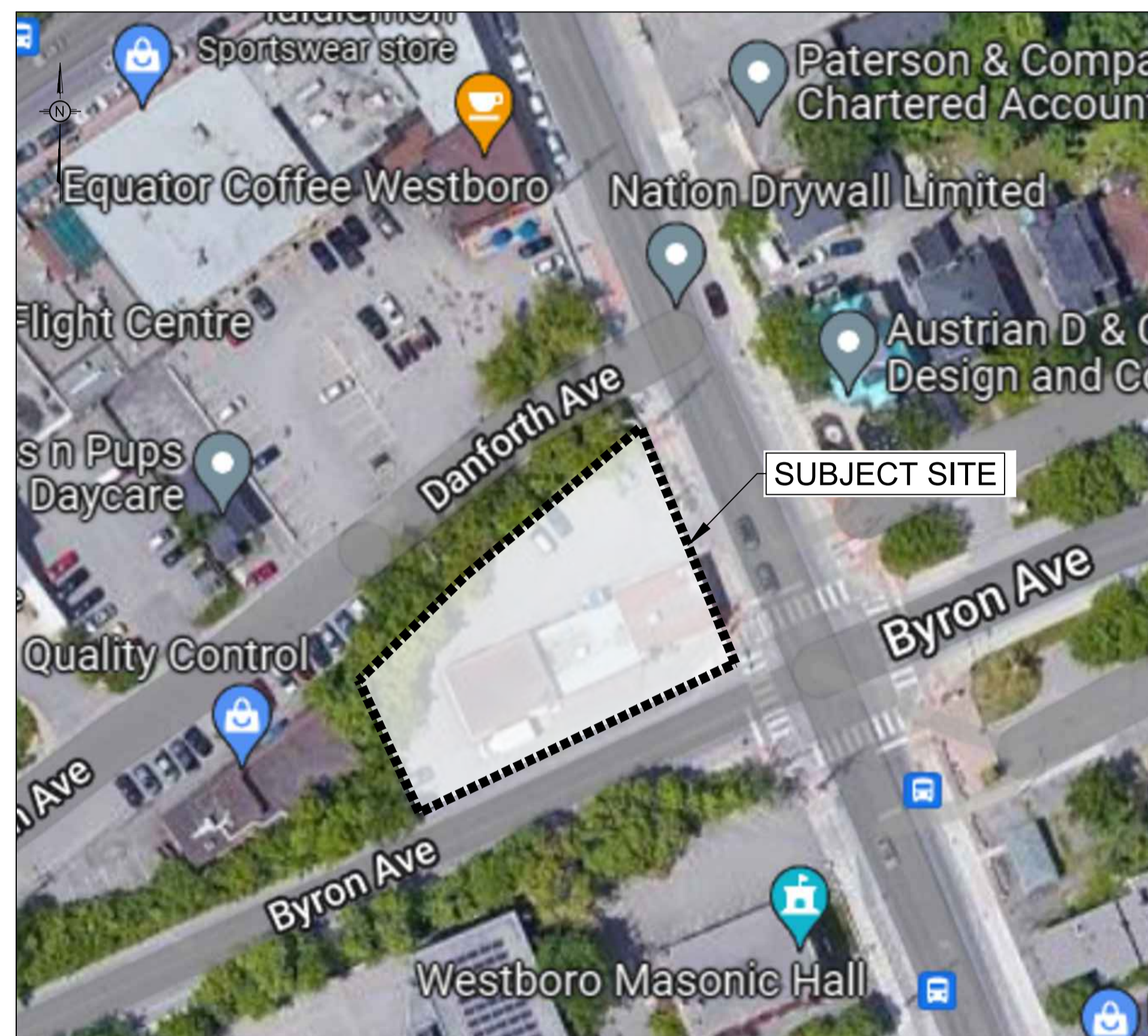


PROPOSED 7 STOREY CONDO REDEVELOPMENT 424 CHURCHILL AVE, OTTAWA ON

REVISION 4



KEY PLAN (N.T.S.)

DRAWING INDEX	
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DEMOLITION PLAN	C102
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PRE-DEVELOPMENT WATERSHED PLAN	C701
POST-DEVELOPMENT WATERSHED PLAN	C702
CONSTRUCTION DETAIL PLAN	C901



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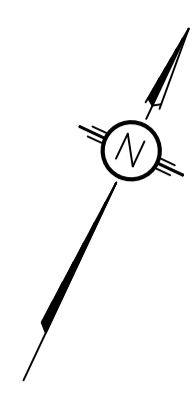
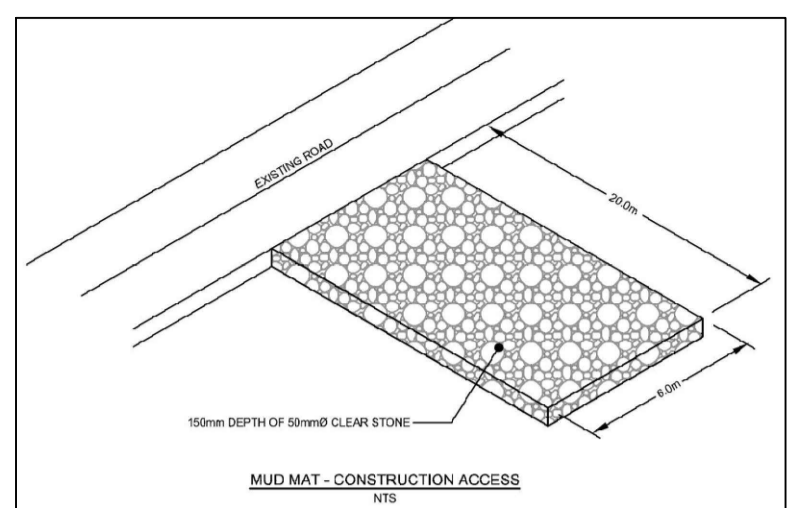
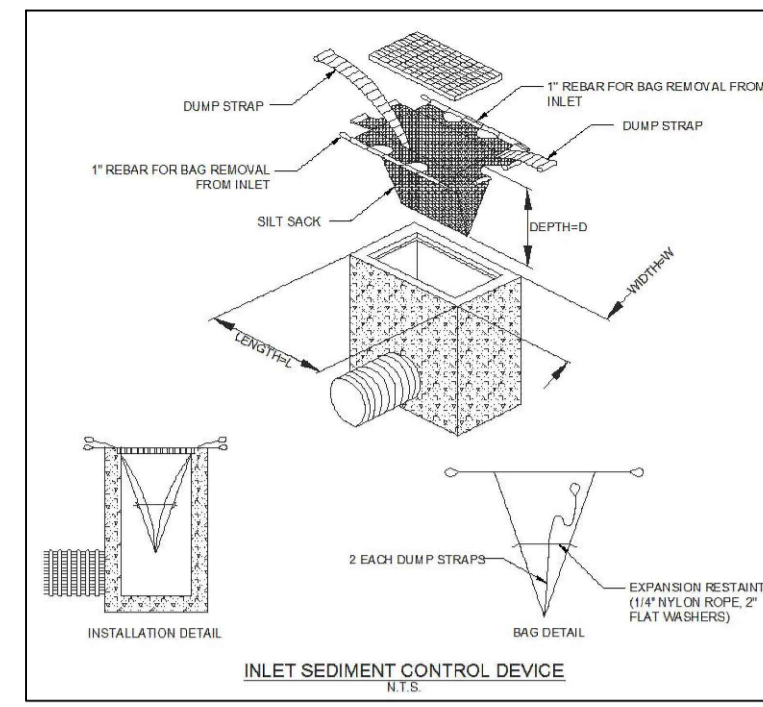
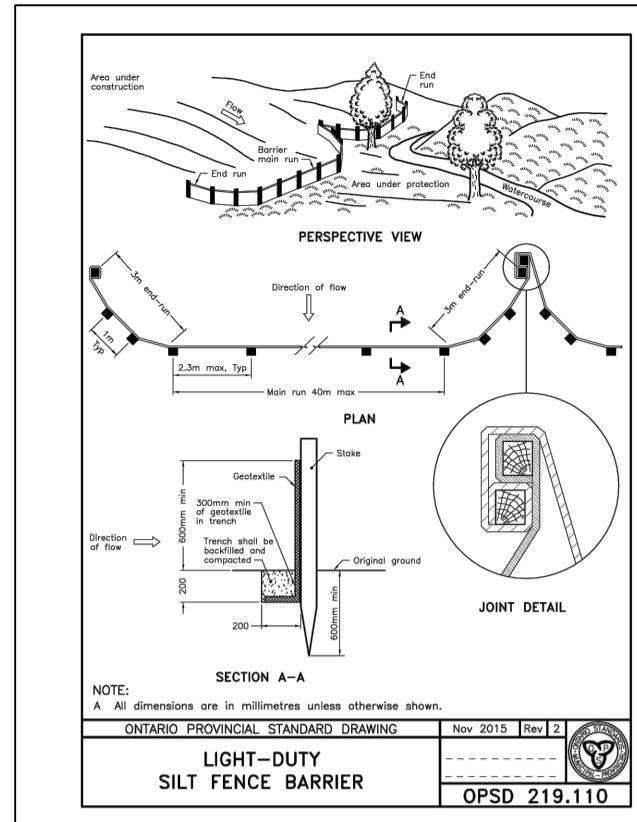
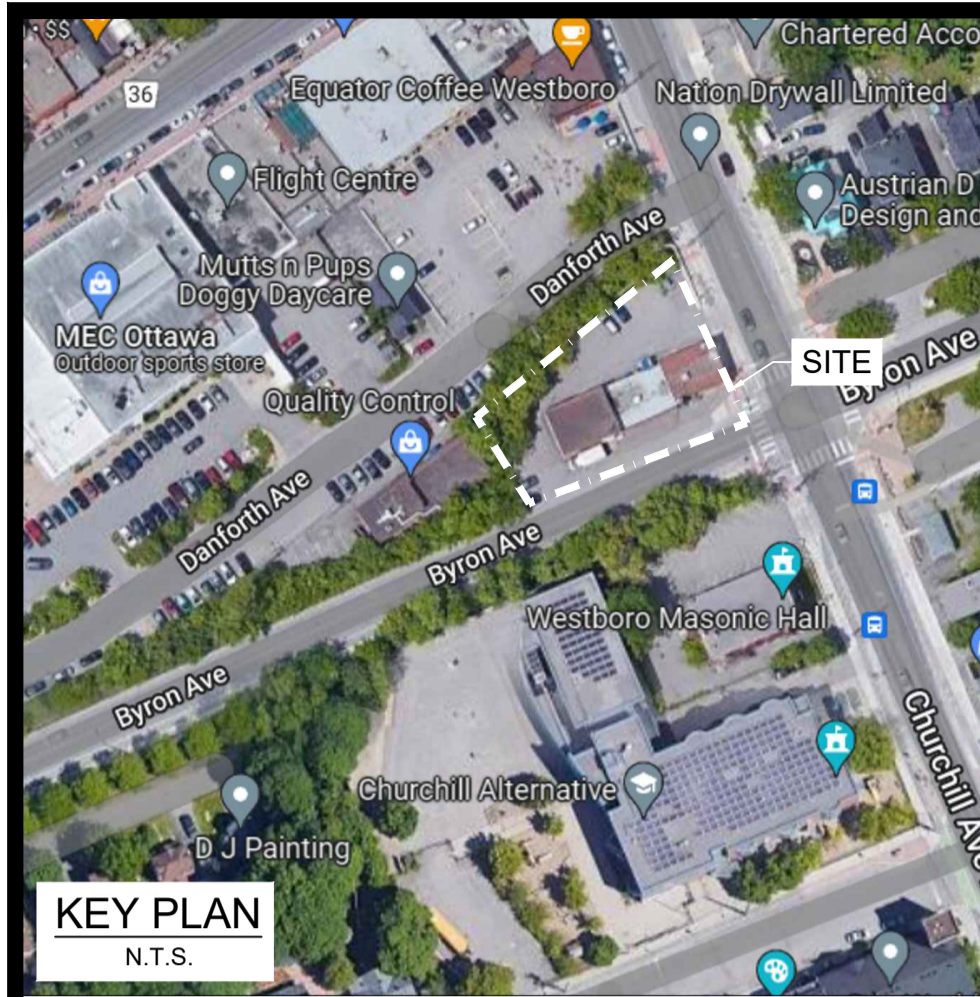
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www.lrl.ca | (613) 842-3434

PROPOSED 7 STOREY CONDO REDEVELOPMENT
424 CHURCHILL AVE, OTTAWA ON
RE-ISSUED FOR APPROVAL - JULY, 2024
LRL PROJECT no: 220224



NOT AUTHENTIC UNLESS SIGNED AND DATED



LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED TERRACING
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED DOOR ENTRANCE/EXIT
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED BOTTOM OF CURB (ASPHALT ELEVATION)
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	PROPOSED TOP OF RETAINING WALL
	MATCH INTO EXISTING ELEVATION
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	PROPOSED TOP OF PLANTER WALL
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED VALVE BOX
	PROPOSED ROOF DRAIN
	PROPOSED 100 YEAR HIGH WATER LEVEL
	STORM WATERSHED EXTENT
	WATERSHED NAME
	RUNOFF COEFFICIENT
	AREA IN HECTARES

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE THE SCOPE AND INTENT OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRI ASSOCIATES LTD. (LRI) WITHOUT OBTAINING LRI'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRI AND TO RELEASE LRI FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRI FROM ANY DAMAGES, LIABILITIES OR COST, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

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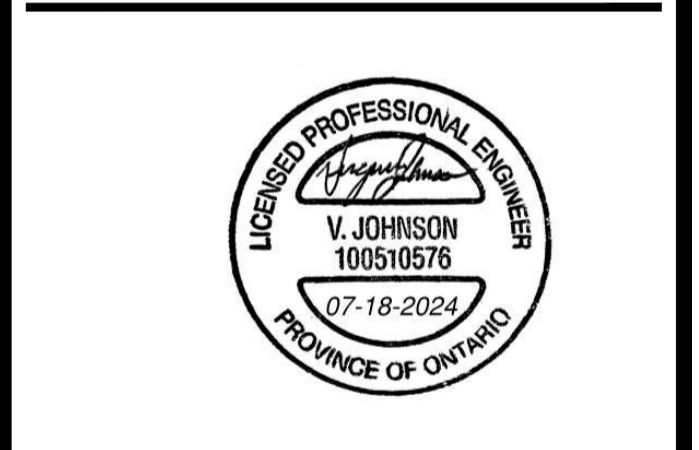
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02	RE-ISSUED FOR APPROVAL	T.H.	14 APR 2023
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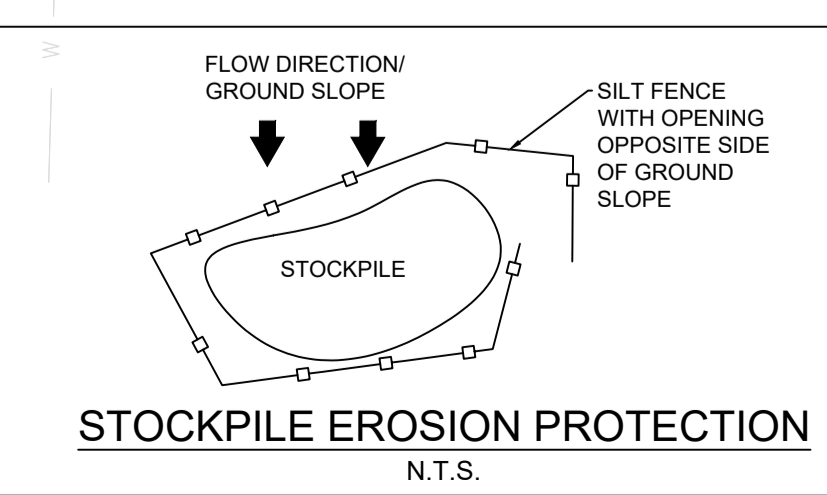
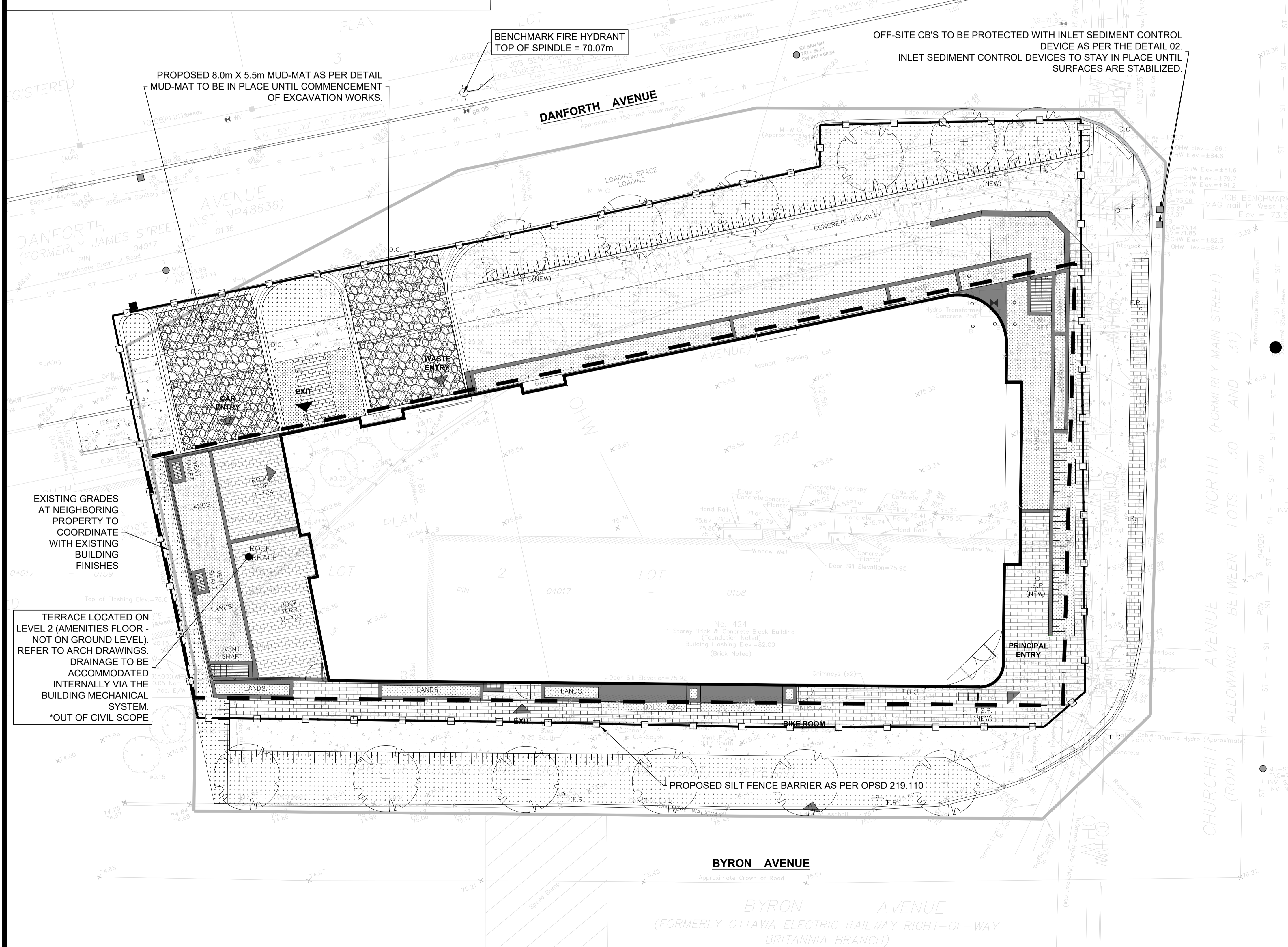
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

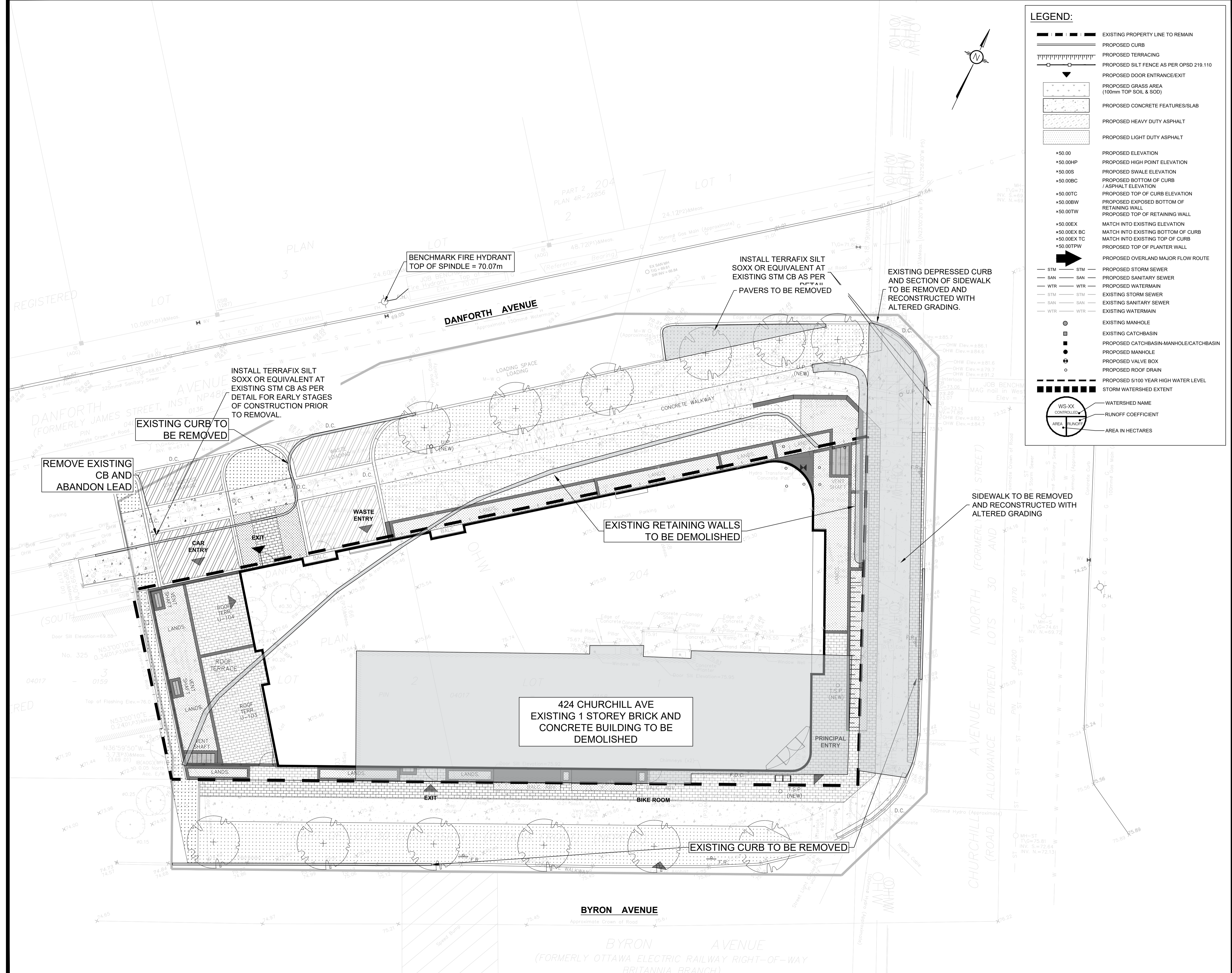
DRAWING TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT NO: 220224
DATE: APRIL, 2023

C101



D07-16-08-0022



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
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1.5m 0 3.0 6.0m
SCALE: 1:125

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CLIENT: **GSI PROPERTIES**

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **DEMOLITION PLAN**

PROJECT NO. 220224
DATE: APRIL, 2023
C102

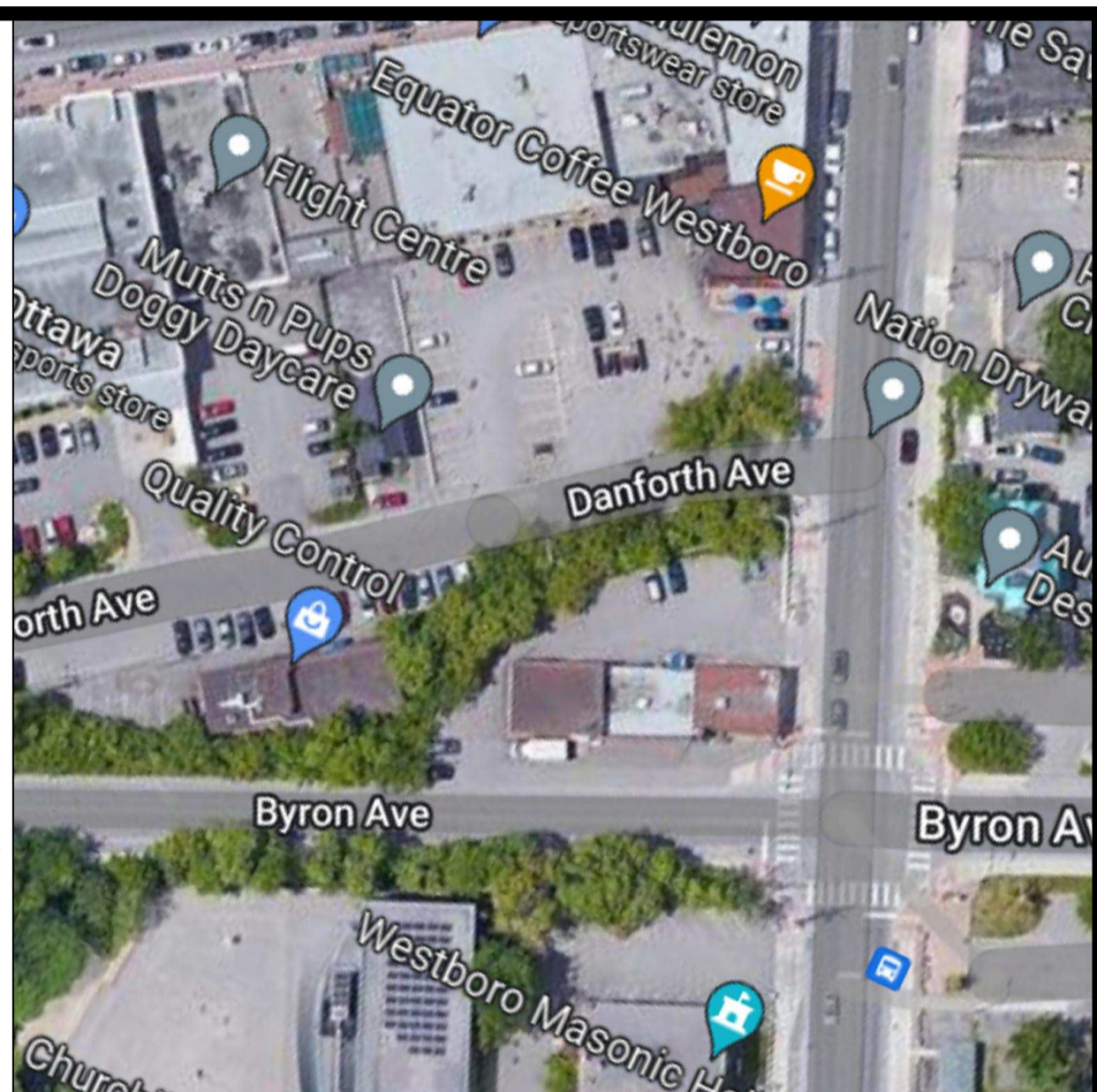
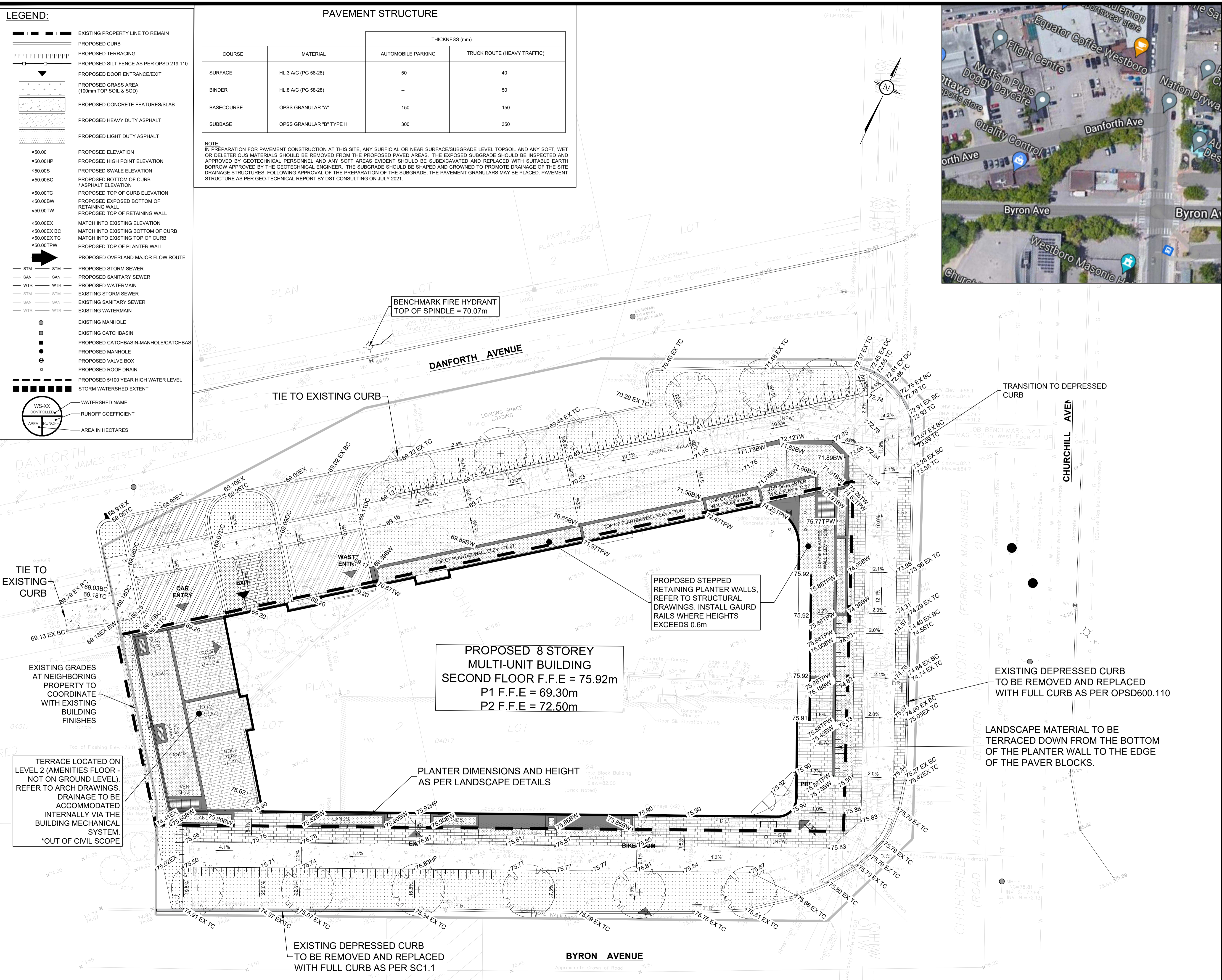
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- SAN — SAN — PROPOSED SANITARY SEWER
- WTR — WTR — PROPOSED WATERMAIN
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- STORM WATERSHED EXTENT
- WS-XX WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

PAVEMENT STRUCTURE

COURSE	MATERIAL	THICKNESS (mm)	
		AUTOMOBILE PARKING	TRUCK ROUTE (HEAVY TRAFFIC)
SURFACE	HL.3 A/C (PG 58-28)	50	40
BINDER	HL.8 A/C (PG 58-28)	—	50
BASECOURSE	OPSS GRANULAR "A"	150	150
SUBBASE	OPSS GRANULAR "B" TYPE II	300	350

NOTE:
 IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBEXCAVATED AND REPLACED WITH SUITABLE EARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHAPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED. PAVEMENT STRUCTURE AS PER GEO-TECHNICAL REPORT BY DST CONSULTING ON JULY 2021.



USE AND INTERPRETATION OF DRAWINGS

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IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRI'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRI AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRI AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

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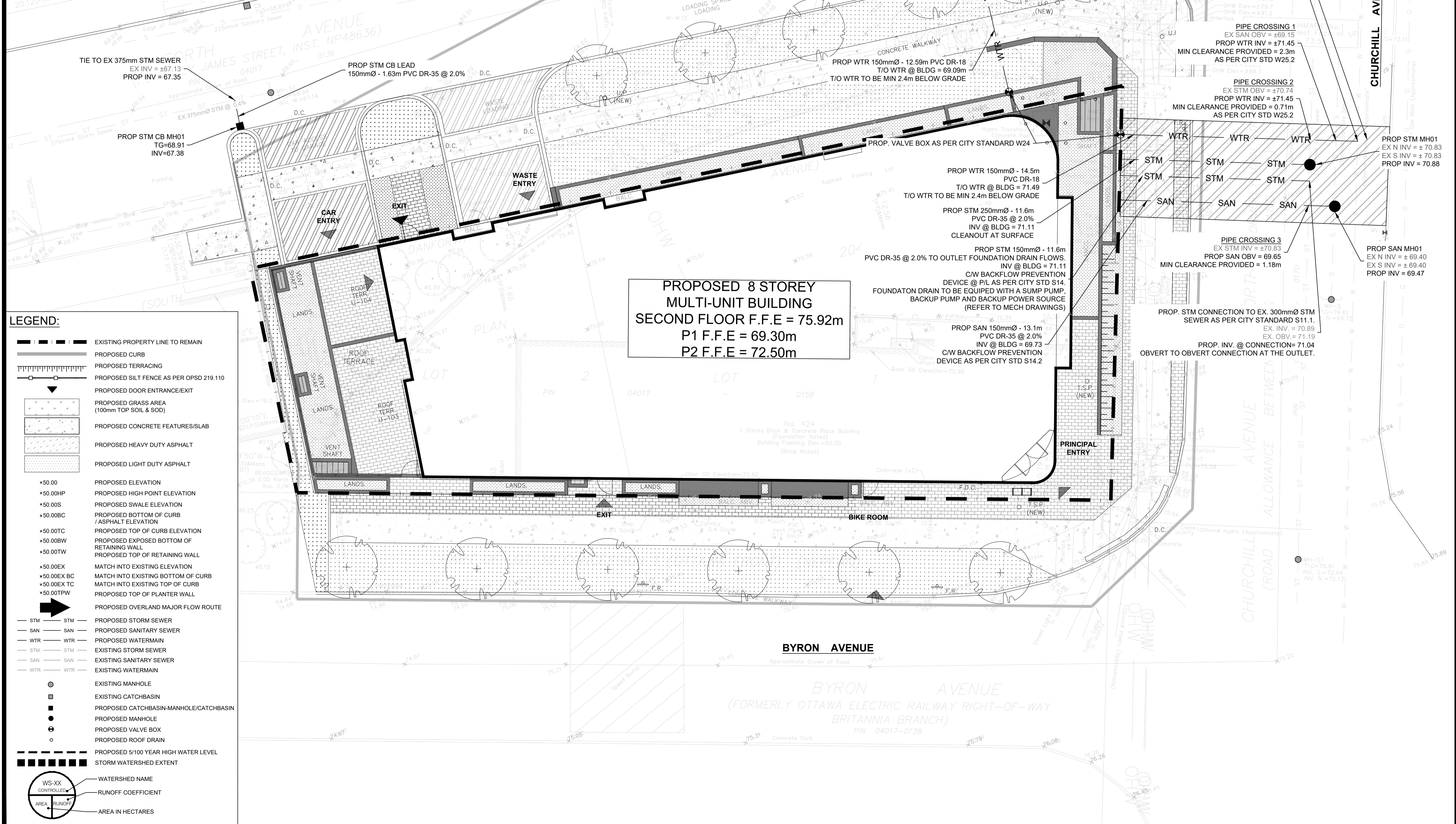
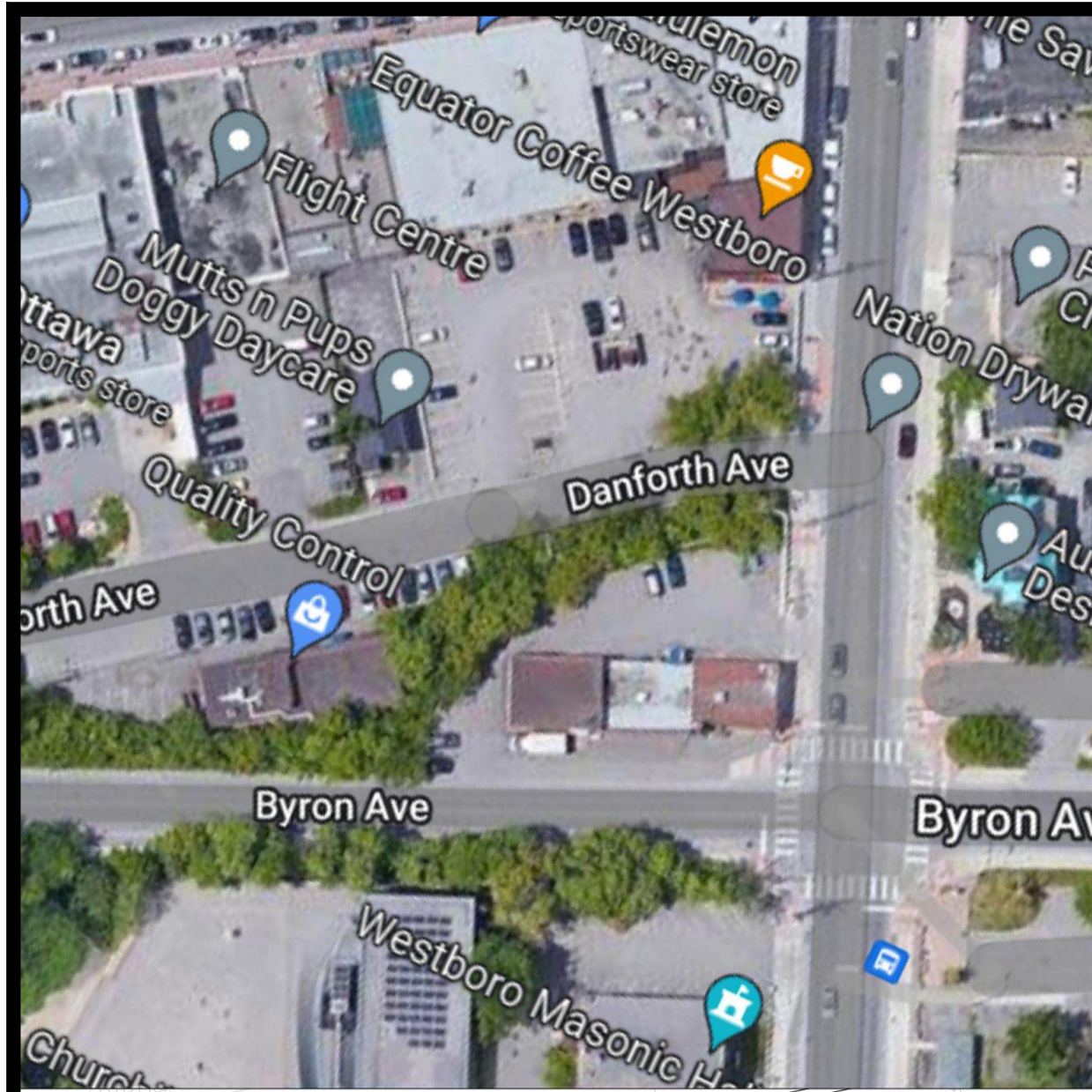
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCH HILL AVE OTTAWA, ON**

DRAWING TITLE: **GRADING AND DRAINAGE PLAN**

PROJECT NO.: 220224 DATE: APRIL, 2023

C301



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SCALE: 1:225

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NOT AUTHENTIC UNLESS SIGNED AND DATED

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www.lri.ca | (613) 842-3434

CLIENT: GSI PROPERTIES

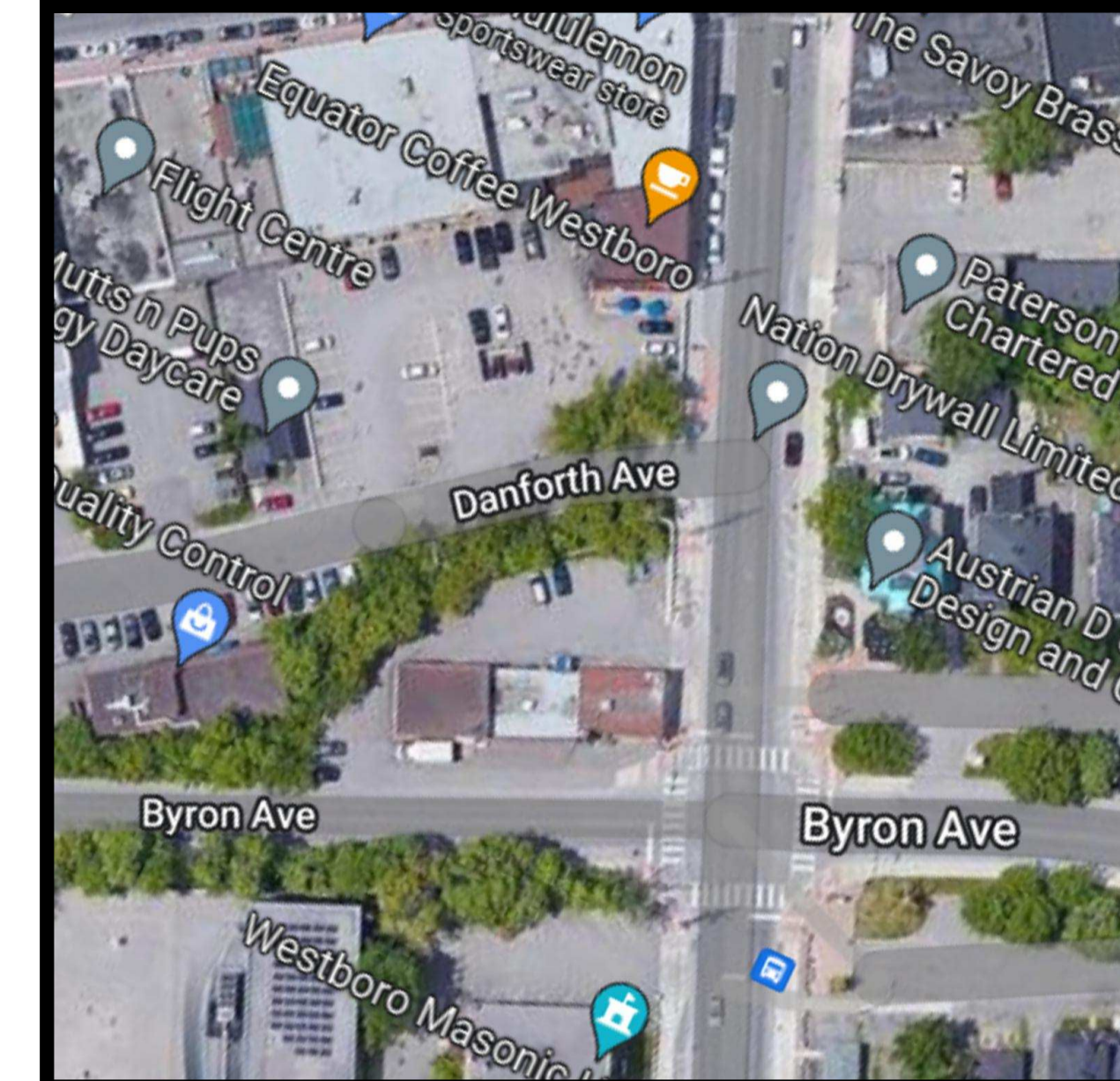
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: PROPOSED 7-STOREY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: SERVICING PLAN

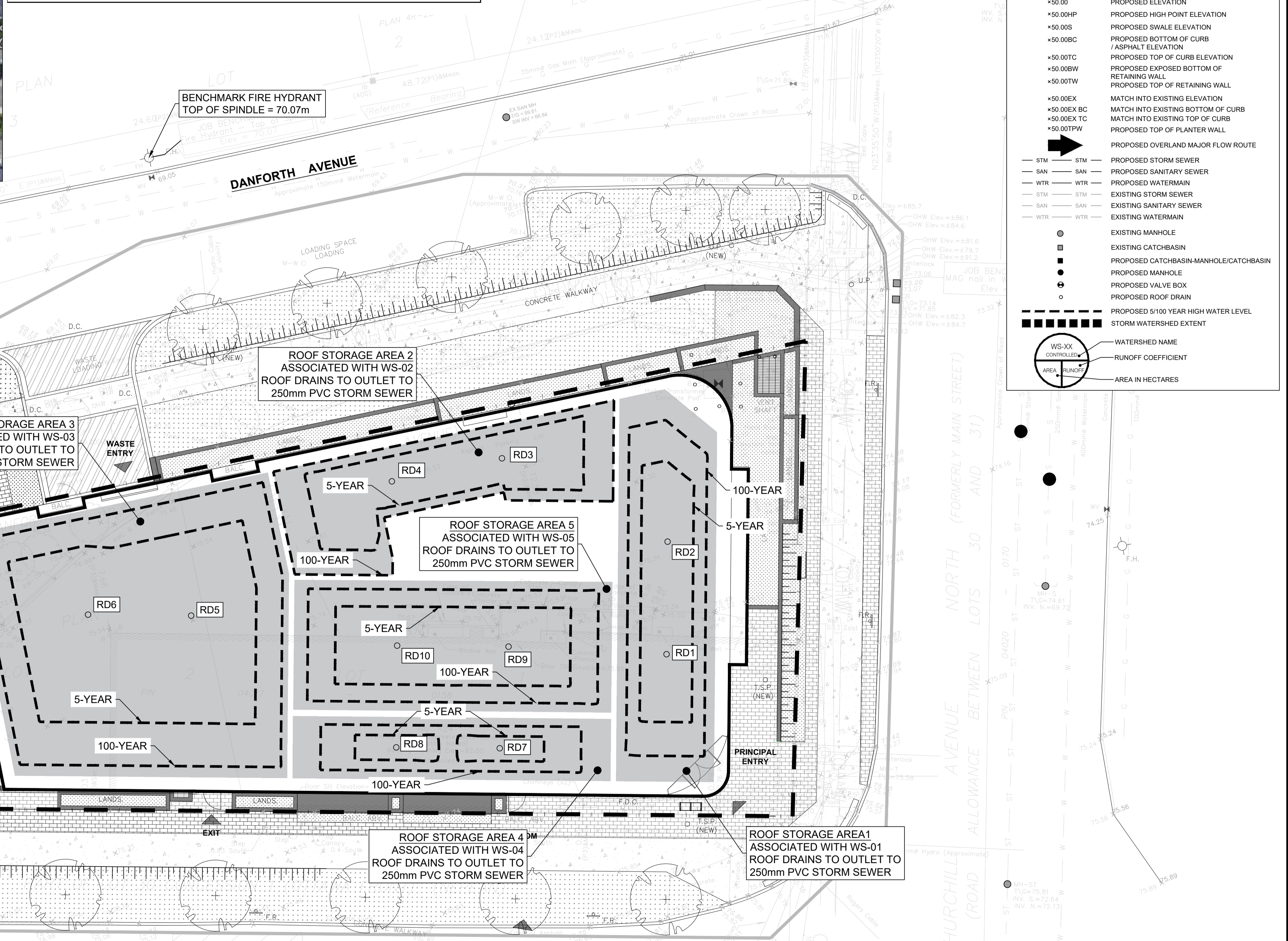
PROJECT NO.: 220224
DATE: APRIL, 2023

C401



SUMMARY OF RELEASE RATES AND STORAGE VOLUMES				
CATCHMENT AREAS	DRAINAGE AREAS (ha)	100-YEAR RELEASE RATE	100-YEAR REQUIRED STORAGE (m3)	TOTAL AVAILABLE STORAGE (m3)
WS-01 (ROOF)	0.012	1.26	3.15	6.03
WS-02 (ROOF)	0.014	1.26	4.23	4.55
WS-03 (ROOF)	0.025	1.26	9.46	13.17
WS-04 (ROOF)	0.006	1.26	1.09	3.14
WS-05 (ROOF)	0.013	1.26	3.76	6.64
TOTAL CONTROLLED	0.070	6.30	21.69	33.53
WS-06 (UNCONTROLLED)	0.031	15.59	0	0
TOTAL UNCONTROLLED	0.031	15.59	0.00	0.00
TOTAL	0.101	21.89	21.69	33.53

* Allowable Release Rate = 10.81L/s. As per City comments it's acceptable to only control the roof portion of the site. The remainder can be uncontrolled if it flows to the City ROW. Total controlled flow = 6.30L/s meeting the allowable release rate of 10.81L/s.



Watershed	Associated Roof Drains	Drain Type	Weir Opening	Flow/Drain (L/s)	Available Storage Volume (m3)	Maximum Ponding Depth (m)	Required 5-Year Volume (m3)	5-Year Ponding Depth (m)	Required 100-Year Volume (m3)	100-Year Ponding Depth (m)
WS-01	1	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	6.03	0.15	1.06	0.08	3.15	0.12
	2	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-02	3	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	4.55	0.15	1.53	0.11	4.23	0.15
	4	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-03	5	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	13.17	0.15	3.78	0.10	9.46	0.14
	6	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-04	7	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	3.14	0.15	0.21	0.06	1.09	0.11
	8	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-05	9	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	6.64	0.15	1.32	0.09	3.76	0.13
	10	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						

LEGEND:

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- PROPOSED TERRACING
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
- PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- PROPOSED TOP OF PLANTER WALL
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED VALVE BOX
- PROPOSED ROOF DRAIN
- PROPOSED 5/100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

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V. JOHNSON
 100510576
 07-18-2024
 PROVINCE OF ONTARIO

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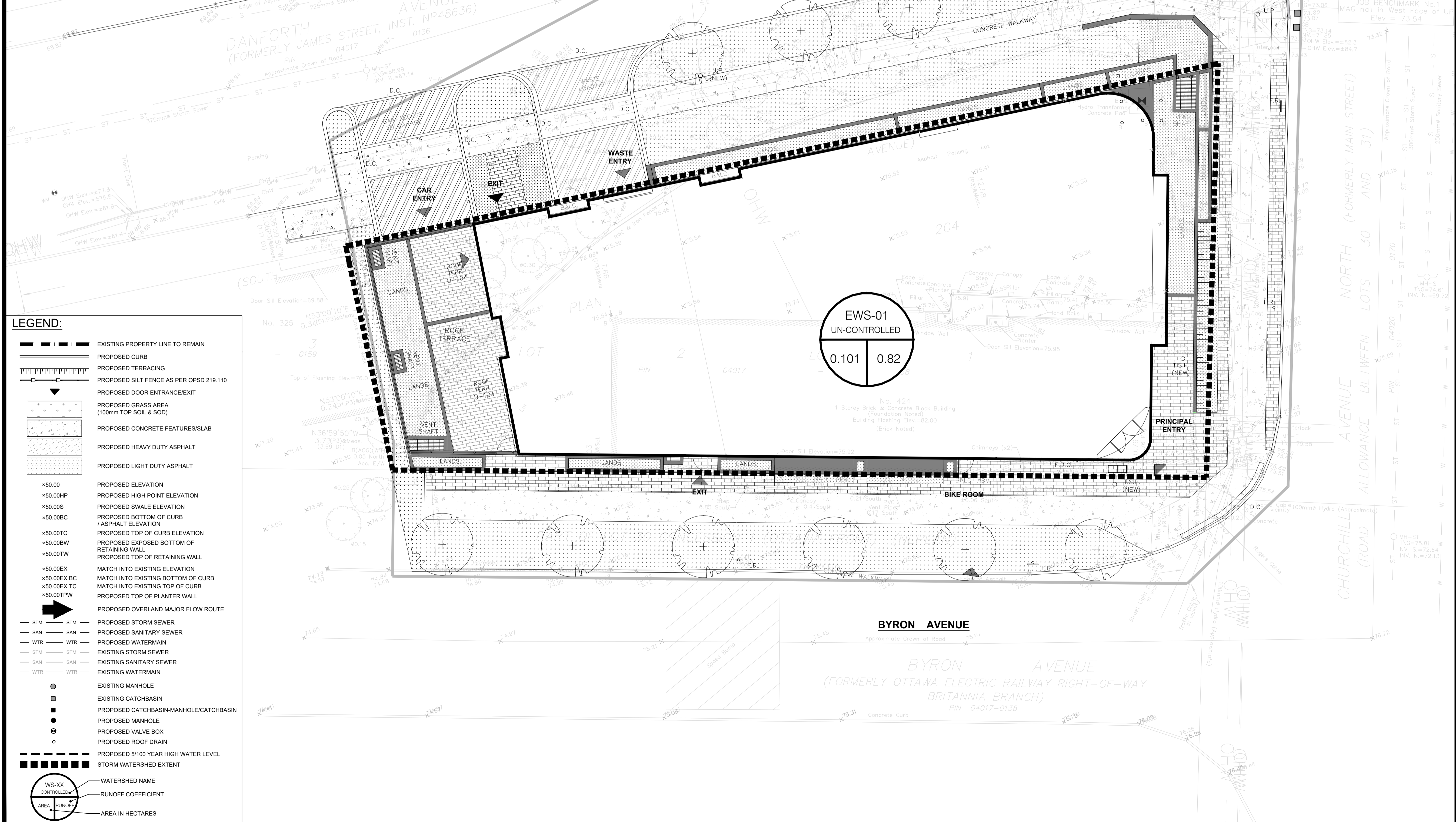
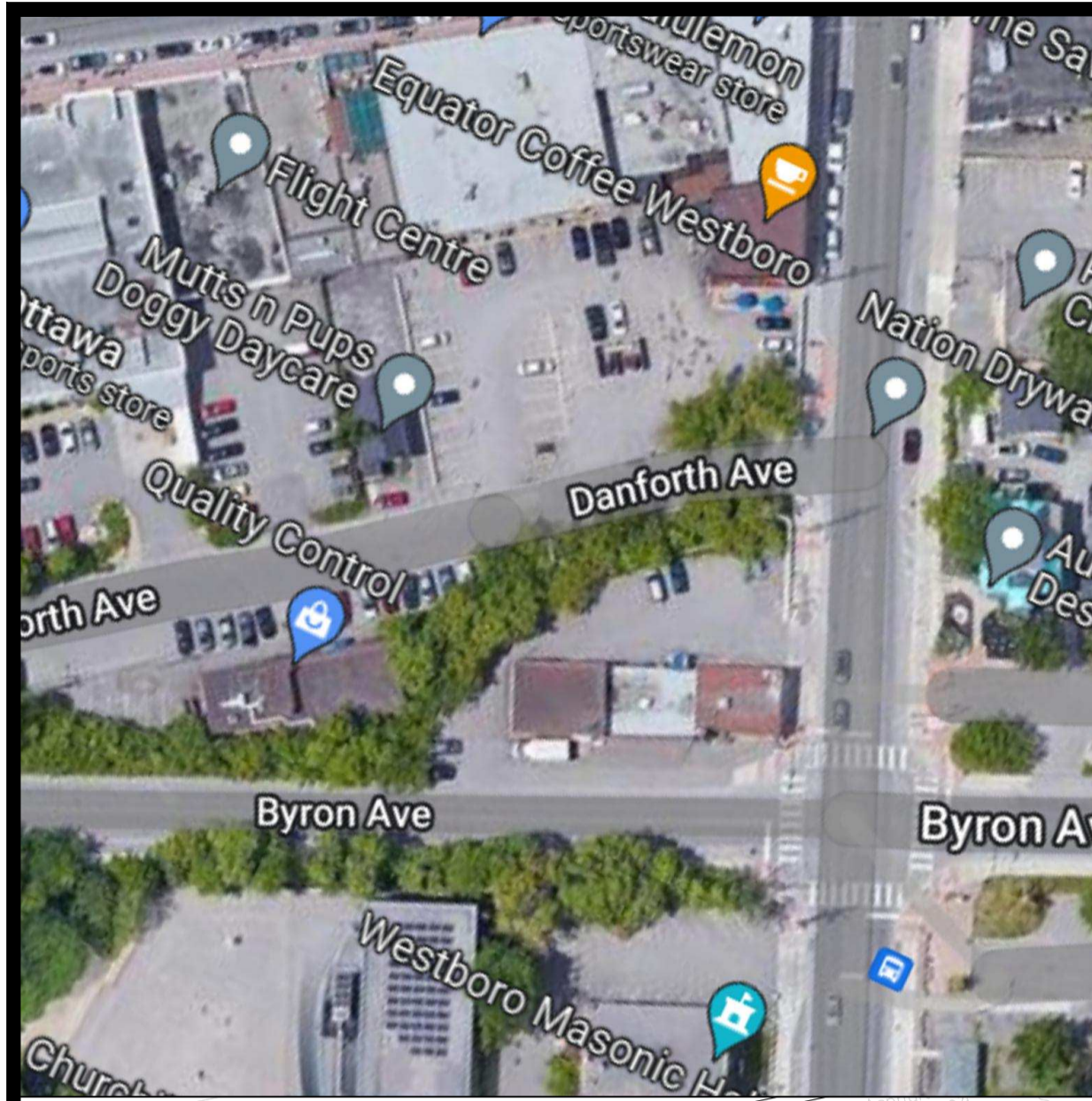
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: STORMWATER MANAGEMENT PLAN

PROJECT NO: 220224
 DATE: APRIL, 2023

C601



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED TERRACING
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
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- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
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- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- MATCH INTO EXISTING BOTTOM OF CURB
- MATCH INTO EXISTING TOP OF CURB
- PROPOSED TOP OF PLANTER WALL
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- STM --- PROPOSED STORM SEWER
- SAN --- PROPOSED SANITARY SEWER
- WTR --- PROPOSED WATERMAIN
- STM --- EXISTING STORM SEWER
- SAN --- EXISTING SANITARY SEWER
- WTR --- EXISTING WATERMAIN
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
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- AREA RUNOFF RUNOFF COEFFICIENT
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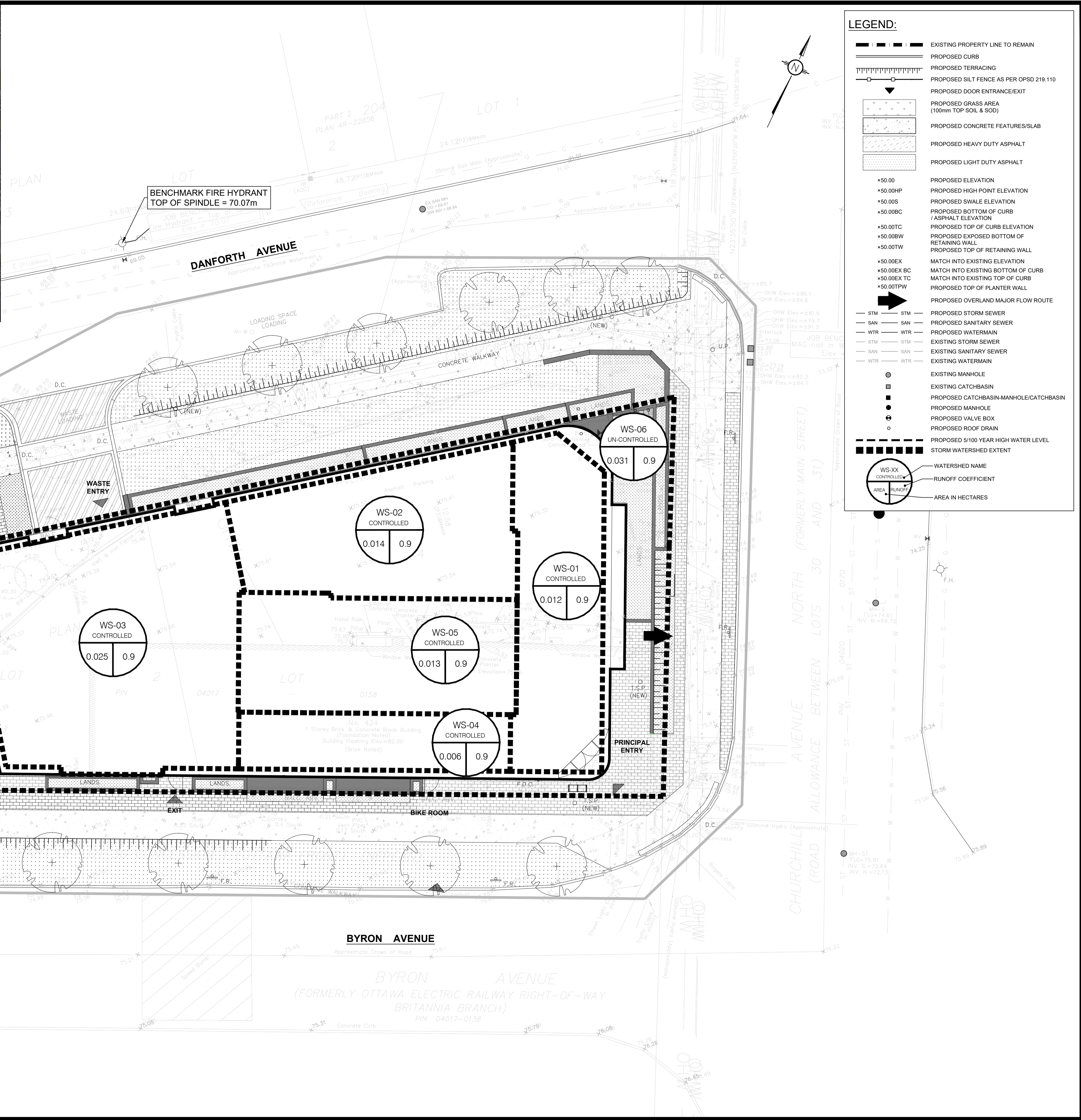
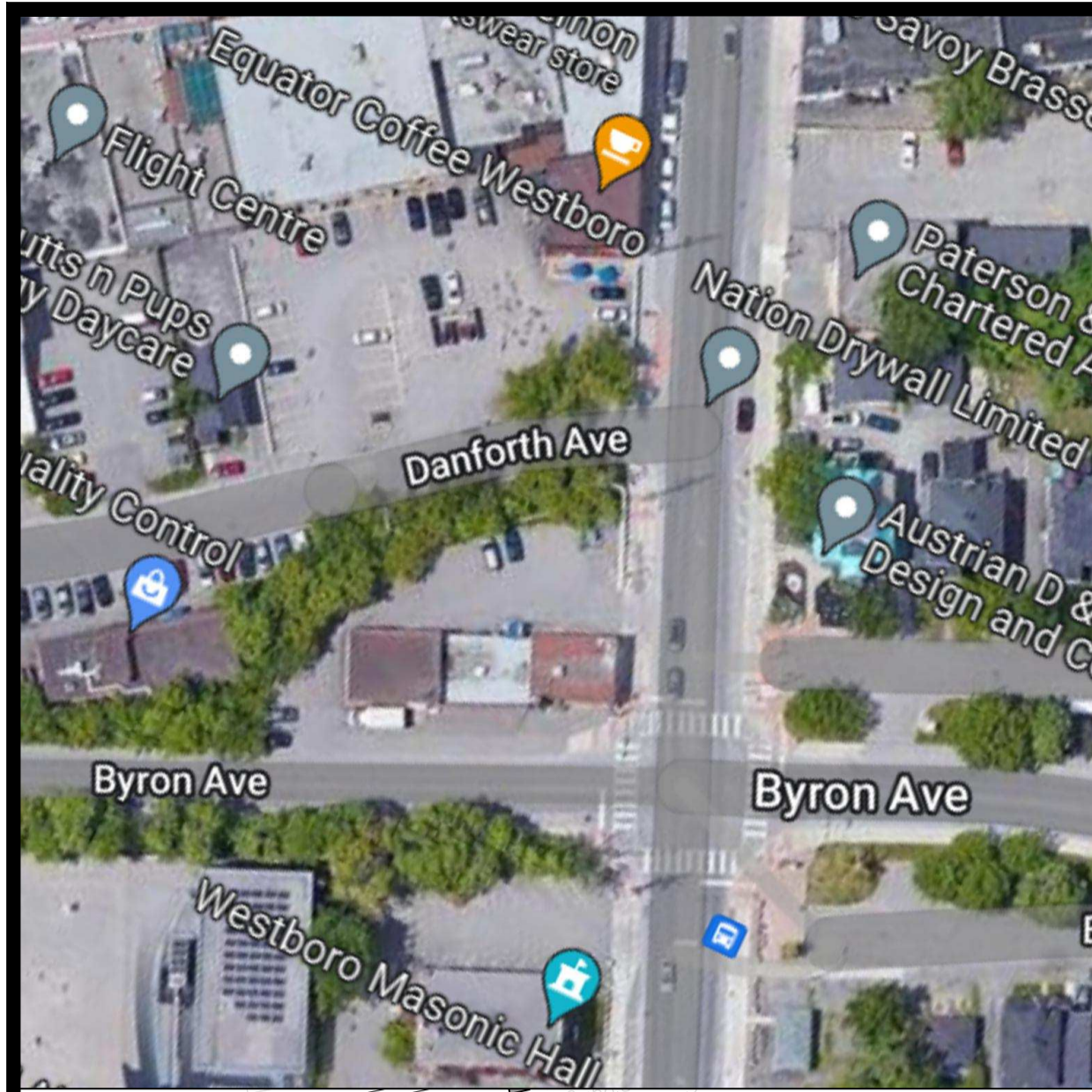
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **PRE-DEVELOPMENT WATERSHED PLAN**

PROJECT NO: 220224 DATE: APRIL, 2023

C701



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- == PROPOSED CURB
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- *50.00 PROPOSED ELEVATION
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- *50.00S PROPOSED SWALE ELEVATION
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- WTR PROPOSED WATERMAIN
- STM EXISTING STORM SEWER
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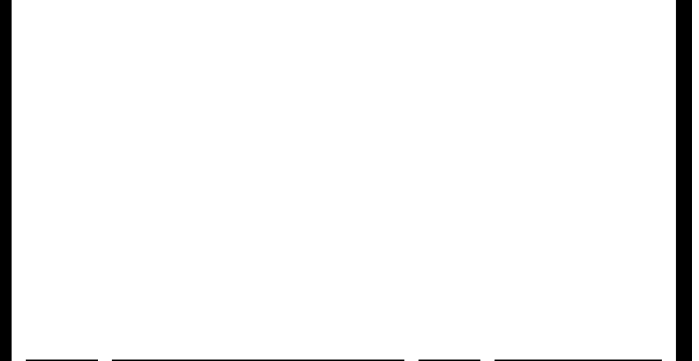
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EXISTING GRADES AT NEIGHBORING PROPERTY TO COORDINATE WITH EXISTING BUILDING FINISHES

TERRACE LOCATED ON LEVEL 2 (AMENITIES FLOOR - NOT ON GROUND LEVEL). REFER TO ARCH DRAWINGS. DRAINAGE TO BE ACCOMMODATED INTERNALLY VIA THE BUILDING MECHANICAL SYSTEM. *OUT OF CIVIL SCOPE

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DESIGNED BY:	DRAWN BY:	APPROVED BY:
T.H.	T.H.	V.J.

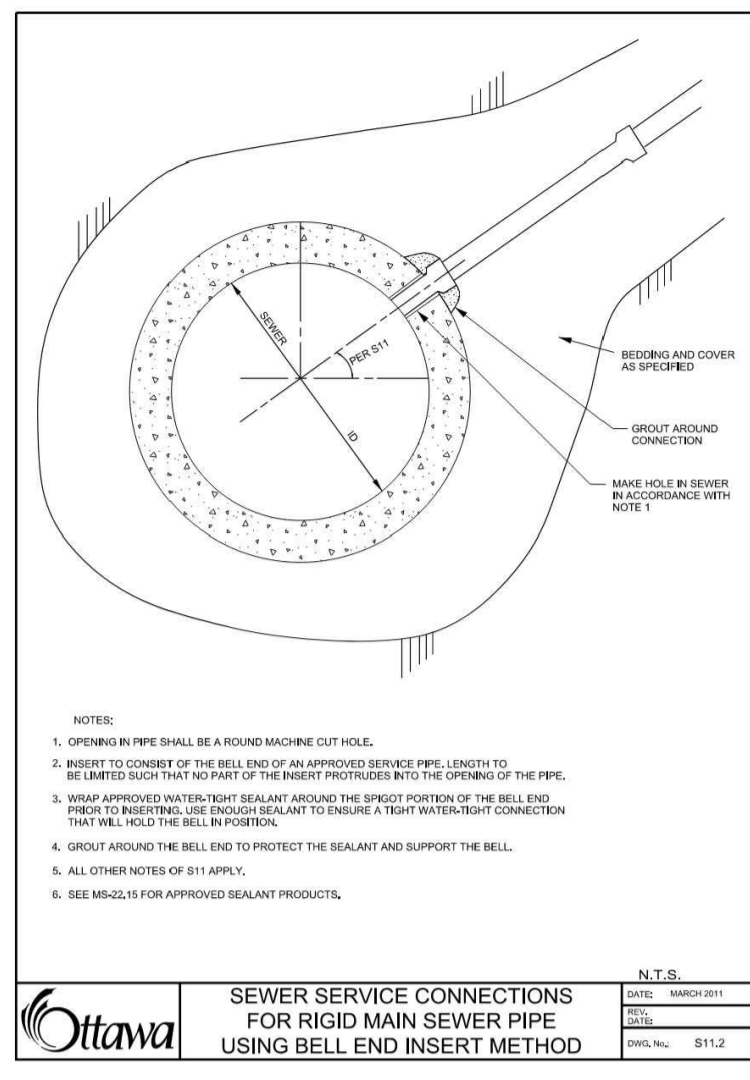
PROJECT
PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE
POST-DEVELOPMENT WATERSHED PLAN

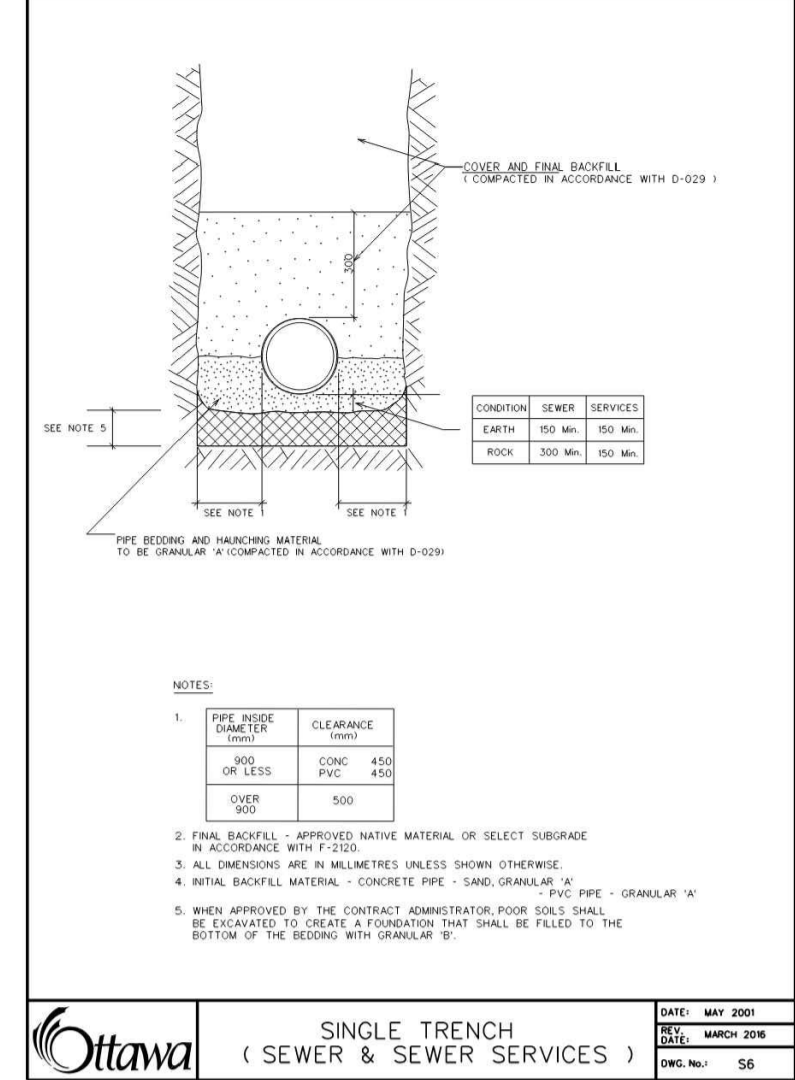
PROJECT NO.
220224

DATE
APRIL, 2023

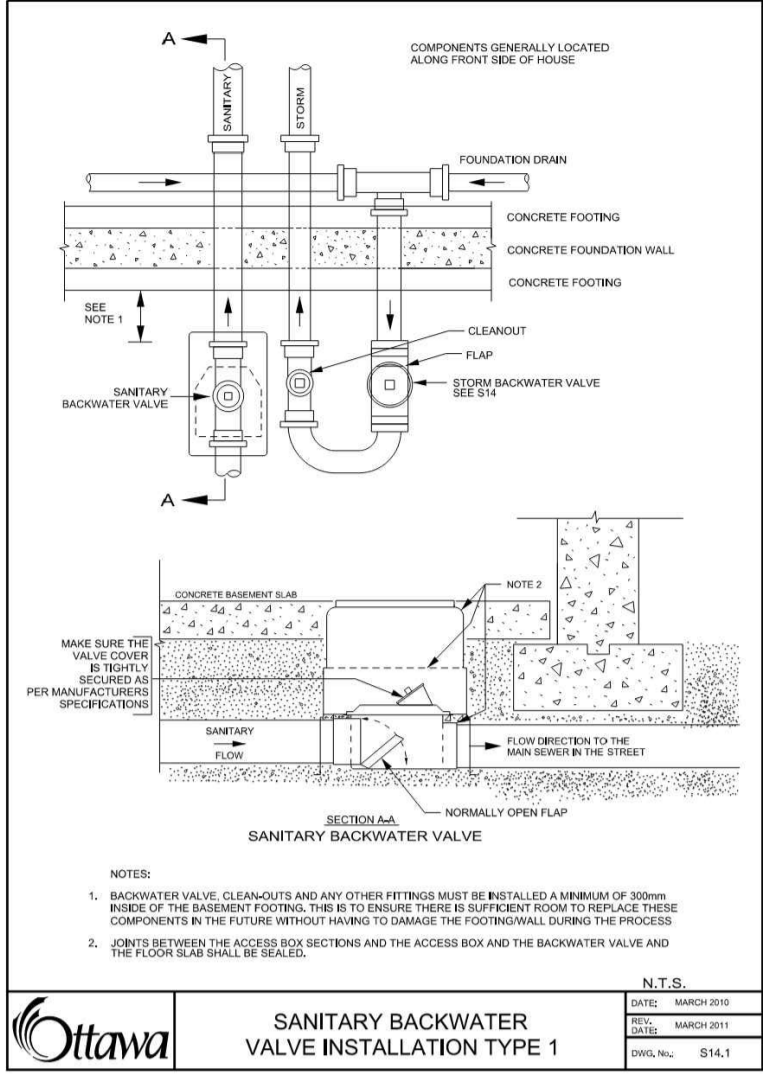
C702



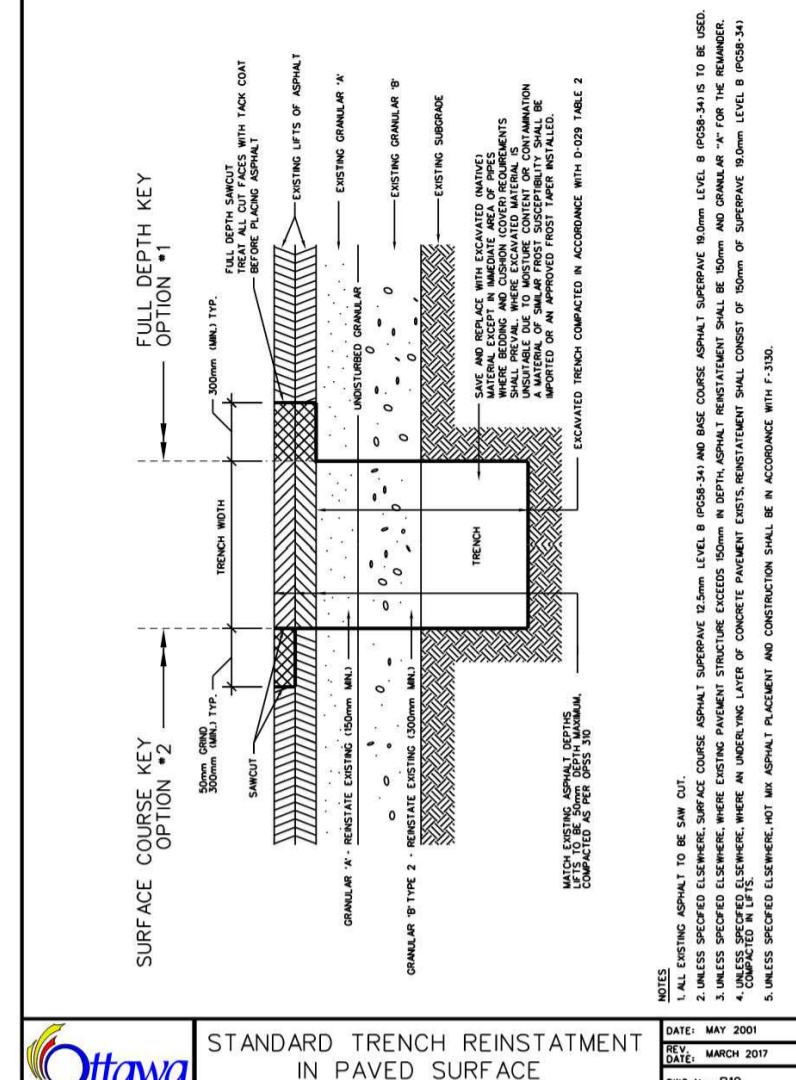
Ottawa SEWER SERVICE CONNECTIONS FOR RIGID MAIN SEWER PIPE USING BELL END INSERT METHOD
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



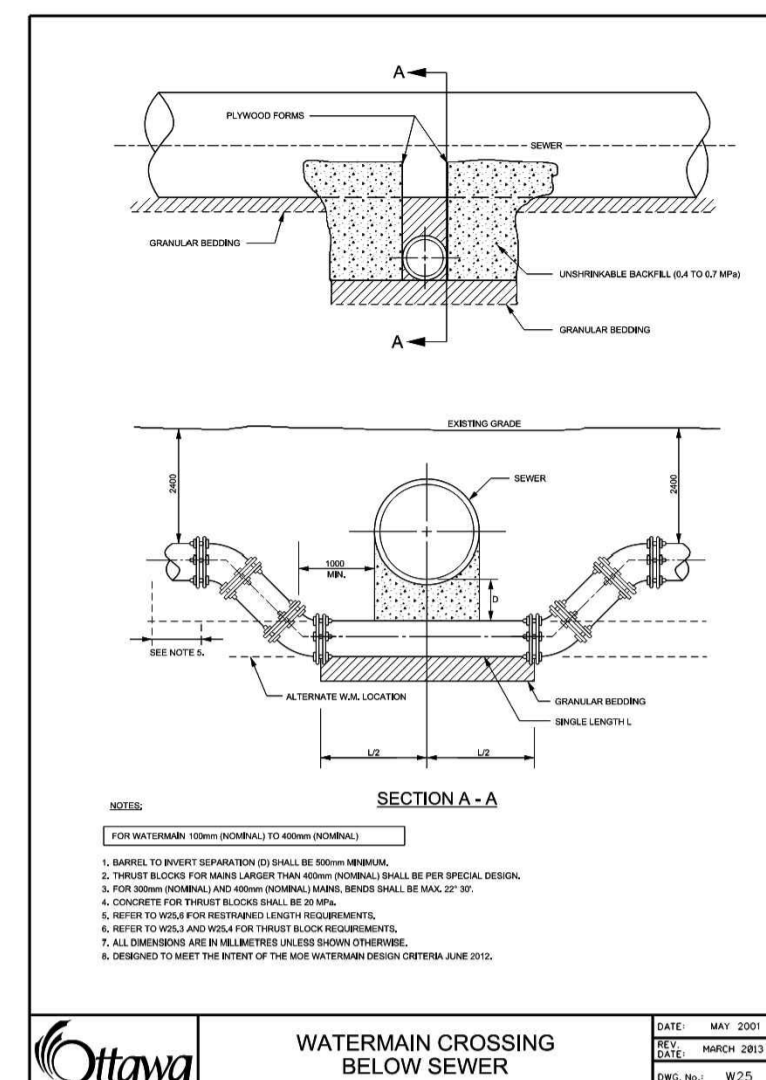
Ottawa SINGLE TRENCH (SEWER & SEWER SERVICES)
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



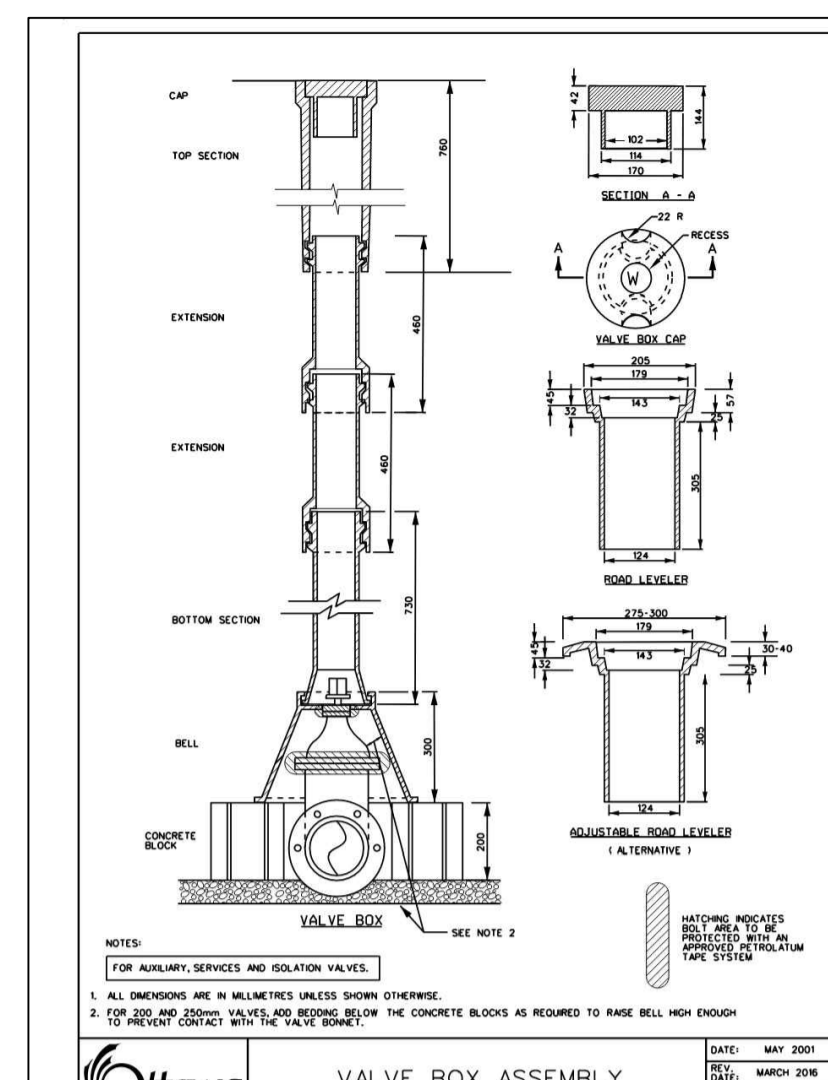
Ottawa SANITARY BACKWATER VALVE INSTALLATION TYPE 1
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



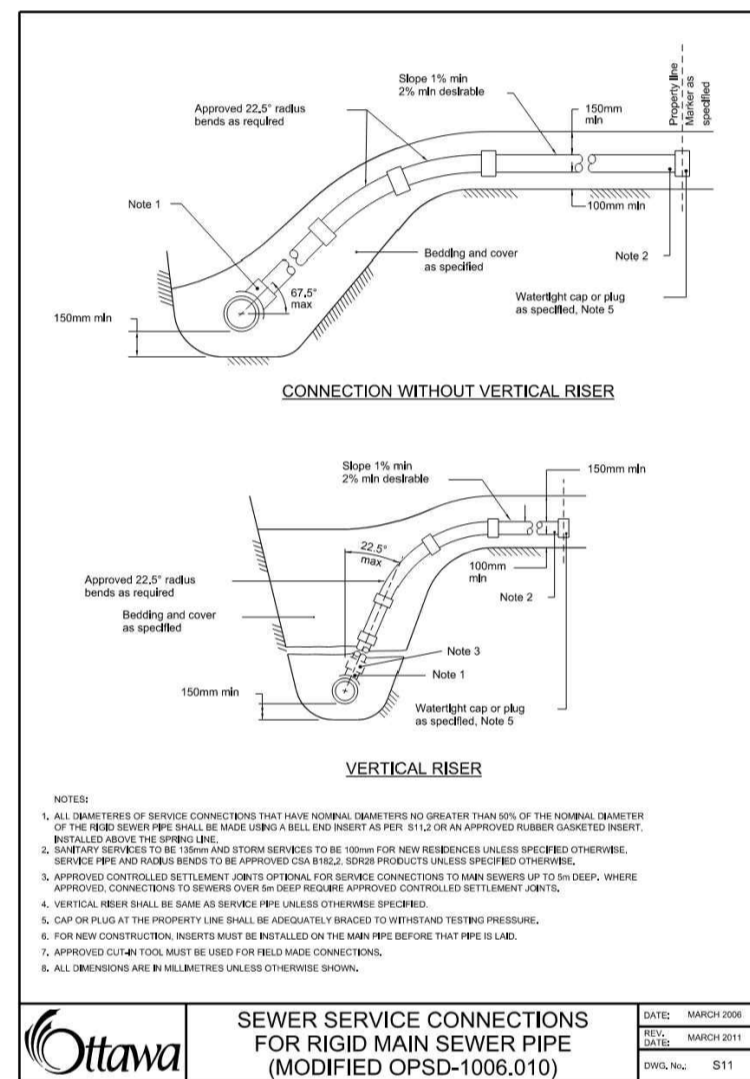
Ottawa STANDARD TRENCH REINSTATEMENT IN PAVED SURFACE
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



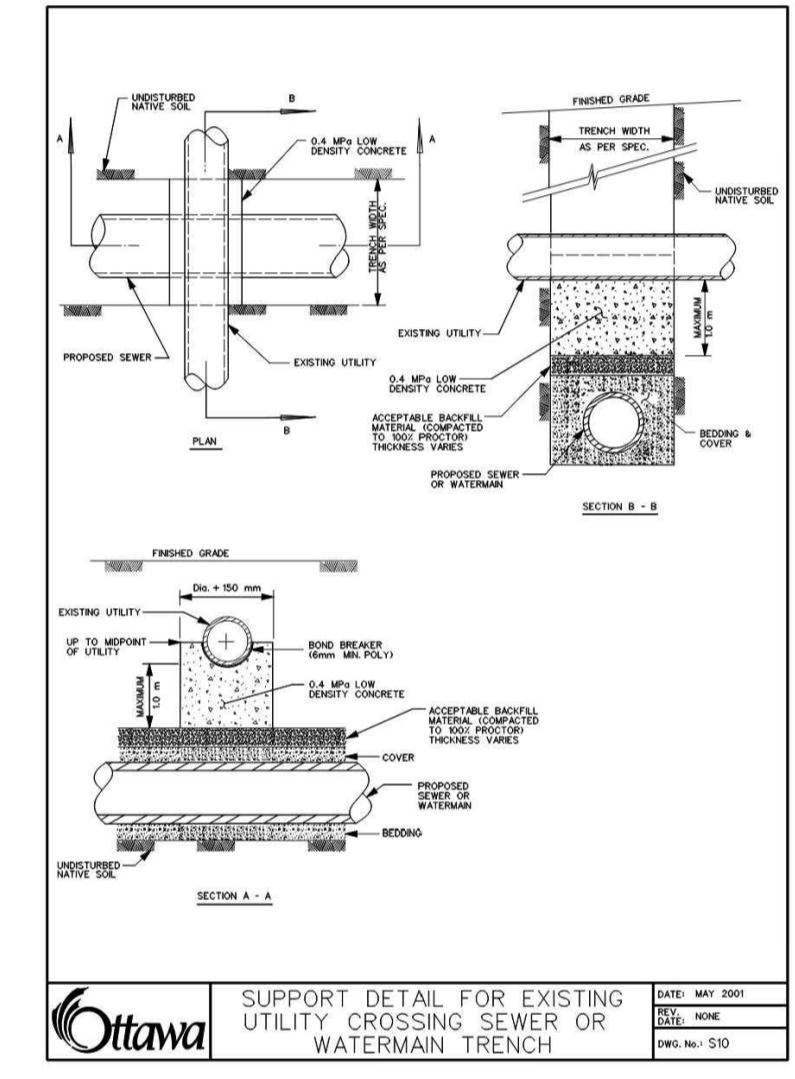
Ottawa WATERMAIN CROSSING BELOW SEWER
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



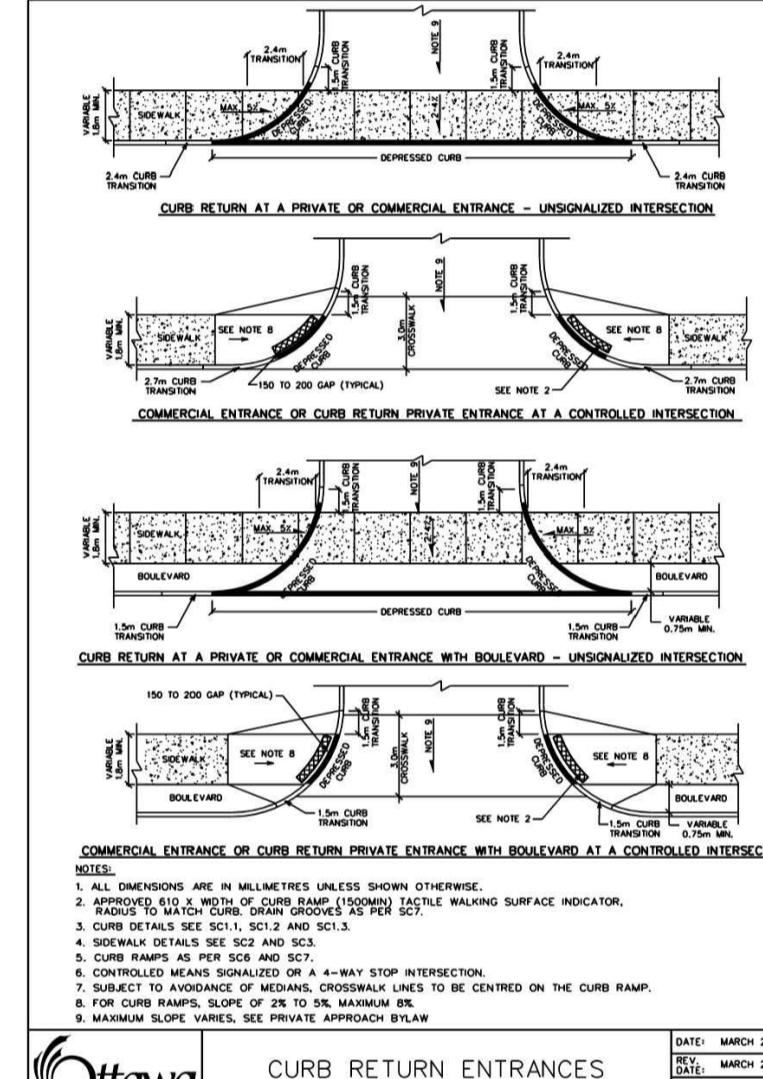
Ottawa VALVE BOX ASSEMBLY
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



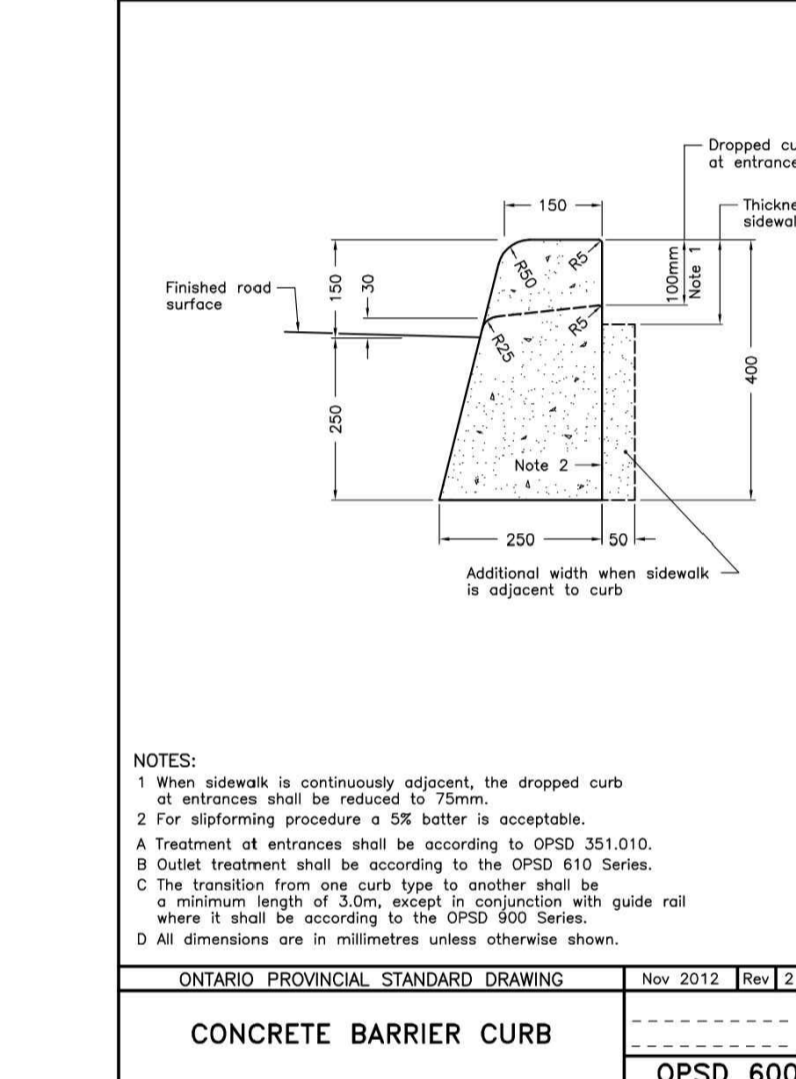
Ottawa SEWER SERVICE CONNECTIONS FOR RIGID MAIN SEWER PIPE (MODIFIED OPSD-1006.010)
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



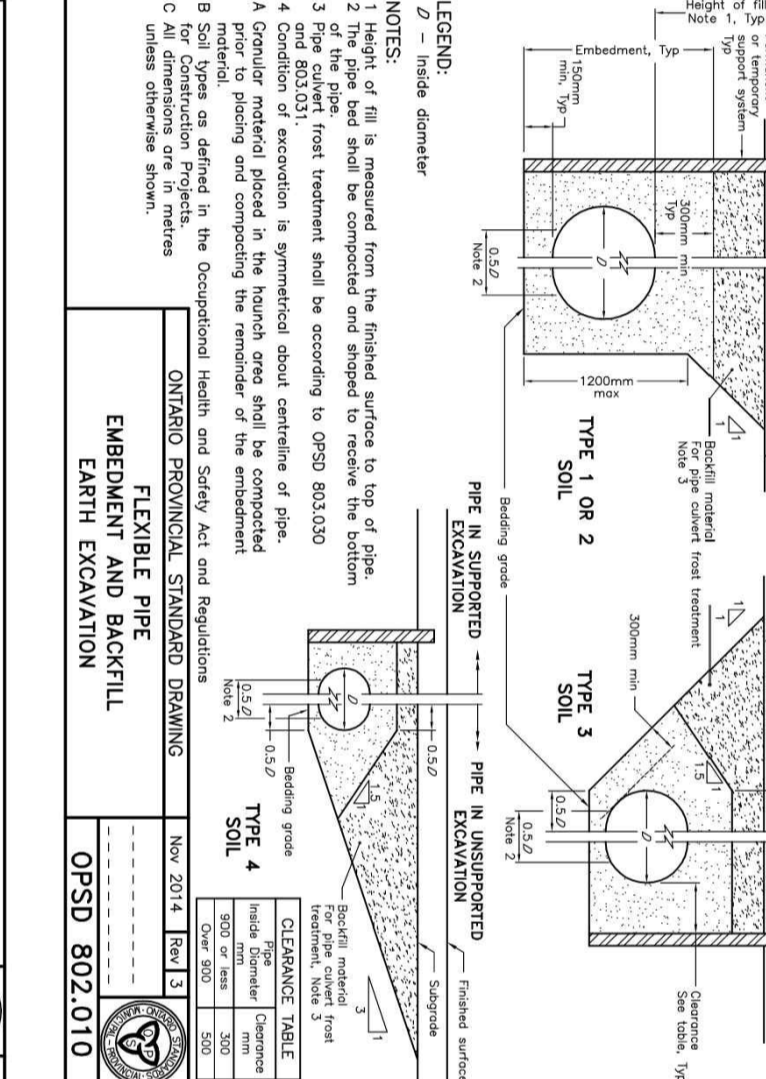
Ottawa SUPPORT DETAIL FOR EXISTING UTILITY CROSSING SEWER OR WATERMAIN TRENCH
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



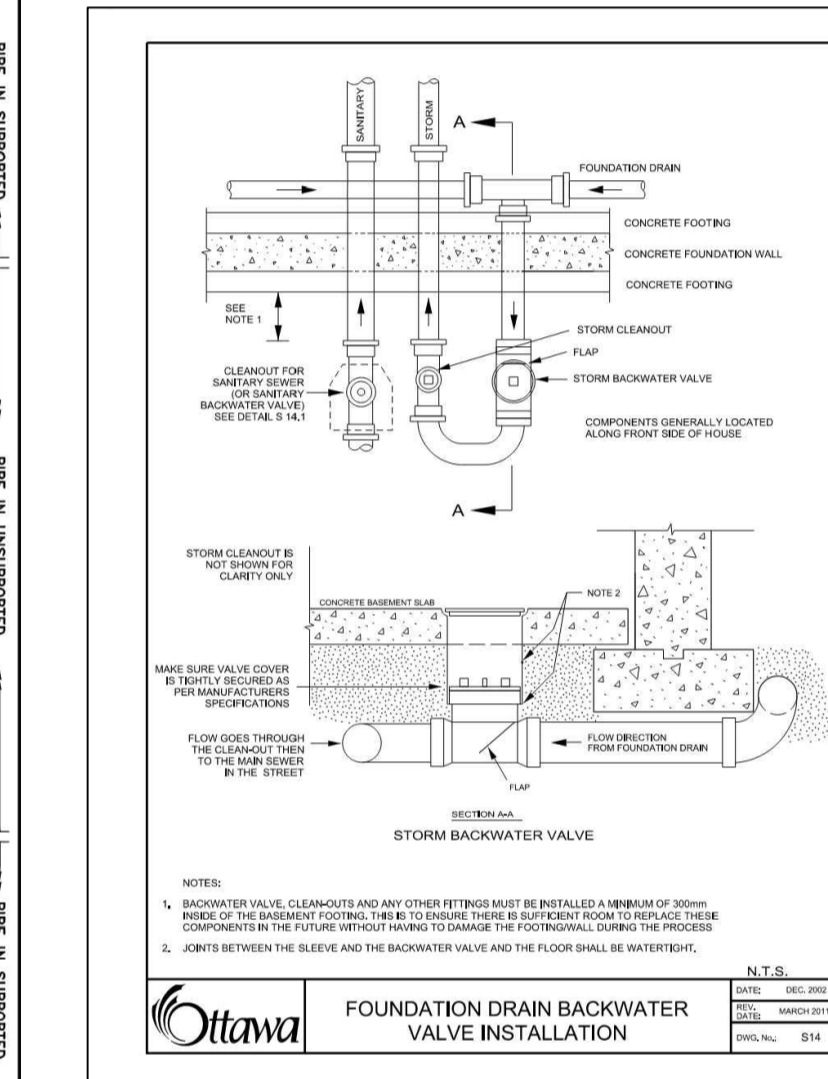
Ottawa CURB RETURN ENTRANCES
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



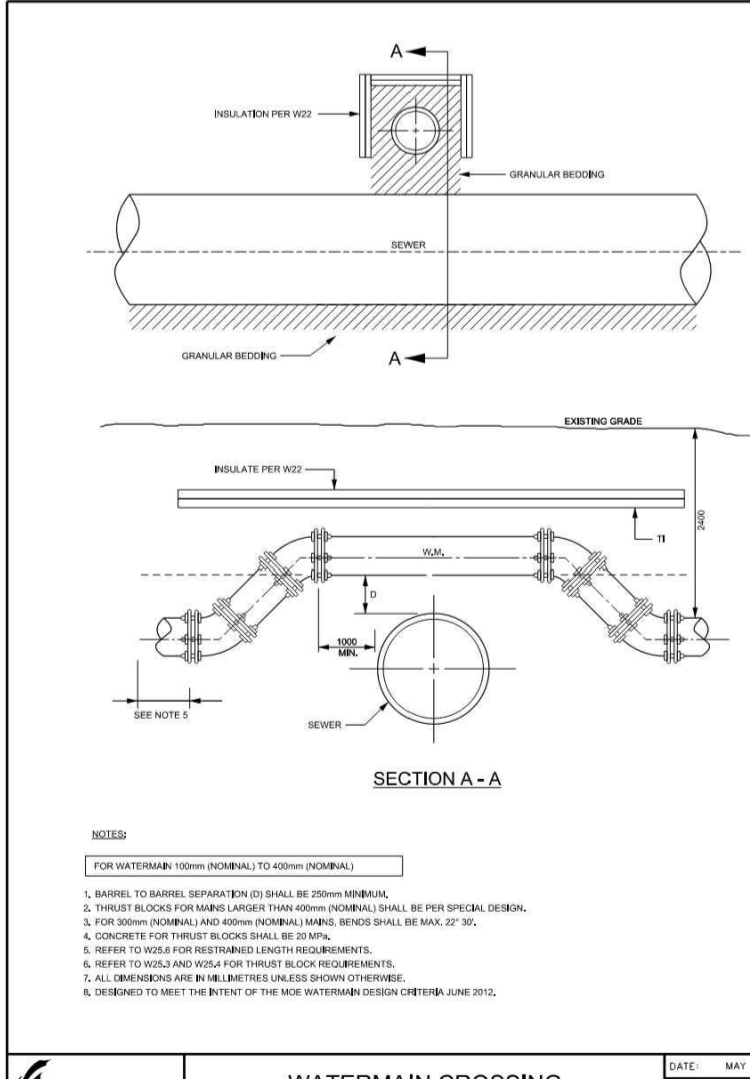
Ottawa CONCRETE BARRIER CURB
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



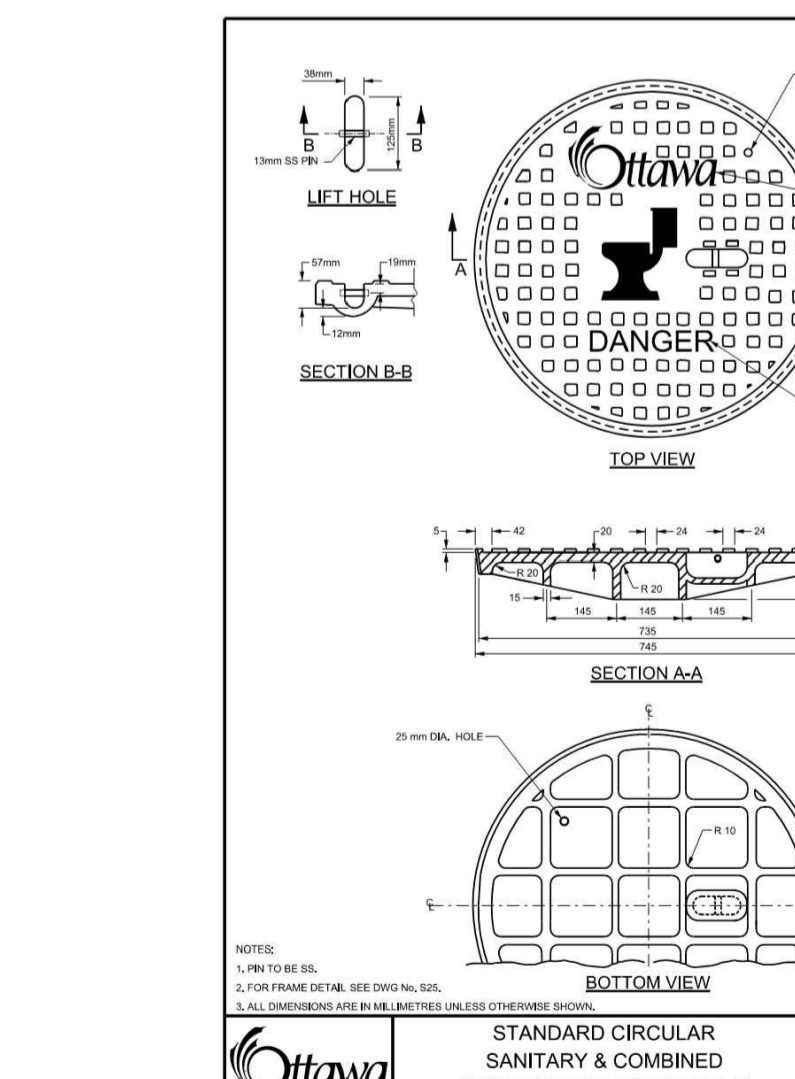
Ottawa FLEXIBLE PIPE EASEMENT EXPANSION
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



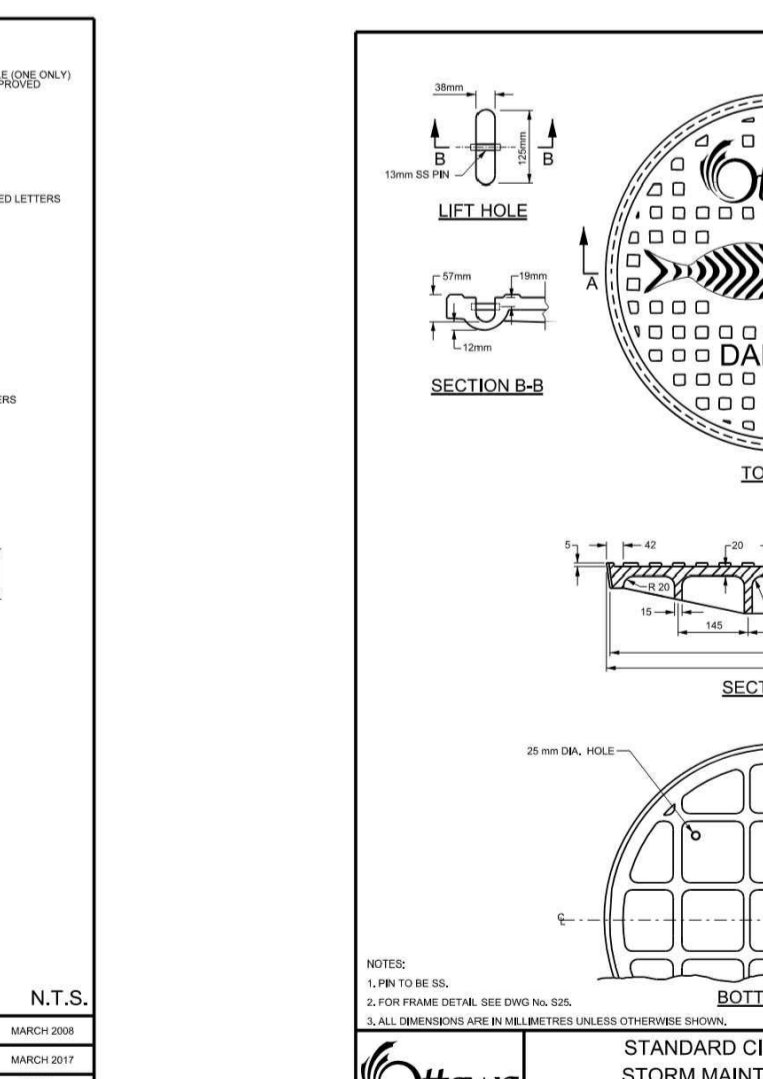
Ottawa FOUNDATION DRAIN BACKWATER VALVE INSTALLATION
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



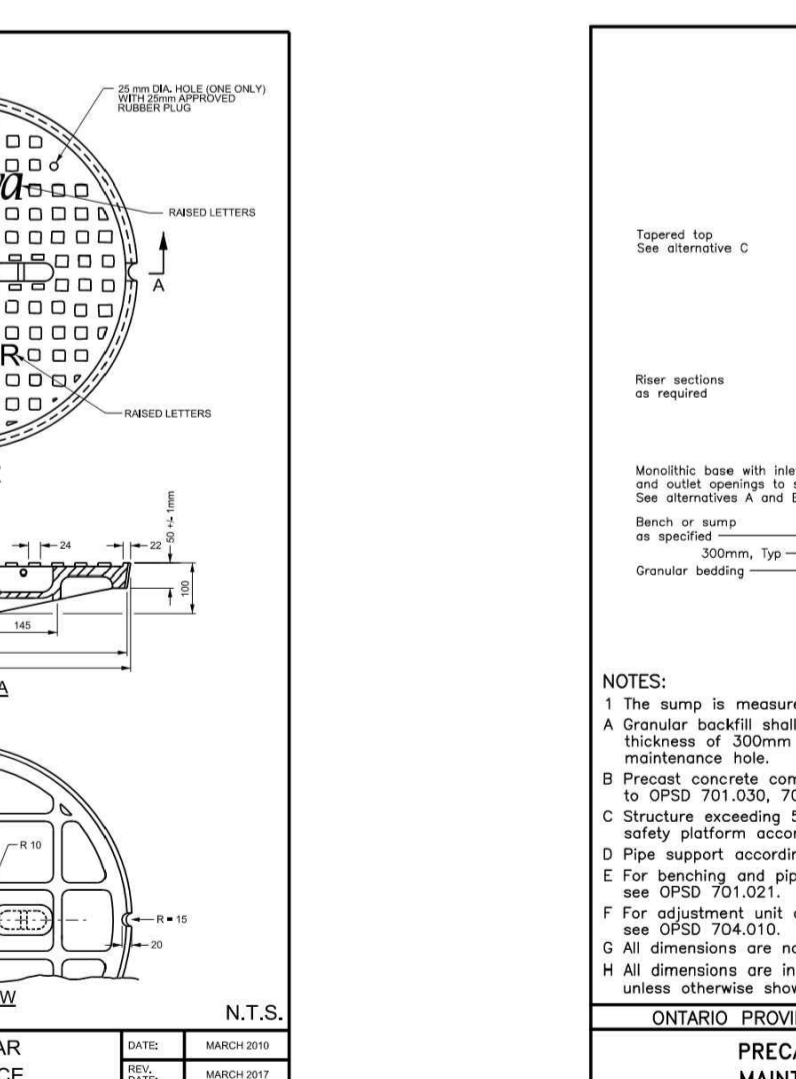
Ottawa WATERMAIN CROSSING OVER SEWER
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



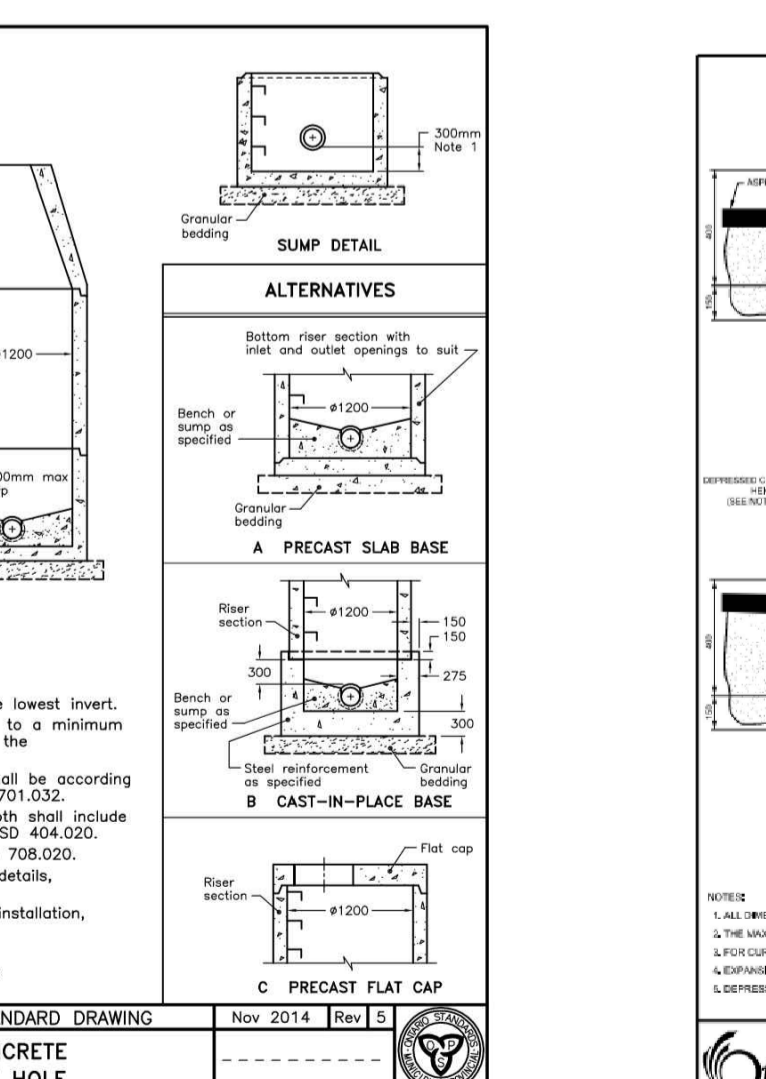
Ottawa STANDARD CIRCULAR SANITARY & COMBINED MAINTENANCE HOLE COVER
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



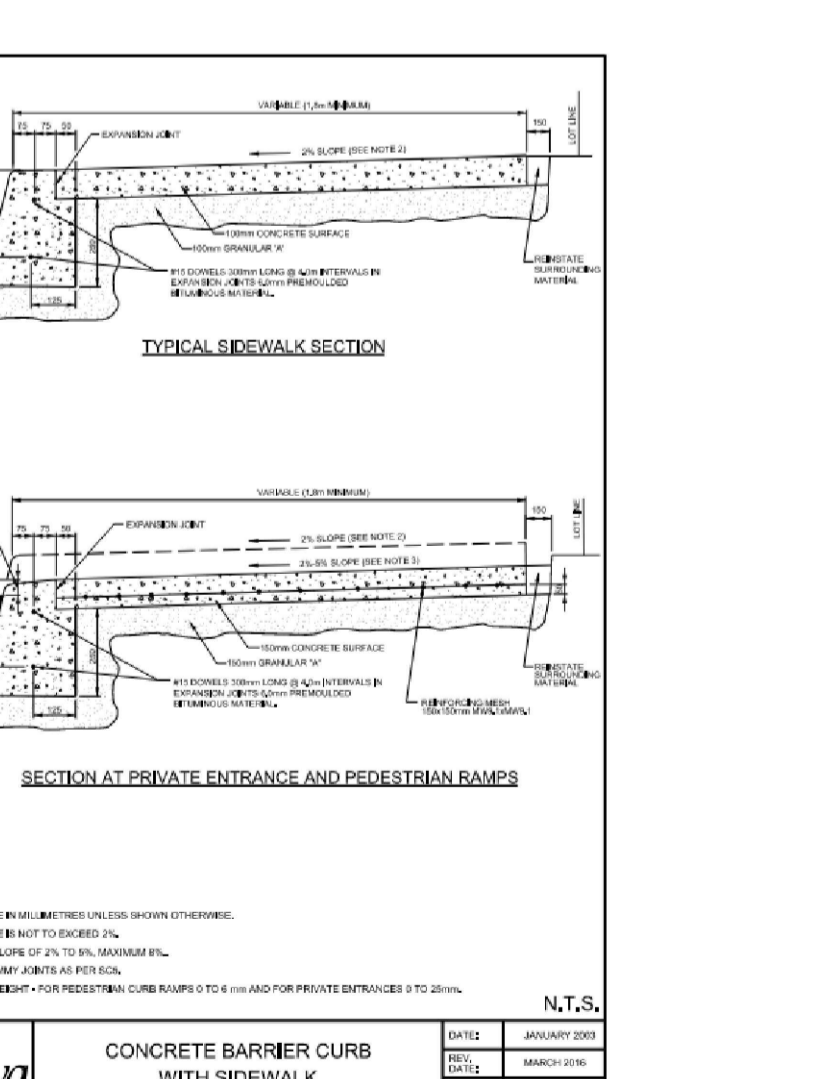
Ottawa STANDARD CIRCULAR STORM MAINTENANCE HOLE COVER
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



Ottawa PRECAST CONCRETE MAINTENANCE HOLE 1200mm DIAMETER
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



Ottawa SUMP DETAIL
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012



Ottawa TYPICAL SIDEWALK SECTION
DATE: MAY 2007
REV: MARCH 2011
REV: MAY 2012
REV: NOV 2012

USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER CONTRACTOR AGREEMENTS, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THEREOF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS ISSUED FOR CONSTRUCTION, THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS AN ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

UNAUTHORIZED CHANGES:

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY IRL ASSOCIATES LTD. (IRL) WITHOUT OBTAINING IRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST IRL AND TO RELEASE IRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS IRL FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

GENERAL NOTES:

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT, TO CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SIGN UNAUTHORIZED WORK.

No.	REVISIONS	BY	DATE
04	RE-ISSUED FOR APPROVAL	S.V.	16 JULY 2024
03	RE-ISSUED FOR APPROVAL	S.V.	03 MAY 2024
02	RE-ISSUED FOR APPROVAL	T.H.	14 APR 2023
01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022



NOT AUTHENTIC UNLESS SIGNED AND DATED



LRJ
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www.irl.ca | (613) 842-3434

CLIENT: **GSI PROPERTIES**

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **CONSTRUCTION DETAIL PLAN**

PROJECT NO: **220224**
DATE: **APRIL, 2023**

