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Legend

- ORIGINAL GROUND ELEVATION
- PROPOSED ELEVATION
- PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- FLOW DIRECTION AND GRADE
- FINISHED FIRST FLOOR ELEVATION
- UNDERSIDE OF FOOTING ELEVATION
- ENGINEERED FILL REQUIRED
- TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- EMERGENCY OVERLAND FLOW DIRECTION
- PROPOSED VALVE BOX
- PROPOSED VALVE CHAMBER
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED WATTS AREA DRAIN OR EQUIVALENT TO BE CONNECTED TO STORMWATER CISTERN VIA INTERNAL STORM SEWER PLUMBING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
- PROPOSED DEPRESSED CURB LOCATION
- PROPOSED BARRIER CURB
- OVERLAND SPILL LOCATION
- TWSI LOCATION AS PER CITY STD
- HEAVY DUTY ASPHALT
- LANDSCAPE AREAS
- ROAD CUT AS PER CITY OF OTTAWA STANDARD DETAIL R10

Notes

1. OFF SITE SANITARY, WATER AND STORM RELOCATIONS ARE SCHEMATIC AND WILL BE FINALIZED ONCE LOCATES AND TOPO PICK UP COMPLETED.
2. BOOSTER PUMP FOR WATER SERVICES REQUIRED TO MAINTAIN DESIRED PRESSURES IN UPPER LEVELS.
3. SUMP PUMP REQUIRED TO DISCHARGE INTERNAL SANITARY SEWER. (REFER TO MECHANICAL DRAWINGS FOR DETAILS)
4. FLOOR DRAINS LOCATED INSIDE PARKING GARAGE TO BE CONNECTED TO BUILDING INTERNAL SANITARY SEWER.
5. REFER TO ARCHITECTURAL DRAWINGS FOR TOP OF PARKING GARAGE AND PARKING LEVELS.
6. USE TO BE CONFIRMED BY STRUCTURAL CONSULTANT.
7. INTERNAL PLUMBING AND SUMP PUMPS TO BE DESIGNED BY THE MECHANICAL CONSULTANT.
8. STORMWATER MANAGEMENT TO BE PROVIDED THROUGH A 110m³ CISTERN LOCATED IN THE UNDERGROUND PARKING GARAGE.
9. PUMP TO BE PROVIDED BY MECHANICAL ENGINEER TO ACHIEVE CISTERN MAX RELEASE RATE OF 41.5 L/s

LOCAL ROADWAYS, ACCESS LANES AND HEAVY DUTY USE

- 40mm SUPERPAVE 12.5 ASPHALTIC CONCRETE
- 50mm SUPERPAVE 15.0 BINDER COURSE
- 150 OPSS GRANULAR 'A' BASE
- 400 OPSS GRANULAR 'B' TYPE II

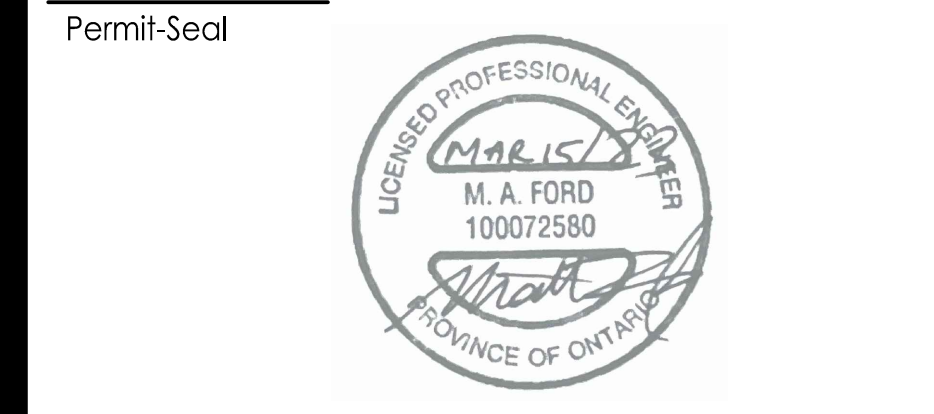
CAR PARKING AREAS

- 50mm WEAR COURSE- HL 3 OR SP 12.5 ASPHALTIC CONCRETE
- 150mm OPSS GRANULAR 'A' BASE
- 300mm OPSS GRANULAR 'B' TYPE II

Revision	By	Appd.	YY.MM.DD
1	MJS	MF	23.03.15
0	MJS	AMP	21.02.17

File Name:	MJS	MF	MJS	21.01.07
Permit/Seal	Dwn.	Chkd.	Dgn.	YY.MM.DD
160401596-DB				

Permit/Seal	MJS	MF	MJS	21.01.07
Dwn.	Chkd.	Dgn.	YY.MM.DD	



Client/Project

BRIGIL HOMES

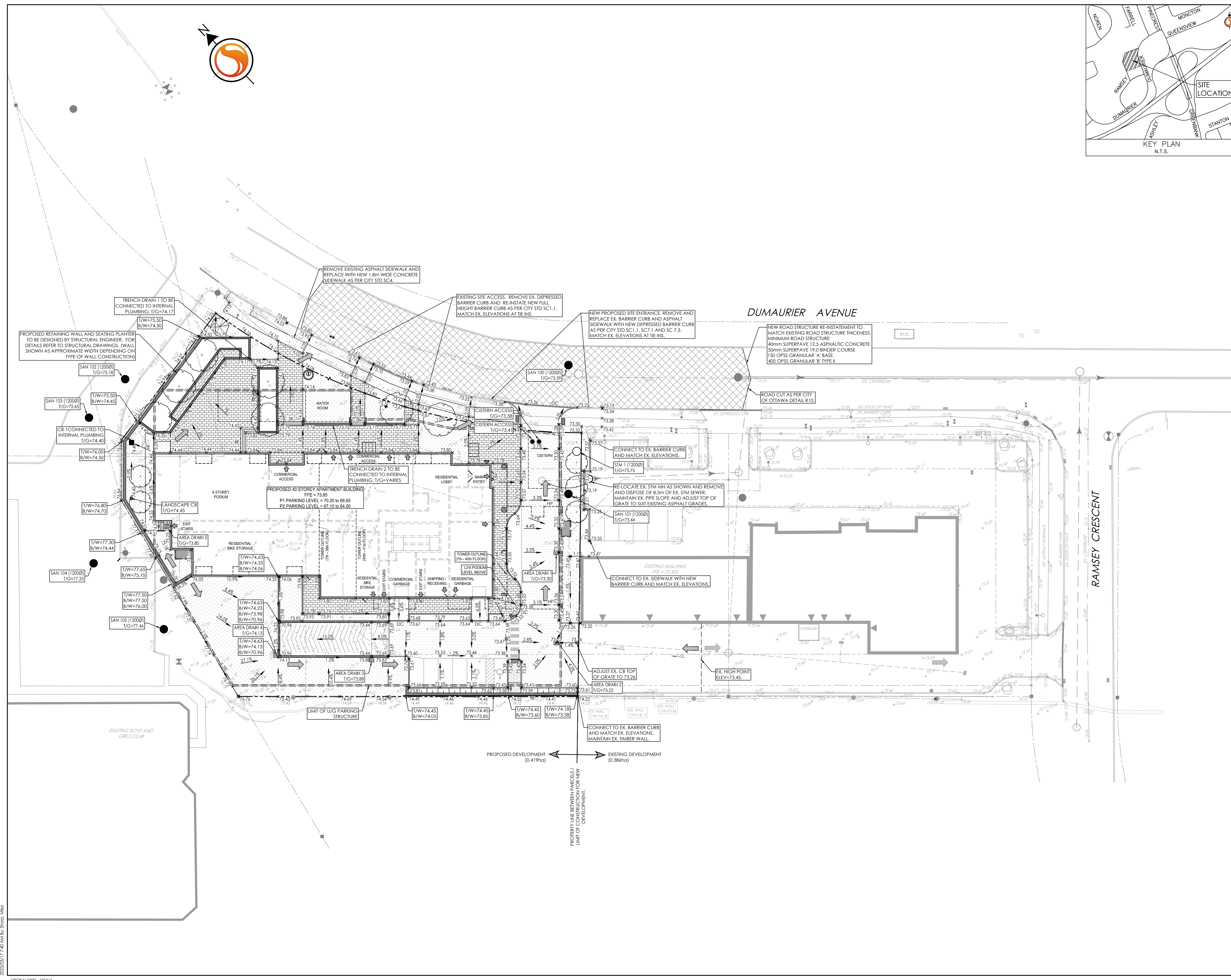
2829 DUMAUER AVENUE
40 STOREY APARTMENT BUILDING
OTTAWA, ON, CANADA

Title
GRADING PLAN

Project No. 160401596 Scale 1:300

Drawing No. GP-1 Sheet 4 of 8 Revision 1

Project No. 160401596 Scale 1:300 Drawing No. GP-1 Sheet 4 of 8 Revision 1



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