

BUILDING PARKING REQUIREMENTS

PROPOSED FIRE ROUTE	EDGE OF SIDEWALK
PROPOSED BUILDING	PROPERTY LINE
PERMANENT AND TEMPORARY EASEMENT AREA	SETBACK
MH ○ EXISTING MAN HOLE	PROPOSED DEPRESSED CURB DETAIL TO CITY OF OTTAWA STANDARD SC-7
MH ● PROPOSED MAN HOLE	CURB TO BE REBUILT
TSP EXISTING TRAFFIC LIGHT	ROLL CURB
FH EXISTING FIRE HYDRANT	UP ● EXISTING UTILITY POLE
CONC. CURB DETAIL TO CITY OF OTTAWA STANDARDS	FDC FIRE DEPARTMENT CONNECTION
BIKE PARKING SPACE	
OB EXISTING LIGHT POLE	CB □ EXISTING CATCH BASIN
NS NEW LIGHT STANDARD	CB ■ PROPOSED CATCH BASIN
LS PROPOSED WALL MOUNT FIXTURE	AS SIGNAGE FOR ACCESSIBLE PARKING SPACE
WL PROPOSED WALL MOUNT FIXTURE	FRS SIGNAGE FOR FIRE ROUTE ACCESS
WL 2	▲ EXISTING SIGN
SL □ EXISTING STREET LIGHTING BOX	
TB □ EXISTING TRAFFIC SIGNAL BOX	



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 613-238-7200

PLANNING
FOTENI CONSULTANTS INC.
GHADA ZAO
T: 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T: 613-254-9143 X209

LANDSCAPE ARCHITECT
xxx

TRANSPORTATION
CGH Transportation
JOHN KINGSLEY
T: 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T: 613-836-0634

SURVEYOR
xxx

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: mail@hobinarc.com
hobinarc.com

ZONING NOTES: CURRENT ZONING: GM F(1.0) H(44) LOT AREA : 6819.5 m²

DEVELOPMENT STATS PHASE 1 + PHASE 2	REQUIRED	PROPOSED
LOT WIDTH	81.16m IRREGULAR	83.7m IRREGULAR
LOT DEPTH		
FRONT YARD SETBACK	BOWESVILLE	3m
REAR YARD SETBACK		7.5m VARIES
SIDE YARD SETBACK		3m VARIES
INTERIOR SIDE YARD SETBACK		3m VARIES
TOTAL DEVELOPMENT FSI = 33,191 SQ.M.(TOTAL DEVELOPMENT GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 4.87		
PHASE 1 (SOUTH BUILDING) FSI = 17,212 SQ.M.(PHASE 1 GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 2.52		
PHASE 2 (NORTH BUILDING) FSI = 15,979 SQ.M.(PHASE 2 GFA)/6819.5 SQ.M.(TOTAL SITE AREA) = 2.34		

BUILDING STATISTICS:

SOUTH BUILDING PHASE 1	PROPOSED	187
TOTAL UNIT COUNT		
STUDIOS	19	10%
1 BEDROOM	94	50%
1 BEDROOM + DEN		%
2 BEDROOM (1 INBOARD BED)		%
2 BEDROOM	75	40%
2 BEDROOM + DEN		%
NUMBER OF STOREYS	14 STOREYS	
MAXIMUM HEIGHT	44m	
AREA - TOTAL GFA	+/- 13,356 SQ.M.	
REQUIRED AMENITY SPACE REQUIREMENT		
187 UNITS X 6 SQ.M. = 1,122 SQ.M. TOTAL AMENITY REQUIRED		
REQUIRED AMENITY SPACE TO BE COMMON - 561 SQ.M.		
PROVIDED COMMON AMENITY SPACE - 561 SQ.M.		

NORTH BUILDING PHASE 2	PROPOSED	178
TOTAL UNIT COUNT		
STUDIOS	18	10%
1 BEDROOM	89	50%
1 BEDROOM + DEN		%
2 BEDROOM (1 INBOARD BED)		%
2 BEDROOM	71	40%
2 BEDROOM + DEN		%
NUMBER OF STOREYS	14 STOREYS	
MAXIMUM HEIGHT	44m	
AREA - TOTAL GFA	+/- 12,370 SQ.M.	
REQUIRED AMENITY SPACE REQUIREMENT		
178 UNITS X 6 SQ.M. = 1,068 SQ.M. TOTAL AMENITY REQUIRED		
REQUIRED AMENITY SPACE TO BE COMMON - 534 SQ.M.		
PROVIDED COMMON AMENITY SPACE - 534 SQ.M.		

1. BUILDING PARKING REQUIRED: PARKING RATIO OF 1.2/UNIT (438 RESIDENTIAL PARKING REQUIRED FOR 365 UNITS)	PROVIDED VEHICLE PARKING
RENTAL	306 RESIDENTIAL PARKING SPACES PROVIDED FOR 365 UNITS (0.84/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE
2. REQUIRED VISITOR PARKING: VISITOR PARKING RATIO OF 0.2/UNIT (73 VISITOR PARKING FOR 365 UNITS)	PROVIDED VISITOR PARKING
CONDO	37 VISITOR PARKING SPACES PROVIDED FOR 365 UNITS (0.1/UNIT) * LOCATED IN PARKING GARAGE AND AT GRADE
TOTAL PARKING PROVIDED	343 TOTAL PARKING PARKING SPACES (339 INTERIOR, 4 EXTERIOR)

3. BUILDING BICYCLE PARKING REQUIRED: 0.5 BICYCLE STALLS PER UNIT (183 STALLS REQUIRED FOR 365 UNITS)	PROVIDED BICYCLE PARKING
	183 BICYCLE PARKING SPACES PROVIDED FOR 365 UNITS (0.5/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND AT GRADE

TOTAL DEVELOPMENT - REQUIRED AMENITY SPACE: 365 UNITS X 6 SQ.M. = 2,190 SQ.M.
REQUIRED AMENITY SPACE TO BE COMMON - 1,095 SQ.M.
REQUIRED PRIVATE AMENITY SPACE - 1,095 SQ.M.

TOTAL DEVELOPMENT - PROVIDED AMENITY SPACE: 2,190 SQ.M.
PROVIDED AMENITY SPACE TO BE COMMON - 1,095 SQ.M.
PROVIDED PRIVATE AMENITY SPACE - 1,095 SQ.M.

PROJECT LOCATION:
3750 NORTH BOWESVILLE
OTTAWA ON.

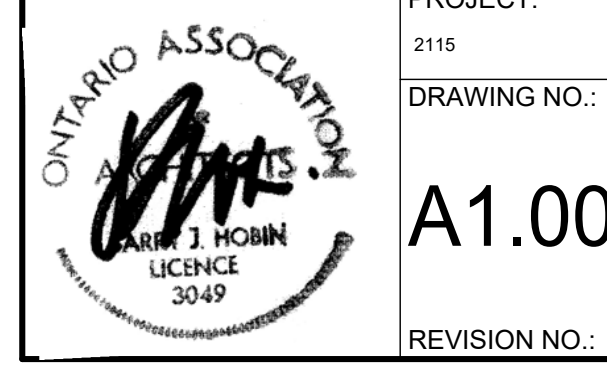
DRAWING TITLE:
SITE PLAN

DRAWN BY: DATE: SCALE:
PFB 22-04-12 1:500

PROJECT:
2115

DRAWING NO.:
A1.00

REVISION NO.:



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PARRICK BISSON
T: 613-238-7200

PLANNING
FOTENY CONSULTANTS INC.
CHADIA ZAO
T: 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T: 613-234-9143 X209

LANDSCAPE ARCHITECT
xxx

TRANSPORTATION
CGH Transportation
JOHN KINGSLEY
T: 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T: 613-836-0634

SURVEYOR
xxx

Parking	Phase 1 (South)	Phase 2 (North)	Total
GRADE	4 V	-	4 V
P1	85 (17 V + 66 R)	82 (16 V + 64 R)	167 (33 V + 134 R)
P2	89	87	176 R
TOTAL	178 (21 V + 157 R)	169 (16 V + 153 R)	343 (37 V + 306 R)
*0.84 Residential Parking spots per unit			
*0.1 Visitor Parking Spot per Unit			

no.	date	revision
1	22-04-13	ISSUED FOR REZONING

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: mail@hobin.com
hobin.com



HOBIN
ARCHITECTURE

PROJECT LOCATION:

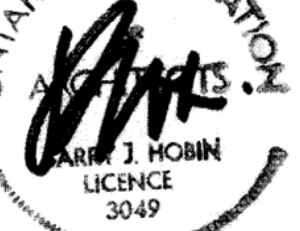
3750 Bowesville
OTTAWA ON.

DRAWING TITLE:
PARKING LEVEL P1

DRAWN BY: DATE: SCALE:
PB 22-04-12 1:150

PROJECT: 2115

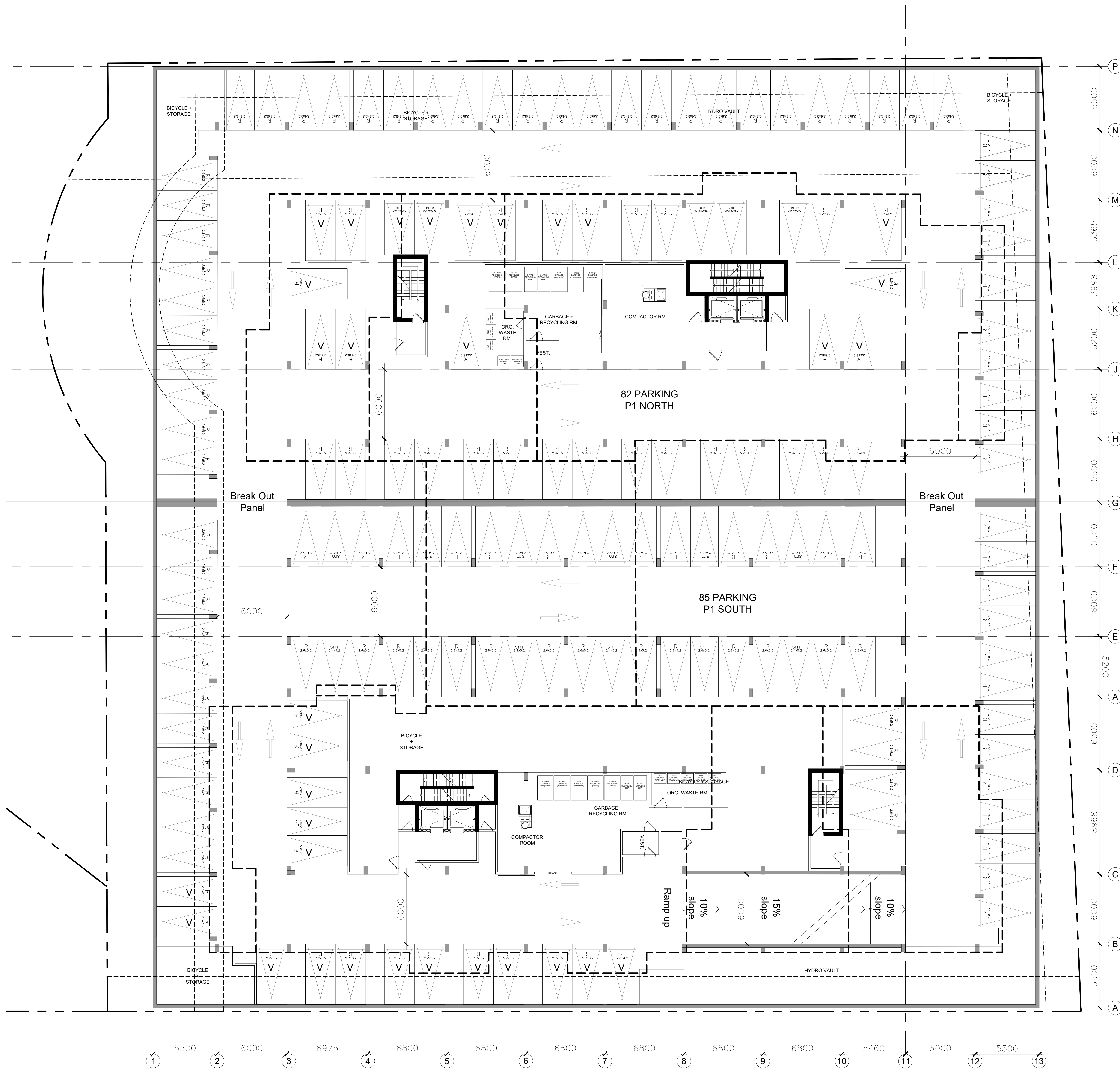
DRAWING NO.:



ONTARIO ASSOCIATION
PARRICK BISSON
PARRICK BISSON
LICENCE
3049

A2.00

REVISION NO.:



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 613-238-7200

PLANNING
FOHREN CONSULTANTS INC.
CHADRA ZAO
T: 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T: 613-254-9143 X209

LANDSCAPE ARCHITECT
xxx

TRANSPORTATION
CGH Transportation
JOHN KINGSLEY
T: 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T: 613-836-0634

SURVEYOR
xxx

Parking	Phase 1 (South)	Phase 2 (North)	Total
GRADE	4 V	-	4 V
P1	85 (17 V + 66 R)	82 (16 V + 64 R)	167 (33 V + 134 R)
P2	89	87	176 R
TOTAL	178 (21 V + 157 R)	169 (16 V + 153 R)	343 (37 V + 306 R)
*0.84 Residential Parking spots per unit			
*0.1 Visitor Parking Spot per Unit			

1 22-04-13 ISSUED FOR REZONING

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws. Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: mail@hobinarc.com
hobinarc.com



PROJECT LOCATION:

3750 NORTH BOWESVILLE
OTTAWA ON.

DRAWING TITLE:
PARKING LEVEL P2

DRAWN BY: DATE: SCALE:

FB 22-04-12 1:50

PROJECT:

2115

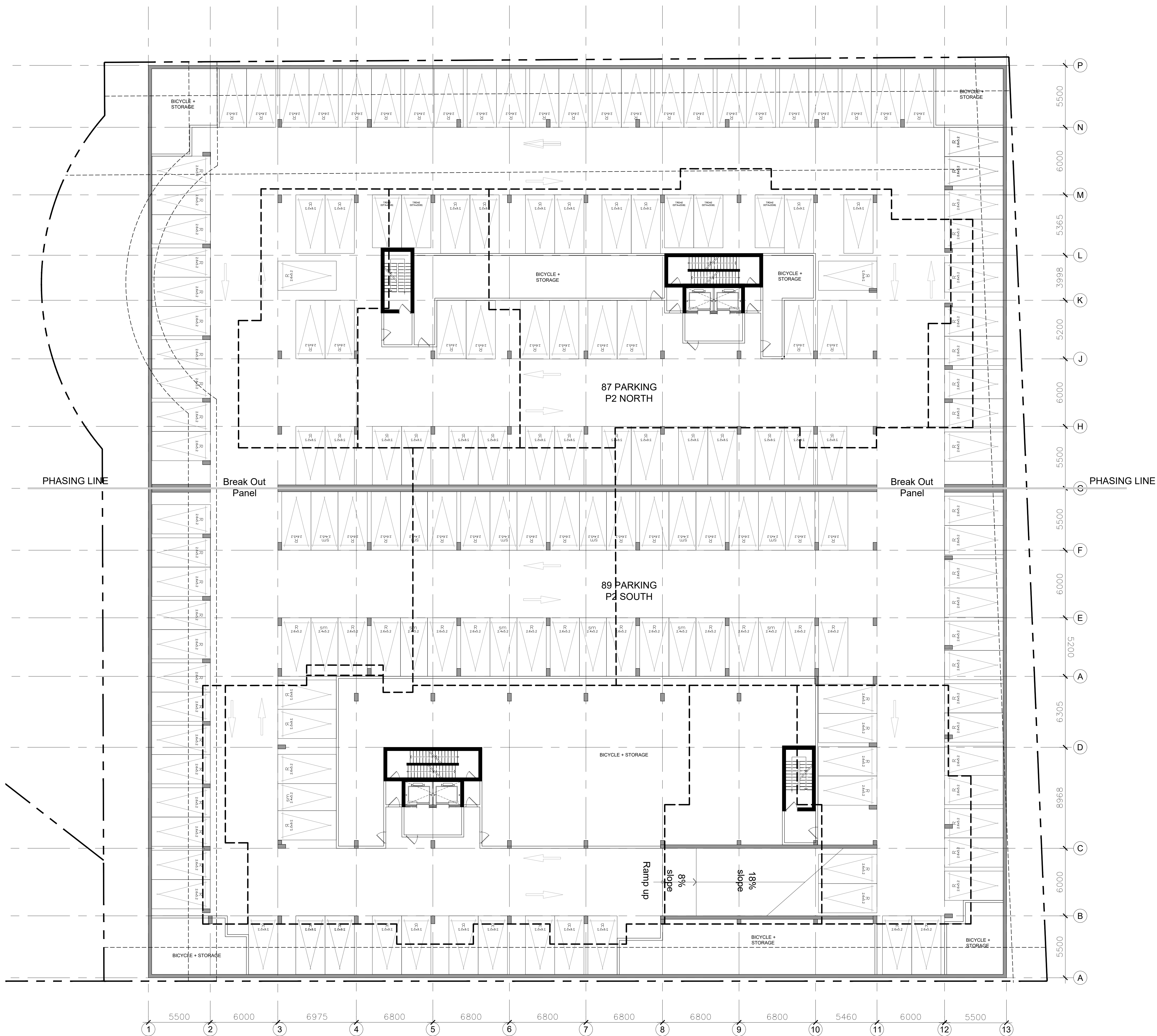
DRAWING NO.:

A2.01

REVISION NO.:

3049

ONTARIO ASSOCIATION
OF ARCHITECTS
Licence
3049



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PARRICK BISSON
T: 613-238-7200

PLANNING
FOTENY CONSULTANTS INC.
CHADVA ZAJC
T: 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T: 613-254-9143 X209

LANDSCAPE ARCHITECT
xxx

TRANSPORTATION
CGH Transportation
JOHN KINGSLEY
T: 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T: 613-836-0634

SURVEYOR
xxx

xxx

1 22-04-13 ISSUED FOR REZONING

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: info@hobinarc.com
hobinarc.com



PROJECT LOCATION:

3750 NORTH BOWESVILLE
OTTAWA ON.

DRAWING TITLE:
GROUND PLAN

DRAWN BY: DATE: SCALE:
PB 22-04-12 1:150

PROJECT:
2115

DRAWING NO.:
A2.02

REVISION NO.:



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 613-238-7200

PLANNING
FOTENN CONSULTANTS INC.
GHADA ZAKI
T 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T 613-254-9643 X209

LANDSCAPE ARCHITECT
XXX

TRANSPORTATION
CGH TRANSPORTATION
JOHN KINGSLEY
T 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T 613-836-0634

SURVEYOR
XXX

BIRD FRIENDLY GLASS: AS PER CITY BIRD SAFE GUIDELINES OUTLINE 2. Transparency is to be achieved by:
1. GLASS PROVIDED WITH LOW REFLECTIVITY VALUE 4
2. GLASS PROVIDED WITH BALCONY RAILINGS ON LEVEL 4
3. GLASS PROVIDED WITH BALCONY RAILINGS ON ROOF TERRACE LEVELS

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:

NEW BUILD	
AP-1	ALUMINUM PANEL 1
AP-2	ALUMINUM PANEL 2
MA-1	MASONRY VENEER 1
BV-1	BRICK VENEER 1
BV-2	BRICK VENEER 2
GR	GLASS RAILING
SP-1	SPANDREL PANEL 1
SP-2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 5K6
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT/LOCATION:
3750 NORTH BOWESVILLE

DRAWING TITLE:
ELEVATIONS

DRAWN BY: PB **DATE:** 220411 **SCALE:** 1:150

PROJECT: 2115

DRAWING NO.: A3-00

REVISION NO.:



1 North Elevation
A3.00 Scale: 1: 150



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 613-238-7200

PLANNING
FOTENN CONSULTANTS INC.
GHADA ZAKI
T 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T 613-254-9643 X209

LANDSCAPE ARCHITECT
XXX

TRANSPORTATION
CGH TRANSPORTATION
JOHN KINGSLEY
T 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T 613-836-0434

SURVEYOR
XXX

BRID FRIENDLY GLASS: AS PER CITY BRD SAFE GUIDELINES OUTLINE 2. Transparency to be achieved as follows:
1. GLASS PROVIDED FOR LOW REFLECTIVITY VALUE 4
2. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON LEVEL 4
3. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:

NEW BUILD	
AP-1	ALUMINUM PANEL 1
AP-2	ALUMINUM PANEL 2
MA-1	MASONRY VENEER 1
BV-1	BRICK VENEER 1
BV-2	BRICK VENEER 2
GR	GLASS RAILING
SP-1	SPANDREL PANEL 1
SP-2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 5K6
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT/LOCATION:
3750 NORTH BOWESVILLE

DRAWING TITLE:
ELEVATIONS

DRAWN BY: PB **DATE:** 220411 **SCALE:** 1:150

PROJECT: 2115

DRAWING NO.: A3-01

REVISION NO.:



1 South Elevation
A3.01 Scale: 1: 150

PROJECT TEAM

ARCHITECT
 HOBIN ARCHITECTURE
 PATRICK BISSON
 T 613-238-7200

PLANNING
 FOTENN CONSULTANTS INC.
 GHADA ZAKI
 T 613-730-5709

CIVIL
 RCI ENGINEERING
 ANGELA JONKMAN
 T 613-254-9643 X209

LANDSCAPE ARCHITECT
 XXX

TRANSPORTATION
 CGH TRANSPORTATION
 JOHN KINGSLEY
 T 613-410-8243

ENVIRONMENTAL
 GRADIENT WIND ENGINEERING
 JUSTIN FERRARO
 T 613-836-0434

SURVEYOR
 XXX

BRID FRENELY GLASS: AS PER CITY BRID SAFE GUIDELINES OUTLINE 2. Transparency is achieved by:
 1. GLASS PROVIDED FOR LOW REFLECTIVITY VALUE 4
 2. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON LEVEL 4
 3. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:

NEW BUILD	
AP-1	ALUMINUM PANEL 1
AP-2	ALUMINUM PANEL 2
MA-1	MASONRY VENEER 1
BV-1	BRICK VENEER 1
BV-2	BRICK VENEER 2
GR	GLASS RAILING
SP-1	SPANDREL PANEL 1
SP-2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
 Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 5K6
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION:
 3750 NORTH BOWESVILLE

DRAWING TITLE:
 ELEVATIONS

DRAWN BY: PB **DATE:** 220411 **SCALE:** 1:150

PROJECT: 2115

DRAWING NO.: A3-02

REVISION NO.:



1 East Elevation
A3.02 Scale: 1: 150



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 613-238-7200

PLANNING
FOTENN CONSULTANTS INC.
GHADA ZAKI
T 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T 613-254-9643 X209

LANDSCAPE ARCHITECT
XXX

TRANSPORTATION
CGH TRANSPORTATION
JOHN KINGSLEY
T 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T 613-836-0634

SURVEYOR
XXX

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T 613-836-0634

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:

NEW BUILD	
AP-1	ALUMINUM PANEL 1
AP-2	ALUMINUM PANEL 2
MA-1	MASONRY VENEER 1
BV-1	BRICK VENEER 1
BV-2	BRICK VENEER 2
GR	GLASS RAILING
SP-1	SPANDREL PANEL 1
SP-2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 5K6
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT/LOCATION:
3750 NORTH BOWESVILLE

DRAWING TITLE:
ELEVATIONS

DRAWN BY: PB **DATE:** 220411 **SCALE:** 1:150

PROJECT: 2115

DRAWING NO.: A3-03

REVISION NO.:



1 West Elevation
A3.03 Scale: 1: 150

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 613-238-7200

PLANNING
FOTENN CONSULTANTS INC.
GHADA ZAKI
T 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T 613-254-9643 X209

LANDSCAPE ARCHITECT
XXX

TRANSPORTATION
CGH TRANSPORTATION
JOHN KINGSLEY
T 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T 613-836-0634

SURVEYOR
XXX

BRID-FRIENDLY GLASS: AS PER CITY BRID SAFETY GUIDELINES OUTLINE 2, Transparency is required for all glass panels. For all glass panels, the following must be used:
1. GLASS PROVIDED FOR LOW REFLECTIVITY (L4)
2. GLASS PROVIDED FOR BALCONY RAILINGS (L4)
3. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:

NEW BUILD	
AP-1	ALUMINUM PANEL 1
AP-2	ALUMINUM PANEL 2
MA-1	MASONRY VENEER 1
BV-1	BRICK VENEER 1
BV-2	BRICK VENEER 2
GR	GLASS RAILING
SP-1	SPANDREL PANEL 1
SP-2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 5K6
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT/LOCATION:
3750 NORTH BOWESVILLE

DRAWING TITLE:
ELEVATIONS

DRAWN BY: PB
DATE: 220411
SCALE: 1:150

PROJECT: 2115

DRAWING NO.: A3-04

REVISION NO.:



1 Interior South Elevation
A3.04 Scale: 1: 150

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 613-238-7200

PLANNING
FOTENN CONSULTANTS INC.
GHADA ZAKI
T 613-730-5709

CIVIL
RCI ENGINEERING
ANGELA JONKMAN
T 613-254-9643 X209

LANDSCAPE ARCHITECT
XXX

TRANSPORTATION
CGH TRANSPORTATION
JOHN KINGSLEY
T 613-410-8243

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JUSTIN FERRARO
T 613-836-0434

SURVEYOR
XXX

BRID FRIENLY GLASS AS PER CITY BRD SAFE GUIDELINES OUTLINE 2. Transparency to be achieved by:
1. GLASS PROVIDED FOR LOW REFLECTIVITY VALUE 4
2. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON LEVEL 4
3. GLASS PROVIDED FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

1	22-04-13	ISSUED FOR REZONING
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

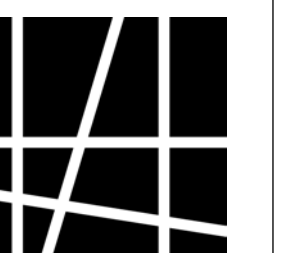
This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:

NEW BUILD	
AP-1	ALUMINUM PANEL 1
AP-2	ALUMINUM PANEL 2
MA-1	MASONRY VENEER 1
BV-1	BRICK VENEER 1
BV-2	BRICK VENEER 2
GR	GLASS RAILING
SP-1	SPANDREL PANEL 1
SP-2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 5K6



T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com

HOBIN
ARCHITECTURE

PROJECT/LOCATION:

3750 NORTH BOWESVILLE

DRAWING TITLE:

ELEVATIONS

DRAWN BY: DATE: SCALE:

PB

220411

1:150

PROJECT: DRAWING NO.:

2115

A3-05



REVISION NO.:

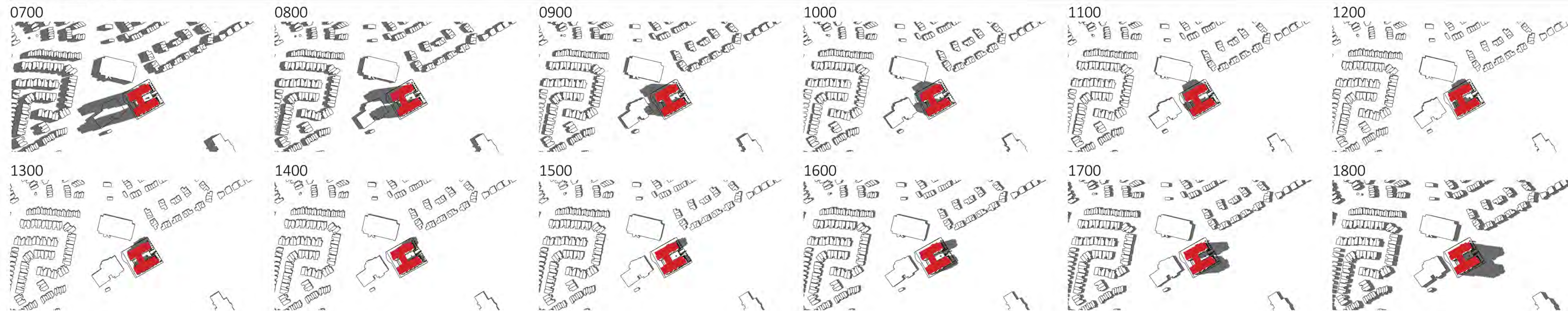


1 Interior North Elevation

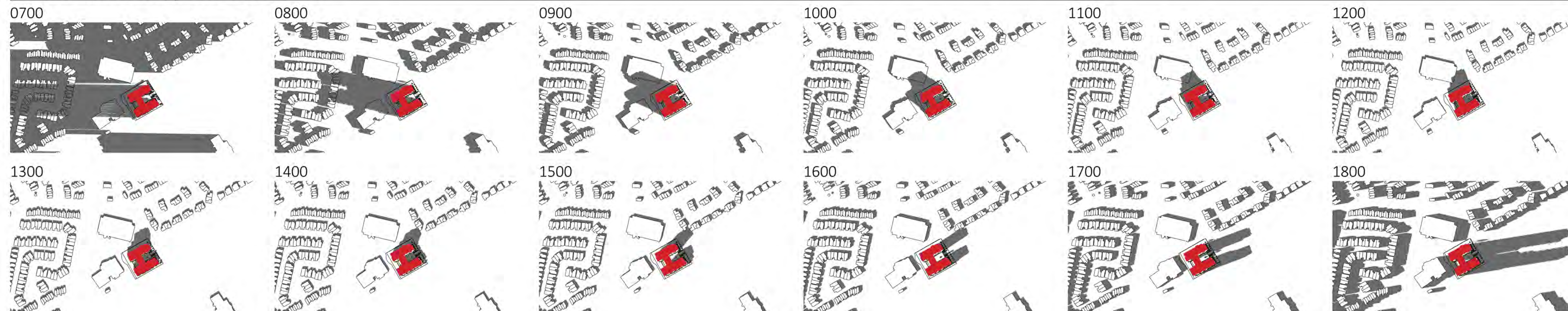
A3.05 Scale: 1: 150

SUN & SHADOW STUDY - 2115 TUDOR-BOWESVILLE ROAD

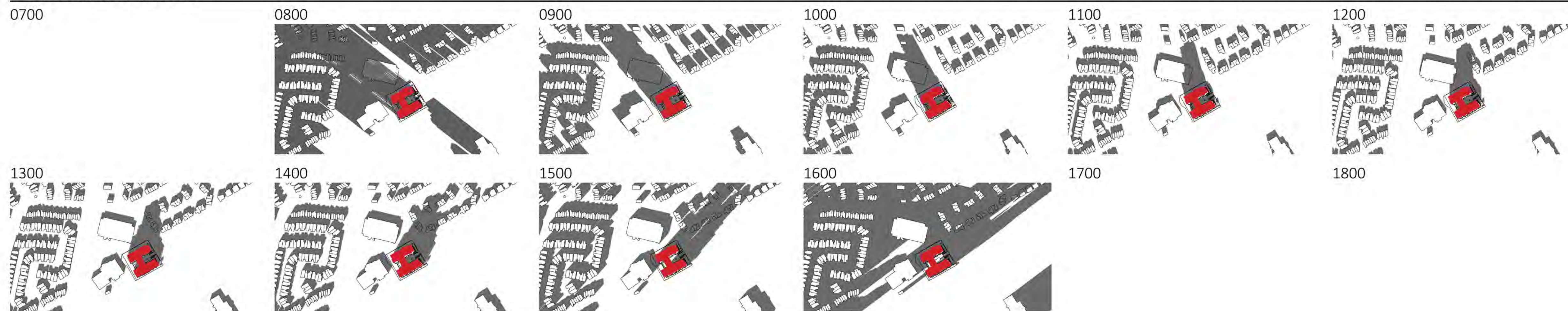
JUNE 21



SEPTEMBER / MARCH 21



DECEMBER 21



PROJECT TEAM

ARCHITECT
 HOBIN ARCHITECTURE
 PATRICK BISSON
 T 613-238-7200

PLANNING
 FOTENI CONSULTANTS INC.
 GHADA ZAKI
 T 613-730-5709

CIVIL
 RCI ENGINEERING
 ANGELA JONKMAN
 T 613-254-9643 X209

LANDSCAPE ARCHITECT
 XXX

TRANSPORTATION
 CGH TRANSPORTATION
 JOHN KINGSLEY
 T 613-410-8243

ENVIRONMENTAL
 GRADIENT WIND ENGINEERING
 JUSTIN FERRARO
 T 613-836-0434

SURVEYOR
 XXX

WIND FRIENDLY GLASS: AS PER CITY BRD. SAFE GUIDELINES OUTLINE 2.1, 2.2 AND 2.3. 1. GLASS PROTECTED FROM LOW VELOCITY WINDS. 2. GLASS PROTECTED FROM LOW VELOCITY WINDS. 3. GLASS PROTECTED FROM ALL BALCONY WINDS. 4. GLASS PROTECTED FROM ALL BALCONY WINDS. 5. GLASS PROTECTED FROM ALL BALCONY WINDS ON ROOF TERRACE LEVELS.

1	22-04-13	ISSUED FOR ZONING
---	----------	-------------------

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

LEGEND:	
NEW BUILD	
AP1	ALUMINUM PANEL 1
AP2	ALUMINUM PANEL 2
MA1	MASONRY VENEER 1
BV1	BRICK VENEER 1
BV2	BRICK VENEER 2
GR	GLASS RAILING
SP1	SPANDREL PANEL 1
SP2	SPANDREL PANEL 2
VG	VISION GLASS

Hobin Architecture
 Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 5K6
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION:
 3750 NORTH BOWESVILLE

DRAWING TITLE:
 SUN SHADOW ANALYSIS

DRAWN BY: PB **DATE:** 220411 **SCALE:** N/A

PROJECT: 2115

DRAWING NO.: A3-06

REVISION NO.:





3750 NORTH BOWESVILLE ROAD

VIEW FROM NORTH - WEST CORNER, SITE ACCESS



3750 NORTH BOWESVILLE ROAD

BUILDING ENTRANCES & DROP-OFF LOOP



3750 NORTH BOWESVILLE ROAD

VIEW FROM SOUTH - WEST CORNER

22.04.12



3750 NORTH BOWESVILLE ROAD

VIEW FROM NORTH - EAST CORNER

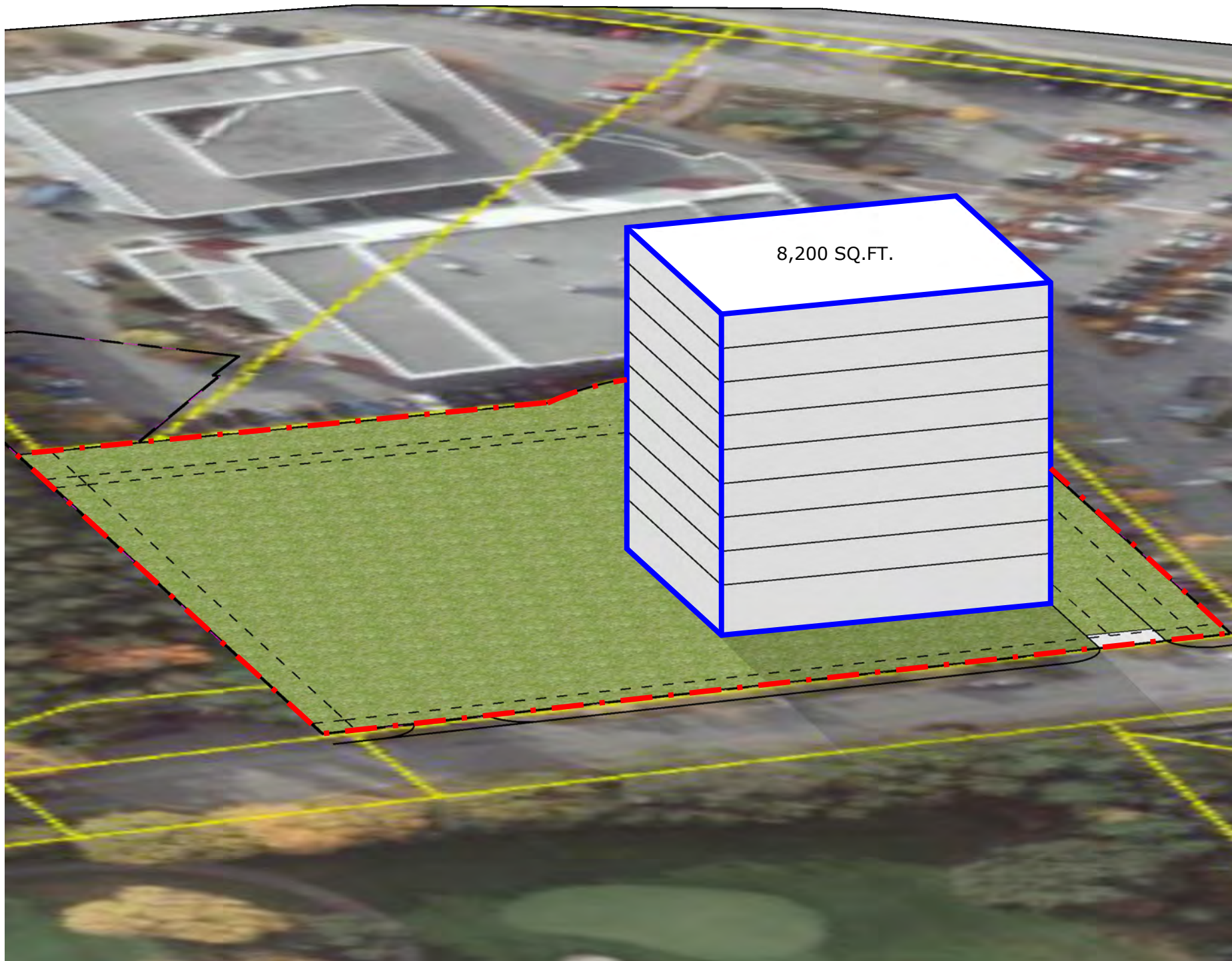
22.04.12



3750 NORTH BOWESVILLE ROAD

VIEW FROM SOUTH - EAST CORNER

22.04.12



FSI:

Plate Size = 8,200 sq.ft. (9 storeys) ———
 Total GFA = 73,800 sq.ft.

Total Site Area = 73,405 sq.ft. - - - - -

FSI = Total GFA/Total Site Area
 = 73,800/73,405
 = 1 FSI



3750 NORTH BOWESVILLE ROAD

FSI DIAGRAM