

FENGATE/CANDEREL LIMITED PARTNERSHIP

1209 ST LAURENT BLVD.

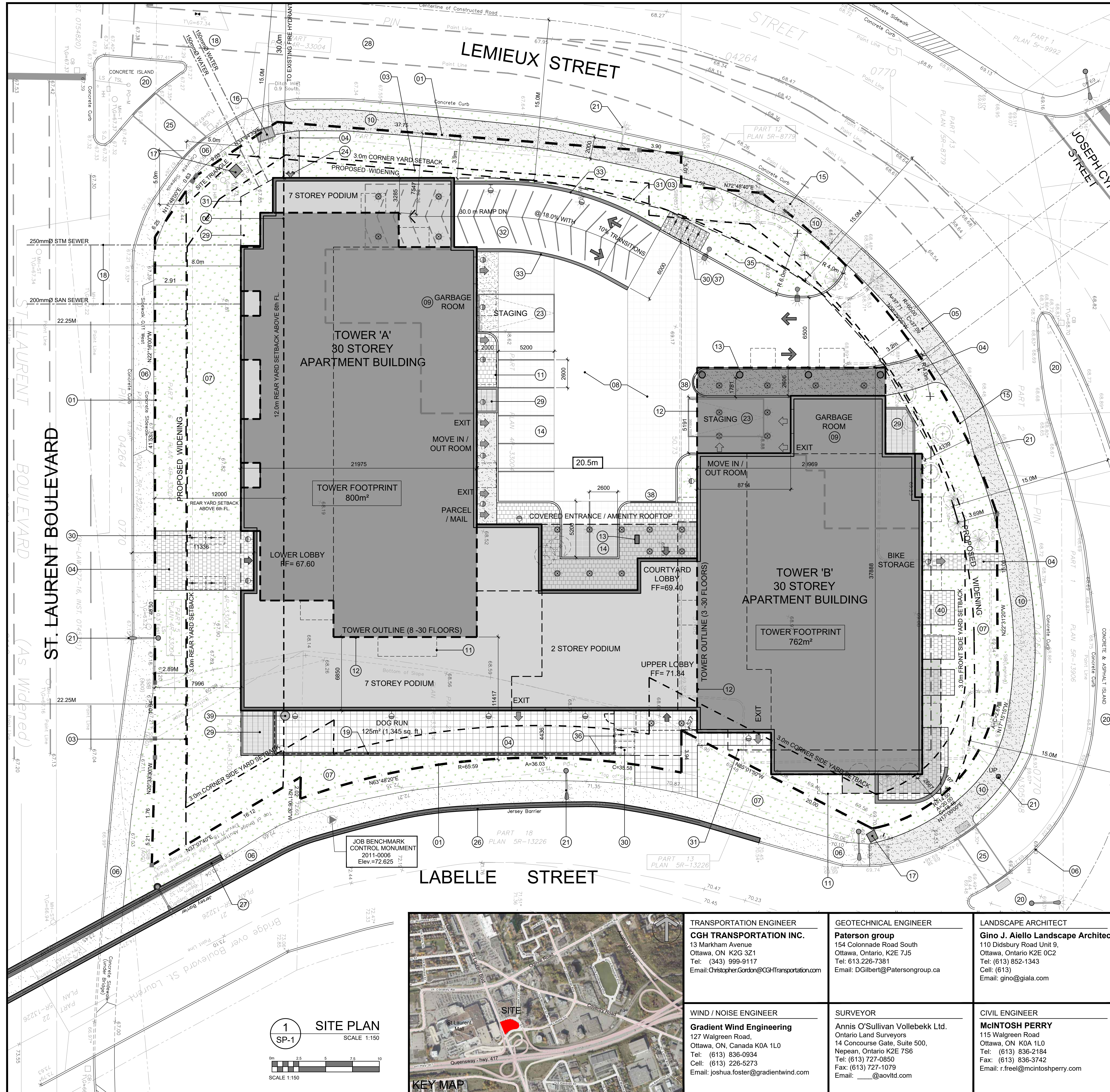
K1J 1A2, OTTAWA, ONTARIO

RLA PROJECT #: 2203

ISSUED FOR SPC 1st COMMENT RESPONSE

2022-12-14





PROJECT INFORMATION	
Zoning By-law 2006-250 Consolidation	TD3
SITE AREA	0.428 ha, 4,279.77 sq. m, 31,398 sq. ft.
ZONING	REQUIRED
BUILDING HEIGHT	30 STOREYS / 90.0m
GRADE (GEODETTIC ELEVATION - ASL)	69.20m ASL
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0m
DENSITY - MINIMUM 350 units/hectare	122 UNITS
TOWER SEPARATION	24.0m
FRONT YARD SETBACK	3.0m
CORNER YARD SETBACK (North - Lemieux / South - Labelle)	3.0m / 3.0m
REAR YARD SETBACK (GROUND TO 5th FLOOR)	0.0m
REAR YARD SETBACK (ABOVE 6th STOREY)	12.0m
PUBLIC STREET SETBACK FOR BUILDINGS WITHIN 10m OF A LOT LINE AT EITHER 2nd THROUGH 7th FLOOR	2.5m
AMENITY AREA - TOTAL PER UNIT	6.0m ²
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0m ²
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	85.6m ²
VEHICLE PARKING - RESIDENTIAL (AREA "Z" - MIN. 0 / MAX. 1.75 PER UNIT)	NOT REQUIRED
VEHICLE PARKING - VISITOR ONLY (MAX. 30 PER BUILDING AFTER 12 UNITS)	60
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	322
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m
ACTIVE STREET FRONTAGE FOR ST. LAURENT (50% OF LOT WIDTH)	29.26m L
PROVIDED	REQUIRED
30 STOREYS / 95.0m	69.20m ASL
4.6m	0.0m
276 UNITS	122 UNITS
20.5m	24.0m
0.0m	3.0m
8.0m	0.0m
8.0m	12.0m
0.0m	2.5m
7.0m ²	6.0m ²
3.2m ²	3.0m ²
125.0m ²	85.6m ²
299	NOT REQUIRED
658	322
6.0m	6.0m / 6.7m
49.0m L	29.26m L

DRAWING NOTES	
1	PROPERTY LINE
2	BUILDING SETBACKS
3	PROPOSED ROAD WIDENING
4	HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
5	DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, SEE CIVIL
6	EXISTING STREET CURB AND SIDEWALK
7	SOFT LANDSCAPING, SEE LANDSCAPE PLAN
8	ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
9	INTERNAL GARBAGE ROOM
10	2.0m WIDE CONCRETE SIDEWALK
11	OUTLINE OF PRIVATE BALCONY ABOVE
12	OUTLINE OF TOWER ABOVE
13	STRUCTURAL SUPPORT FOR BUILDING ABOVE
14	SURFACE PARKING SPACE 2.6 X 5.2 M
15	EXISTING TREE TO BE REMOVED
16	EXISTING STORM GRATE
17	EXISTING UTILITY KIOSK
18	PROPOSED SERVICES
19	RETAINING WALL, SEE CIVIL FOR HEIGHT
20	EXISTING CONCRETE / ASPHALT ISLAND
21	EXISTING UTILITY / LIGHT POLE
22	1.2 X 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
23	3.5 X 7.0m LOADING SPACE
24	SIAMSE CONNECTION
25	EXISTING CROSSWALK WITH DEPRESSED CURBS
26	EXISTING CONCRETE JERSEY BARRIER
27	EXISTING CONCRETE OVERPASS GUARDRAIL WITH METAL PIPE RAILING
28	EXISTING FIRE HYDRANT
29	INTAKE / EXHAUST GRILL
30	BICYCLE PARKING SPACE WITH RACK
31	OUTLINE OF BELOW GRADE PARKING DECK
32	HEATED GARAGE RAMP WITH TRENCH DRAIN
33	CONCRETE RETAINING WALL WITH GUARD RAILING
34	RELOCATE UTILITY / LIGHT POLE AS NEEDED
35	TEMPORARY SNOW STORAGE - SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
36	PRIVACY FENCE
37	WASHED PEA-STONE SURFACE
38	DEPRESSED CURB
39	ACCESS TO INTERNAL CISTERN
40	AT GRADE PRIVATE PATIOS

GROSS BUILDING FLOOR AREA (OTTAWA ZONING DEFINITION)	
BELOW GRADE PARKING LEVEL	0.0 sq. m, 0.00 sq. ft.
GROUND FLOOR	199.6 sq. m, 2,149 sq. ft.
2nd FLOOR - TOWER 'A'	694.6 sq. m, 7,477 sq. ft.
2nd FLOOR - TOWER 'B'	485.5 sq. m, 5,226 sq. ft.
3rd - 7th FLOOR - TOWER 'A'	5 x 864.9 sq. m, 4,324.6 sq. m, 46,550 sq. ft.
3rd - 7th FLOOR - TOWER 'B'	5 x 644.8 sq. m, 3,224.2 sq. m, 34,708 sq. ft.
8th FLOOR - TOWER 'A'	600.9 sq. m, 6,468 sq. ft.
8th FLOOR - TOWER 'B'	387.3 sq. m, 4,182 sq. ft.
9th - 20th FLOOR - TOWER 'A'	12 x 622.8 sq. m, 7,473.8 sq. m, 80,448 sq. ft.
21st - 30th FLOOR - TOWER 'A'	10 x 628.8 sq. m, 6,288.8 sq. m, 67,860 sq. ft.
9th - 30th FLOOR - TOWER 'B'	22 x 587.3 sq. m, 12,921.3 sq. m, 139,084 sq. ft.
TOTAL AREA ABOVE GRADE	36,797.9 sq. m, 396,089 sq. ft.

UNIT STATISTICS			
STUDIO	15	18	33
1 BEDROOM UNIT	184	164	348
2 BEDROOM UNIT	136	127	263
TOTAL	335	309	644

CAR PARKING			
REQUIRED			
VISITOR - TOWER A	-0.1 PER UNIT AFTER 12 UNITS	30	
VISITOR - TOWER B	-0.1 PER UNIT AFTER 12 UNITS	30	
TOTAL		60	
MAXIMUM PARKING AS PER TABLE 103 + 1.75 PER UNIT		1,175	
PROVIDED			
RESIDENCE	-0.46 PER UNIT (644 UNITS)	299	
VISITOR	-0.093 PER UNIT (644 UNITS)	60	
TOTAL		359	
STANDARD PARKING SPACE	2.6m X 5.2m		
SMALL CAR PARKING SPACE	2.4m X 4.6m		
LOADING SPACE	3.5m X 7.0m		

BICYCLE PARKING			
REQUIRED	-0.5 PER UNIT (644 UNITS)	322	
PROVIDED			
INTERIOR		366	
EXTERIOR		14	

AMENITY AREA	
GRADE EXTERIOR - COMMUNAL	125.0 sq. m, 1,345 sq. ft.
1st FLOOR INTERIOR - COMMUNAL	546.0 sq. m, 5,864 sq. ft.
2nd FLOOR INTERIOR - COMMUNAL	467.0 sq. m, 5,023 sq. ft.
2nd FLOOR TERRACE - COMMUNAL	114.0 sq. m, 1,228 sq. ft.
31st FLOOR INTERIOR - COMMUNAL	245.0 sq. m, 2,638 sq. ft.
31st FLOOR TERRACE - COMMUNAL	548.0 sq. m, 5,883 sq. ft.
BALCONIES / TERRACE - PRIVATE	2,500 sq. m, 26,811 sq. ft.
TOTAL	4,545.0 sq. m, 48,932 sq. ft.
TOTAL COMMUNAL	2,045.0 sq. m, 22,067 sq. ft.
REQUIRED (644 UNITS X 6 m ²) = 3,864 sq. m	
REQUIRED COMMUNAL @ 50% = 1,932 sq. m	

SITE COVERAGE	
BUILDING FOOTPRINT	46.3%, 1,979.5 sq. m
DRIVING SURFACE	17.9%, 766.4 sq. m
LANDSCAPE AREA	35.8%, 1,533.9 sq. m
TOTAL	100.0%, 4,279.77 sq. m

REFUGES REQUIREMENT (644 UNITS)	
GARBAGE	-0.11 PER UNIT
RECYCLING GMP	-0.018 PER UNIT
RECYCLING FIBER	-0.038 PER UNIT
COMPOST	-24.0L PER 50 UNITS

SITE PLAN SYMBOLS	
	CONCRETE UNIT PAVERS SURFACE
	PROPOSED CONCRETE SURFACE
	SOFT LANDSCAPING
	BIKE RACK
	TWO WAY VEHICLE CIRCULATION
	MAIN ENTRANCE
	UNIT BALCONY DOOR / FIRE EXIT
	PROPERTY LINE
	PROPOSED WIDENING
	EXISTING TREE TO BE REMOVED

LEGAL DESCRIPTION	PROJECT DEVELOPER
PART OF SURVEY OF PLAN OF LOTS 4 and 14 REGISTERED PLAN 23 CITY OF OTTAWA Surveyed by Annis, O'Sullivan, Vollebakk Ltd.	Canderel 900 - 2000 Peel Street, Montreal Qu. H3A 2W5 Tel.: (514) 940-1420 E-Mail: mbelanger@canderel.com

URBAN PLANNER	PROJECT DEVELOPER
Fotenn Consultants Inc. 396 Cooper Street, Suite 300 Ottawa, ON Canada, K2P 2H7 Tel.: (613) 730-5709 Fax: (613) 730-1136 E-Mail: black@fotenn.com	FENGATE Asset. Management TD North Tower 77 King Street West, Suite 3410 Toronto, Ontario, M5K 1H1 Tel.: (647) 966-5021 Cell: (647) E-Mail: andrew.konev@fengate.com

TRANSPORTATION ENGINEER	GEOTECHNICAL ENGINEER	LANDSCAPE ARCHITECT
CGH TRANSPORTATION INC. 13 Markham Avenue Ottawa, ON K2G 3Z1 Tel: (613) 999-9117 Email: Christopher.Gordon@CGHTransportation.com	Paterson group 154 Colomnade Road South Ottawa, Ontario, K2E 7J5 Tel: (613) 852-7381 Tel: (613) 727-0850 Fax: (613) 727-1079 Email: DGilbert@Patersongroup.ca	Gino J. Aiello Landscape Architect 110 Didsbury Road Unit 9, Ottawa, Ontario K2E 0C2 Tel: (613) 852-1343 Cell: (613) Email: gino@giatala.com

WIND / NOISE ENGINEER	SURVEYOR	CIVIL ENGINEER
Gradient Wind Engineering 127 Walgreen Road, Ottawa, ON, Canada K0A 1L0 Tel: (613) 836-0934 Cell: (613) 226-5273 Email: joshua.foster@gradientwind.com	Annis O'Sullivan Vollebakk Ltd. Ontario Land Surveyors 14 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 836-3742 Fax: (613) 727-1079 Email: @aovtld.com	McINTOSH PERRY 115 Walgreen Road Ottawa, ON K0A 1L0 Tel: (613) 836-2184 Tel: (613) 836-3742 Email: r.freel@mcintoshperry.com

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No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:
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56 Beech Street, Ottawa, Ontario K1S 3J6
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PROJECT TITLE:

1209 ST LAURENT BLVD.

K1J 1A2

SHEET TITLE:

P2-4 PLAN

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11	FOR COORD	22-12-12
10	FOR COORD	22-11-29
1	SITE PLAN CONTROL	22-05-24

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SHEET TITLE:

P1 PLAN

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PROJECT No: 2203	


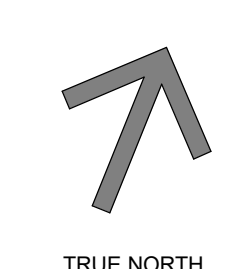
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11	FOR COORD	22-12-12
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K1J 1A2

SHEET TITLE:

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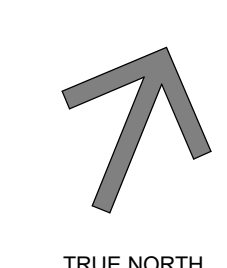
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11	FOR COORD	22-12-12
10	FOR COORD	22-11-29
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:
1209 ST LAURENT BLVD.
 K1J 1A2

SHEET TITLE:
GROUND FLOOR PLAN

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PROJECT No: 2203	


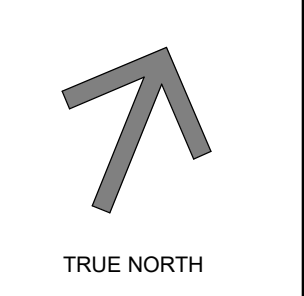
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1	SITE PLAN CONTROL	22-05-24

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SHEET TITLE:
L2 PLAN

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ST LAURENT BLVD.

LEMIEUX ST.

JOSEPH CYR ST.

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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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SHEET TITLE:

L3-L7- TYPICAL PODIUM PLAN


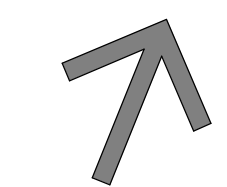
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

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PROJECT TITLE:
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K1J 1A2

SHEET TITLE:
 L8 PLAN

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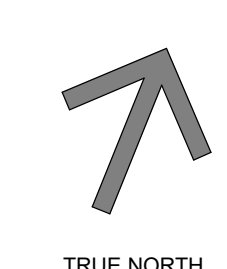
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PROJECT TITLE:
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SHEET TITLE:
 TYPICAL TOWER PLAN 1

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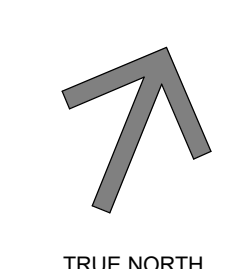
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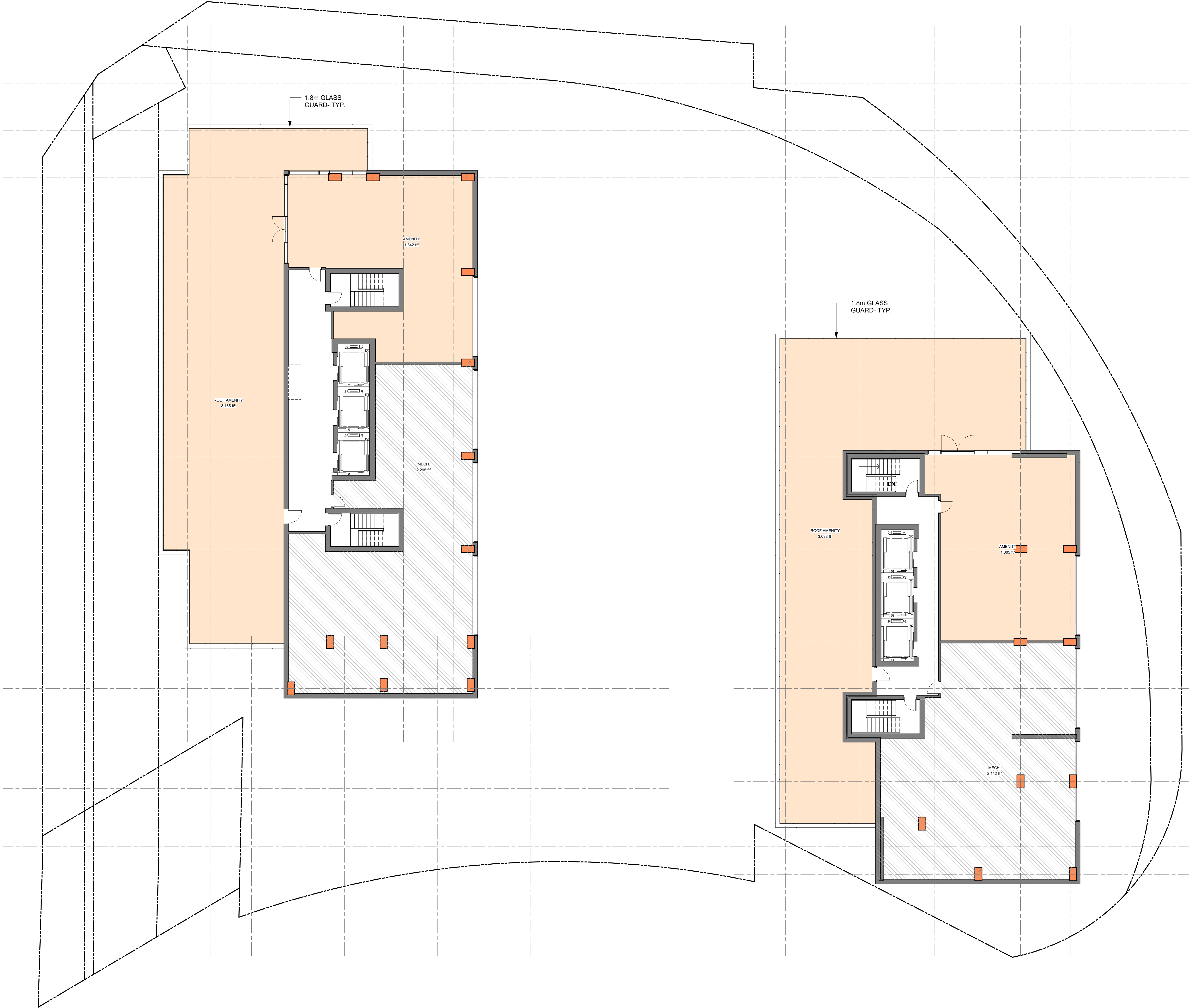
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TYPICAL TOWER PLAN 2


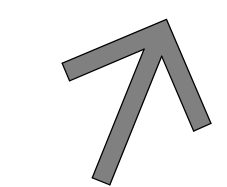
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12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12

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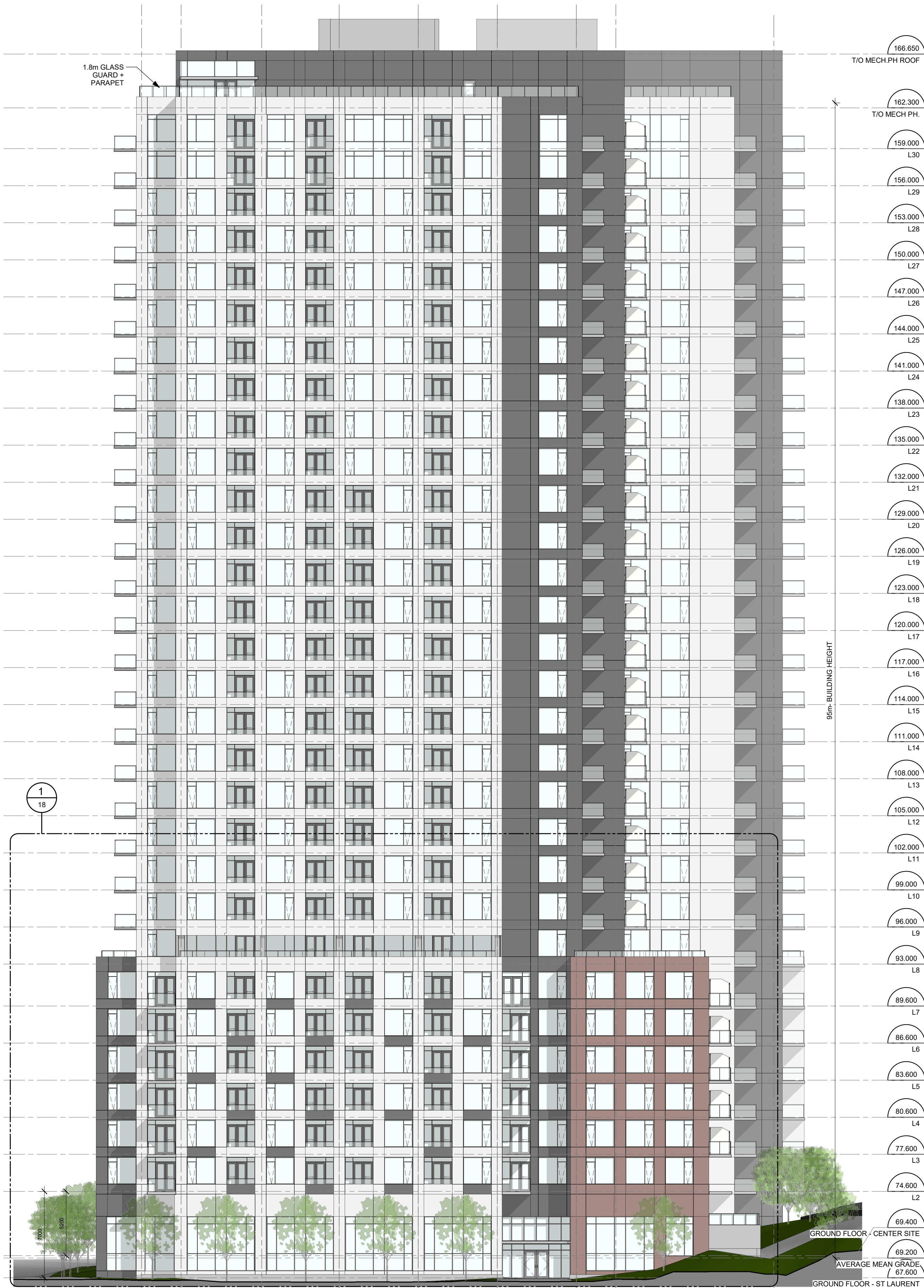
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SHEET TITLE:
 ROOF AMENITY & MECH. PH

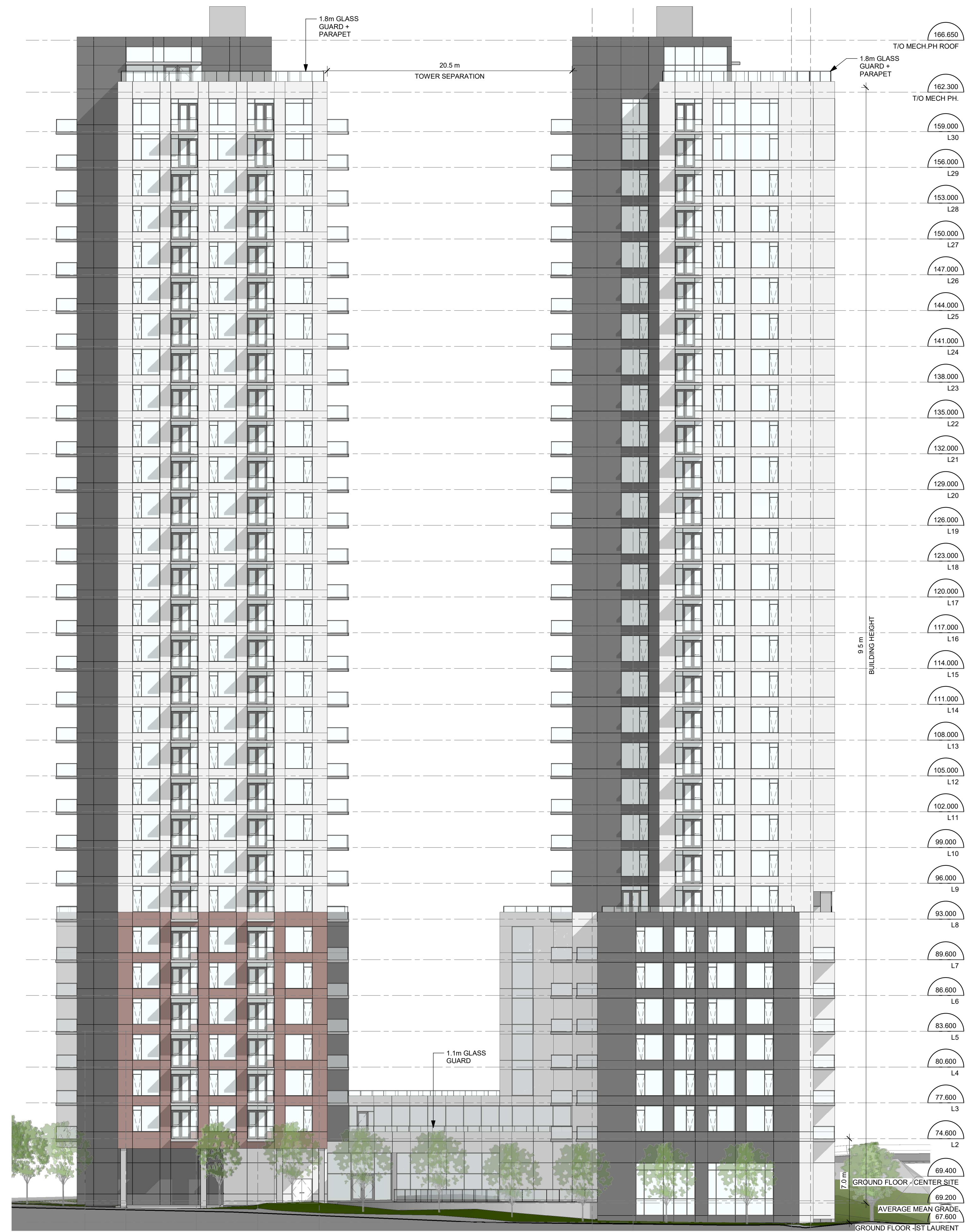
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SCALE: 1 : 125	SHEET No: 11.1
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm) PLOT SCALE: 1:1 PLOT DATE: 12/13/2022 10:51:54 AM

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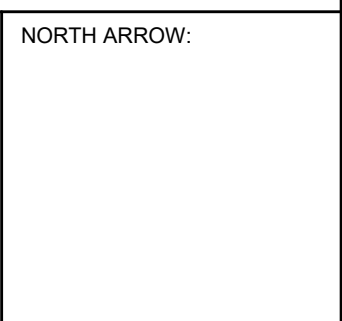


WEST ELEVATION - ST LAURENT



NORTH ELEVATION - LEMIEUX

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **FENGATE** Asset Management
Canderel

ARCHITECT: **rla/architecture**
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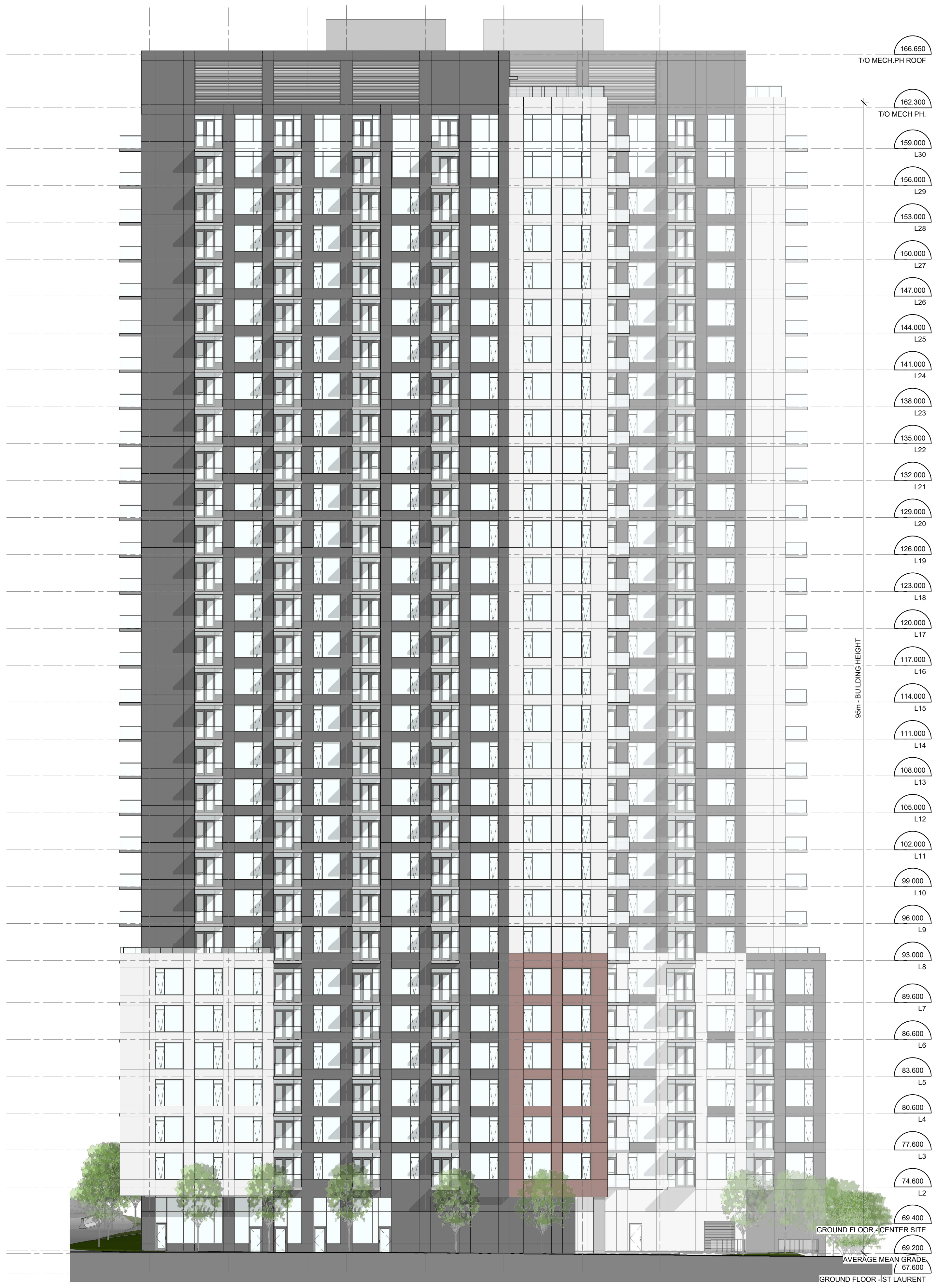
PROJECT TITLE:
1209 ST LAURENT BLVD.
K1J 1A2

SHEET TITLE:
WEST AND NORTH ELEVATIONS

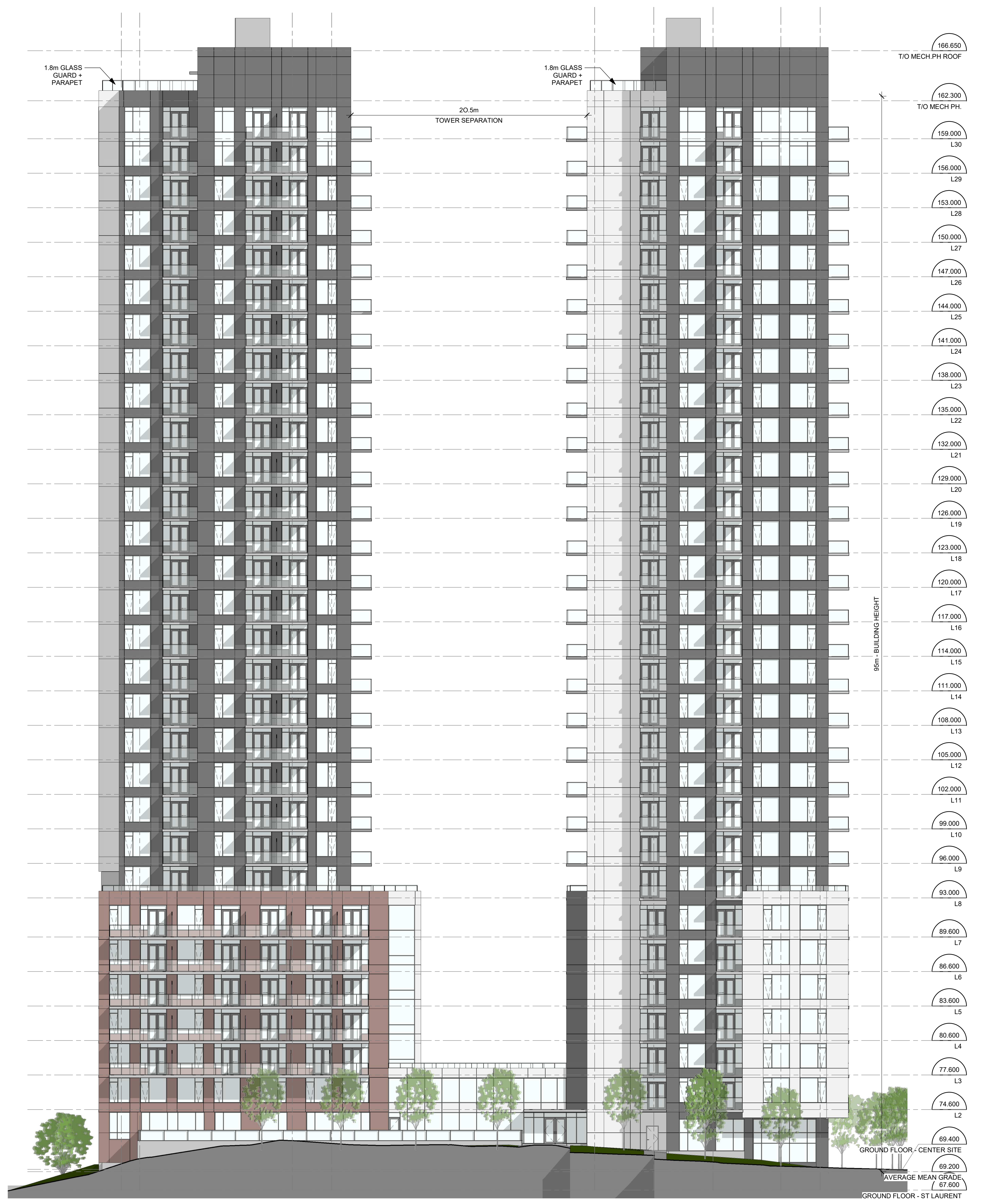
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SCALE: 1 : 200	SHEET No: 12
PROJECT No: 2203	

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EAST ELEVATION - LEMIEUX



SOUTH ELEVATION - QUEENSWAY

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: **FENGATE**
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Canderel

ARCHITECT: **rla/architecture**
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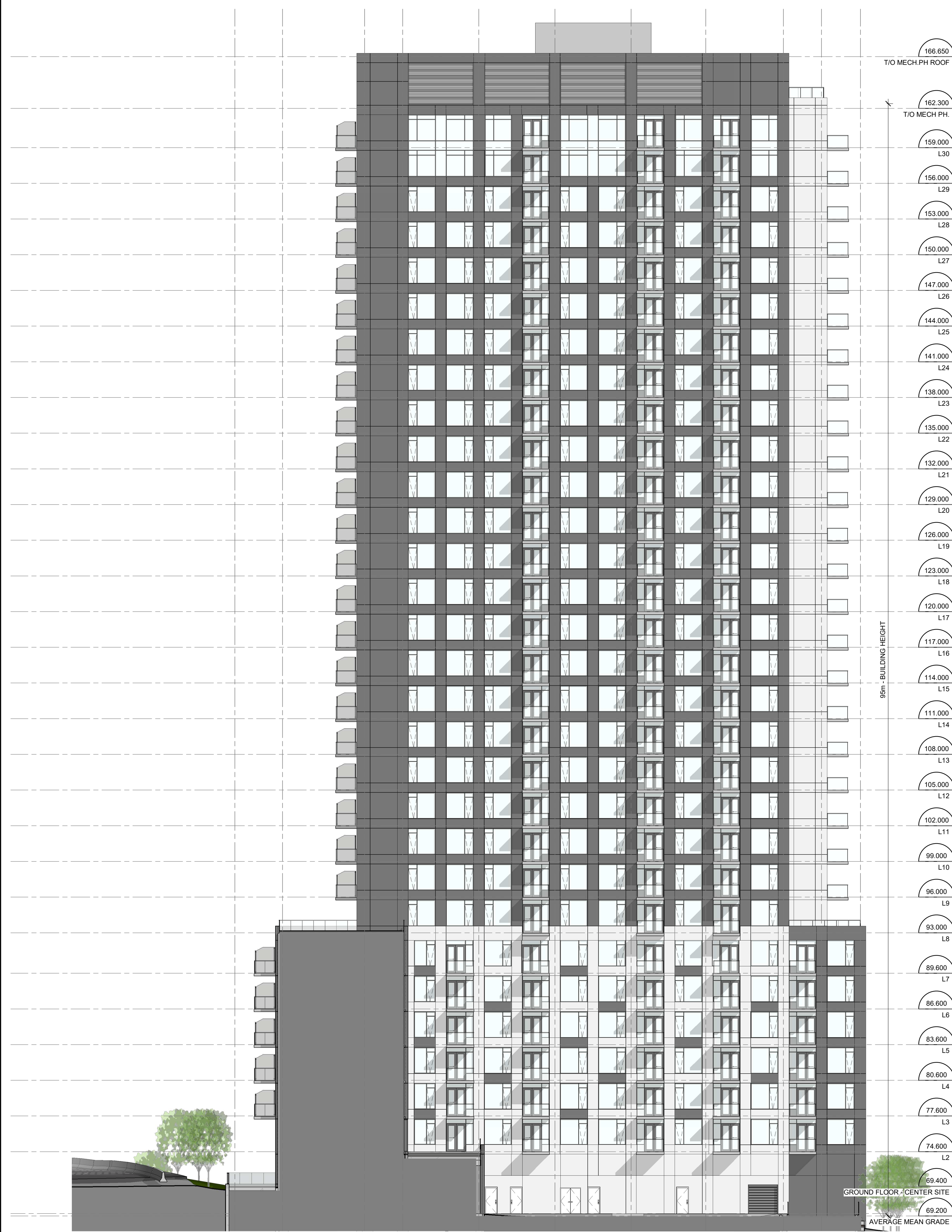
PROJECT TITLE:
1209 ST LAURENT BLVD.
K1J 1A2

SHEET TITLE:
EAST AND SOUTH ELEVATIONS

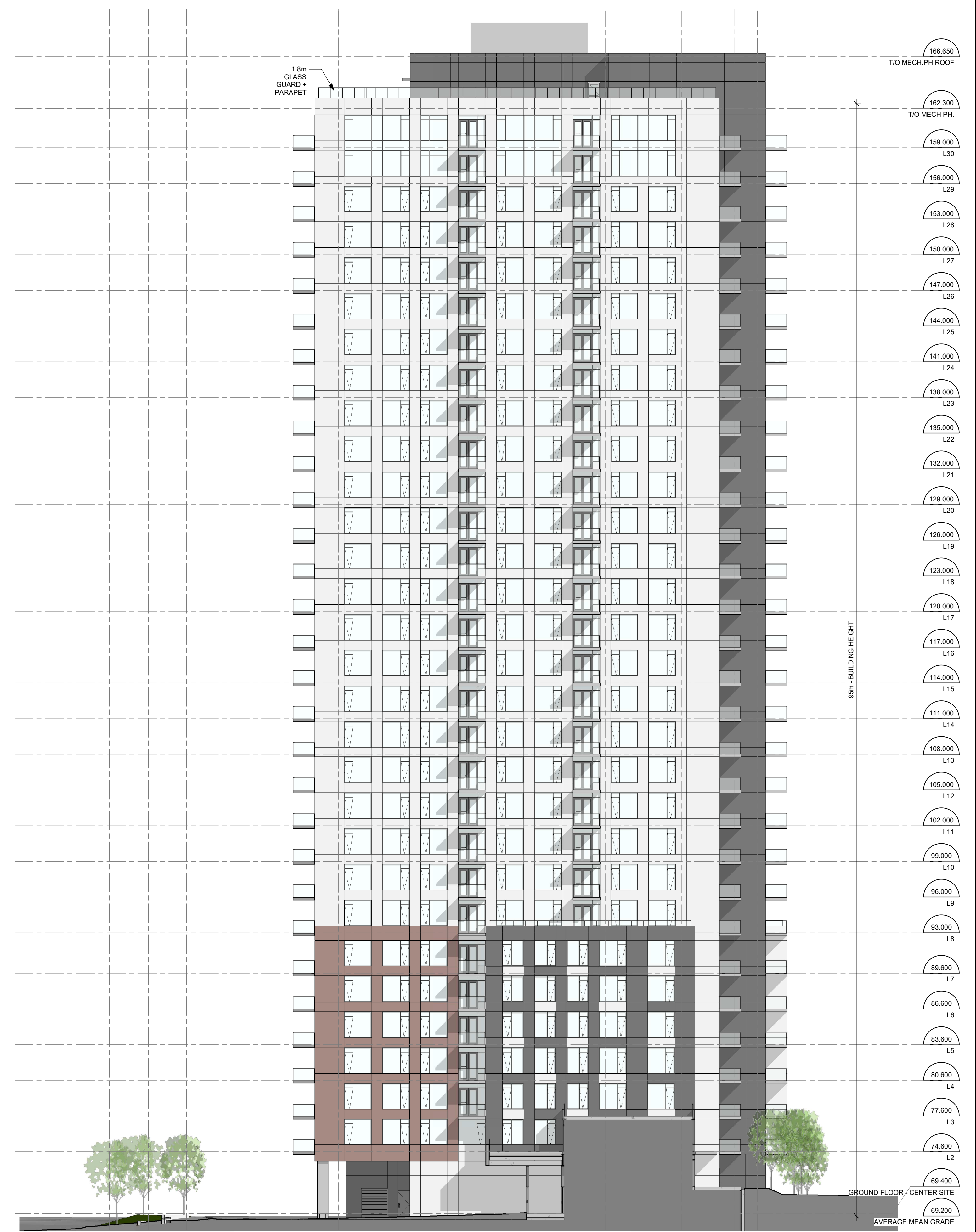
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PROJECT No: 2203	

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INTERNAL ELEVATION - TOWER A



INTERNAL ELEVATION - TOWER B

No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
11	FOR COORD	22-12-12
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

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PROJECT TITLE:

1209 ST LAURENT BLVD.

K1J 1A2

SHEET TITLE:

INTERNAL COURTYARD ELEVATIONS

DRAWN: RIB	CHECKED: RV
SCALE: 1 : 200	SHEET No: 14
PROJECT No: 2203	

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No.	DESCRIPTION	DATE
12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24

REVISIONS: DDMMYY

ARCHITECT SEAL: NORTH ARROW:

CLIENT: **FENGATE** Asset Management
Canderel

ARCHITECT: **rla/architecture**
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PROJECT TITLE:
1209 ST LAURENT BLVD.
 K1J 1A2

SHEET TITLE:
MATERIALS

DRAWN: RIB	CHECKED: RV/RL
SCALE: 1 : 100	SHEET No: 18
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm) PLOT SCALE: 1:1 PLOT DATE: 12/13/2022 11:00:39 AM



VIEW SOUTH FROM ST LAURENT



VIEW NORTH FROM THE QUEENSWAY



VIEW SOUTH FROM JOSEPH CYR

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No.	DESCRIPTION	DDMMYY
12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24

REVISIONS:

ARCHITECT SEAL: 	NORTH ARROW: 
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PROJECT TITLE:

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K1J 1A2

SHEET TITLE:

PERSPECTIVES

DRAWN: RIB	CHECKED: RV
SCALE:	SHEET No: 19
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm)
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VIEW NORTH-EAST OVER BRIDGE



VIEW NORTH-WEST FROM LEMIEUX/LABELLE



VIEW SOUTH FROM ST LAURENT



VIEW SOUTH-WEST FROM JOSEPH CYR

12	SPC Comment Response 1	22-12-14
1	SITE PLAN CONTROL	22-05-24
No.	DESCRIPTION	DDMMYY

REVISIONS:

ARCHITECT SEAL:	NORTH ARROW:

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PROJECT TITLE:
1209 ST LAURENT BLVD.
 K1J 1A2
 SHEET TITLE:
PERSPECTIVES

DRAWN: RIB	CHECKED: RV
SCALE:	SHEET No: 20
PROJECT No: 2203	

PAPER SIZE: ISO Full Sheet B1 (707.00 x 1000.00mm)
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