

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PARRICK BISSON
T 613-238-7200

PLANNING
FOTENI CONSULTANTS INC.
NATHAN FERREARD
T 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T 613-254-9143 X209

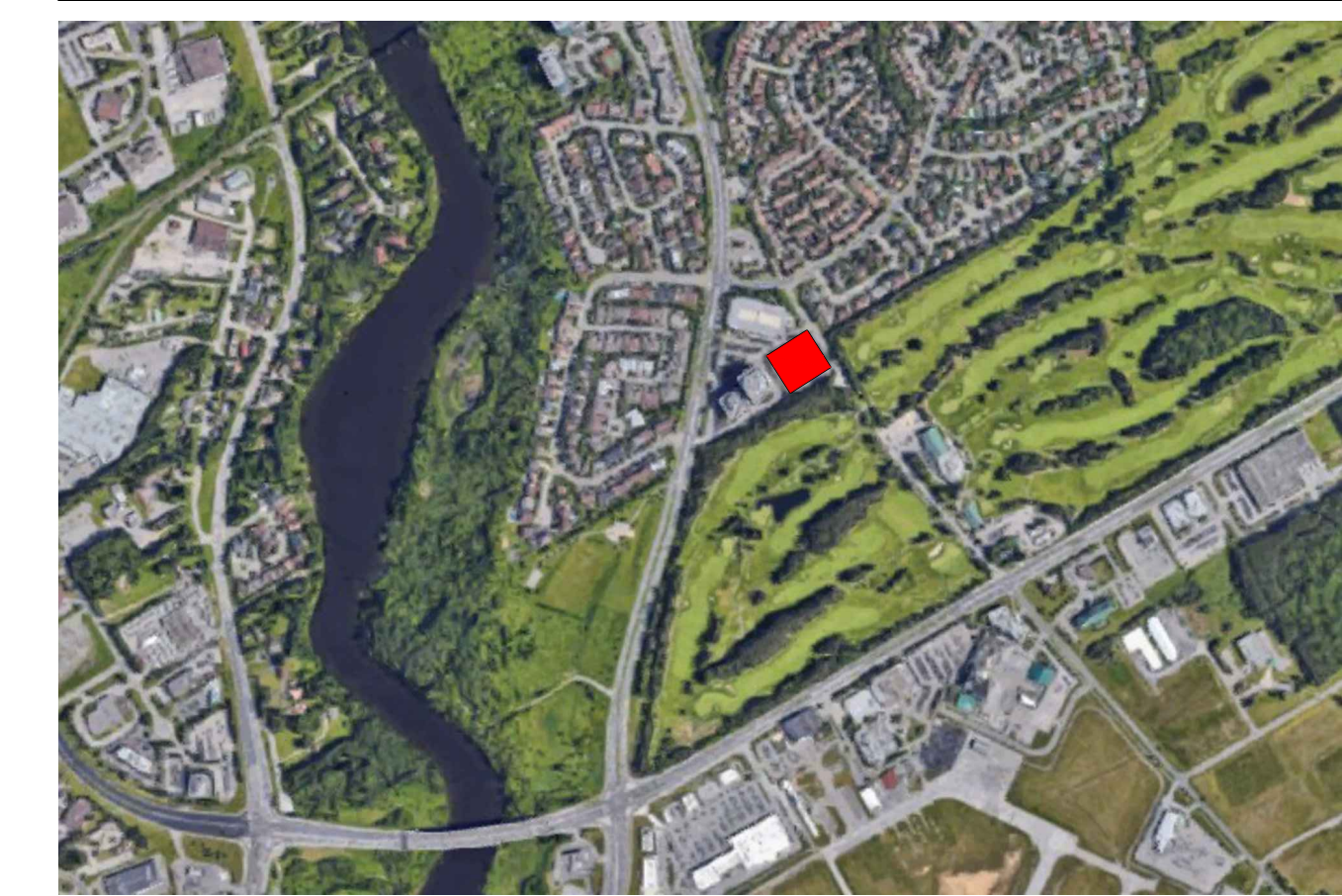
LANDSCAPE ARCHITECT
xxx

TRANSPORTATION
CGH Transportation
JOHN KINGSLEY
T 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERREARD
T 613-836-0634

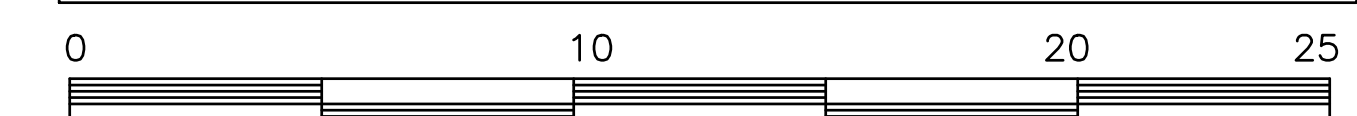
SURVEYOR
xxx

LOCATION PLAN 1:10,000

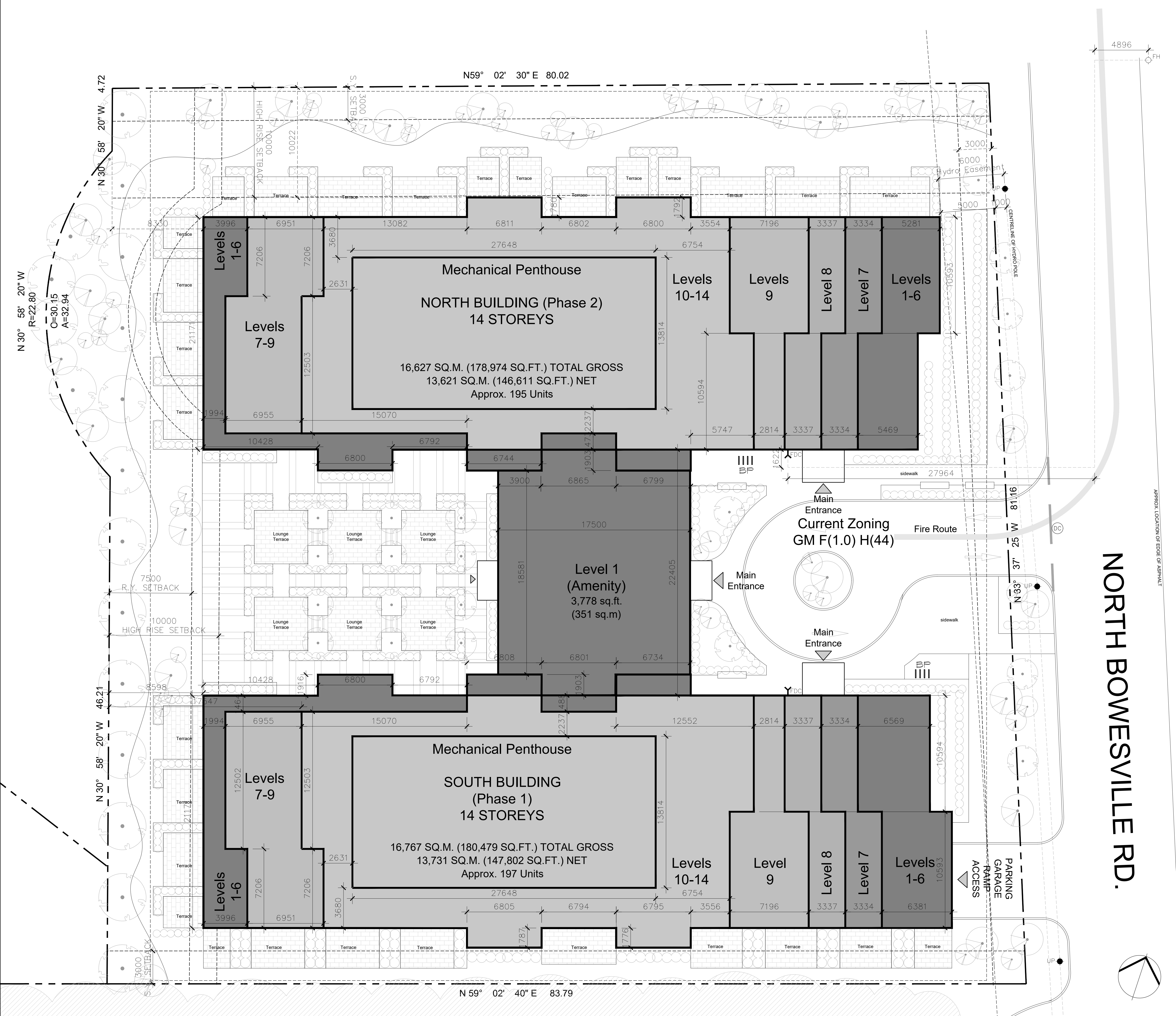


LEGEND

	PROPOSED FIRE ROUTE		EDGE OF SIDEWALK
	PROPOSED BUILDING		PROPERTY LINE
	PROPOSED DEPRESSED CURB - DETAIL TO CITY OF OTTAWA STANDARD SC-7		SETBACK
	EXISTING FIRE HYDRANT		PROPOSED DEPRESSED CURB - DETAIL TO CITY OF OTTAWA STANDARD SC-7
	BIKE PARKING SPACE		ROLL CURB
	EXISTING UTILITY POLE		CURB TO BE REBUILT
	FIRE DEPARTMENT CONNECTION		CONC. CURB DETAIL TO CITY OF OTTAWA STANDARDS



SCALE 1 : 150



ZONING NOTES: CURRENT ZONING: GM F(1.0) H(44) LOT AREA = 6819.5 m²

DEVELOPMENT STATS PHASE 1 + PHASE 2	REQUIRED	PROPOSED
LOT WIDTH	81.16m IRREGULAR	81.16m IRREGULAR
LOT DEPTH	83.7m IRREGULAR	83.7m IRREGULAR
FRONT YARD SETBACK	BOWESVILLE 3m	VARIES
REAR YARD SETBACK	7.5m	VARIES
SIDE YARD SETBACK	3m	VARIES
INTERIOR SIDE YARD SETBACK	3m	VARIES
TOTAL DEVELOPMENT FSI = 33,394 SQ.M.(TOTAL DEVELOPMENT GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 4.89		
PHASE 1 (SOUTH BUILDING) FSI = 16,767 SQ.M.(PHASE 1 GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 2.46		
PHASE 2 (NORTH BUILDING) FSI = 16,627 SQ.M.(PHASE 2 GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 2.44		

BUILDING STATISTICS:

SOUTH BUILDING PHASE 1	PROPOSED	197
TOTAL UNIT COUNT		197
STUDIOS	20	10%
1 BEDROOM	99	50%
1 BEDROOM + DEN	%	%
2 BEDROOM (1 INBOARD BED)	%	%
2 BEDROOM	78	40%
2 BEDROOM + DEN	%	%
NUMBER OF STOREYS	14 STOREYS	
MAXIMUM HEIGHT	44m	
AREA - TOTAL GFA	+/- 13,731 SQ.M.	
REQUIRED AMENITY SPACE REQUIREMENT	197 UNITS X 6 SQ.M. = 1,182 SQ.M. TOTAL AMENITY REQUIRED	
REQUIRED AMENITY SPACE TO BE COMMON	591 SQ.M.	
PROVIDED COMMON AMENITY SPACE	591 SQ.M.	

NORTH BUILDING PHASE 2	PROPOSED	195
TOTAL UNIT COUNT		195
STUDIOS	19	10%
1 BEDROOM	98	50%
1 BEDROOM + DEN	%	%
2 BEDROOM (1 INBOARD BED)	%	%
2 BEDROOM	78	40%
2 BEDROOM + DEN	%	%
NUMBER OF STOREYS	14 STOREYS	
MAXIMUM HEIGHT	44m	
AREA - TOTAL GFA	+/- 13,621 SQ.M.	
REQUIRED AMENITY SPACE REQUIREMENT	195 UNITS X 6 SQ.M. = 1,170 SQ.M. TOTAL AMENITY REQUIRED	
REQUIRED AMENITY SPACE TO BE COMMON	585 SQ.M.	
PROVIDED COMMON AMENITY SPACE	585 SQ.M.	

1. BUILDING PARKING REQUIRED: PARKING RATIO OF 1.2/UNIT (473 RESIDENTIAL PARKING REQUIRED FOR 392 UNITS)	PROVIDED VEHICLE PARKING
RENTAL	287 RESIDENTIAL PARKING SPACES PROVIDED FOR 392 UNITS (0.7/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE
2. REQUIRED VISITOR PARKING: VISITOR PARKING RATIO OF 0.2/UNIT (79 VISITOR PARKING FOR 392 UNITS)	PROVIDED VISITOR PARKING
CONDO	40 VISITOR PARKING SPACES PROVIDED FOR 392 UNITS (0.1/UNIT) * LOCATED IN PARKING GARAGE AND AT GRADE
TOTAL PARKING PROVIDED	327 TOTAL PARKING PARKING SPACES (INTERIOR)

3. BUILDING BICYCLE PARKING REQUIRED: 0.5 BICYCLE STALLS PER UNIT (197 STALLS REQUIRED FOR 392 UNITS)	PROVIDED BICYCLE PARKING
	197 BICYCLE PARKING SPACES PROVIDED FOR 392 UNITS (0.5/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND AT GRADE

TOTAL DEVELOPMENT - REQUIRED AMENITY SPACE: 392 UNITS X 6 SQ.M. = 2,352 SQ.M.
REQUIRED AMENITY SPACE TO BE COMMON - 1,176 SQ.M.
REQUIRED PRIVATE AMENITY SPACE - 1,176 SQ.M.

TOTAL DEVELOPMENT - PROVIDED AMENITY SPACE: 2,352 SQ.M.
PROVIDED AMENITY SPACE TO BE COMMON - 1,176 SQ.M.
PROVIDED PRIVATE AMENITY SPACE - 1,176 SQ.M.

no.	date	revision
2	23-02-21	ISSUED FOR REZONING SUB. NO. 2
1	22-04-13	ISSUED FOR REZONING

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: info@hobinarc.com
hobinarc.com

PROJECT LOCATION:
3750 NORTH BOWESVILLE
OTTAWA ON.

DRAWING TITLE:
SITE PLAN

DRAWN BY: PFB **DATE:** 23-05-04 **SCALE:** 1:150

PROJECT: 2115

DRAWING NO.: A1.00

REVISION NO.:

