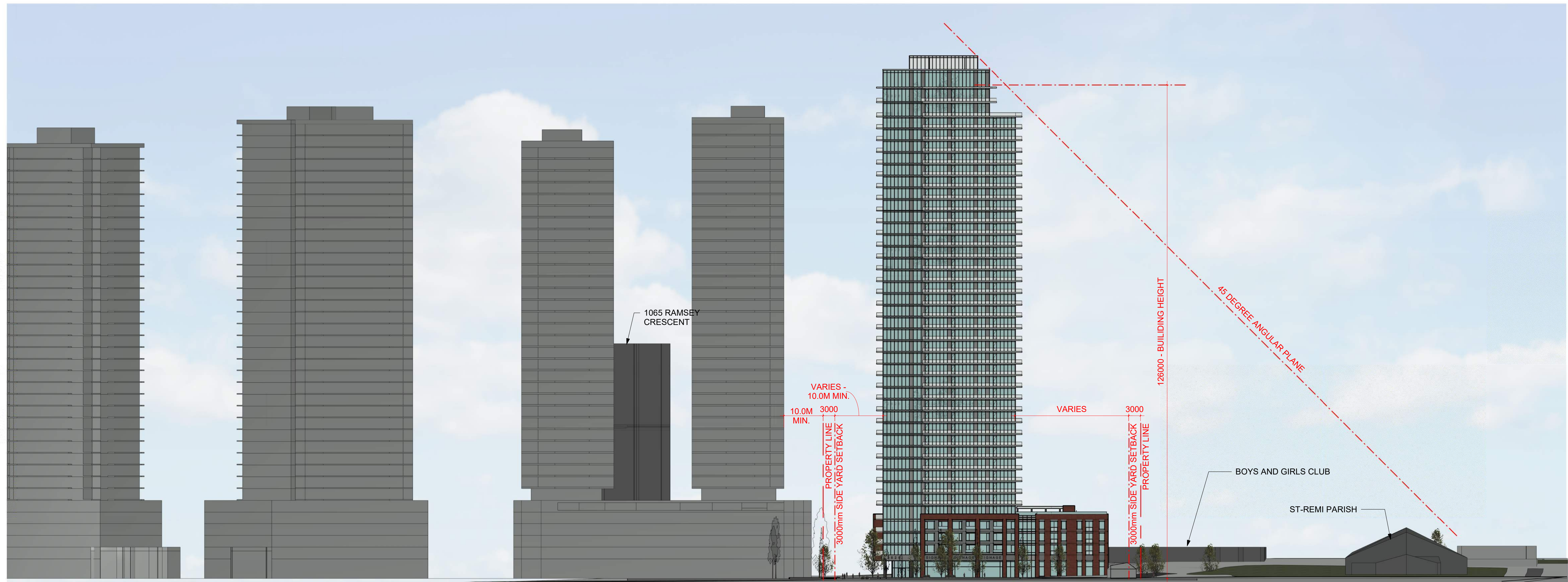
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- (000) DETAIL NUMBER.
- (00) TITLE.
- (000000) SCALE.
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VIEW LOOKING WEST





FUTURE VIEW LOOKING WEST

|   |                             |          |
|---|-----------------------------|----------|
| 4 | ISSUED FOR SPA-RE-ZONING R4 | 08.10.24 |
| 3 | ISSUED FOR SPA-RE-ZONING R3 | 08.07.24 |
| 2 | UPDATED SPA - R2            | 03.11.22 |
| 1 | ISSUED FOR SPA-RE-ZONING    | 08.06.21 |

| No. | DESCRIPTION | DATE |
|-----|-------------|------|
|-----|-------------|------|

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ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  


ARCHITECT:  
  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.roderickandco.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**OVERALL SITE ELEVATIONS**

|                     |                          |
|---------------------|--------------------------|
| DRAWN:<br>G.E.      | CHECKED:<br>J.G.         |
| SCALE:<br>1 : 500   | SHEET No:<br><b>A-11</b> |
| PROJECT No:<br>1922 |                          |

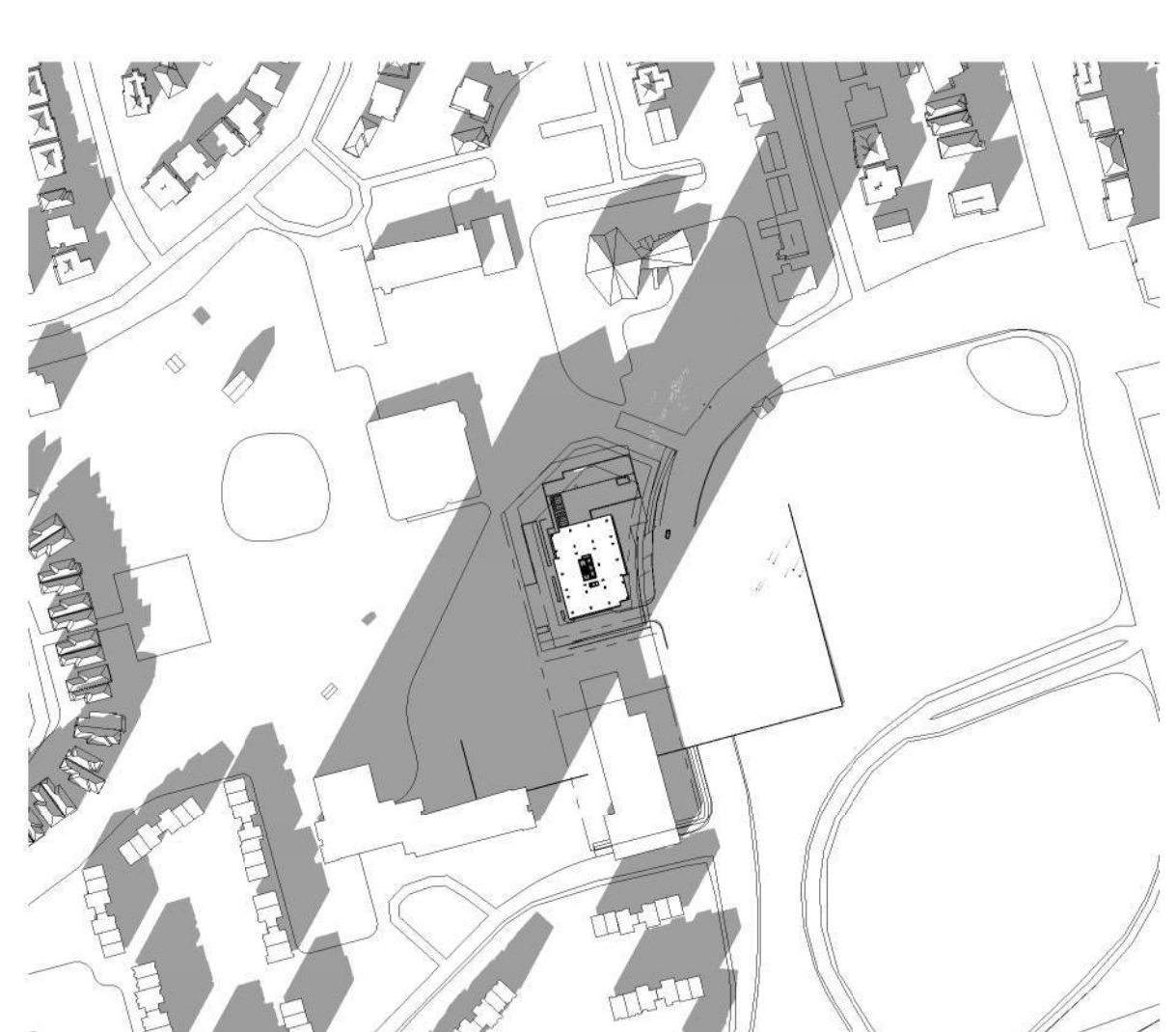
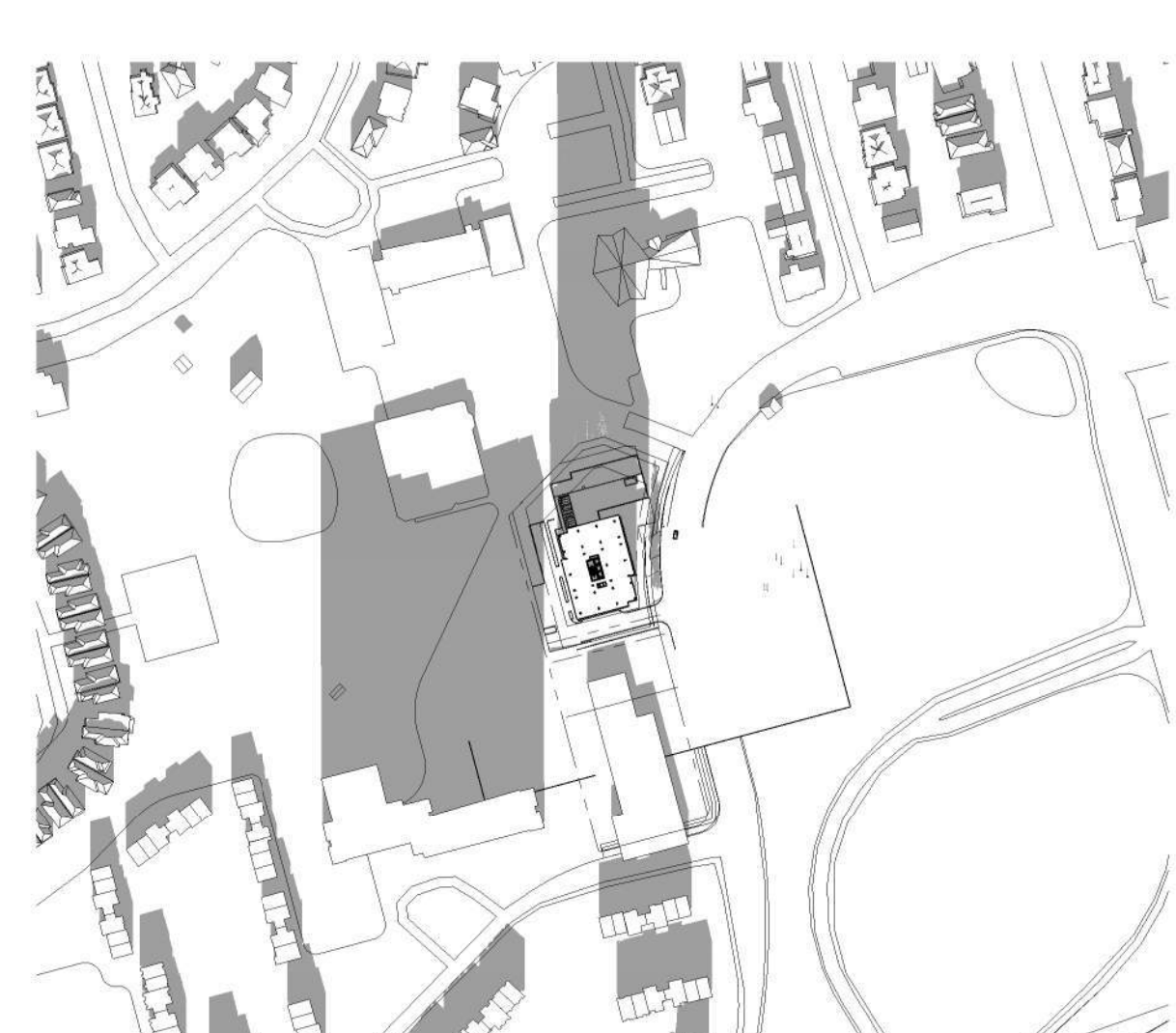
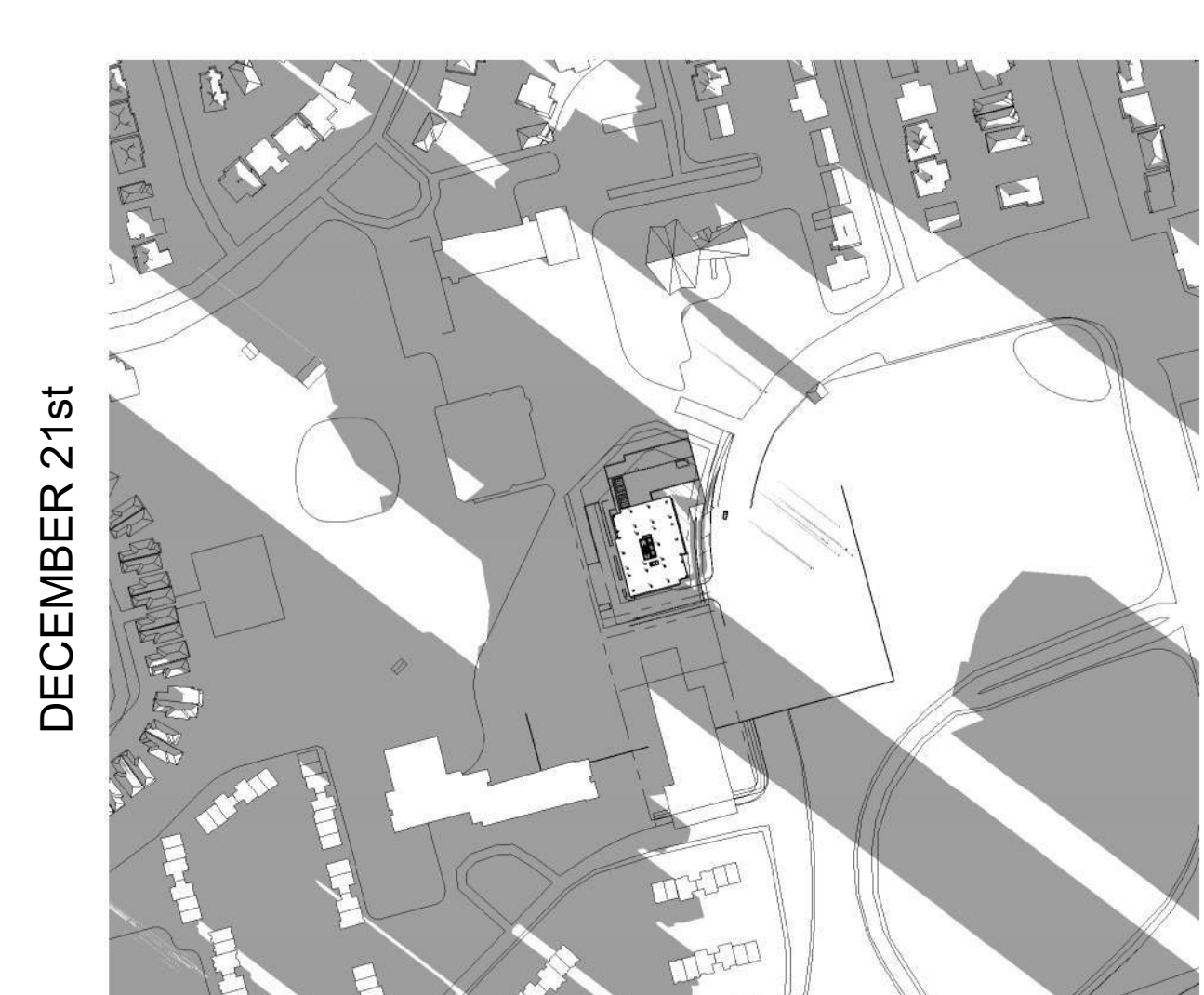
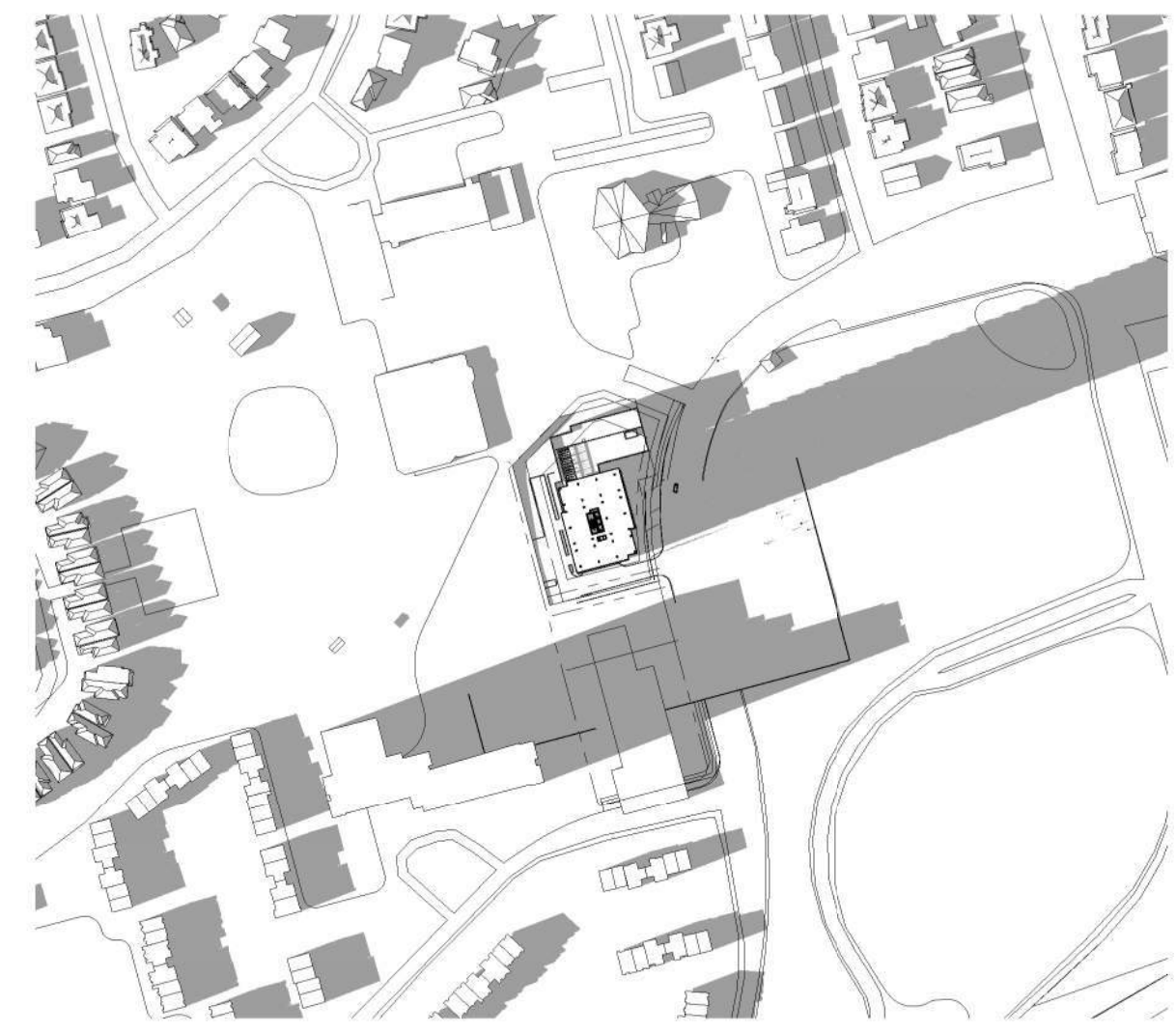
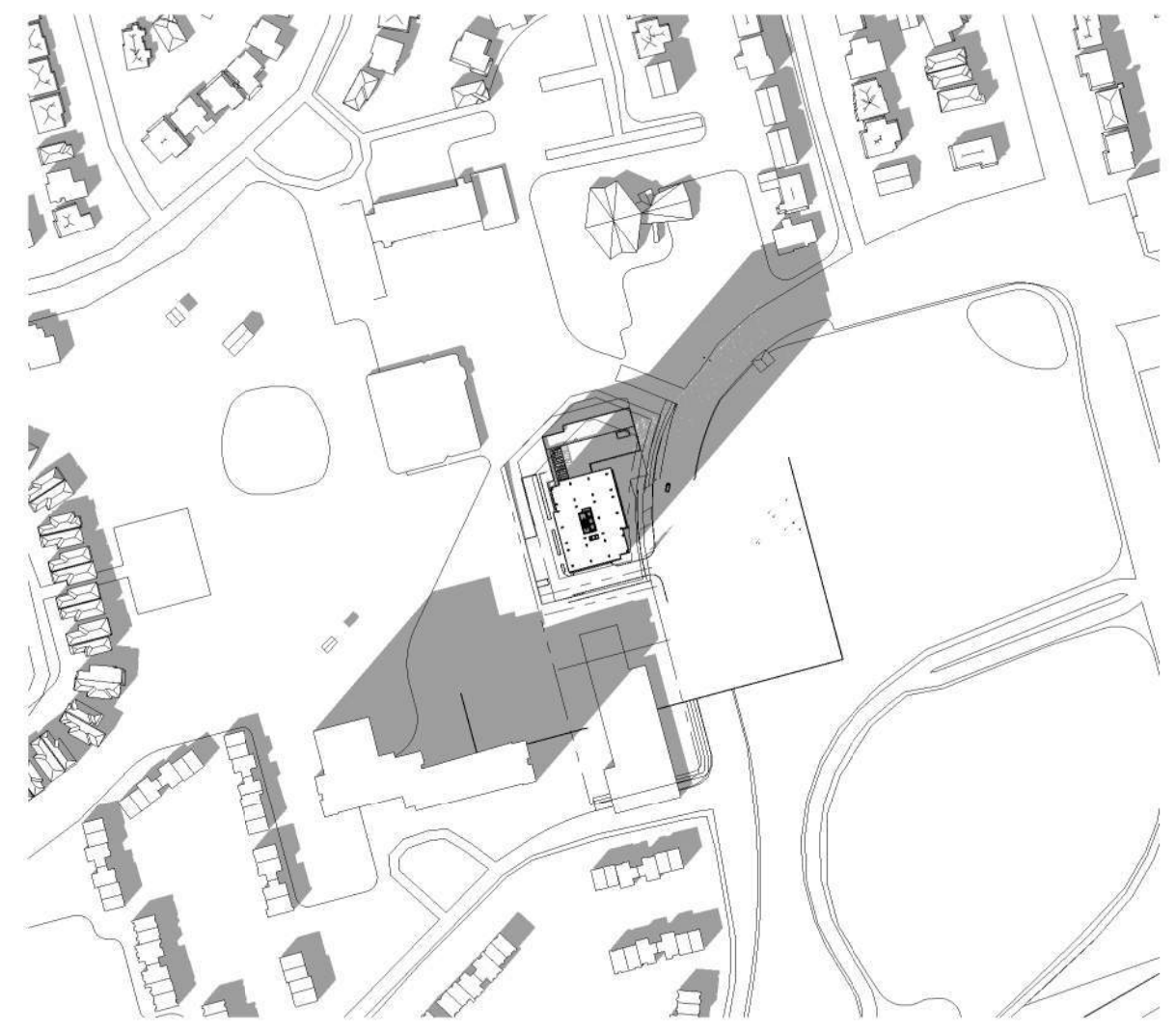
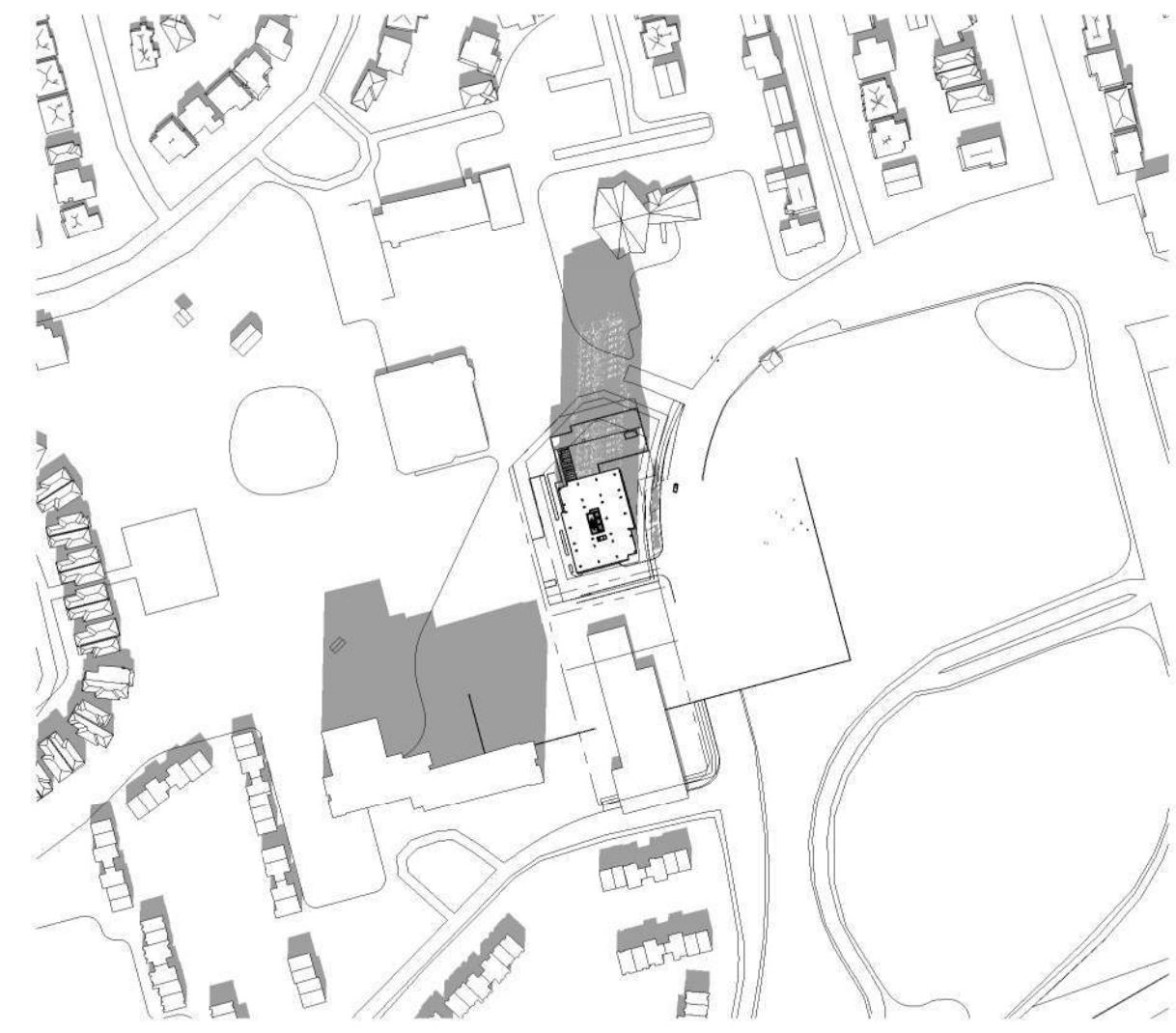
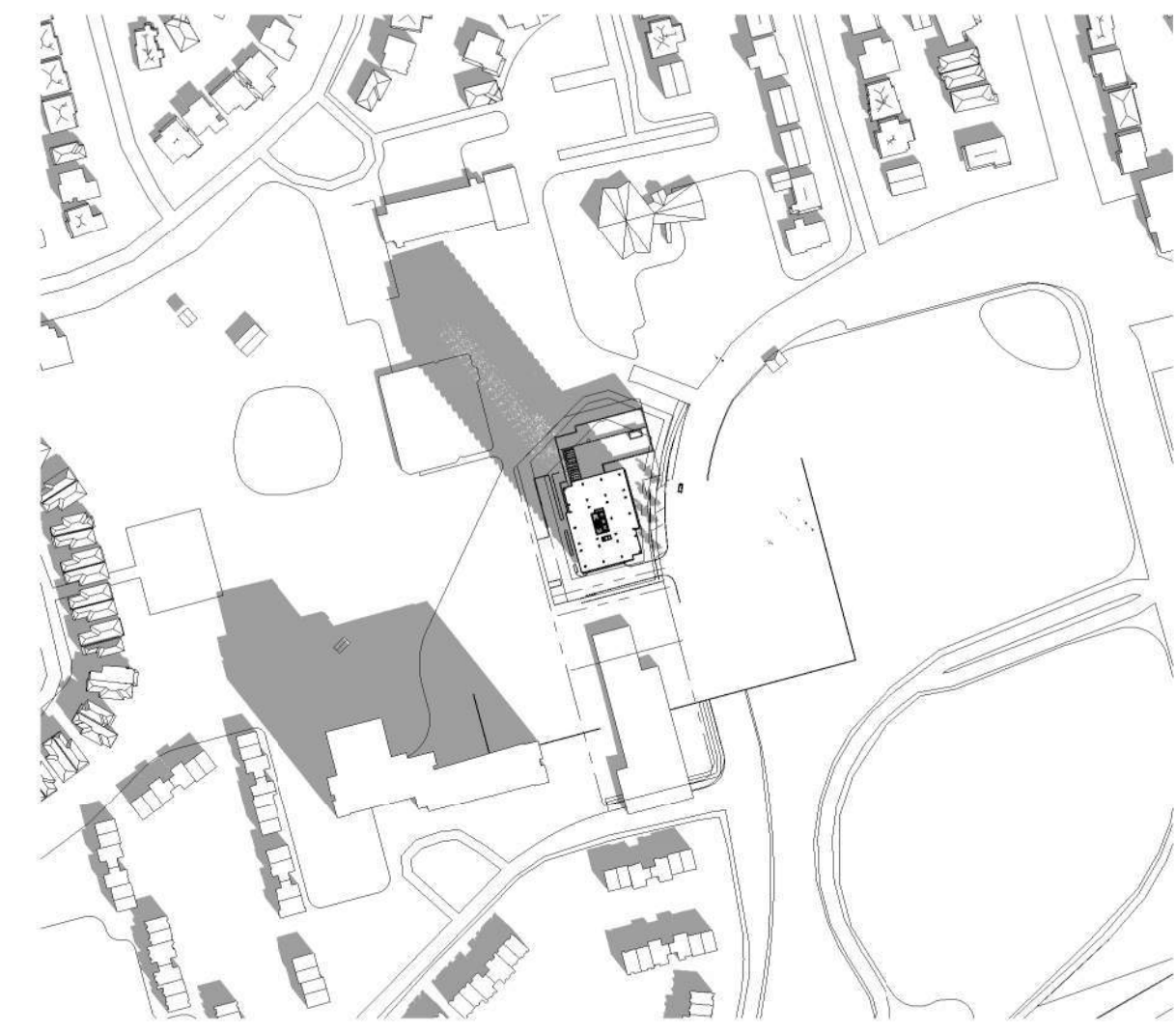
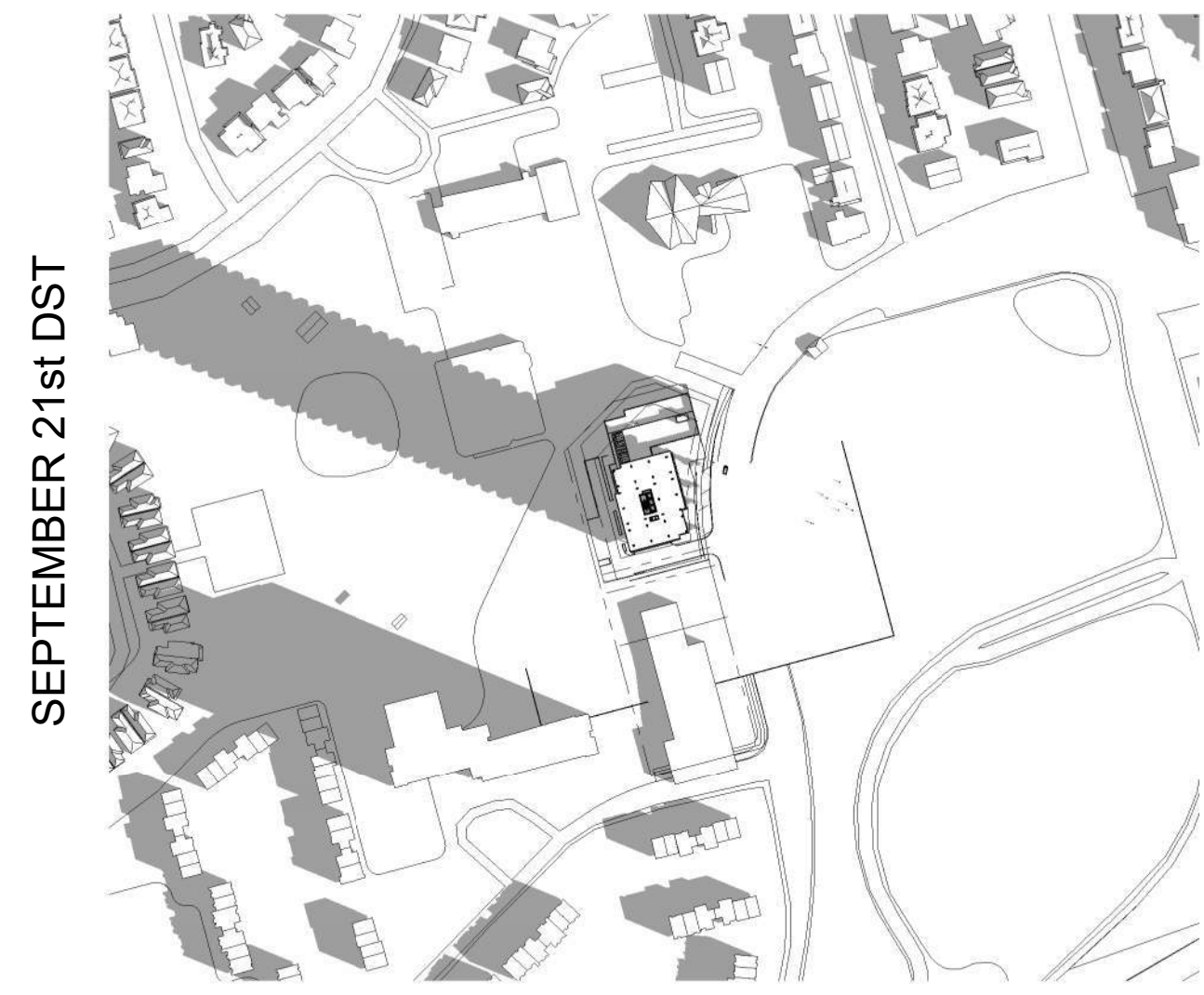
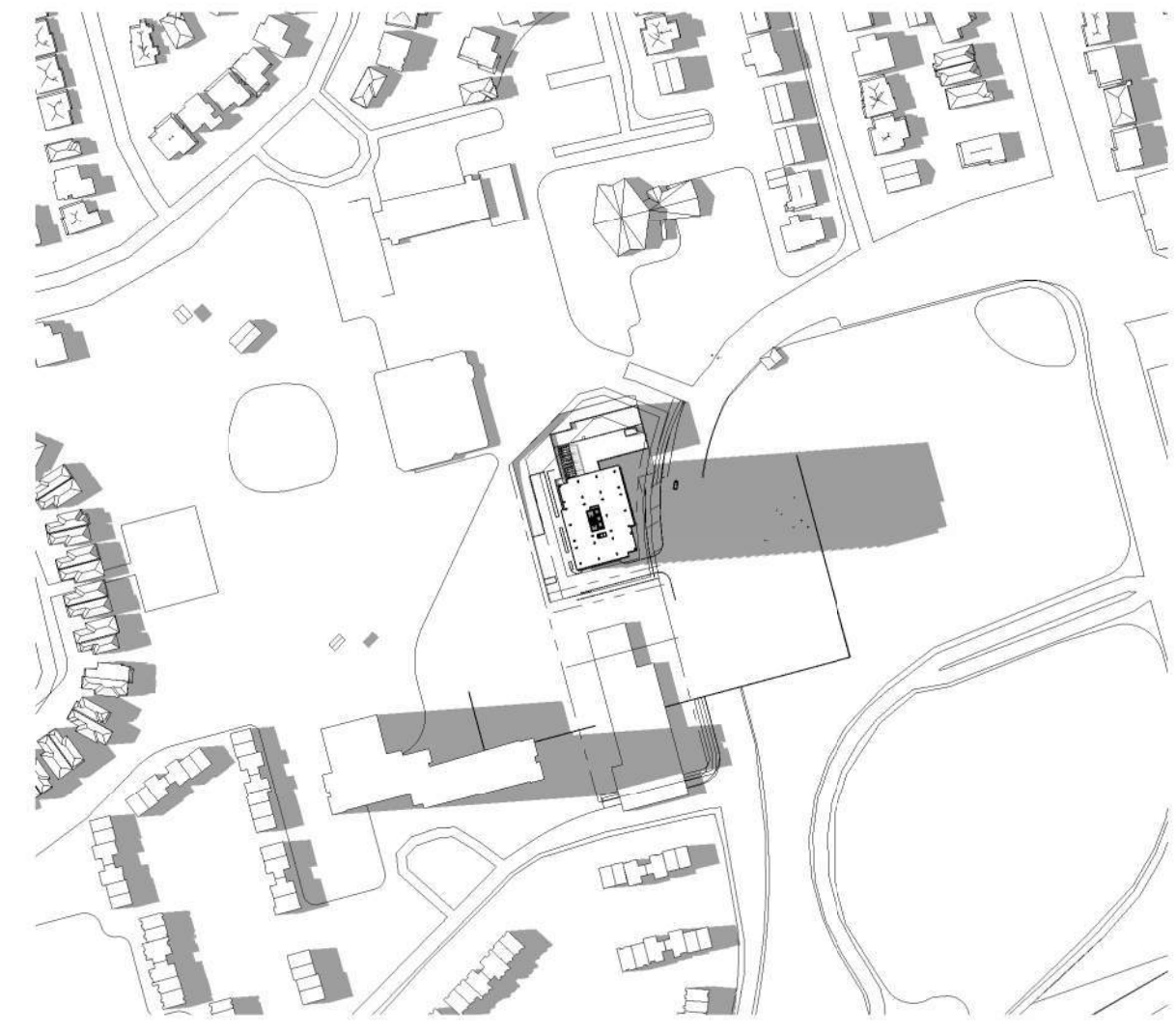
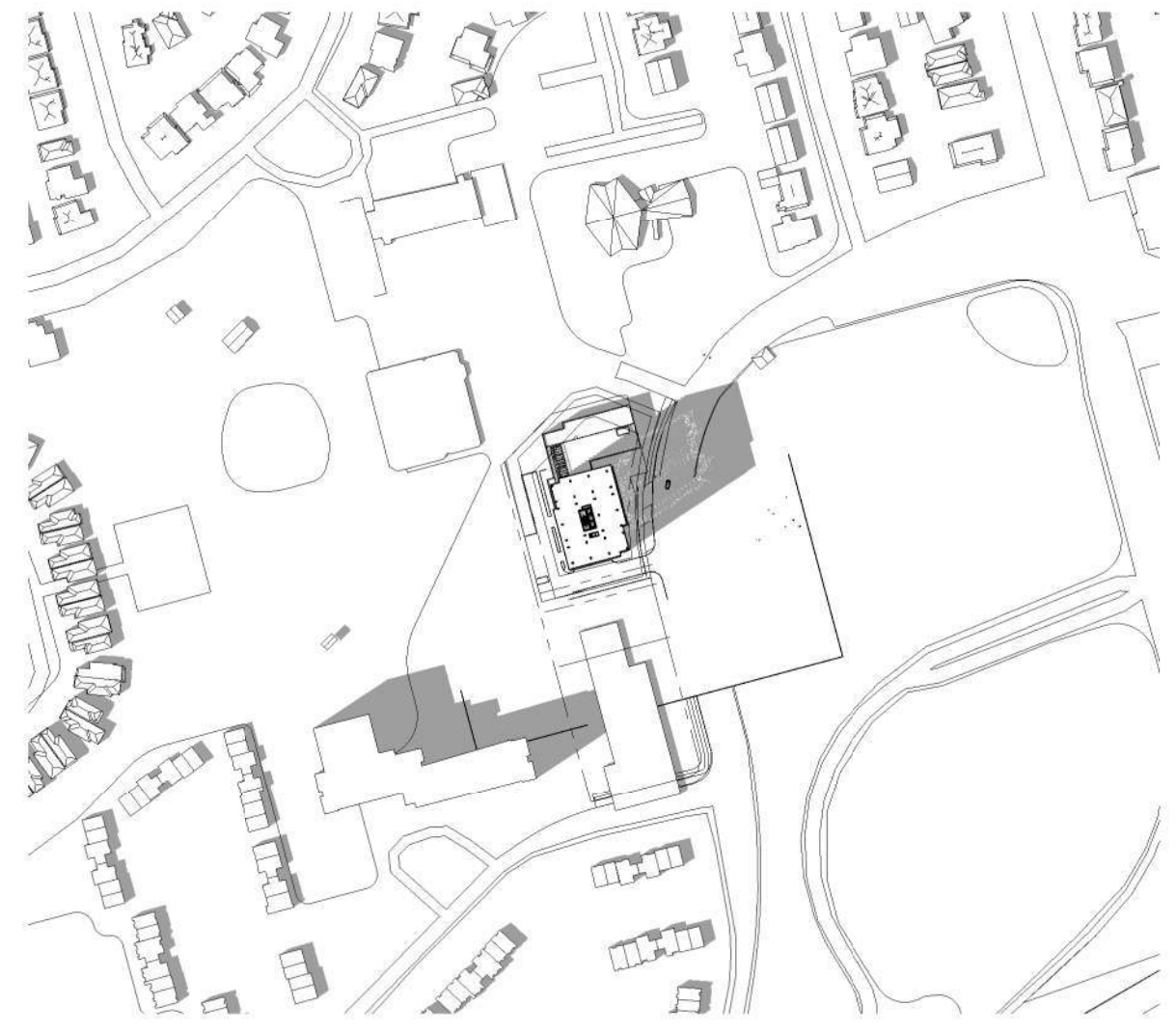
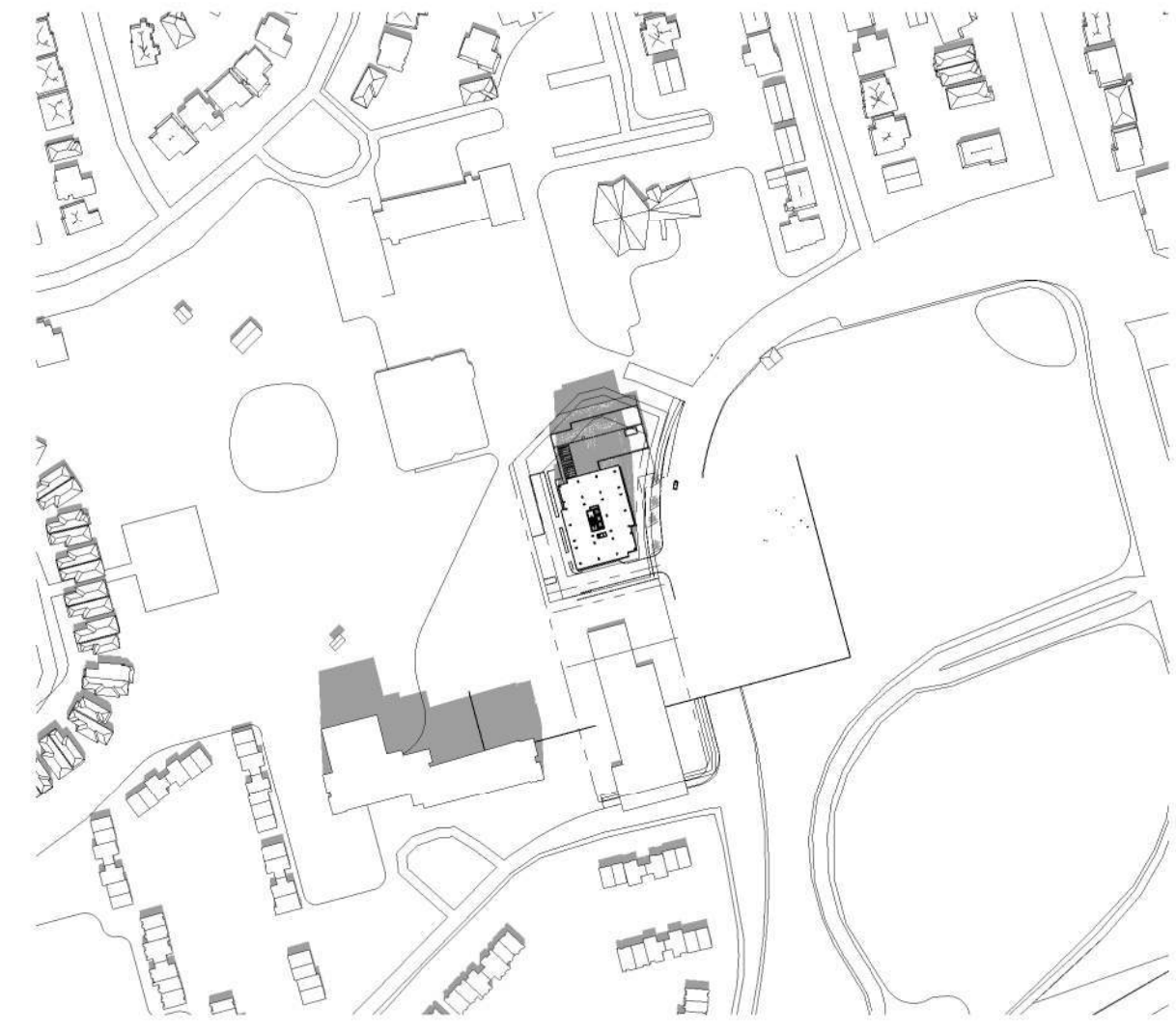
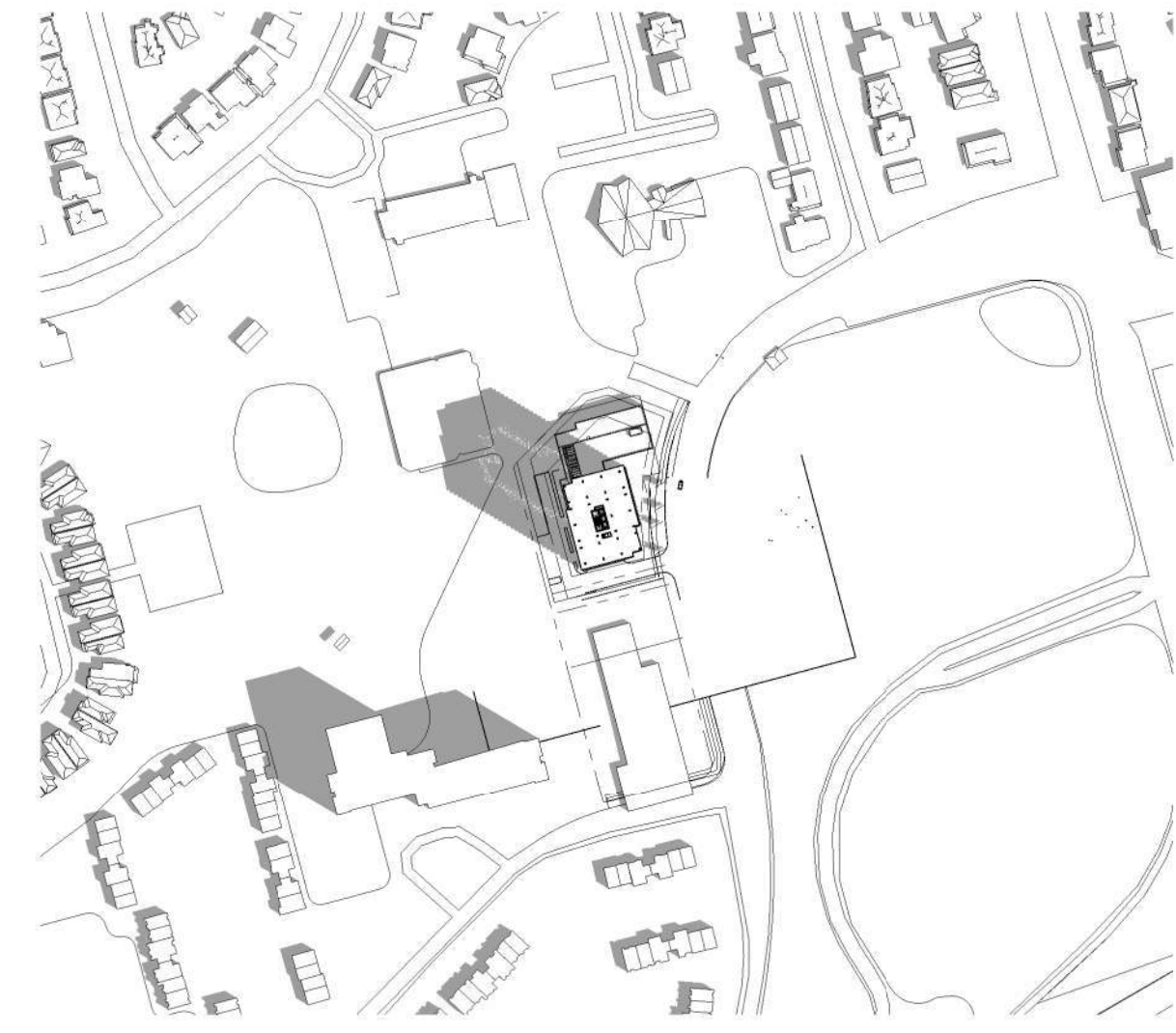
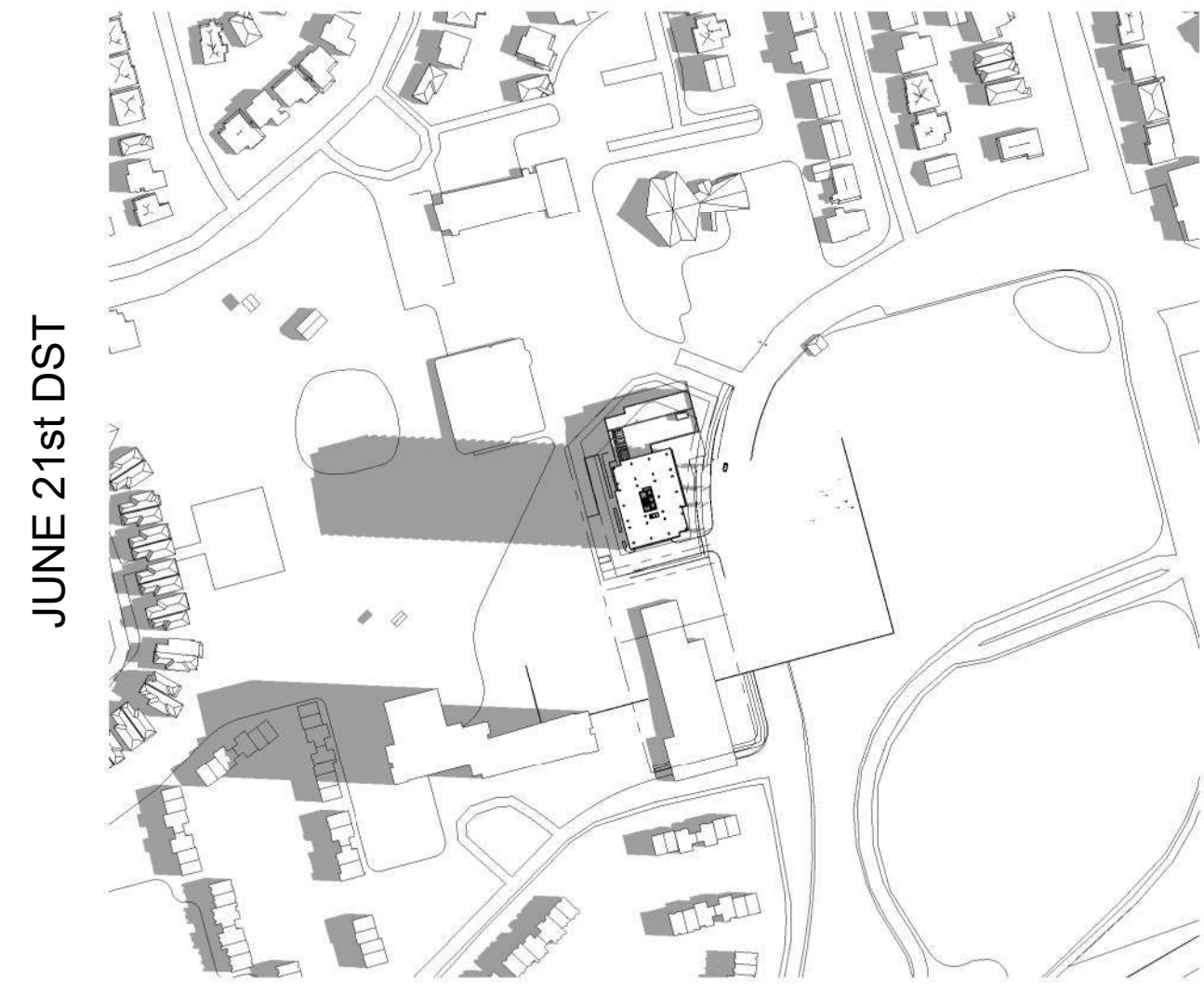
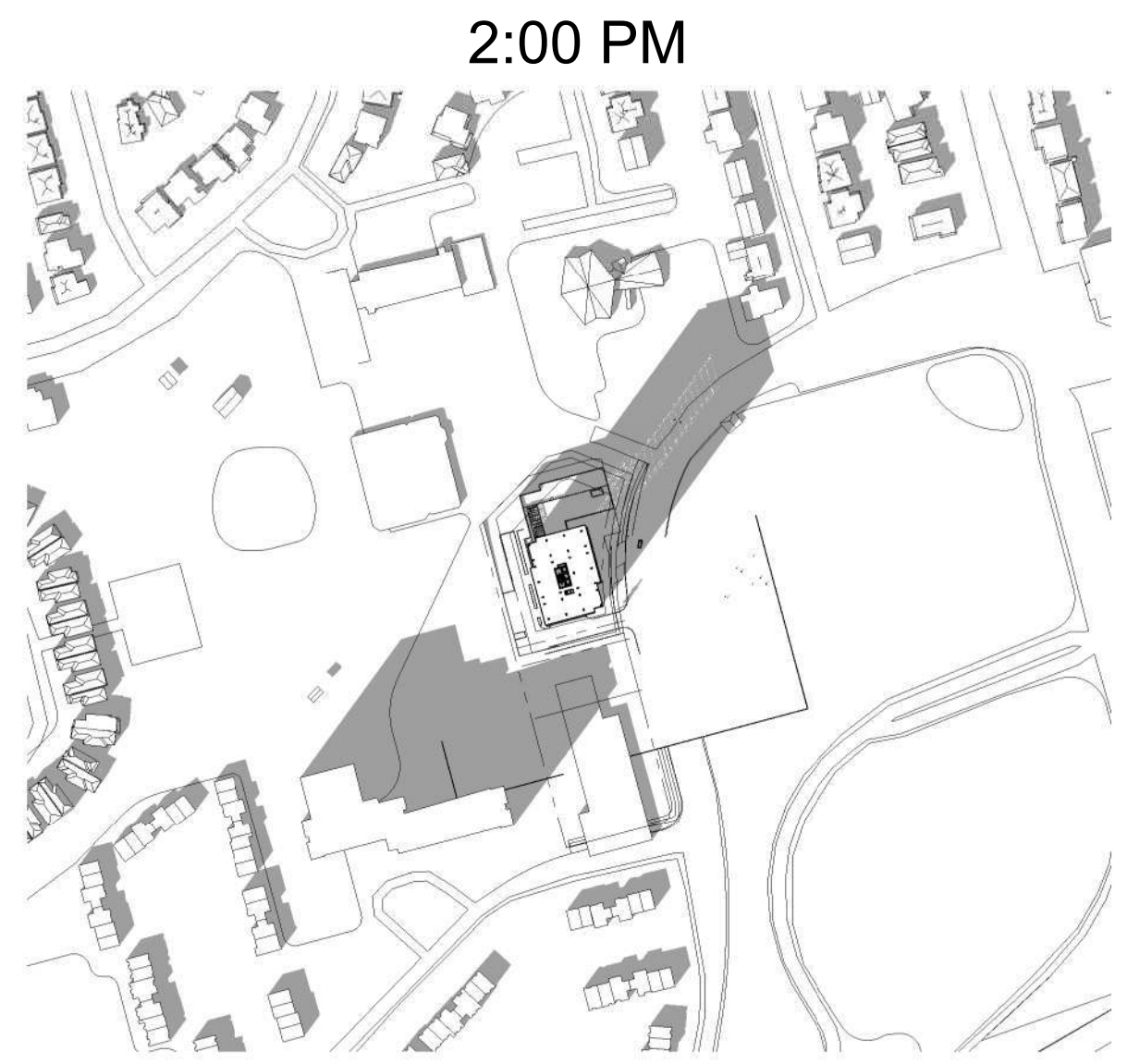
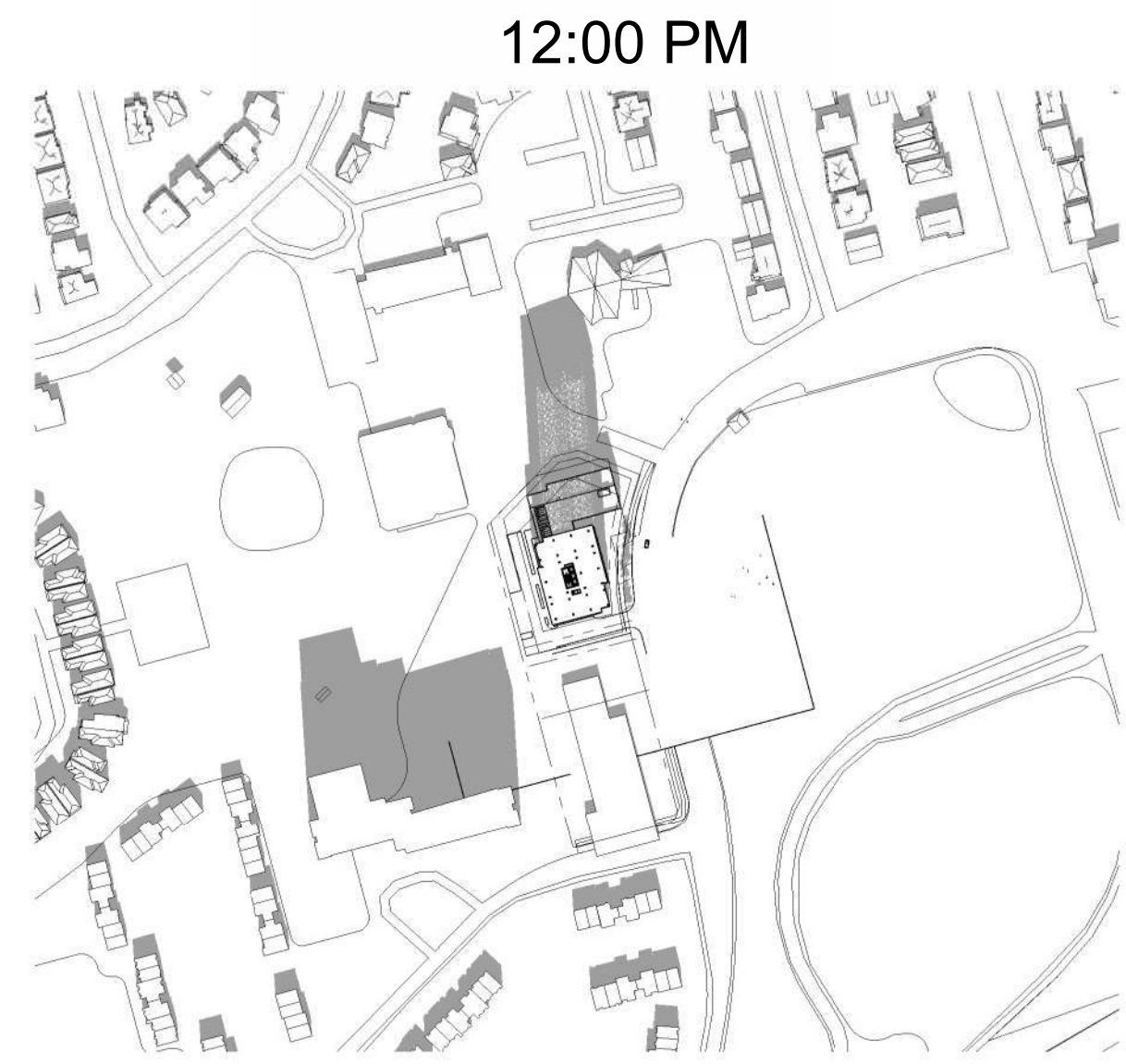
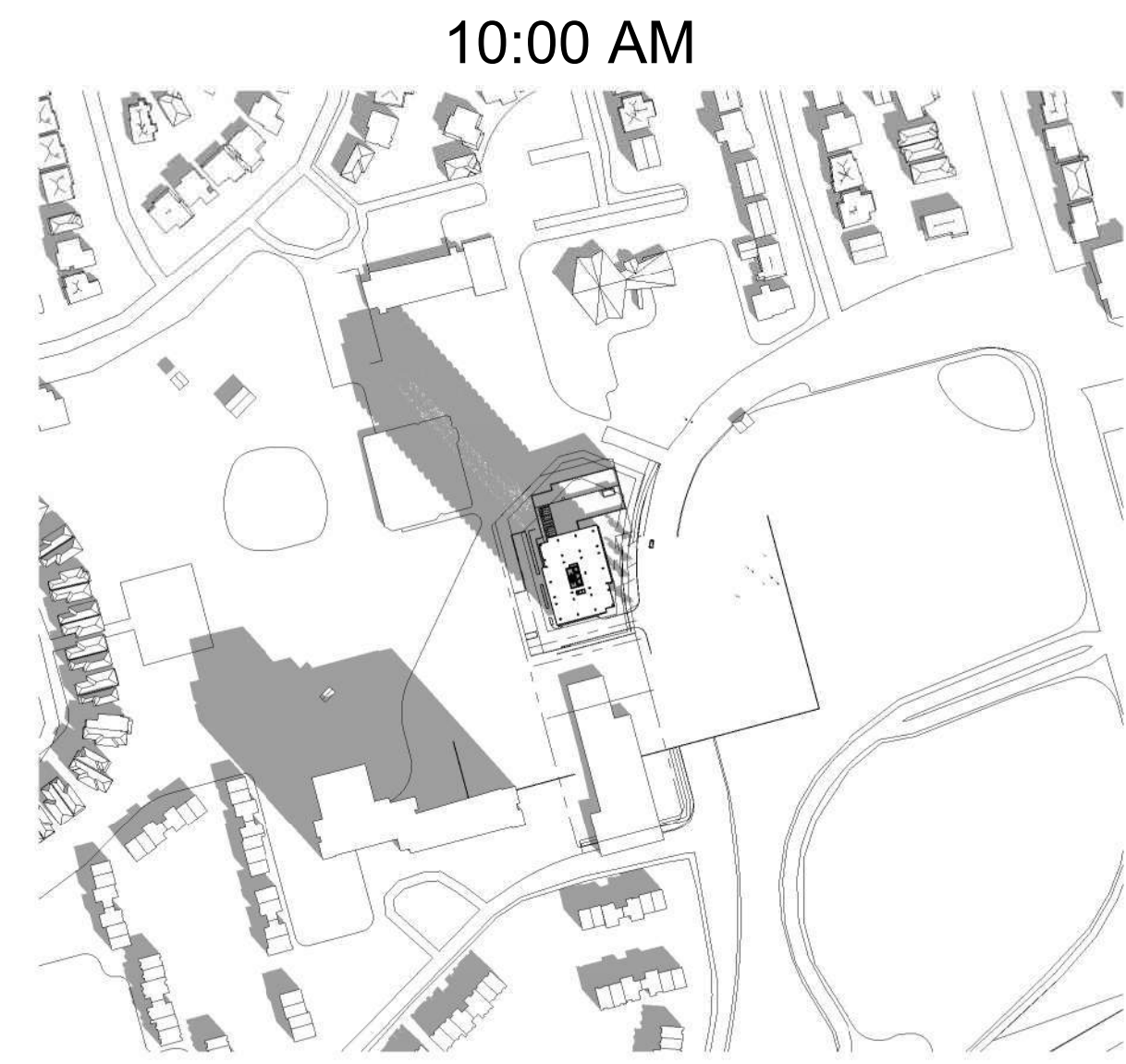
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PLOT SCALE: 1:1

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| 4   | ISSUED FOR SPARE-ZONING R4 | 08.10.24 |
| 3   | ISSUED FOR SPARE-ZONING R3 | 08.07.24 |
| 2   | UPDATED SPA - R2           | 03.11.22 |
| 1   | ISSUED FOR SPARE-ZONING    | 08.06.21 |

ARCHITECT SEAL:

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ARCHITECT:

**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklaney.ca

PROJECT TITLE:

**2829 DUMAURIER AVENUE**

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:

**SUNSHADE STUDY**

DRAWN: G.E. CHECKED: J.G.

SCALE: 1 : 3000 SHEET No: **A-12**

PROJECT No: 1922

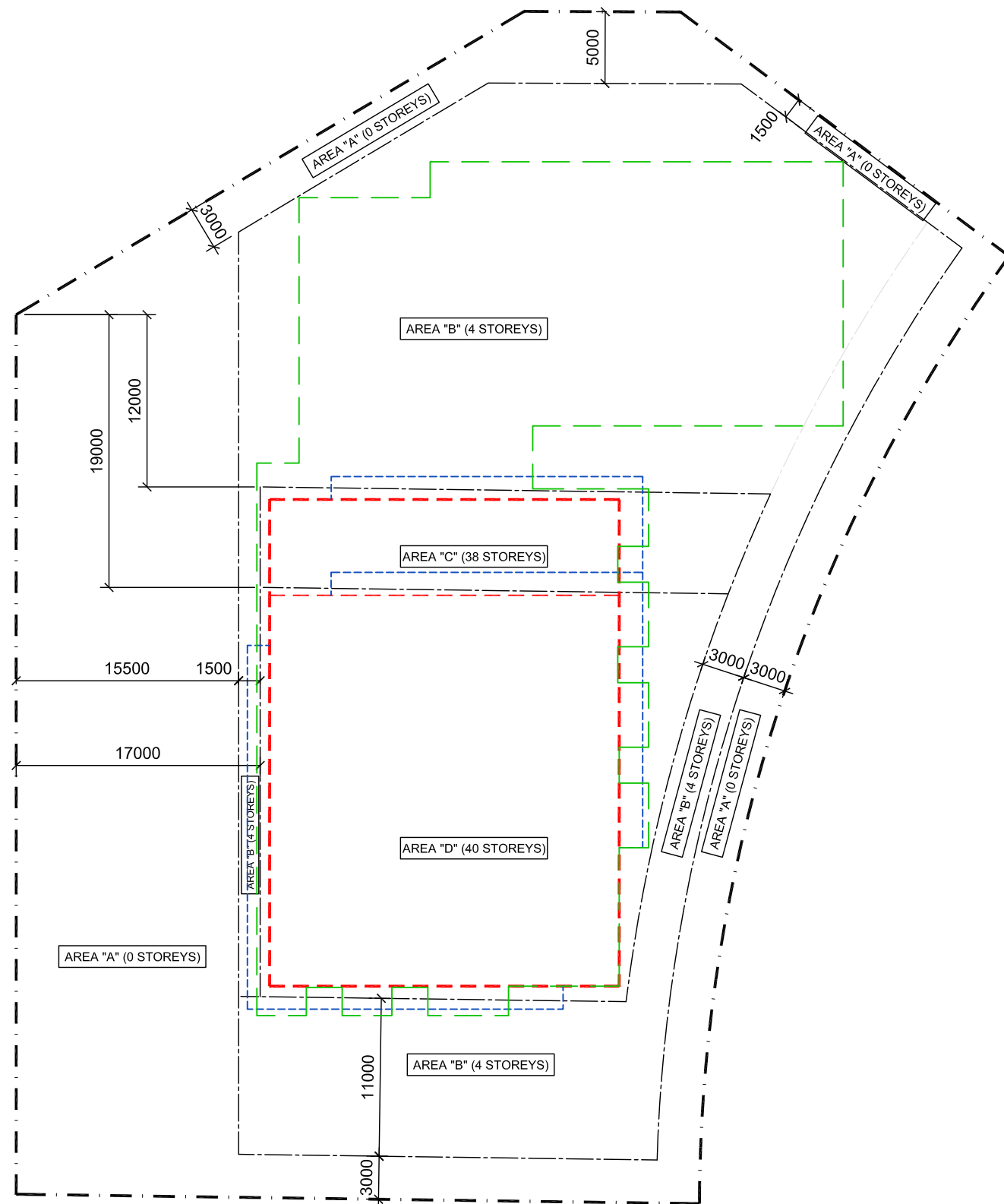
PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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PLOT DATE: 10/17/2024 2:38:15 PM

D07-12-17-0063 #17421








**MAXIMUM BUILDING HEIGHTS  
AND MAXIMUM NUMBER OF STOREYS**

**LA HAUTEUR DE BATIMENT MAXIMALE**

AREA/ SECTEUR A : 0.0m (0 storeys/ étages)  
 AREA/ SECTEUR B : 17.0m (4 storeys/ étages)  
 AREA/ SECTEUR C : 118.0m (38 storeys/ étages)  
 AREA/ SECTEUR D : 126.0m (40 storeys/ étages)

**LEGEND:**

-  **PROPERTY LINE**
-  **SETBACK LINE**
-  **LINE OF TOWER**
-  **LINE OF PODIUM**
-  **LINE OF BALCONY**

