

KEY MAP

**LEGAL DESCRIPTION**  
 PLAN OF SURVEY OF  
 PART OF LOT 20  
 CONCESSION 2 (Ottawa Front)  
 Township of Nepean  
 NOW CITY OF OTTAWA  
 PART OF DUMAURIER AVENUE  
 (As Closed by By-Law 372-78 Inst. NS41961)  
 AND PART OF THE 1<sup>ST</sup> RESERVE  
 REGISTERED PLAN 479600  
 CITY OF OTTAWA  
 REGIONAL MUNICIPALITY OF  
 OTTAWA-CARLETON  
 Prepared by Annis, O'Sullivan, Vollebakk Ltd.

**PROJECT DEVELOPER**  
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- DRAWING NOTES:**
- PROPERTY LINE
  - BUILDING / HEIGHT SETBACK LINE
  - OUTLINE OF TOWER
  - LINE OF PODIUM LEVEL
  - LINE OF PARKING GARAGE BELOW
  - RAMP TO U/G GARAGE (BELOW GRADE)
  - EXISTING FIRE HYDRANT
  - EXISTING COMMERCIAL BUILDING
  - 2.0m WIDE CONCRETE SIDEWALK C/W DEPRESSED CURBS AT DRIVEWAY ENTRANCE
  - BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
  - EXISTING 1.5m WIDE ASPHALT CITY SIDEWALK
  - SIAMSE CONNECTION
  - REAR YARD LANDSCAPE SETBACK
  - LINE OF U/G HYDRO VAULT
  - 2.6 X 5.2m STANDARD PARKING SPACES
  - AREA OF TEMPORARY SNOW STORAGE
  - NEW 2.0m W. CONCRETE SIDEWALK AS PER CITY STANDARDS C/W DEPRESSED CURB @ DRIVEWAY
  - SOFT LANDSCAPING
  - HARD LANDSCAPING - PAVERS
  - EXISTING CITY BOULEVARD TO BE REINSTATED UPON COMPLETION OF SITE WORK
  - CONCRETE RETAINING WALL C/W STONE FACE - SEE CIVIL AND LANDSCAPE
  - EXISTING TREE TO BE REMOVED - SEE LANDSCAPE
  - LINE OF U/G CISTERN; SEE CIVIL AND MECHANICAL FOR DETAILS
  - LIGHT STANDARD - SEE ELECTRICAL LIGHTING CERTIFICATE
  - CATCH BASIN / TRENCH DRAIN - SEE CIVIL
  - NEW CURB TO THE INTO EXISTING - SEE CIVIL
  - 1670mm W. CONCRETE B/F RAMP - SEE GRADING PLANS
  - RAISED COMMERCIAL TERRACE - SEE GRADING AND LANDSCAPE PLANS
  - GARBAGE TRUCK LOADING/BACKUP, HATCH INDICATES PAINTED LINES
  - EXISTING STM TO BE REMOVED/RELOCATED - SEE CIVIL
  - SEE CIVIL DRAWINGS FOR ALL SERVICING WORK BEYOND PROPERTY LINE OF PROPOSED APPLICATION
  - RETAINING EXISTING STREET TREE - SEE LANDSCAPE
  - GAS PRESSURE RELEASE STATION
  - EXISTING HYDRO POLE TO BE REMOVED
  - EXHAUST INTAKE FOR PARKING GARAGE
  - EXISTING ASPHALT PARKING LOT & ENTRANCE
  - B/F PARKING AS PER CITY STANDARD, ONE TYPE 'A' & ONE TYPE 'B' SPACE
  - TWSI CROSSING AS PER CITY OF OTTAWA STANDARDS
  - HEATED CONCRETE RAMP DOWN TO GARAGE ENTRY
  - PAINTED LINES TO INDICATE PEDESTRIAN CROSSING
  - 1200mm H. RAISED PLANTER - SEE LANDSCAPE
  - LINE OF WATER ENTRY ROOM BELOW
  - RETAINING WALL - SEE LANDSCAPE AND CIVIL
  - CISTERN ACCESS COVERS - SEE CIVIL
  - RAISED SITTING AREA - SEE LANDSCAPE
  - LINE OF ELECTRICAL ROOM BELOW
- SITE PLAN SYMBOLS:**
- EXTERIOR COMMUNAL LANDSCAPE AREA
  - ASPHALT DRIVE/LEISURE/PARKING
  - CONCRETE SIDEWALK
  - COMMERCIAL PATIO / CONCRETE PAVERS
  - PAVERS @ TERRACE LEVEL
  - COMMERCIAL @ L1
  - RESIDENTIAL AMENITY @ L1
  - U/G STORM WATER TANK BELOW - SEE CIVIL
  - ELECTRICAL VAULT BELOW - SEE ELECTRICAL & CIVIL
  - TWSI CROSSING AS PER CITY OF OTTAWA STANDARDS
  - AREA OF MAIN TOWER ABOVE
  - PROPERTY LINE
  - BUILDING SETBACK LINE
  - 11.5M TOWER SETBACK LINE
  - PROPOSED STORM SERVICE
  - PROPOSED WATER SERVICE
  - PROPOSED SANITARY SERVICE
  - FENCE LINE
  - BIKE RACK
  - FIRE HYDRANT
  - VEHICULAR DIRECTION
  - EXISTING TREE TO BE REMOVED
  - EXISTING TREE TO BE RETAINED
  - SIAMSE CONNECTION
  - PRIMARY ENTRANCE / EGRESS DOOR
  - SECONDARY DOOR
  - GAS METER REGULATOR - SEE CIVIL & MECHANICAL DRAWINGS
- NOTE:  
SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

**PROJECT INFORMATION**

ZONING  
 Zoning By-Law 2008-250 GM (R2) F (0.25)

**SITE AREA**  
 4,195.2 sq. m. (45,157) sq. ft.

**BUILDING HEIGHT**  
 18.0 m

**FRONT YARD SETBACK**  
 3.0 m

**INTERIOR YARD SETBACK**  
 0.0 m

**REAR YARD SETBACK**  
 7.5 m

**AMENITY SPACE (6.0 m<sup>2</sup> PER UNIT)**  
 2,532.0 m<sup>2</sup>

**PROJECT STATISTICS**

**BUILDING HEIGHT**  
 128.0 m

**BUILDING HEIGHT - STOREYS**  
 40

**AVERAGE MEAN GRADE (GEO. ELEV.)**  
 74.20

**FRONT YARD SETBACK**  
 5.9 m

**INTERIOR YARD SETBACK**  
 0.0 m

**REAR YARD SETBACK**  
 15.7 m

**GROSS BUILDING - AREAS**  
 (PER CITY OF OTTAWA ZONING AREA DEFINITION)

PARKING LEVEL	0.0 sq. m.
000	000 sq. ft.
GROUND FLOOR	1,212.0 sq. m.
	13,046 sq. ft.
2nd to 6th FLOOR	5 x 1,389.7 sq. m.
	5 x 14,965 sq. ft.
7th FLOOR	702.1 sq. m.
	7,557 sq. ft.
8th - 38th FLOOR	31 x 702.1 sq. m.
	21,765 sq. m.
	234,267 sq. ft.
38th - 40th FLOOR	2 x 963.9 sq. m.
	1,127.0 sq. m.
	12,133 sq. ft.
MECHANICAL LEVEL	563.5 sq. m.
	6,055 sq. ft.
TOTAL AREA	32,318.0 sq. m.
	347,867 sq. ft.

**UNIT STATISTICS**

ONE BEDROOM UNIT	259
TWO BEDROOM UNIT	158
THREE BEDROOM UNIT	5
TOTAL	422

**COMMERCIAL**  
 TOTAL NFA, COMMERCIAL (PER CITY OF OTTAWA DEFINITION)  
 300.0 sq. m.  
 3,230 sq. ft.

**CAR PARKING**  
 REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER DWELLING UNIT (AFTER 12 UNITS)	205
VISITOR	- 0.1 PER DWELLING UNIT (NO MORE THAN 30 SPACES REQ'D)	30
COMMERCIAL	- 5.0 MAX PER 100 m <sup>2</sup> NFA (PENDING UNIT USE)	15
TOTAL		250

**PROVIDED**

RESIDENCE (BELOW GRADE) (0.41 / UNIT)	174
VISITOR & COMMERCIAL (BLENDED)	
ABOVE GRADE: BELOW GRADE:	06 24
TOTAL:	30
TOTAL	204

MAXIMUM PARKING RATE FOR RESIDENTIAL USE : 1.75 PER UNIT (INCLUDING VISITOR)

**BICYCLE PARKING**

REQUIRED

RESIDENTIAL	- 0.5 PER UNIT (422 UNITS)	211
COMMERCIAL	- 1.5 PER 250 m <sup>2</sup> GFA (300 M <sup>2</sup> )	2
TOTAL:		213

PROVIDED

EXTERIOR:	10
INTERIOR:	304
TOTAL:	314

**LOT COVERAGE**

PAVED SURFACE =	790.0 sq. m.	18.8%
BUILDING FOOTPRINT =	1,430.0 sq. m.	34.0%
LANDSCAPE OPEN SPACE =	1,975.0 sq. m.	47.2%
TOTAL =	4,195.0 sq. m.	100.0%

**REAR PARKING/LANDSCAPE AREA**

PAVED SURFACE =	509.5 sq. m.	39.4%
LANDSCAPE OPEN SPACE =	785.5 sq. m.	60.6%
TOTAL =	1,295.0 sq. m.	100.0%

**AMENITY SPACE**

AT GRADE COMMUNAL EXTERIOR =	960.0 sq. m.
GROUND COMMUNAL INTERIOR =	254.0 sq. m.
PRIVATE BALCONIES =	6017.2 sq. m.
7th FLOOR COMMUNAL INTERIOR =	351.0 sq. m.
7th FLOOR COMMUNAL EXTERIOR =	627.7 sq. m.
ROOF TOP COMMUNAL EXTERIOR =	0.0 sq. m.
TOTAL PRIVATE =	6017.2 sq. m.
TOTAL COMMUNAL =	2192.0 sq. m.
TOTAL OVERALL =	8209 sq. m.
REQUIRED - 6.0M <sup>2</sup> PER UNIT (422) =	2532.0 sq. m.
REQUIRED COMMUNAL @ 50% =	1266.0 sq. m.

**REFUSE REQUIREMENT (422 UNITS)**

GARBAGE (COMPACTED)	- 0.053 PER UNIT	23 YARDS
RECYCLING GMP	- 0.018 PER UNIT	8 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	16 YARDS
ORGANICS	- 240L PER 50 UNITS	9

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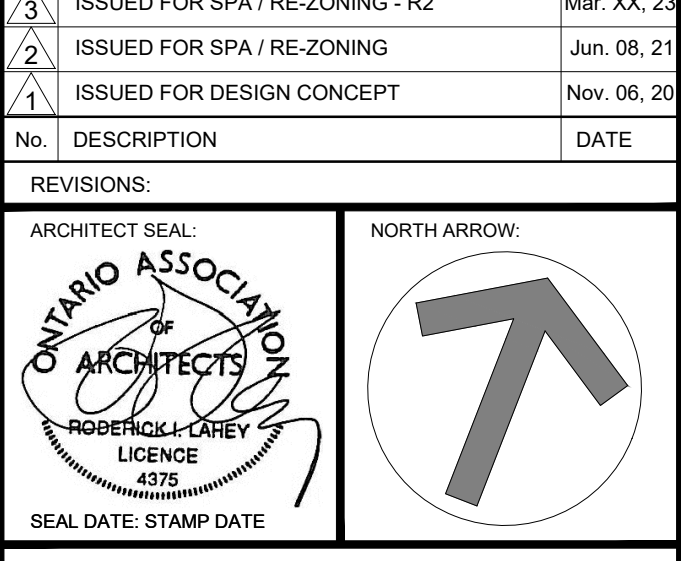
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- TITLE SCALE
- DETAIL REFERENCE PAGE
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**REVISIONS:**

1	ISSUED FOR SPA / RE-ZONING - R2	Mar. XX, 23
2	ISSUED FOR SPA / RE-ZONING	Jun. 08, 21
3	ISSUED FOR DESIGN CONCEPT	Nov. 06, 20
No.	DESCRIPTION	DATE

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**  
 ARCHITECT: **RODERICK LAHEY**  
 LICENCE # 4275  
 SEAL DATE: STAMP DATE

NORTH ARROW:



**brigil**

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**PROJECT TITLE:**  
**2829 DUMAURIER AVENUE**

**SITE PLAN**

DRAWN:	CHECKED:
R.V.	R.V.
SCALE:	SHEET No.
1:200	SP-1
PROJECT No.	
1922	

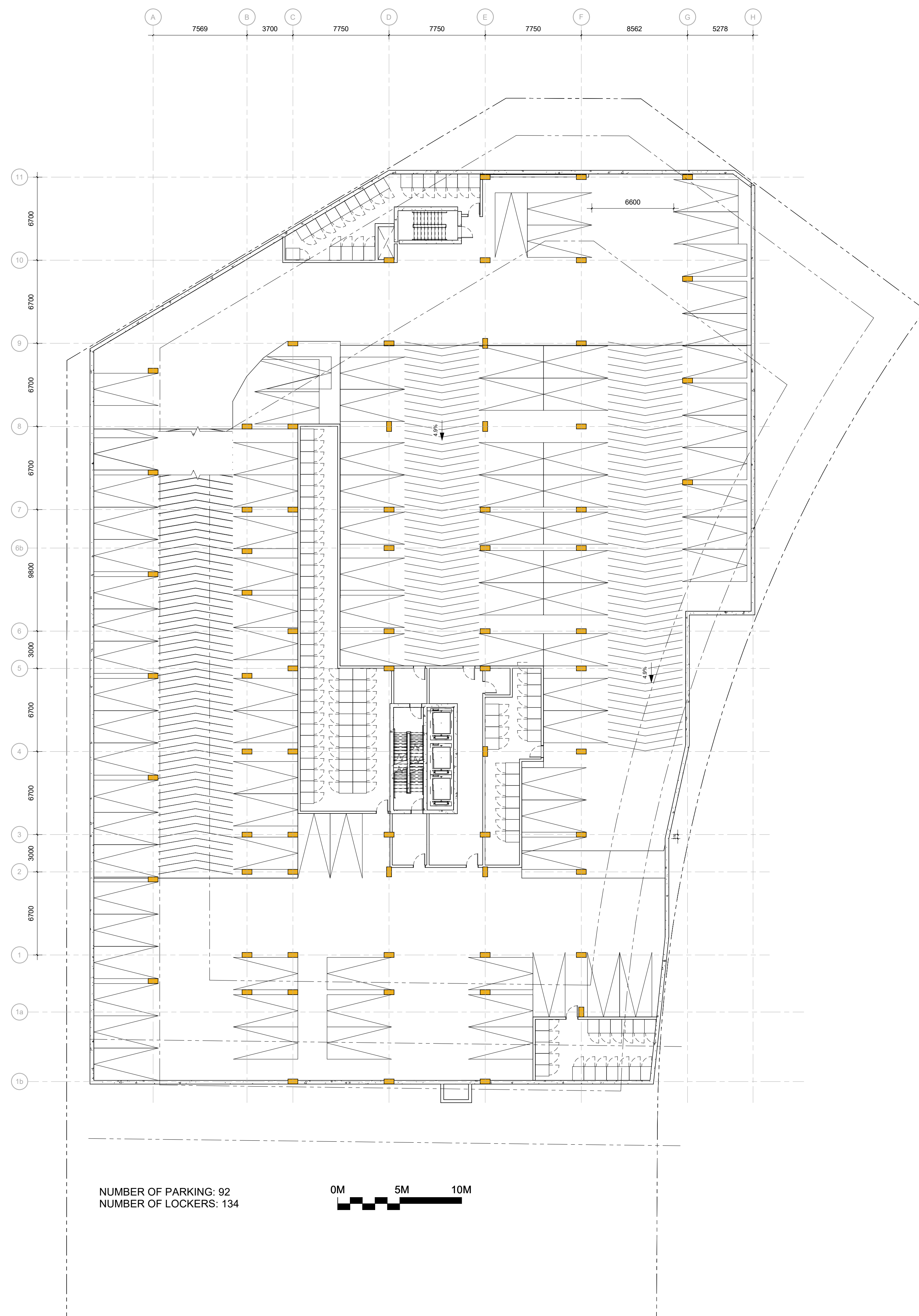
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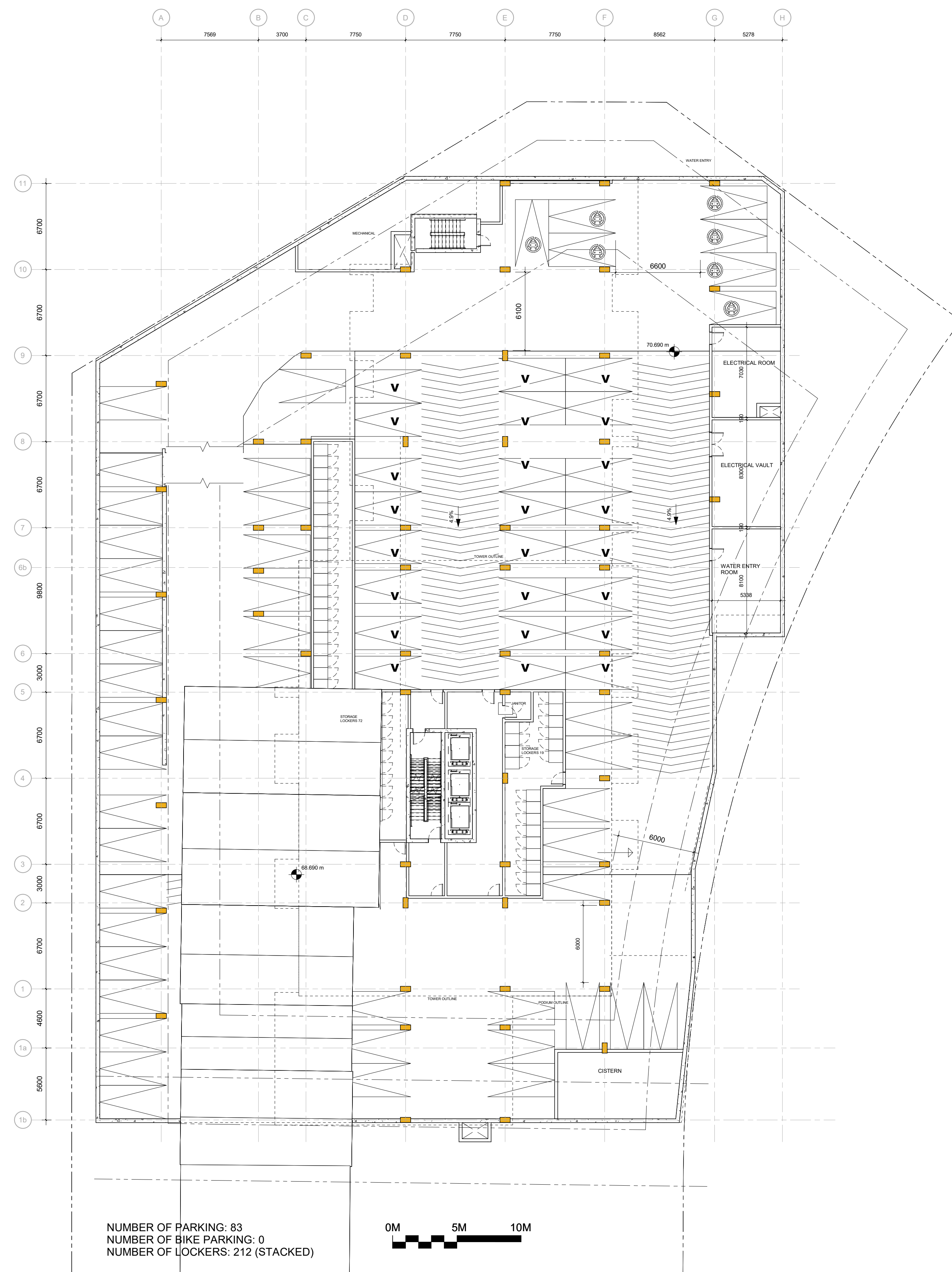
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P2 PARKING FLOOR PLAN



P1 PARKING FLOOR PLAN

2	UPDATED SPA - Client Review	03.11.22
No.	DESCRIPTION	DATE

ARCHITECT SEAL: NORTH ARROW:

CLIENT:  
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PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 TYPICAL PARKING AND P1 FLOOR PLAN

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: <b>A-01</b>
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 PLOT DATE: 2023-03-24 12:03:39 PM


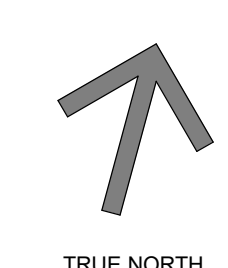
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2	UPDATED SPA - Client Review	03.11.22
No.	DESCRIPTION	DATE

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CLIENT:  


ARCHITECT:  
  
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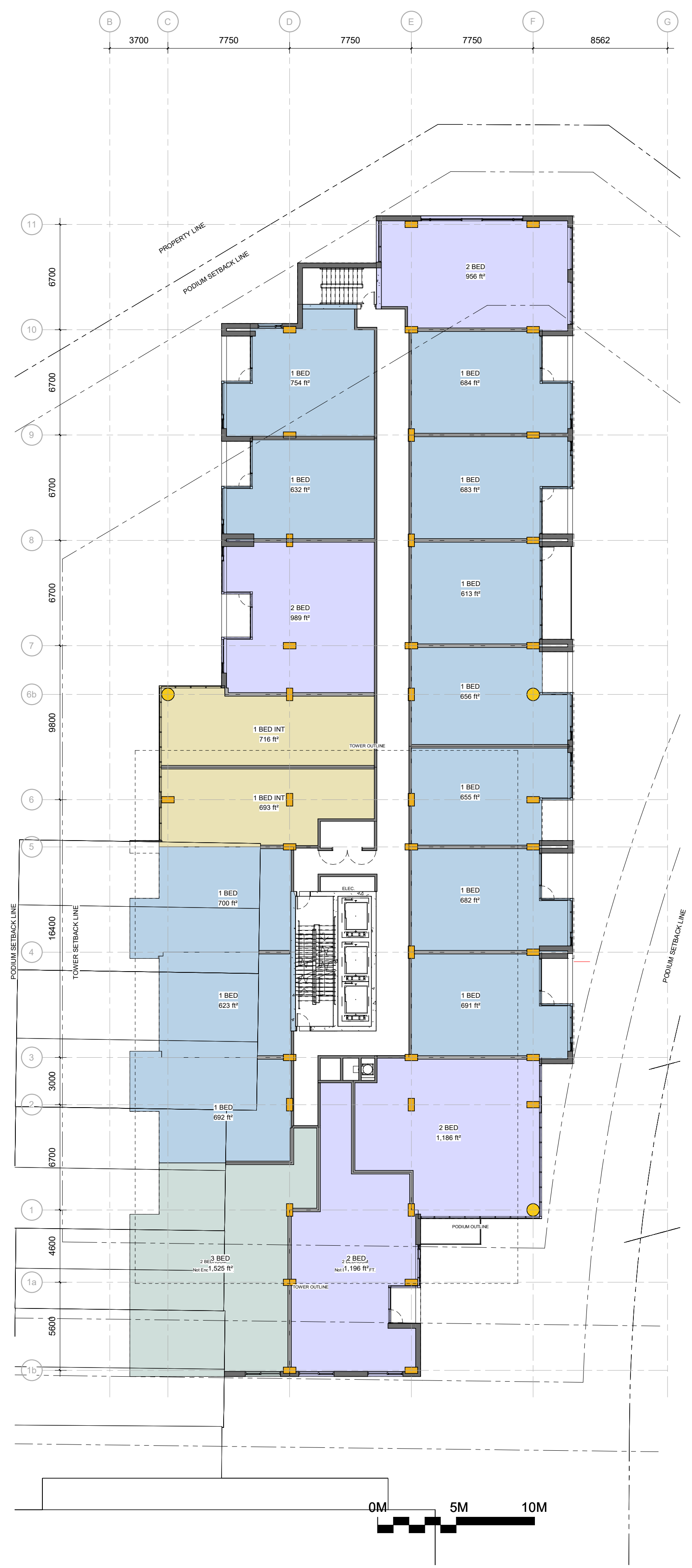
PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**FLOOR PLANS**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: <b>A-02</b>
PROJECT No: 1922	



GROUND FLOOR PLAN



TYPICAL PODIUM L2-L6 FLOOR PLAN

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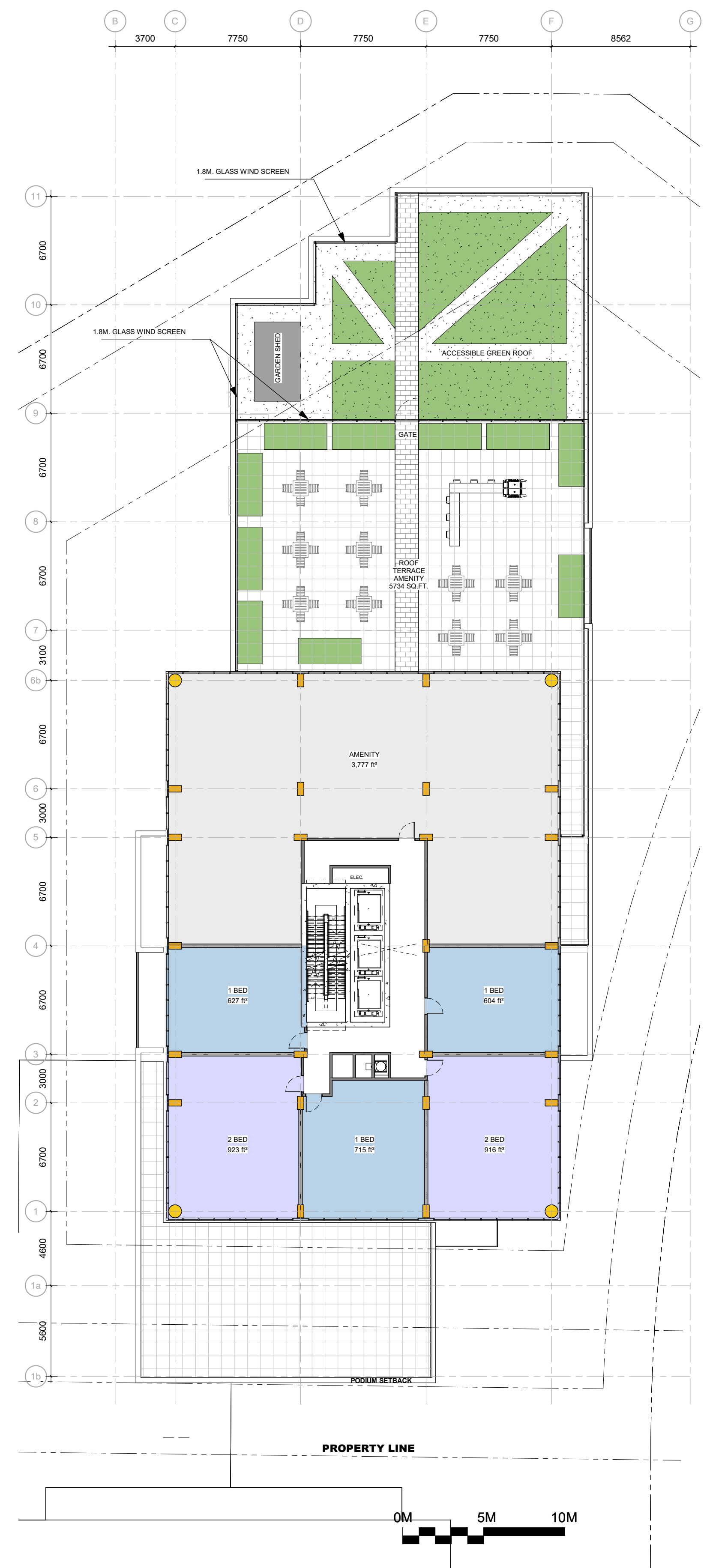
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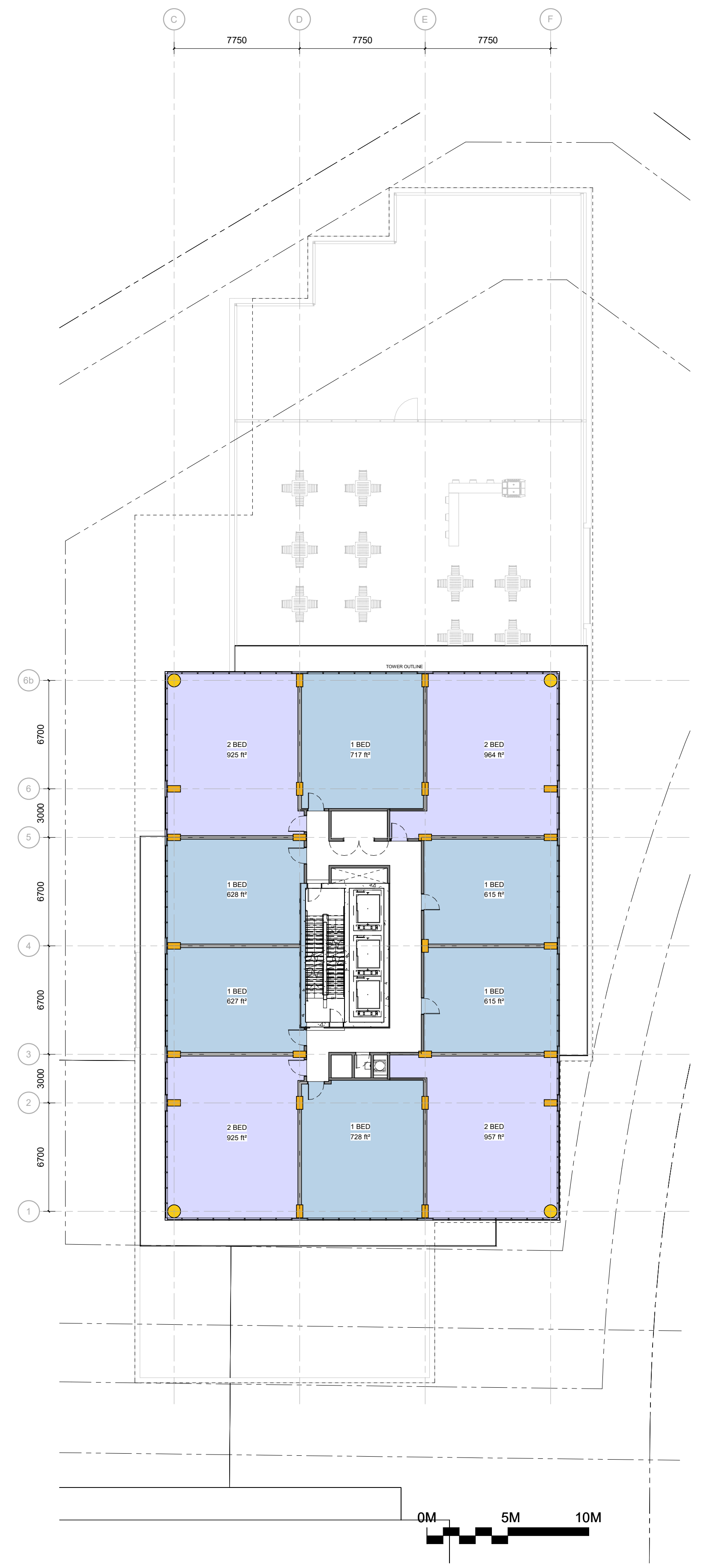
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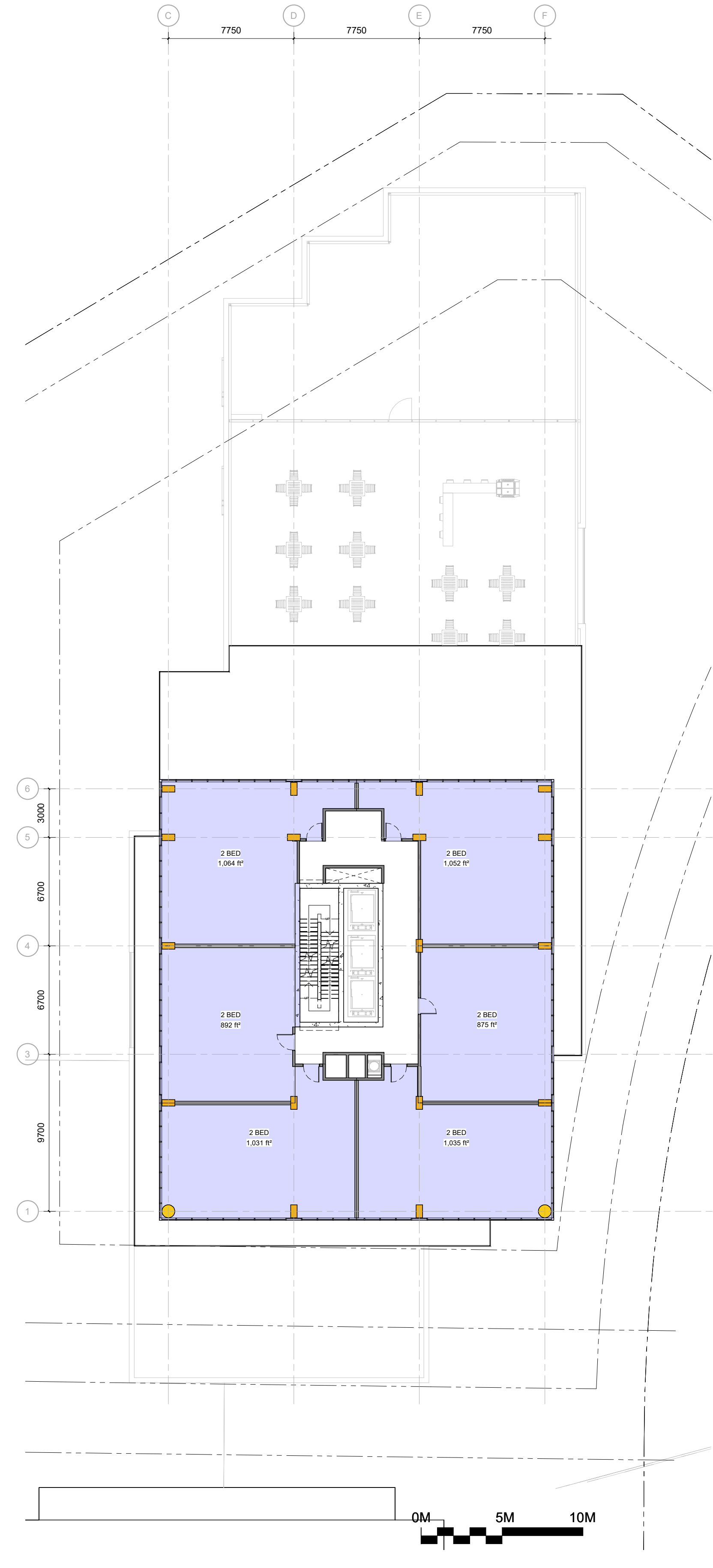
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7TH FLOOR PLAN



TYPICAL TOWER FLOOR PLAN L8 - L38



TYPICAL PH FLOOR PLAN L39 - L40

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22

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PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 FLOOR PLANS

DRAWN: G.E.	CHECKED: J.G.
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PROJECT No: 1922	

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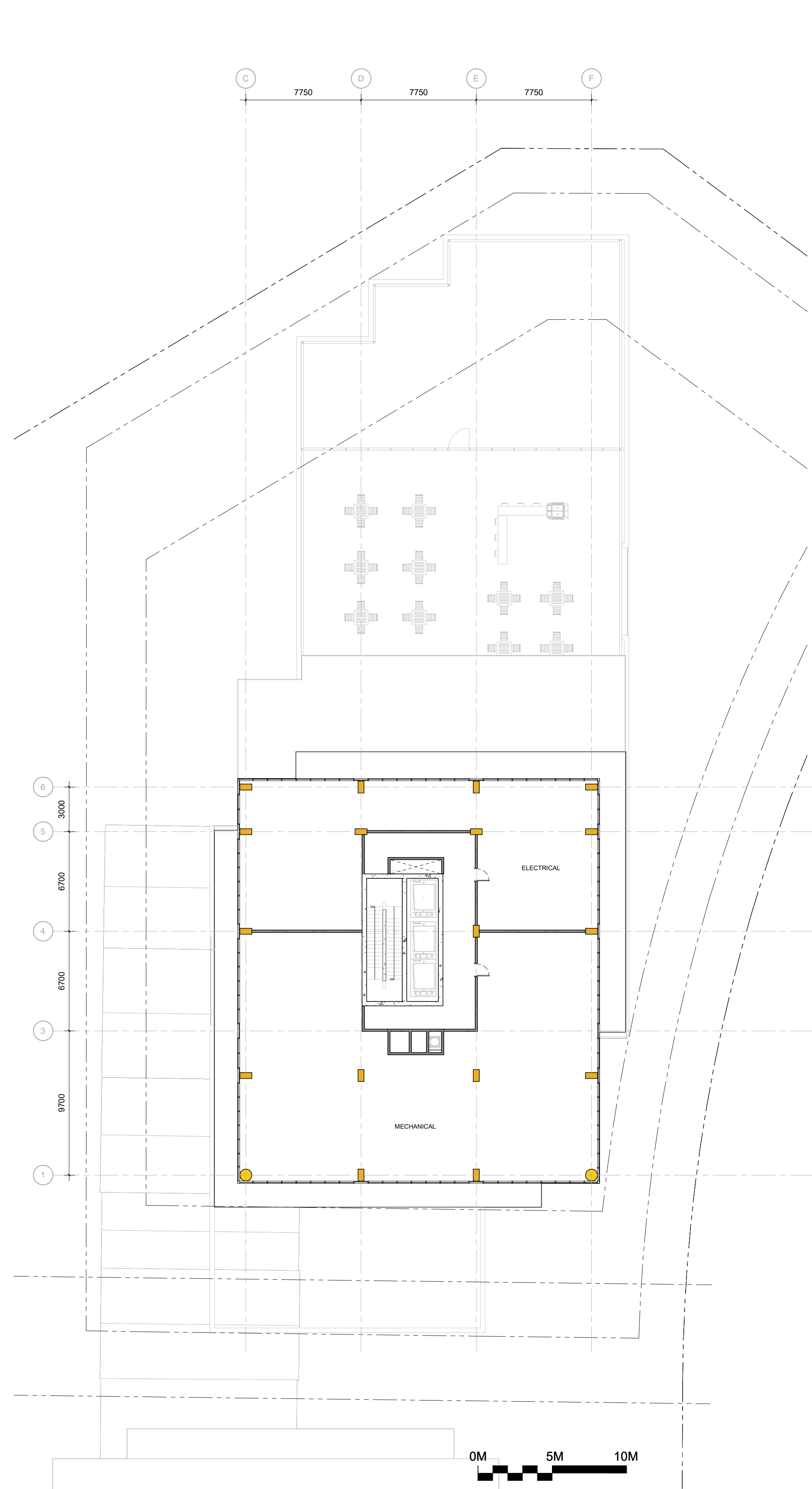
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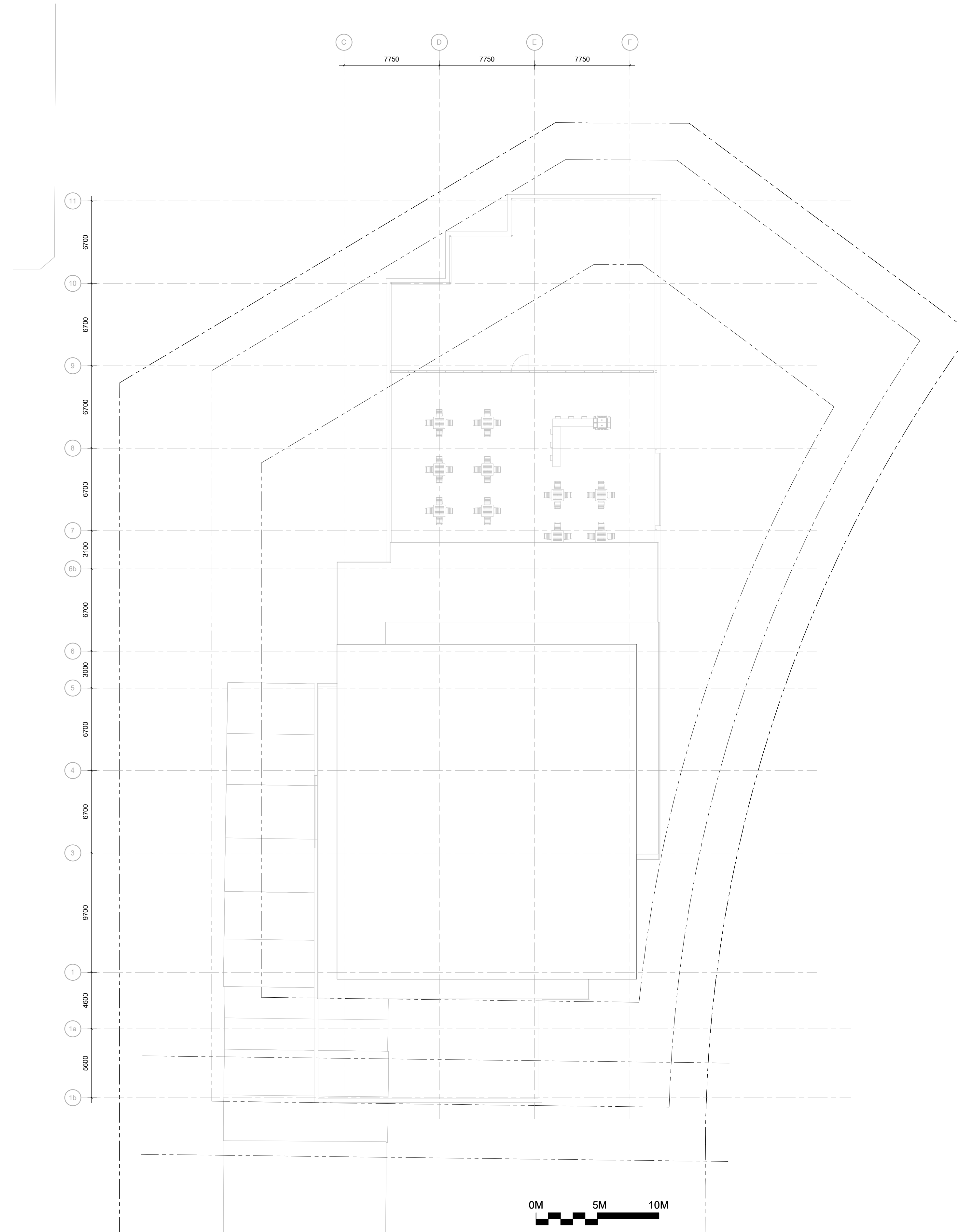
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MECHANICAL FLOOR PLAN

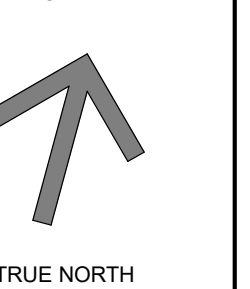
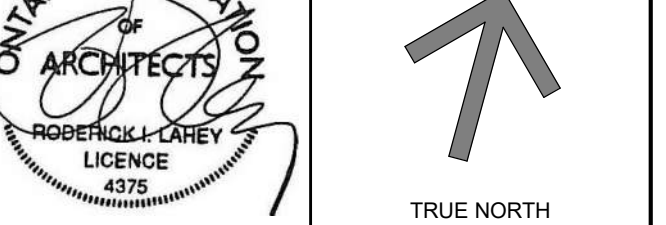


ROOF PLAN

REVISIONS:

No.	DESCRIPTION	DATE

ARCHITECT SEAL:



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 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodlahey.ca

PROJECT TITLE:

2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:

FLOOR PLANS

DRAWN:

Author

CHECKED:

Checker

SCALE:

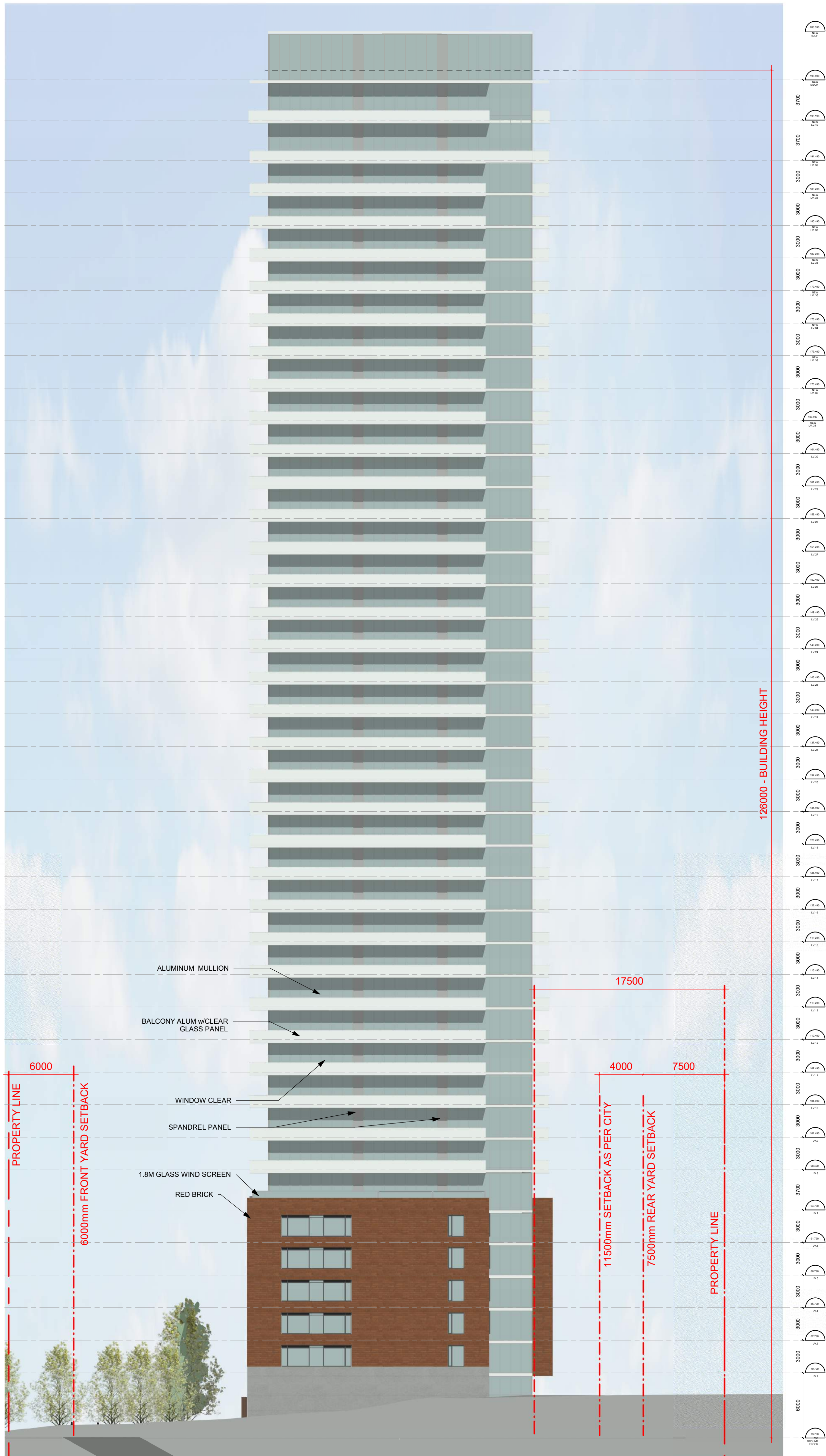
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SHEET No.:

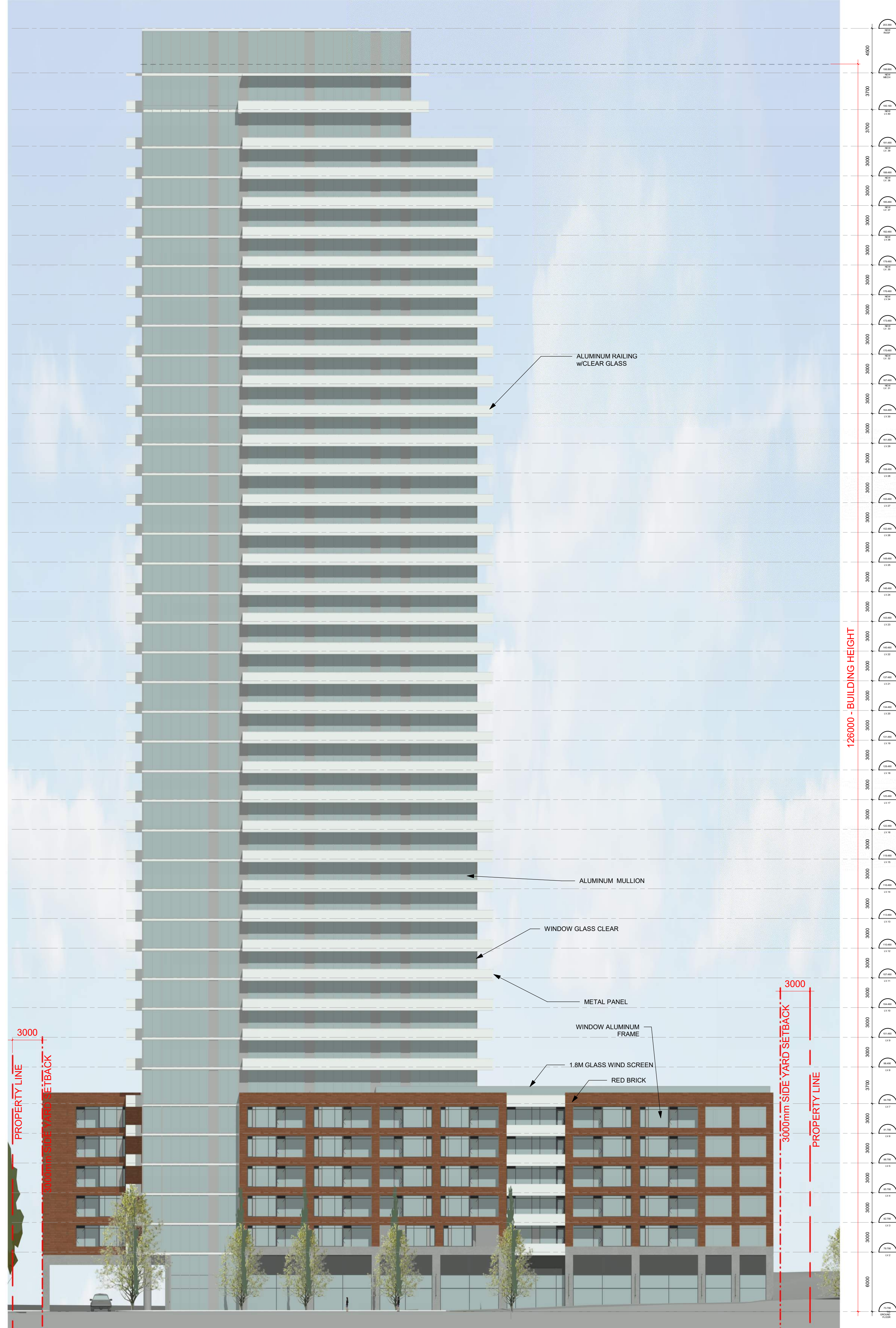
A-04

PROJECT No.:

1922



NORTH ELEVATION



EAST ELEVATION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
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 DO NOT SCALE DRAWINGS.  
 COPYRIGHT RESERVED.

**NOTATION SYMBOLS:**

- (00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (00) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- (00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- (00) TITLE SCALE
- (000000) DETAIL REFERENCE PAGE
- (000000) DETAIL CROSS REFERENCE PAGE

**GENERAL NOTES:**

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
- (C) REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.
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- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE W1 UNLESS NOTED OTHER WISE.
- (G) ALL REINFORCED CONCRETE SUSPENDED SLABS, COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

# brigil

ARCHITECT:

**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

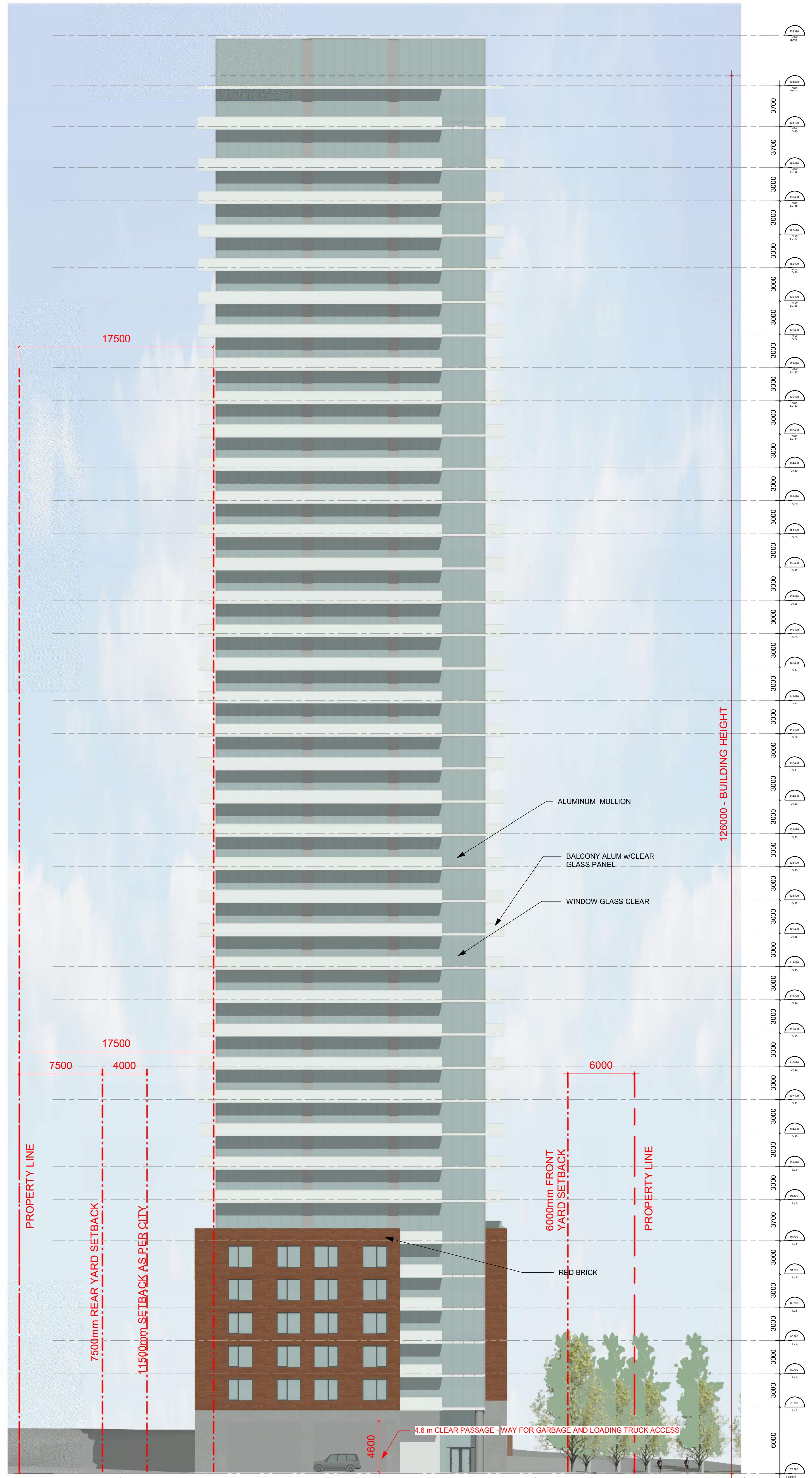
**2829 DUMAURIER AVENUE**

2829 DUMAURIER AVE, OTTAWA, ON

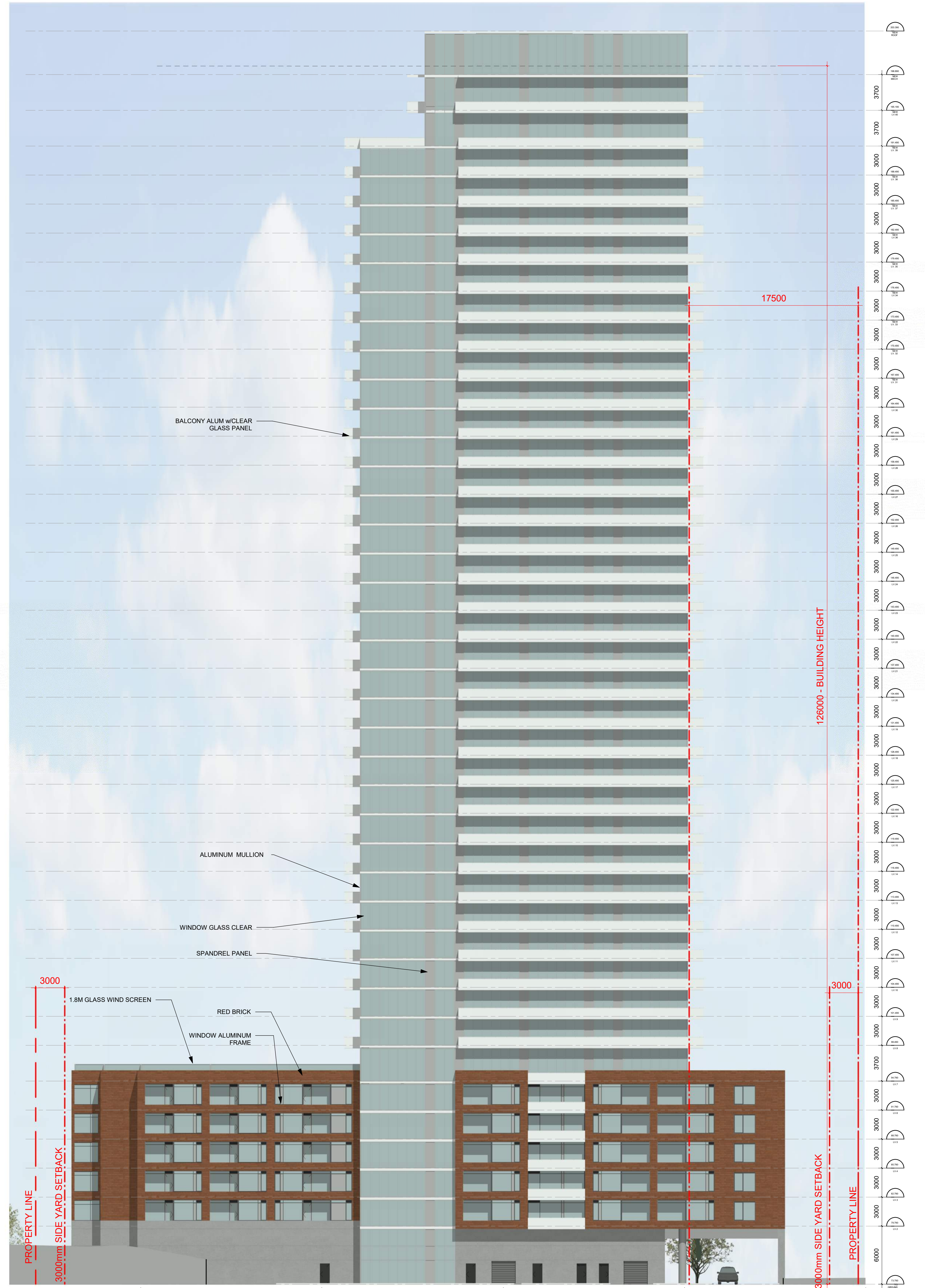
SHEET TITLE:

**ELEVATIONS**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: <b>A-05a</b>
PROJECT No: 1922	



SOUTH ELEVATION




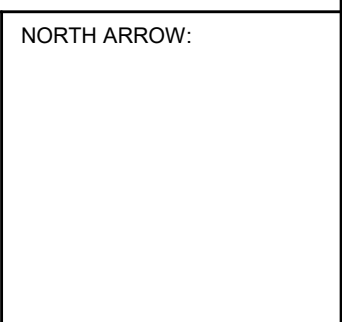
WEST ELEVATION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
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  - (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
  - (00) TITLE
  - (000000) SCALE
  - (000000) DETAIL REFERENCE PAGE
  - (000000) DETAIL CROSS REFERENCE PAGE

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  - (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
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  - (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:  NORTH ARROW: 

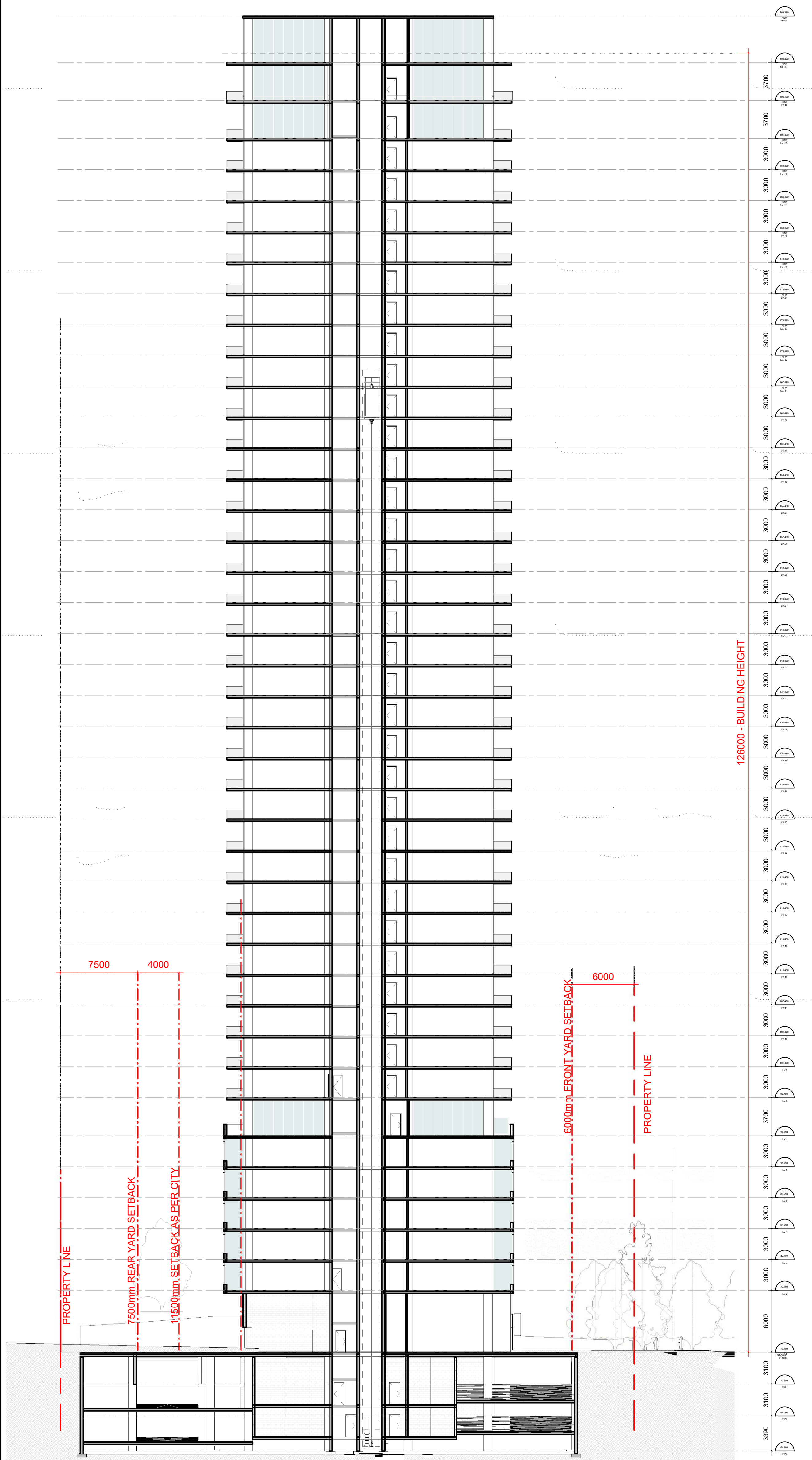
CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

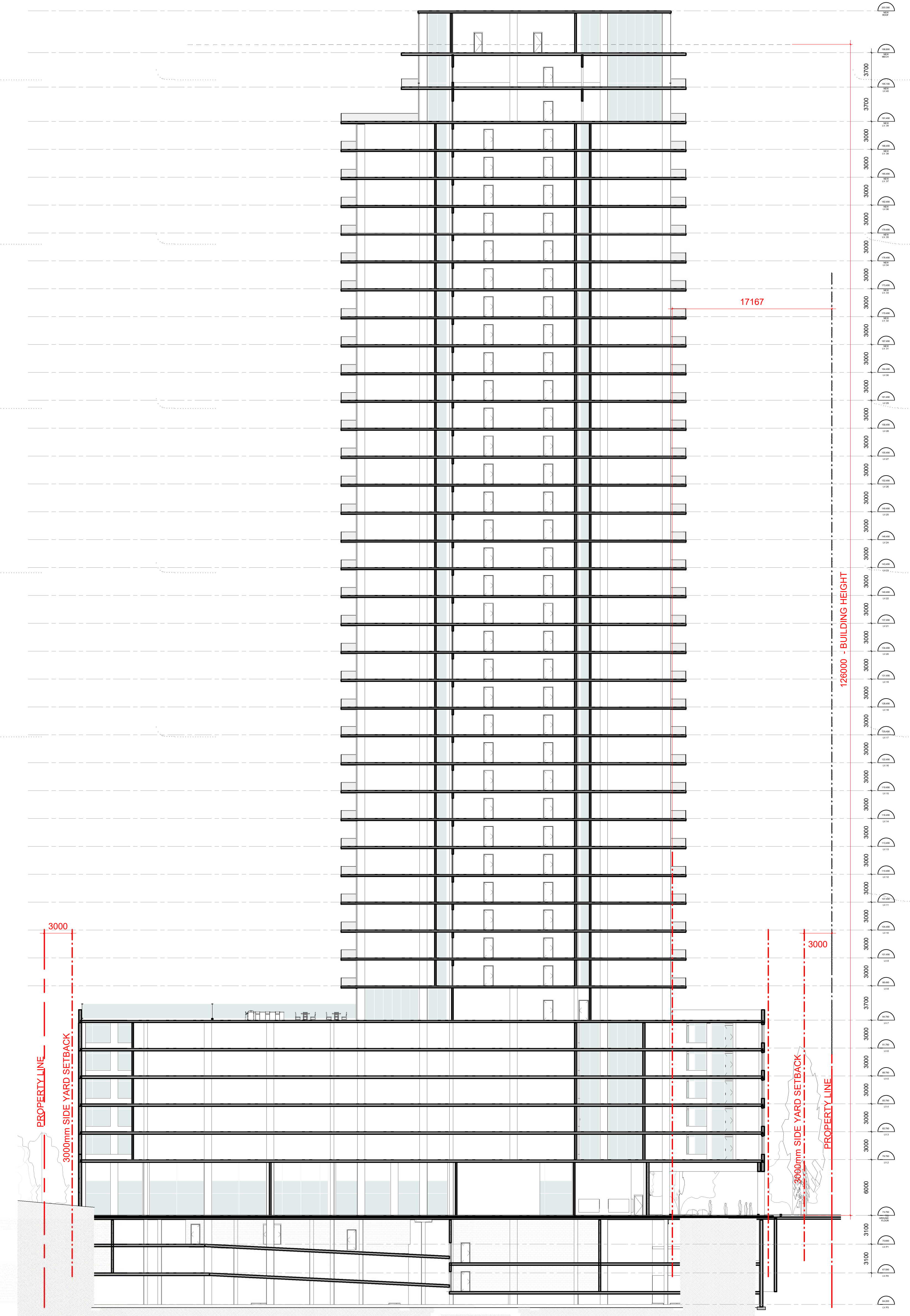
PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 ELEVATIONS

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: A-05b
PROJECT No: 1922	



NORTH-SOUTH SECTION



EAST-WEST SECTION

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  - (000) - DETAIL NUMBER
  - (00) TITLE SCALE
  - (000000) DETAIL REFERENCE PAGE
  - (000000) DETAIL CROSS REFERENCE PAGE

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2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21
No.	DESCRIPTION	DATE

ARCHITECT SEAL: NORTH ARROW:

CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAUER AVENUE**  
 2829 DUMAUER AVE, OTTAWA, ON

SHEET TITLE:  
**SECTIONS**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: <b>A-06</b>
PROJECT No: 1922	



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- ⑥ TITLE
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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
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 t.613.724.9932 f.613.724.1209 www.roderricklahey.ca

PROJECT TITLE:  
 2829 DUMAURIER AVENUE  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
 PERSPECTIVES

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: <b>A-07</b>
PROJECT No: 1922	



VIEW LOOKING NORTH-WEST



VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH ALONG DUMAURIER AVE.

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 PLOT DATE: 2023-03-24 12:44:41 PM D:\Users\gsparza\OneDrive - Roderrick Lahey Architect Inc\Documents\1922-2829 Dumaier - R20\_gsparza\B1ZZ.rvt



VIEW LOOKING NORTH-EAST



VIEW LOOKING NORTH-WEST STREETSCAPE ALONG DUMAQUIER AVE.



VIEW LOOKING SOUTH-EAST STREETSCAPE ALONG DUMAQUIER AVE.

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- ⑥ TITLE
- ⑦ SCALE
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- ⑨ DETAIL CROSS REFERENCE PAGE

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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22
1	ISSUED FOR SPARE ZONING	08.06.21

REVISIONS:

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22
1	ISSUED FOR SPARE ZONING	08.06.21

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
 2829 DUMAQUIER AVENUE  
 2829 DUMAQUIER AVE, OTTAWA, ON

SHEET TITLE:  
 PERSPECTIVES

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: <b>A-08</b>
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 PLOT DATE: 2023-03-24 12:49:00 PM



VIEW FROM FARRELL STREET



VIEW FROM DUMAQUIER AVENUE AND WATSON STREET



VIEW FROM DUMAQUIER AND RAMSEY CRESCENT

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- (00) SCALE
- (00) DETAIL REFERENCE PAGE
- (00) DETAIL CROSS REFERENCE PAGE

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No.	DESCRIPTION	DATE
-----	-------------	------

--	--

CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAQUIER AVENUE**  
 2829 DUMAQUIER AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES**

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: <b>A-09</b>
PROJECT No: 1922	



VIEW LOOKING SOUTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING EAST

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- ⑤ ———— DETAIL NUMBER
- ⑥ TITLE
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No.	DESCRIPTION	DATE
1	ISSUED FOR ZONING	08.06.21
2	UPDATED SPA - Client Review	03.11.22

ARCHITECT SEAL: NORTH ARROW:

CLIENT:  
**brigil**

ARCHITECT:  
**rla/architecture**  
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PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**PERSPECTIVES - FUTURE BUILD-OUT**

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: <b>A-10</b>
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 PLOT DATE: 2023-03-24 12:18:36 PM

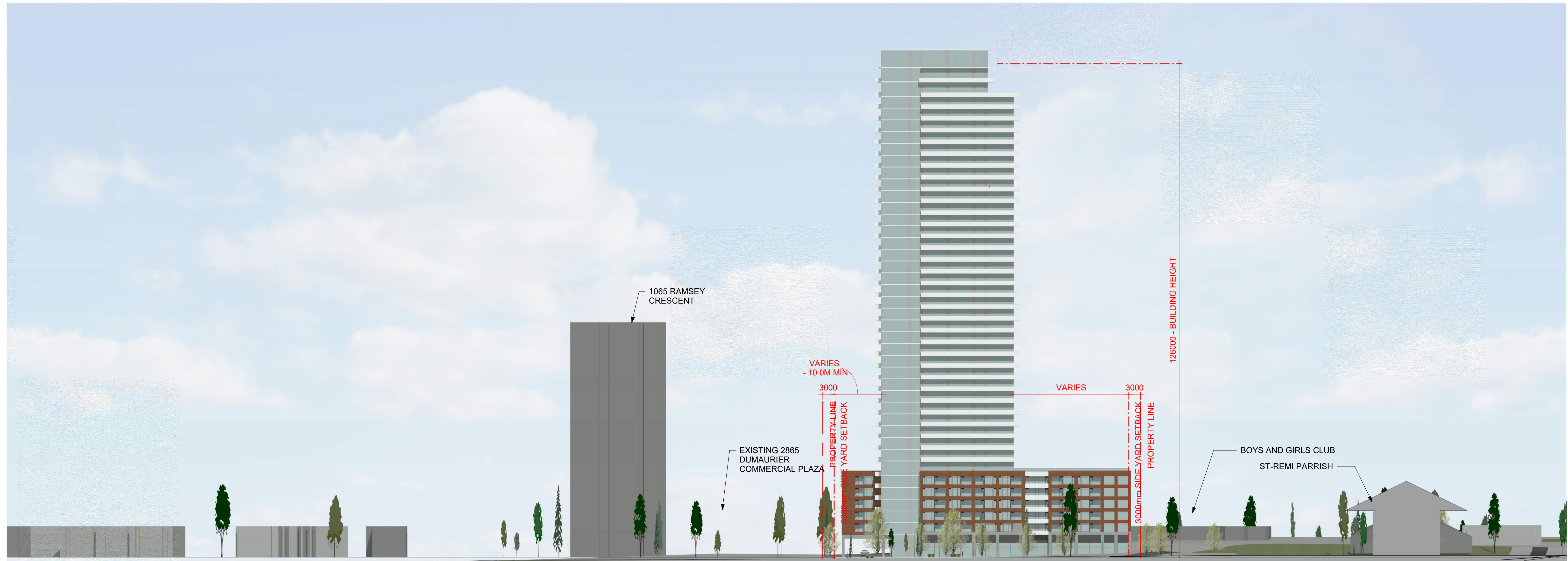
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
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VIEW LOOKING WEST



FUTURE VIEW LOOKING WEST

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03 11 22
1	ISSUED FOR SPARE-ZONING	08 06 21

REVISIONS:

ARCHITECT SEAL: NORTH ARROW:

CLIENT:  
**brigil**

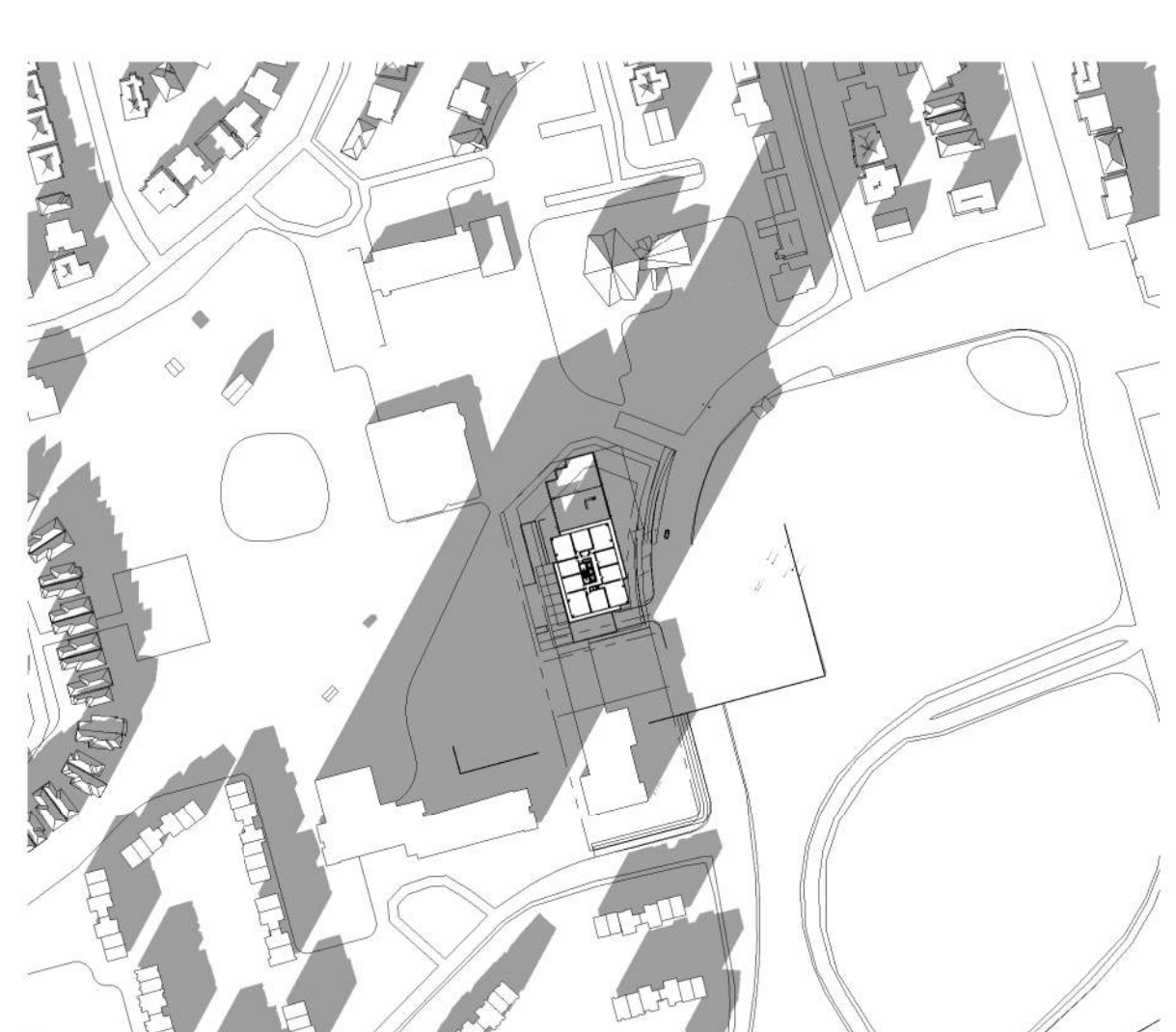
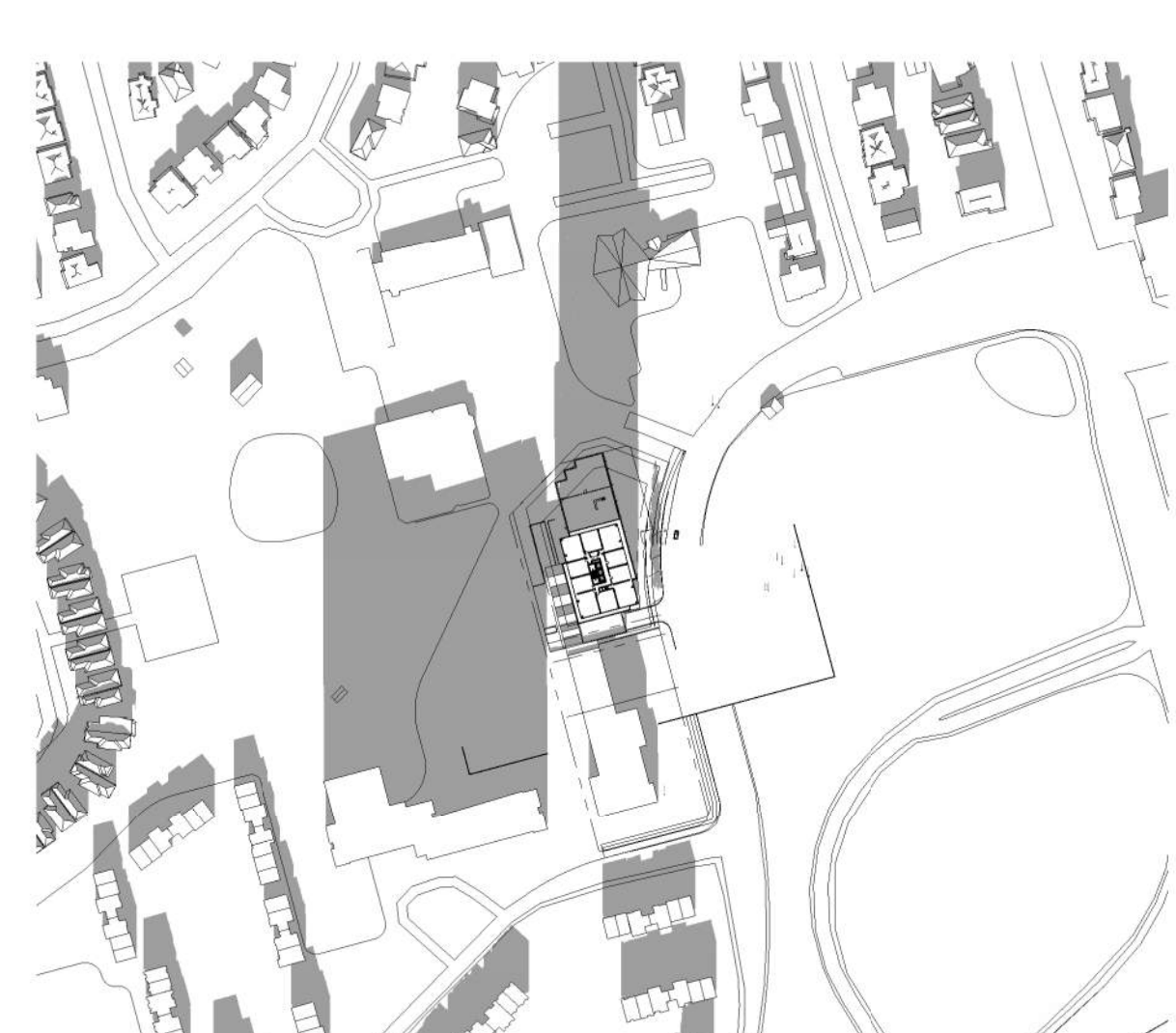
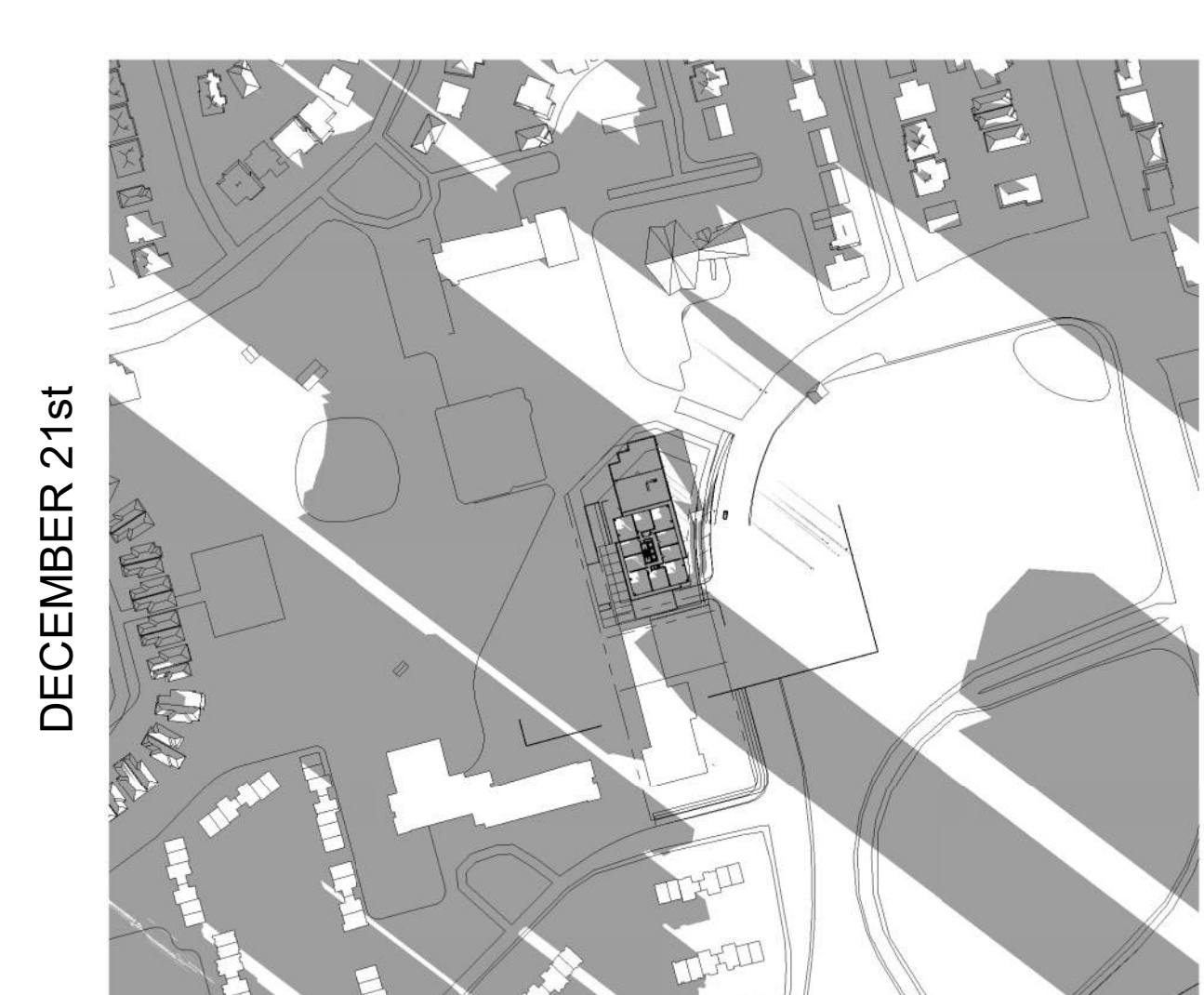
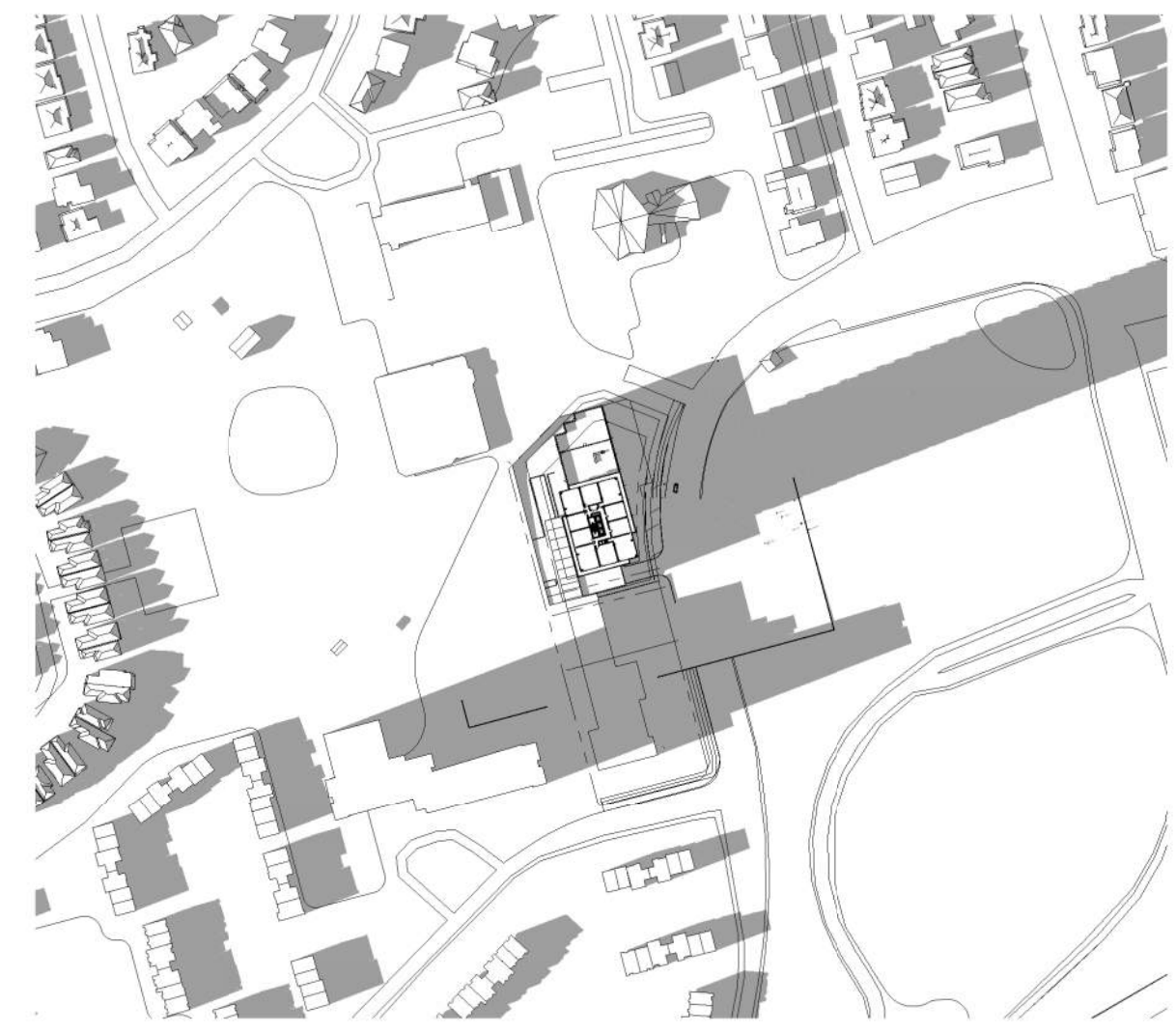
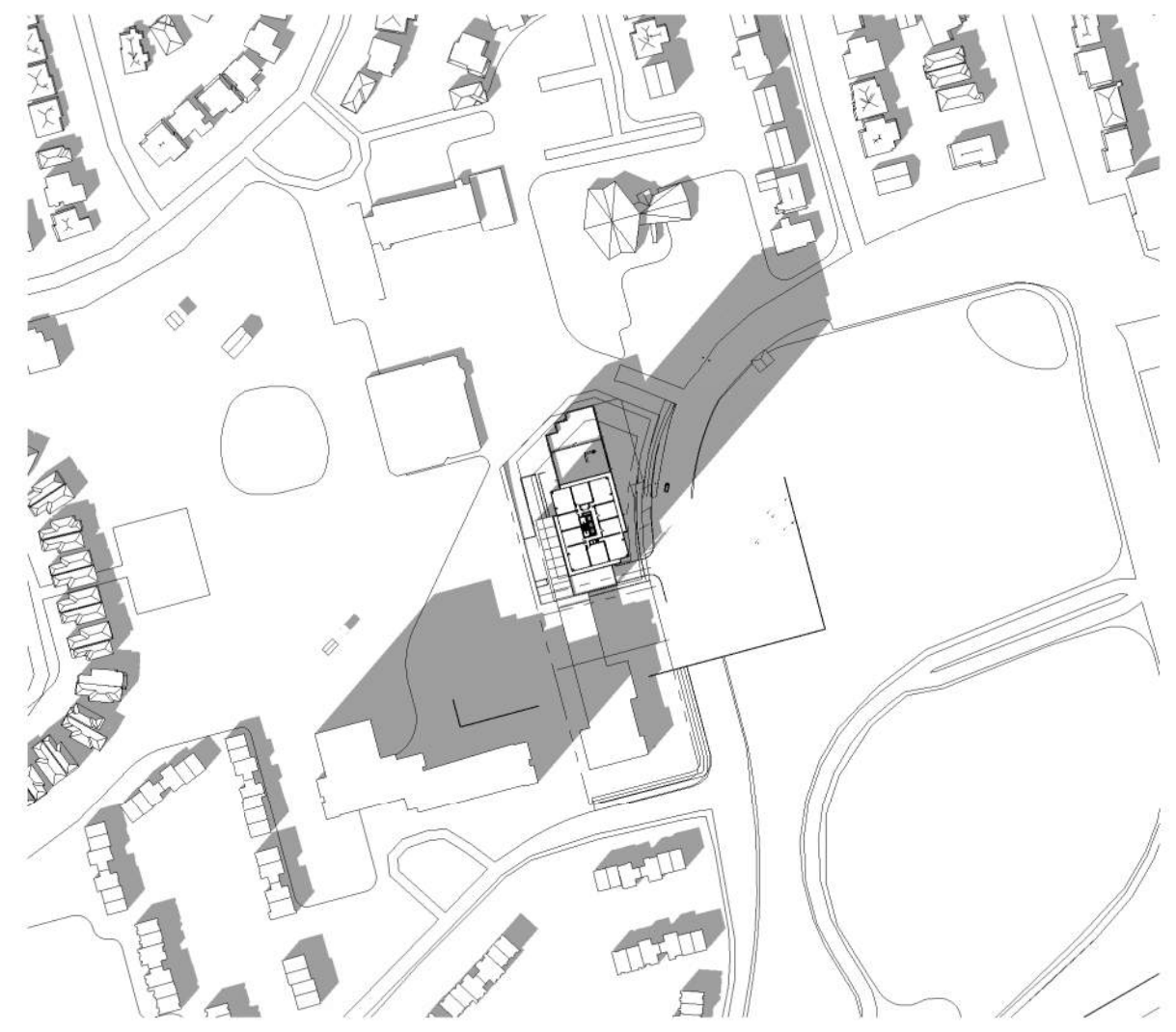
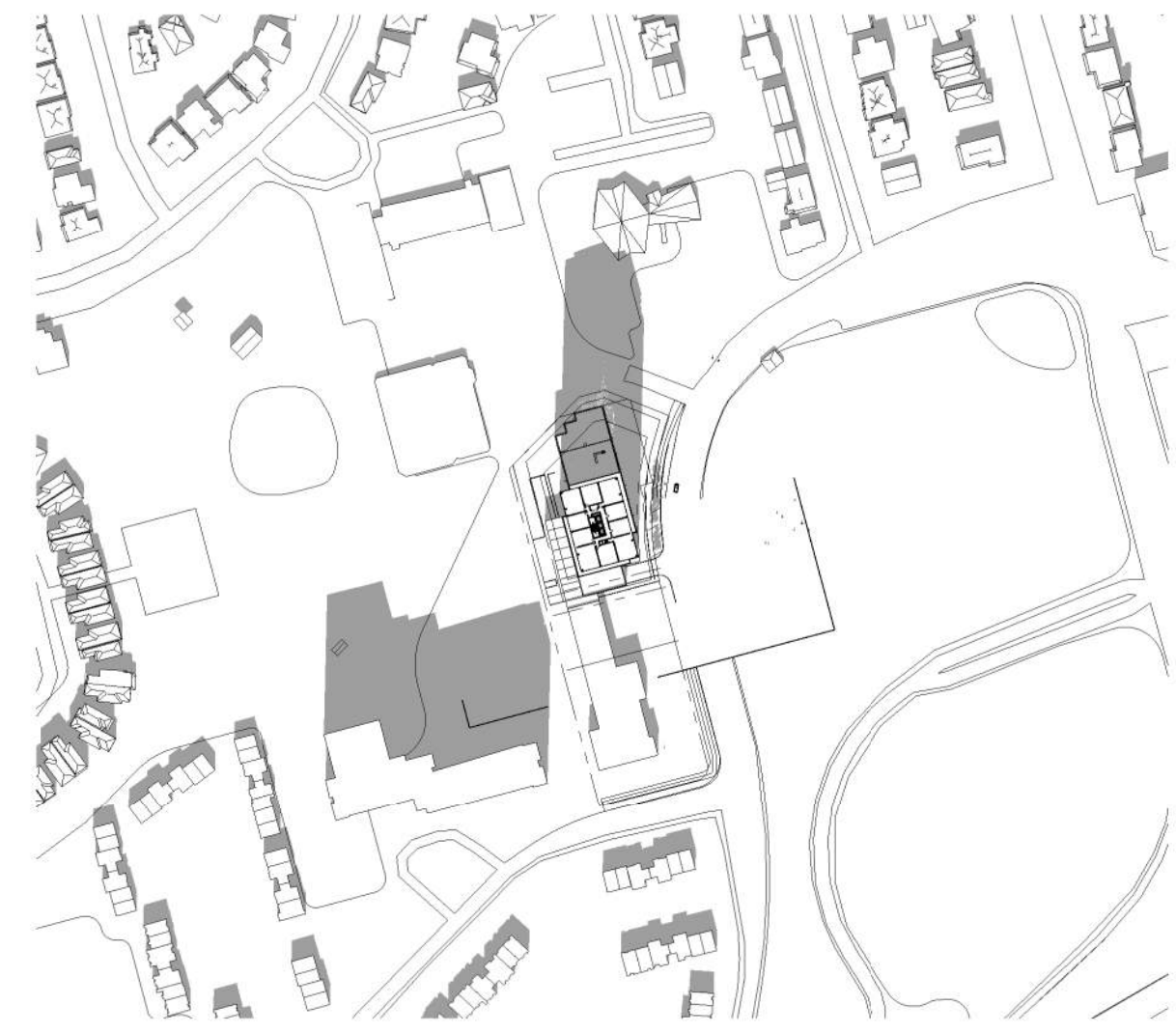
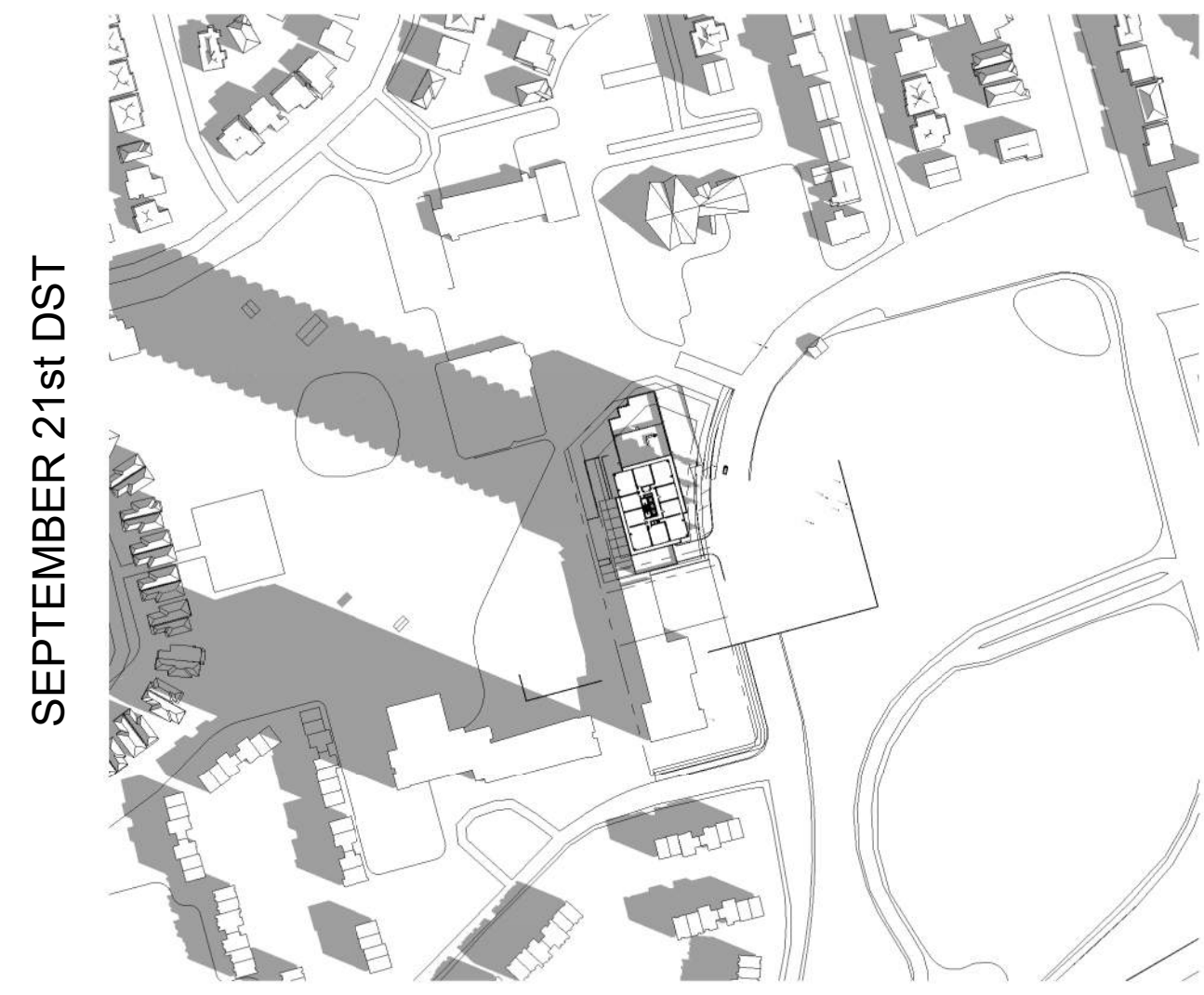
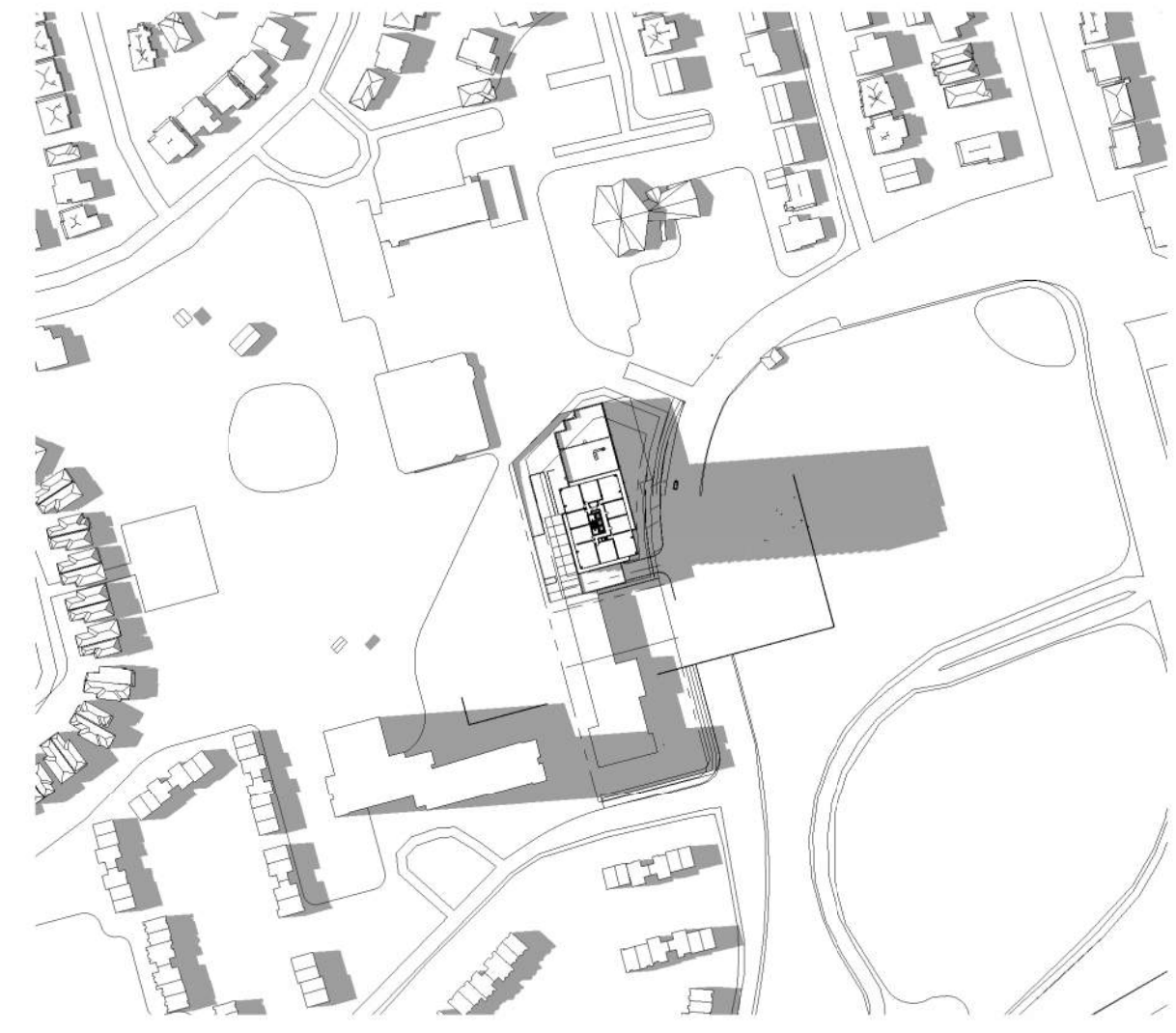
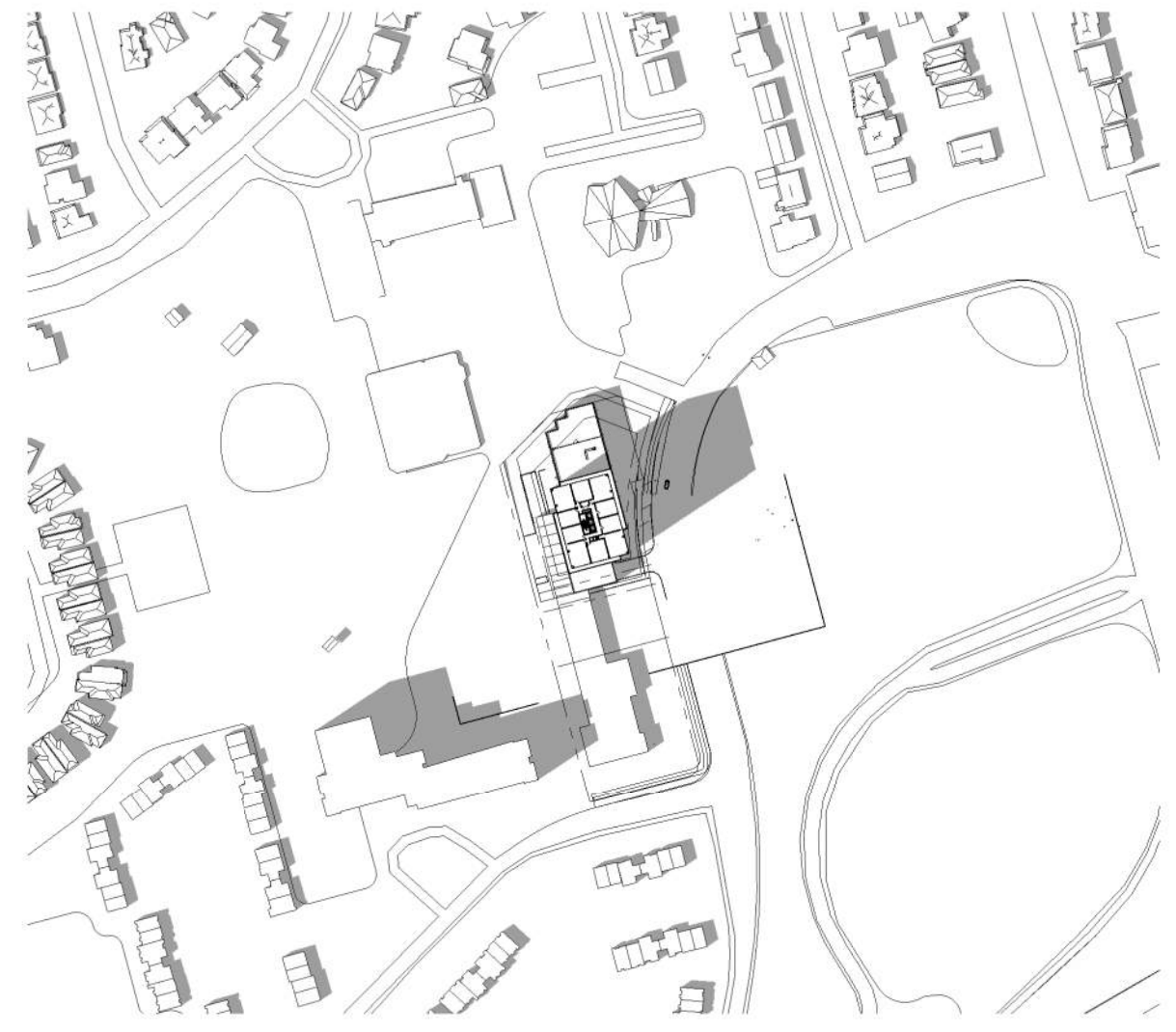
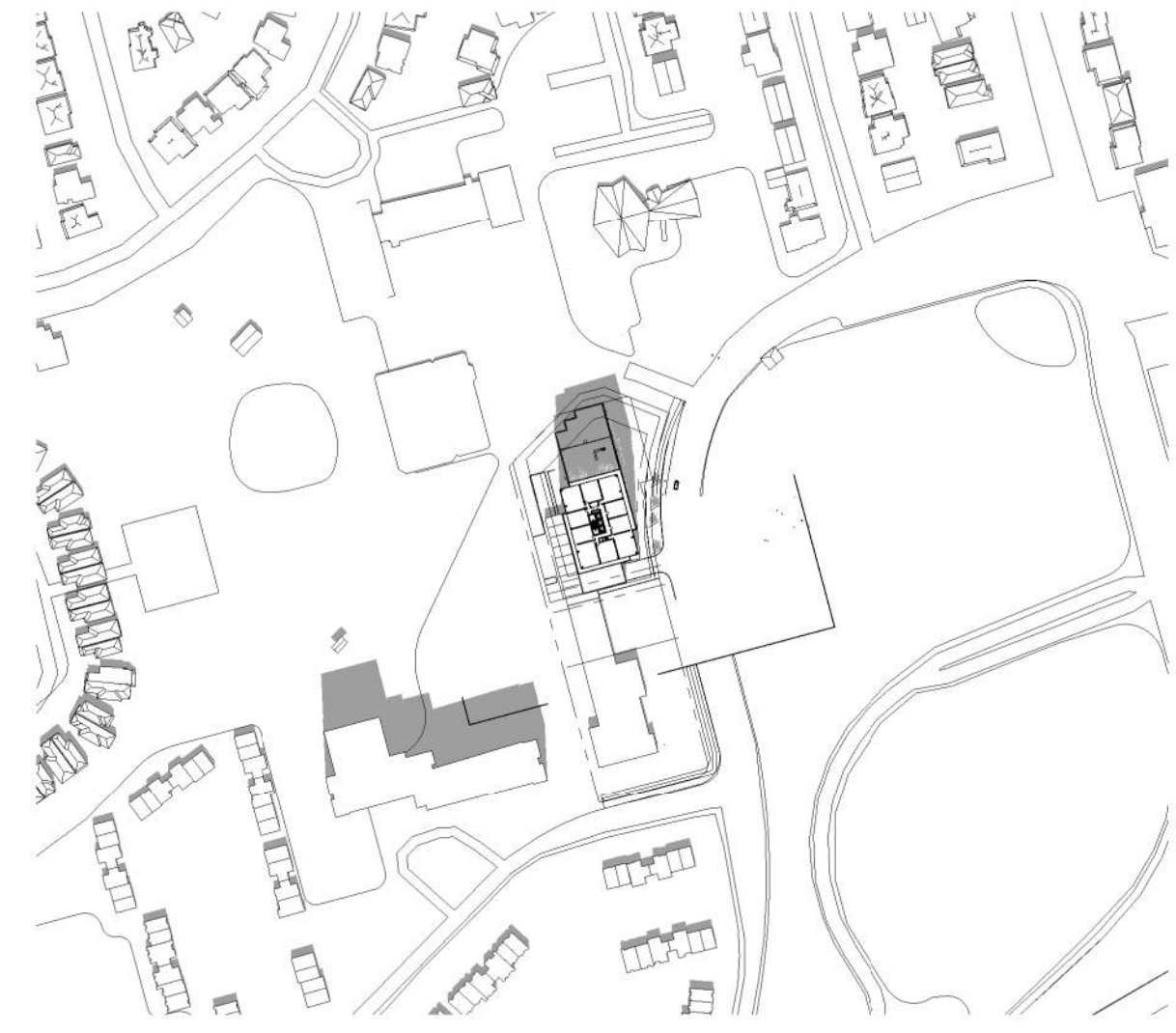
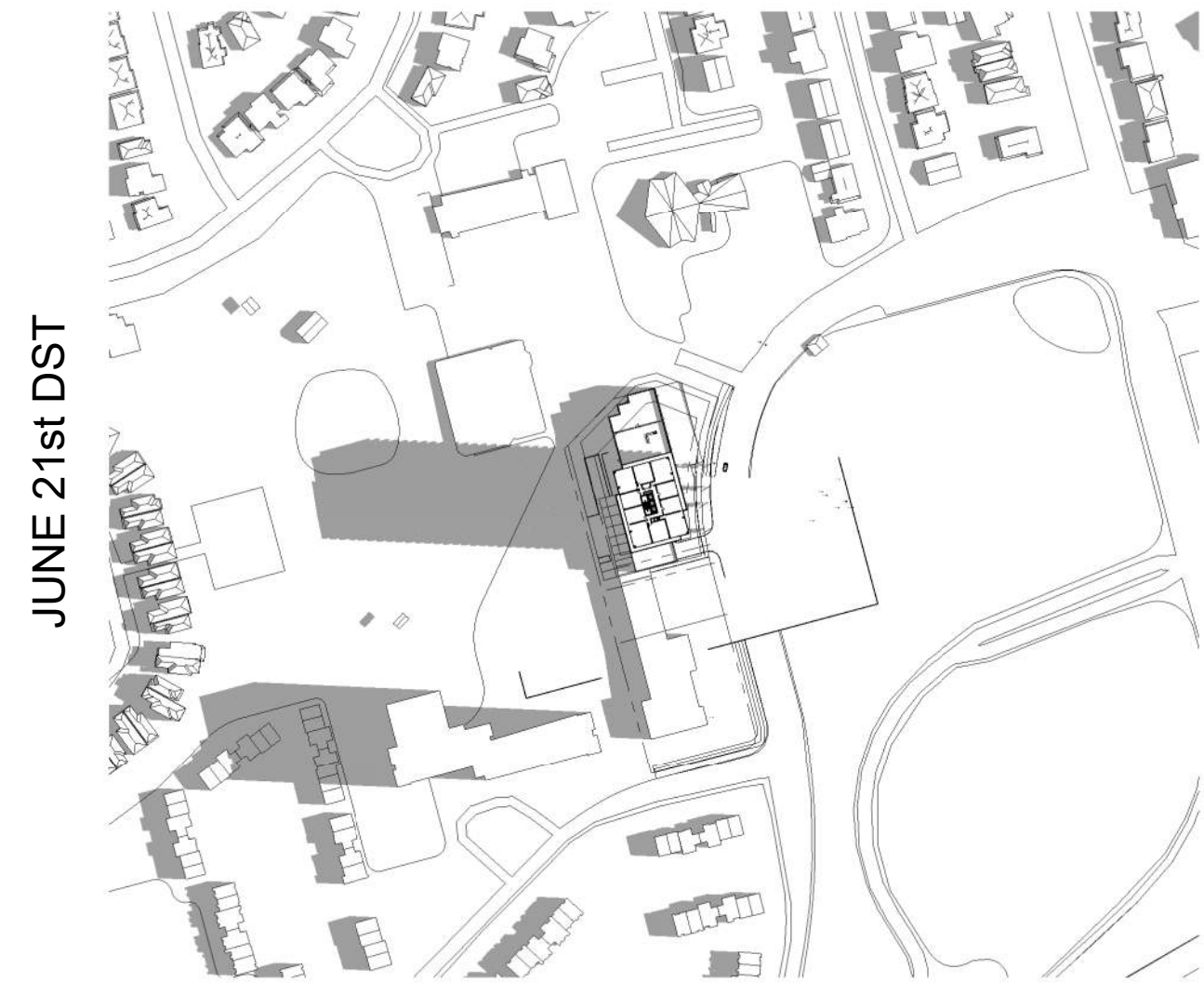
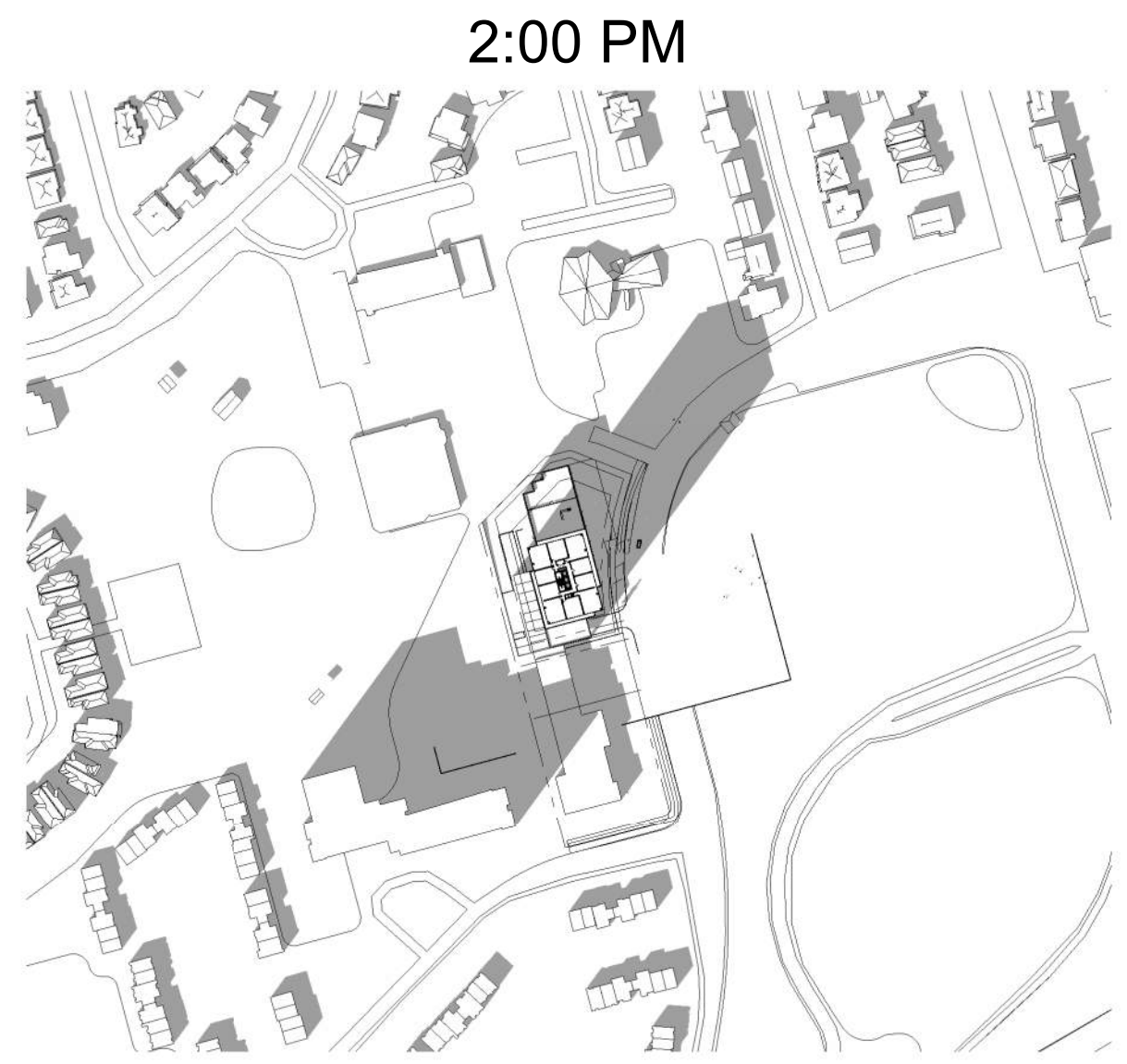
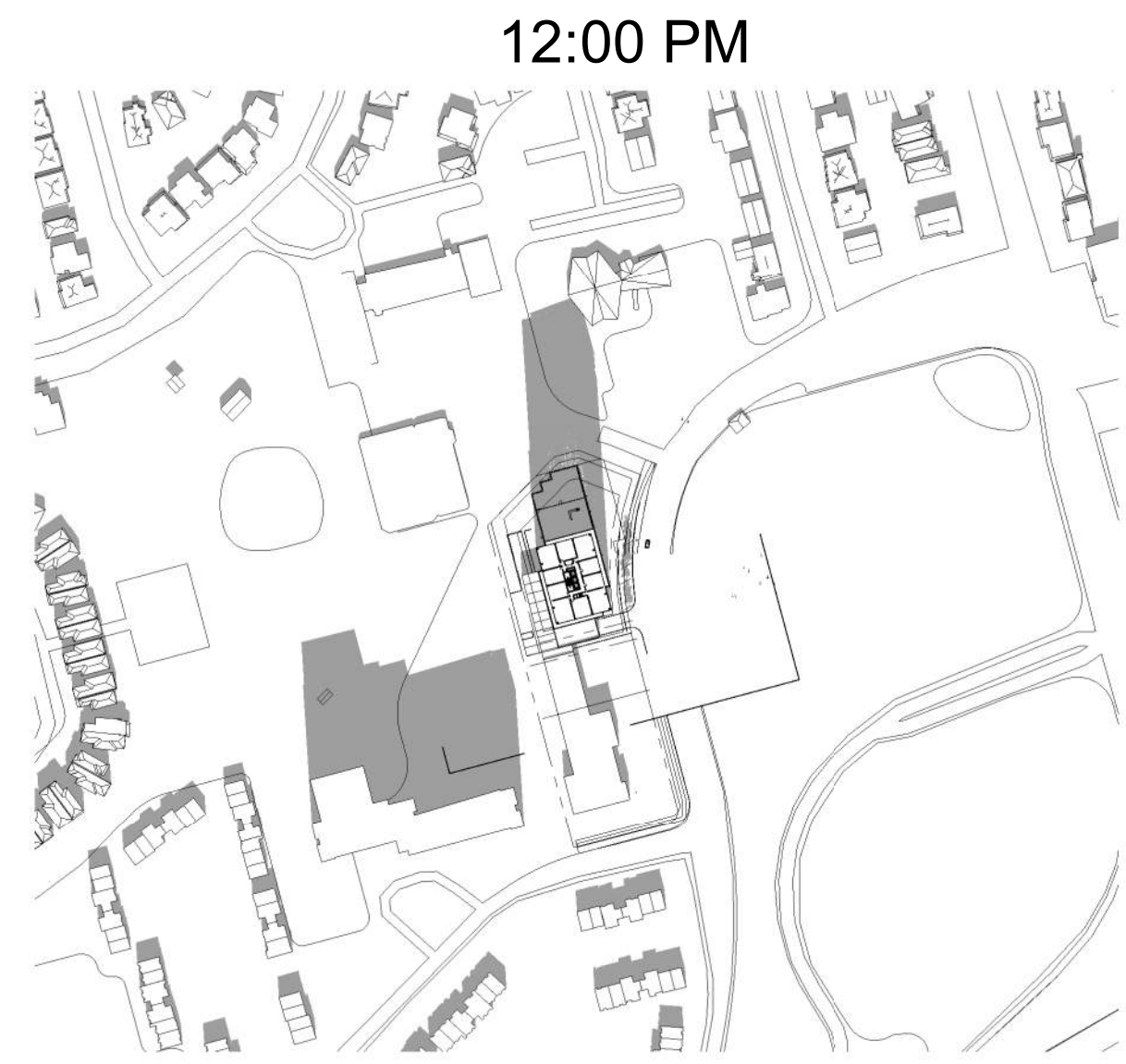
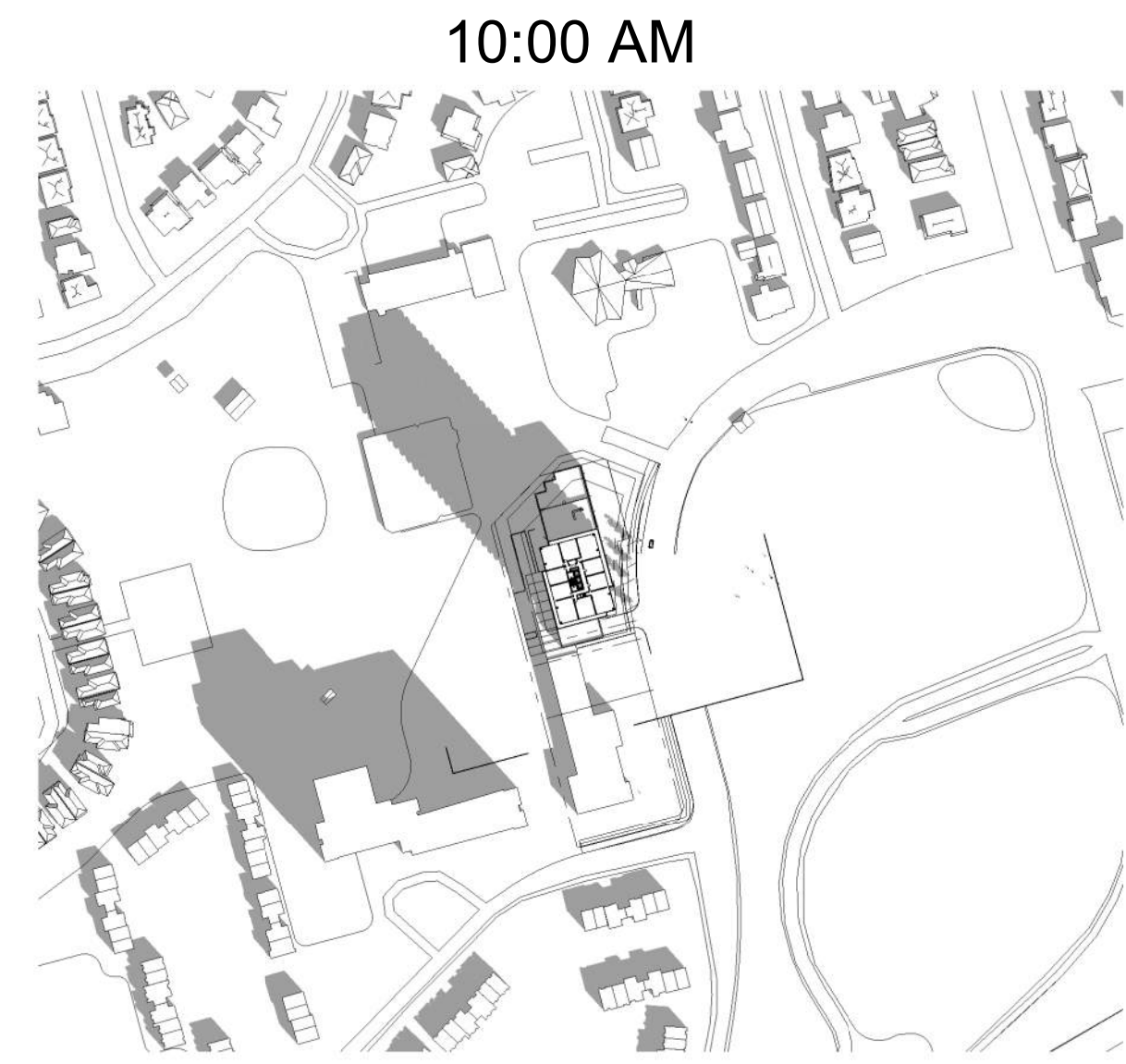
ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**OVERALL SITE ELEVATIONS**

DRAWN: G.E. CHECKED: J.G.  
 SCALE: 1 : 500 SHEET No: **A-11**  
 PROJECT No: 1922

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 C:\Users\gasparza\OneDrive - Roderick Lahey Architect Inc\Documents\1922-2829 Dumauiier - R20\_gasparza\B1\_UZ.rvt D07-12-17-0063 2023-04-03 4:13:26 PM #17421



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.  
 DO NOT SCALE DRAWINGS.  
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**NOTATION SYMBOLS:**

- ① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- ② INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- ③ INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- ④ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- ⑤ DETAIL NUMBER
- ⑥ TITLE SCALE
- ⑦ DETAIL REFERENCE PAGE
- ⑧ DETAIL CROSS REFERENCE PAGE

**GENERAL NOTES:**

- A REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- B REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
- C REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.
- D ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- E ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- F ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHERWISE.
- G ALL REINFORCED CONCRETE SUSPENDED COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22
	ISSUED FOR SPARE-ZONING	08.06.21

ARCHITECT SEAL:

NORTH ARROW:

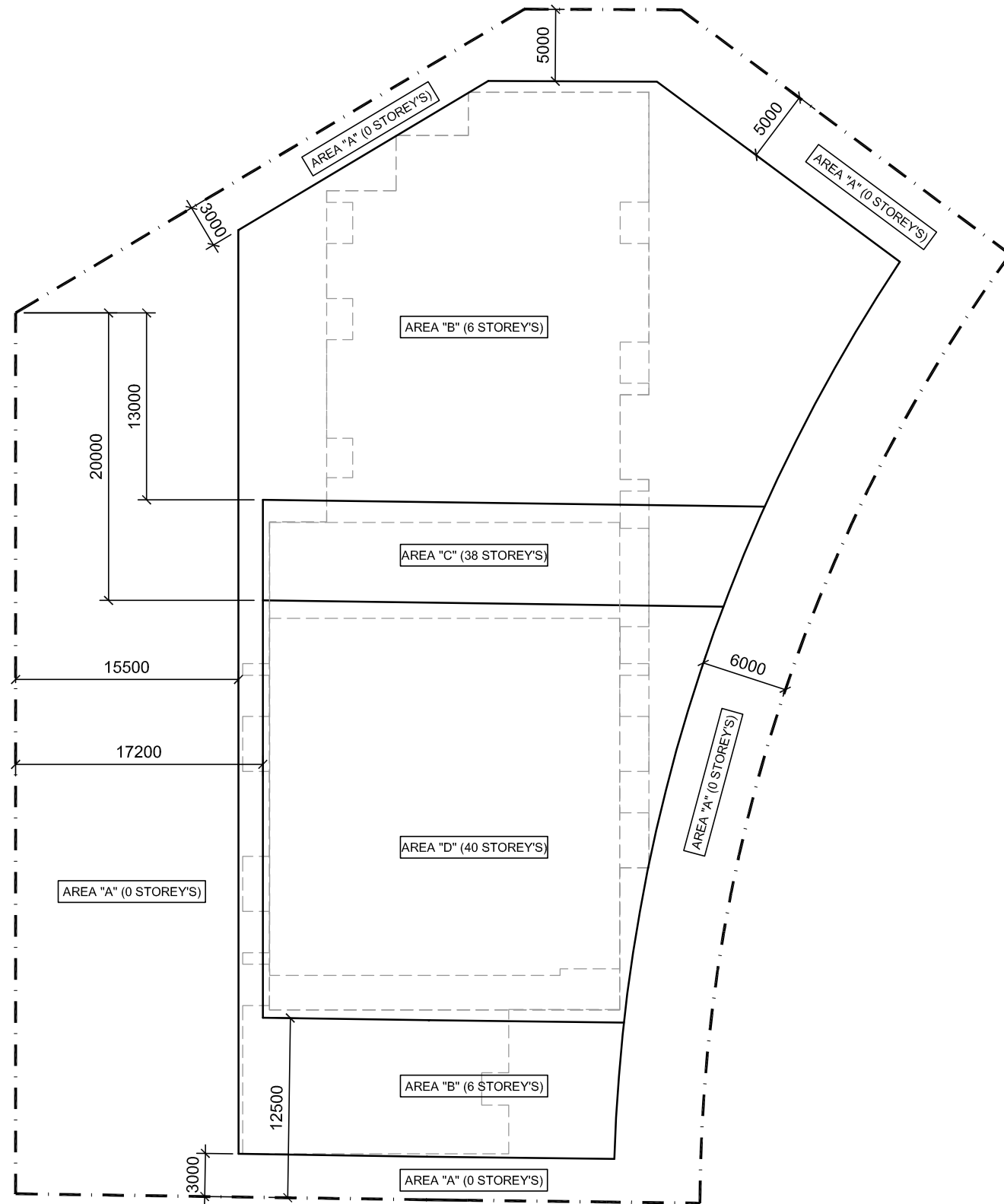
CLIENT:  
**brigil**

ARCHITECT:  
 rla/architecture  
 56 Beech Street, Ottawa, Ontario K1S 3J6  
 t.613.724.9932 f.613.724.1209 www.rodriklahy.ca

PROJECT TITLE:  
**2829 DUMAURIER AVENUE**  
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:  
**SUNSHADE STUDY**

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 3000	SHEET No: <b>A-12</b>
PROJECT No: 1922	



**MAXIMUM BUILDING HEIGHTS  
AND MAXIMUM NUMBER OF STOREYS**

**LA HAUTEUR DE BATIMENT MAXIMALE**

AREA/ SECTEUR A : 0.0m (0 storeys/ étages)  
 AREA/ SECTEUR B : 23.0m (6 storeys/ étages)  
 AREA/ SECTEUR C : 118.0m (38 storeys/ étages)  
 AREA/ SECTEUR D : 126.0m (40 storeys/ étages)

