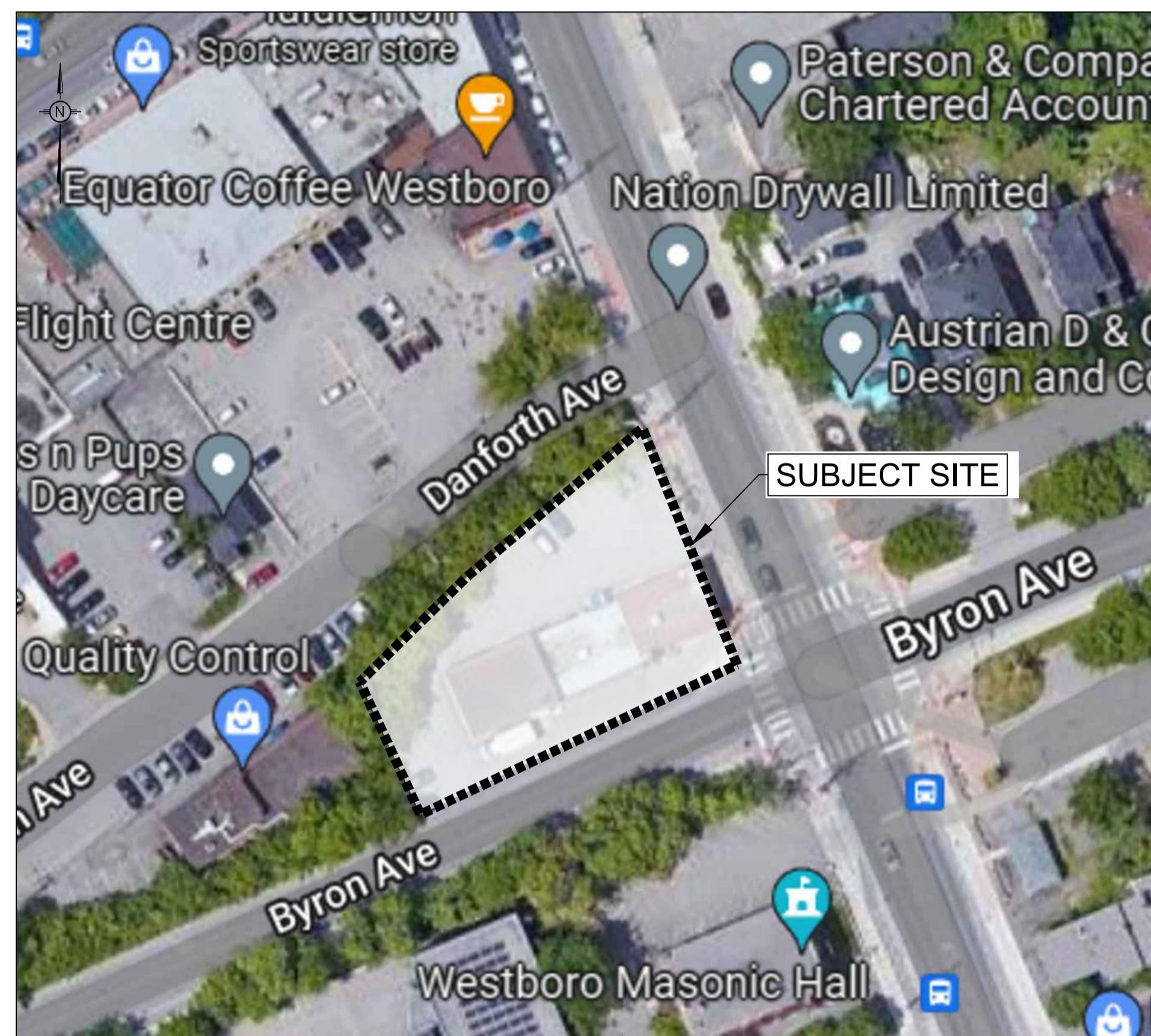


PROPOSED 7 STOREY CONDO REDEVELOPMENT 424 CHURCHILL AVE, OTTAWA ON

REVISION 3



KEY PLAN (N.T.S.)

DRAWING INDEX	
TITLE PAGE	
SEDIMENT AND EROSION CONTROL PLAN	C101
DEMOLITION PLAN	C102
GRADING AND DRAINAGE PLAN	C301
SERVICING PLAN	C401
STORMWATER MANAGEMENT PLAN	C601
PRE-DEVELOPMENT WATERSHED PLAN	C701
POST-DEVELOPMENT WATERSHED PLAN	C702
CONSTRUCTION DETAIL PLAN	C901



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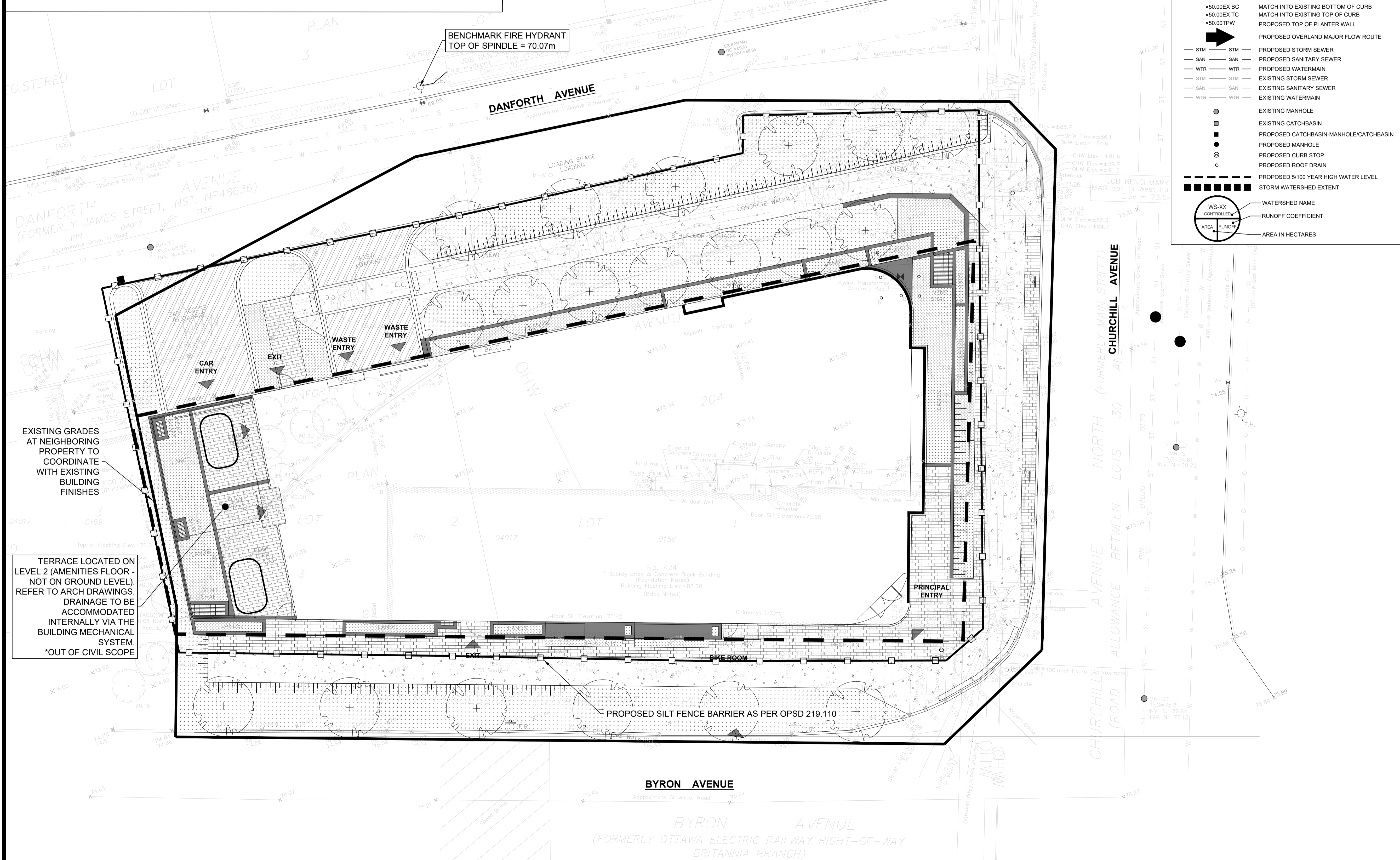
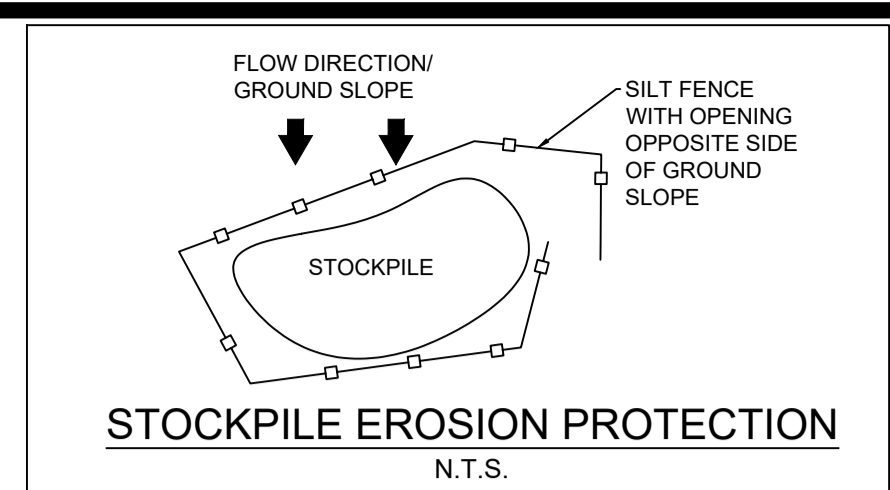
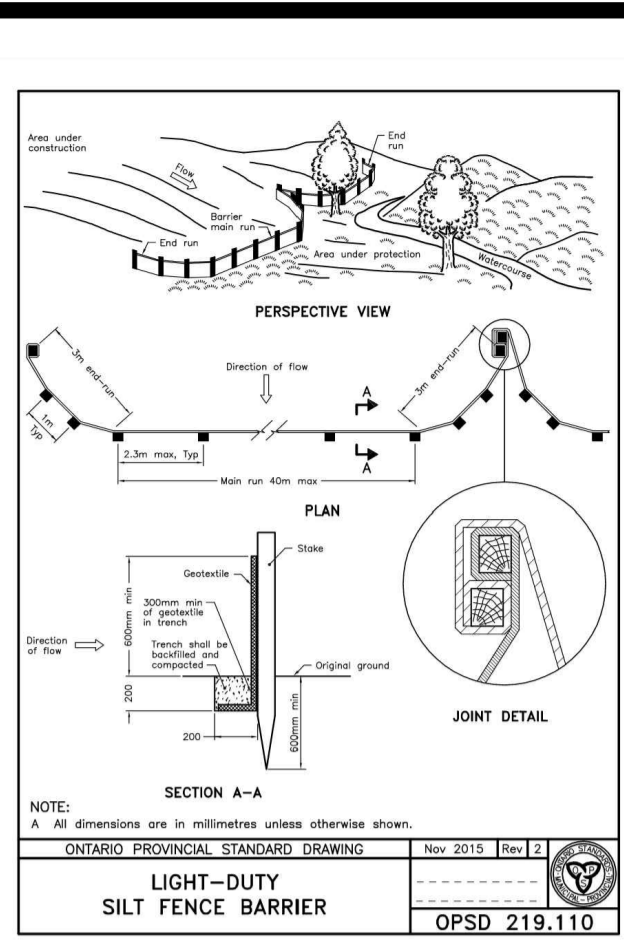
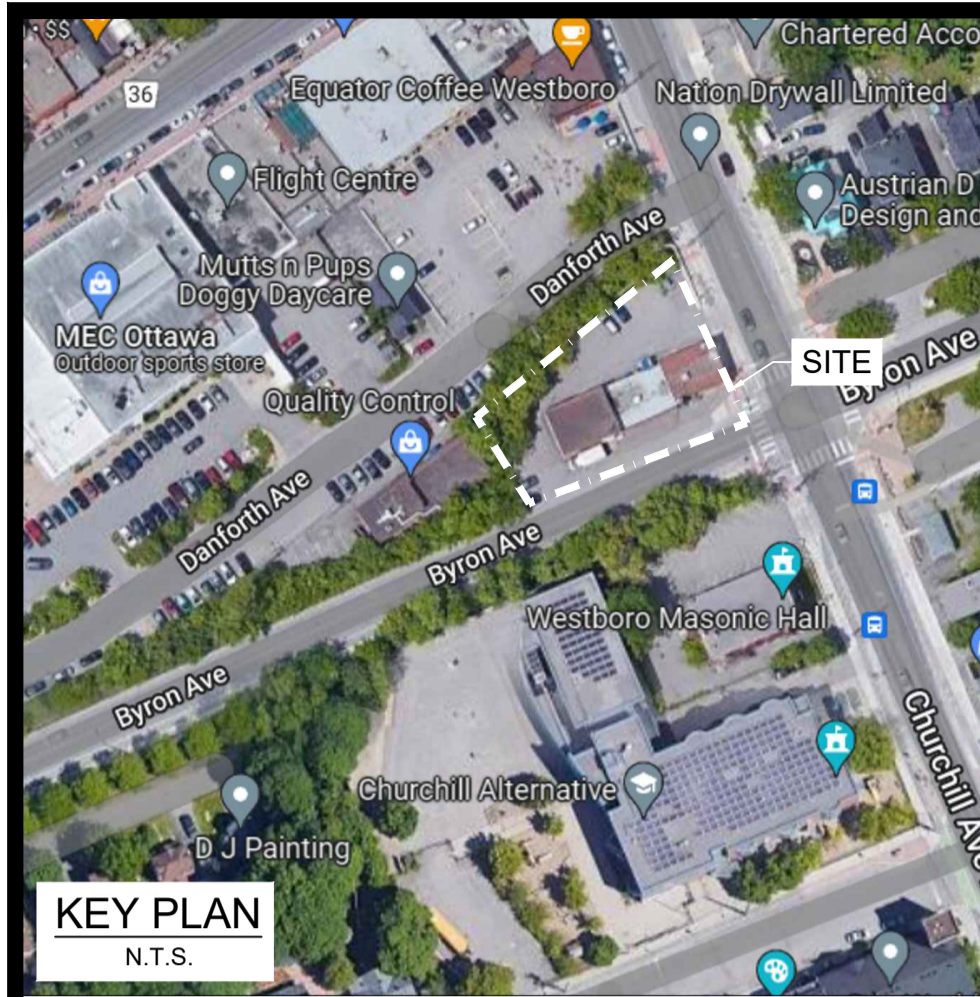
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www.lrl.ca | (613) 842-3434

PROPOSED 7 STOREY CONDO REDEVELOPMENT
424 CHURCHILL AVE, OTTAWA ON
RE-ISSUED FOR APPROVAL - MAY, 2024
LRL PROJECT no: 220224



NOT AUTHENTIC UNLESS SIGNED AND DATED



LEGEND:

	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED TERRACING
	PROPOSED SILT FENCE AS PER OPSD 219.110
	PROPOSED DOOR ENTRANCE/EXIT
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
	PROPOSED CONCRETE FEATURES/SLAB
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED SHALE ELEVATION
	PROPOSED BOTTOM OF CURB (ASPHALT ELEVATION)
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED EXPOSED BOTTOM OF RETAINING WALL
	PROPOSED TOP OF RETAINING WALL
	MATCH INTO EXISTING ELEVATION
	MATCH INTO EXISTING BOTTOM OF CURB
	MATCH INTO EXISTING TOP OF CURB
	PROPOSED TOP OF PLANTER WALL
	PROPOSED OVERLAND MAJOR FLOW ROUTE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED CURB STOP
	PROPOSED FLOOR DRAIN
	PROPOSED 100 YEAR HIGH WATER LEVEL
	STORM WATERSHED EXTENT
	WATERSHED NAME
	RUNOFF COEFFICIENT
	AREA IN HECTARES

USE AND INTERPRETATION OF DRAWINGS

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No.	REVISIONS	BY	DATE
03	RE-ISSUED FOR APPROVAL	S.V.	03 MAY 2024
02	RE-ISSUED FOR APPROVAL	T.H.	14 APR 2023
01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022



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www.lri.ca | (613) 842-3434

CLIENT: GSI PROPERTIES

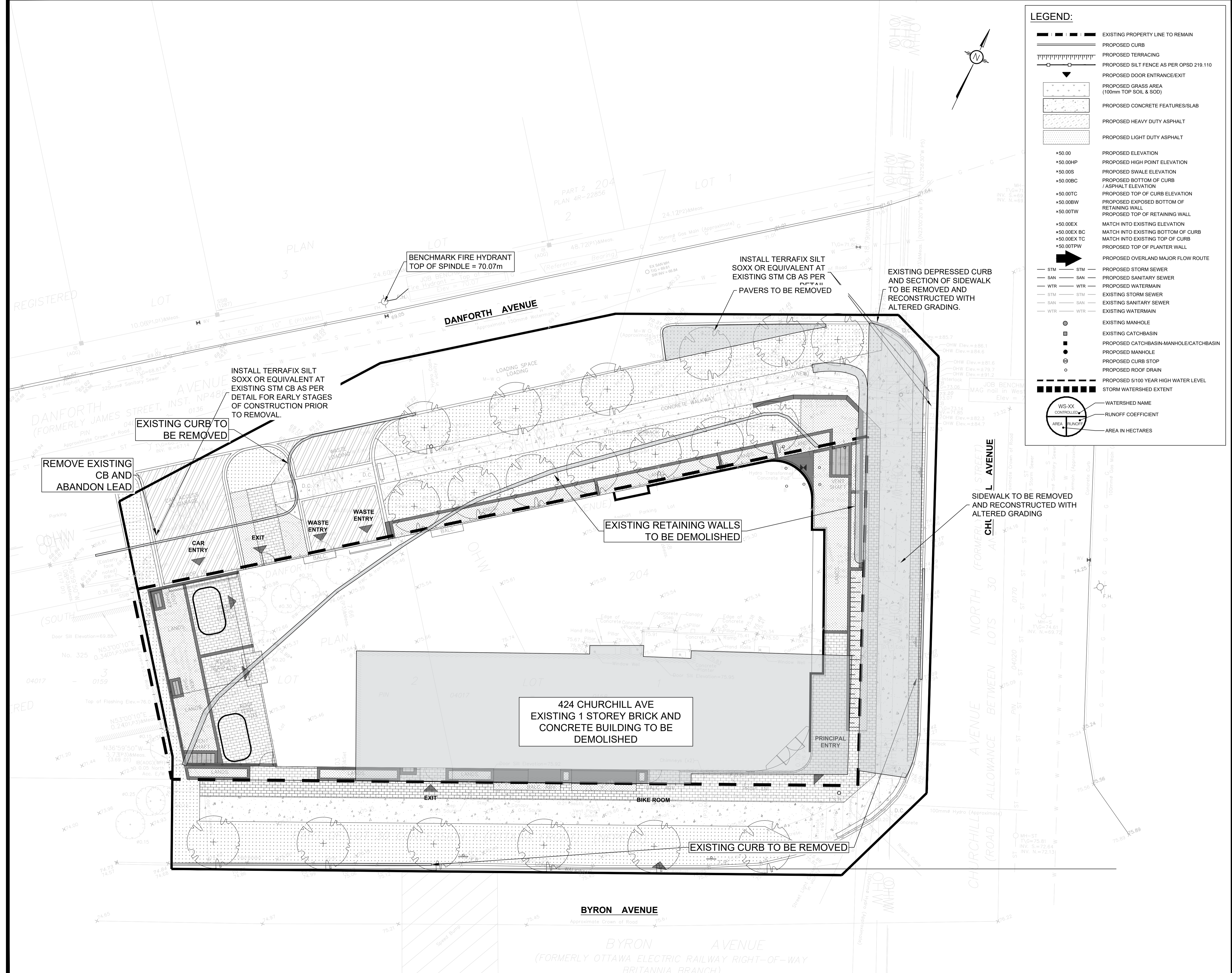
DESIGNED BY:	DRAWN BY:	APPROVED BY:
T.H.	T.H.	V.J.

PROJECT: PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO: 220224
DATE: APRIL, 2023





LEGEND:

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1.5m 0 3.0 6.0m
SCALE: 1:125

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www.lri.ca | (613) 842-3434

CLIENT: **GSI PROPERTIES**

DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **DEMOLITION PLAN**

PROJECT NO: 220224
DATE: APRIL, 2023

C102

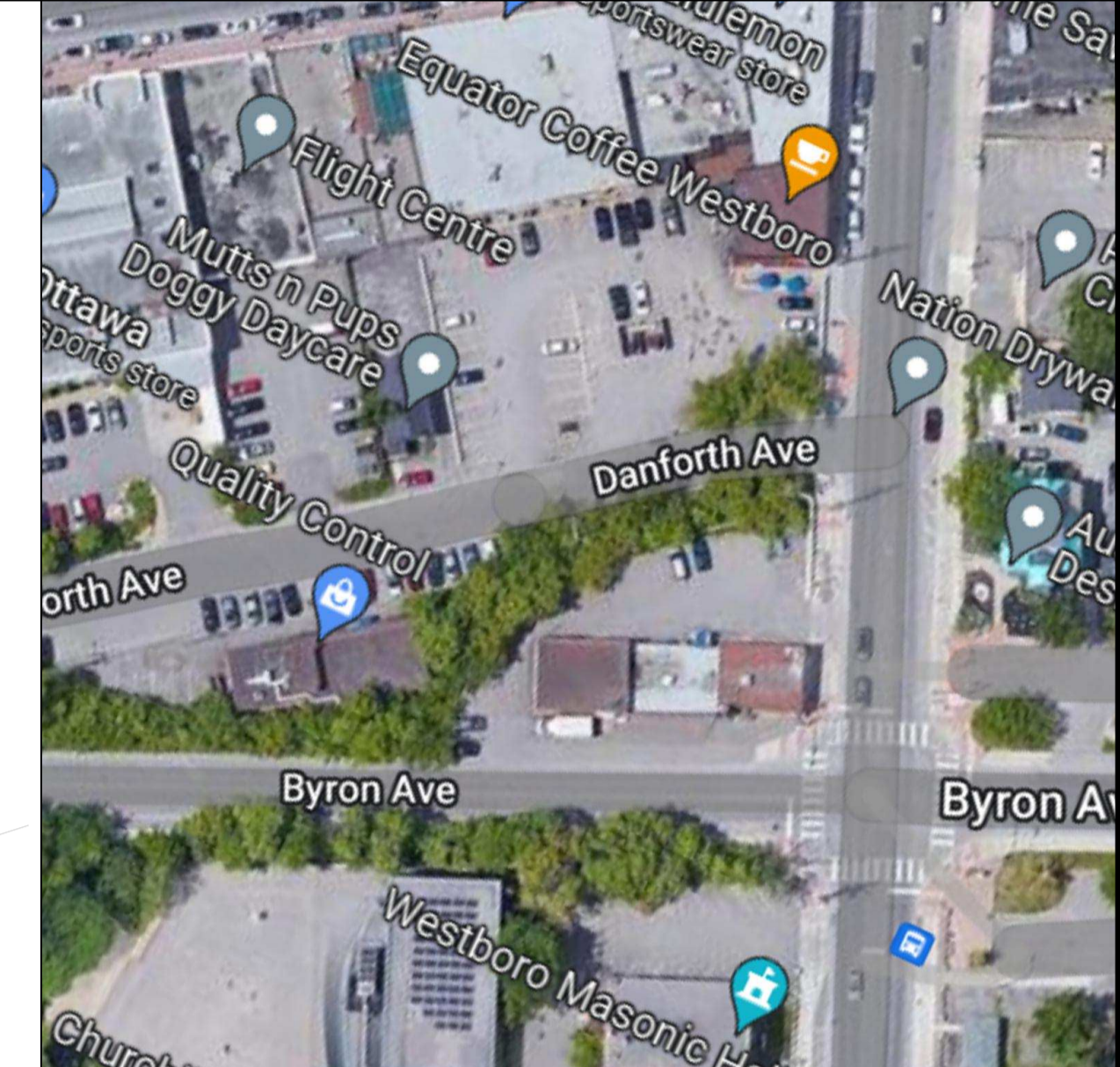
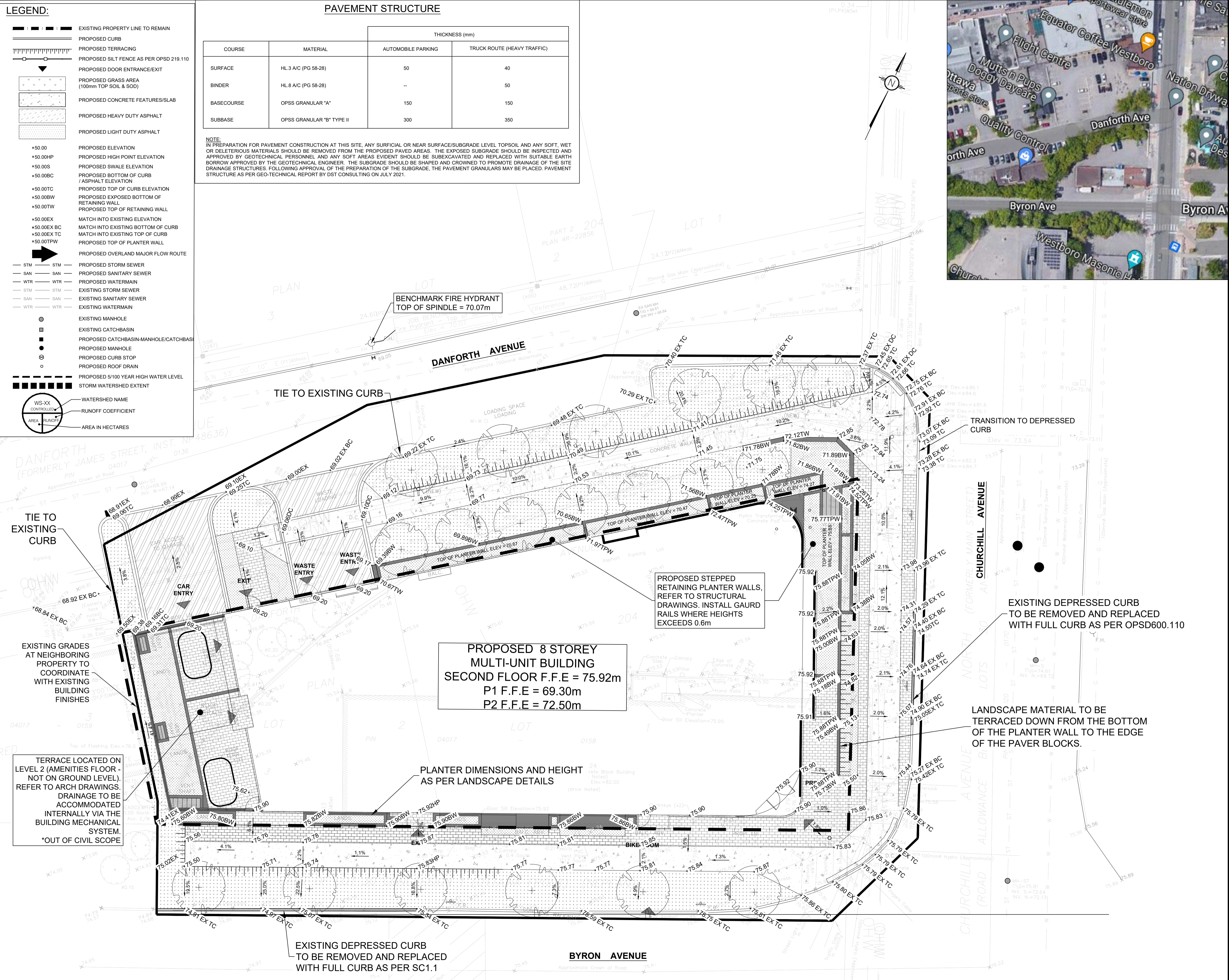
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- PROPOSED OVERLAND MAJOR FLOW ROUTE
- STM — STM — PROPOSED STORM SEWER
- SAN — SAN — PROPOSED SANITARY SEWER
- WTR — WTR — PROPOSED WATERMAIN
- STM — STM — EXISTING STORM SEWER
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- WTR — WTR — EXISTING WATERMAIN
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- PROPOSED MANHOLE
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- PROPOSED ROOF DRAIN
- PROPOSED 5/100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WS:XX WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

PAVEMENT STRUCTURE

COURSE	MATERIAL	THICKNESS (mm)	
		AUTOMOBILE PARKING	TRUCK ROUTE (HEAVY TRAFFIC)
SURFACE	HL.3 A/C (PG 58-28)	50	40
BINDER	HL.8 A/C (PG 58-28)	—	50
BASECOURSE	OPSS GRANULAR "A"	150	150
SUBBASE	OPSS GRANULAR "B" TYPE II	300	350

NOTE:
 IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS. THE EXPOSED SUBGRADE SHOULD BE INSPECTED AND APPROVED BY GEOTECHNICAL PERSONNEL AND ANY SOFT AREAS EVIDENT SHOULD BE SUBEXCAVATED AND REPLACED WITH SUITABLE EARTH BORROW APPROVED BY THE GEOTECHNICAL ENGINEER. THE SUBGRADE SHOULD BE SHAPED AND CROWNED TO PROMOTE DRAINAGE OF THE SITE DRAINAGE STRUCTURES FOLLOWING APPROVAL OF THE PREPARATION OF THE SUBGRADE, THE PAVEMENT GRANULARS MAY BE PLACED. PAVEMENT STRUCTURE AS PER GEO-TECHNICAL REPORT BY DST CONSULTING ON JULY 2021.



USE AND INTERPRETATION OF DRAWINGS

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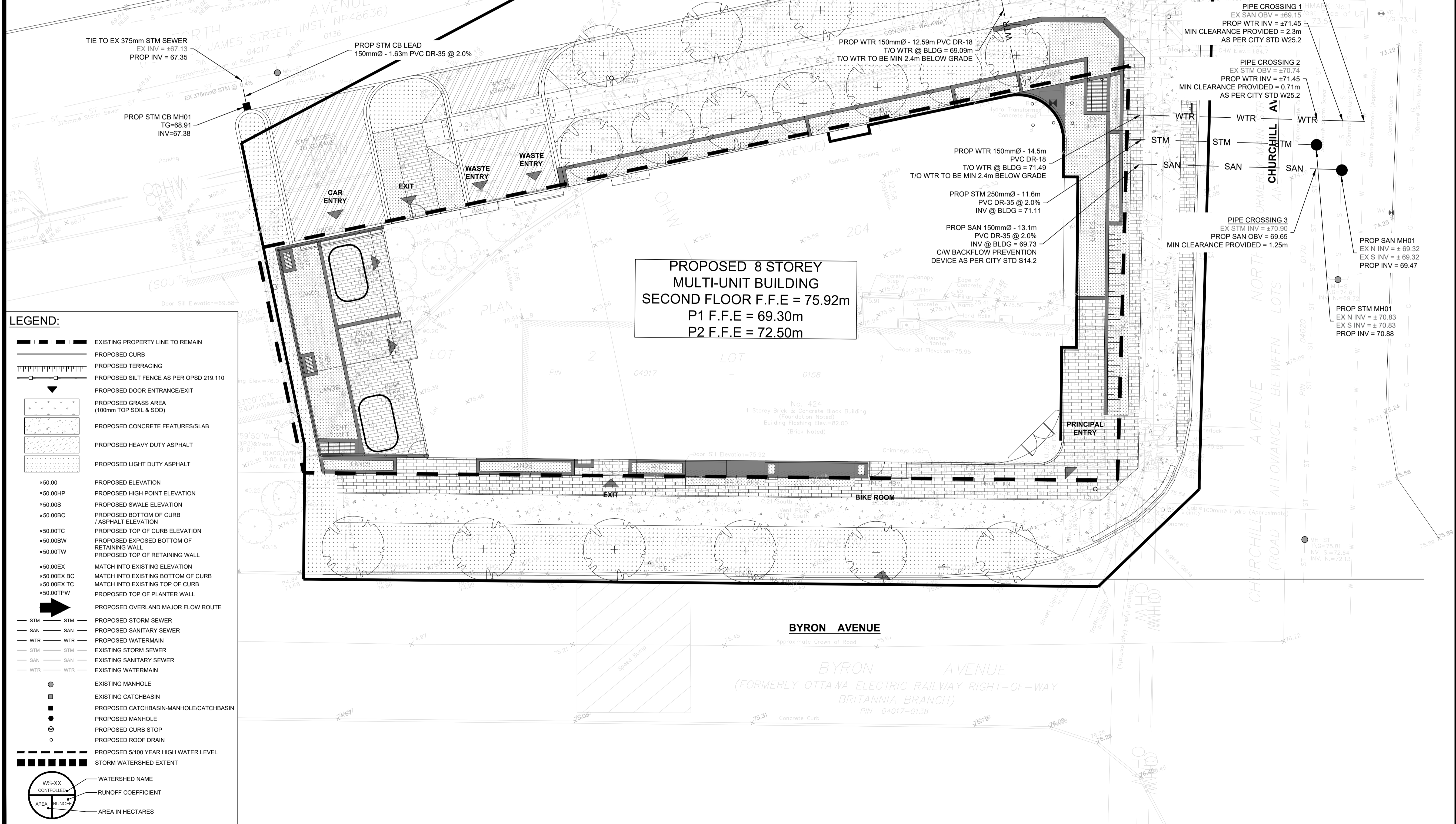
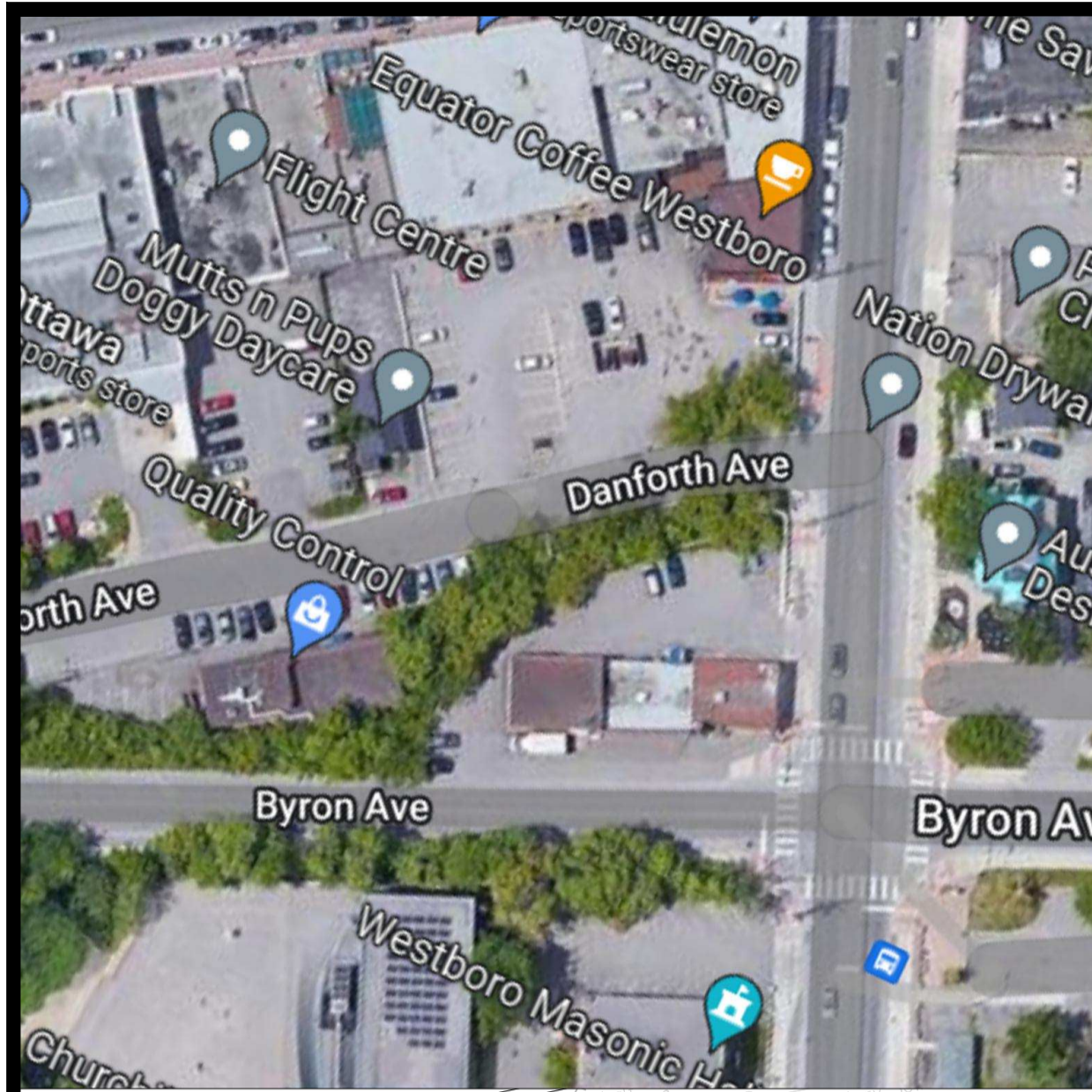
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CLIENT: GSI PROPERTIES
 DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: PROPOSED 7-STOREY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: GRADING AND DRAINAGE PLAN

PROJECT NO: 220224
 DATE: APRIL, 2023
C301



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5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

CLIENT: **GSI PROPERTIES**

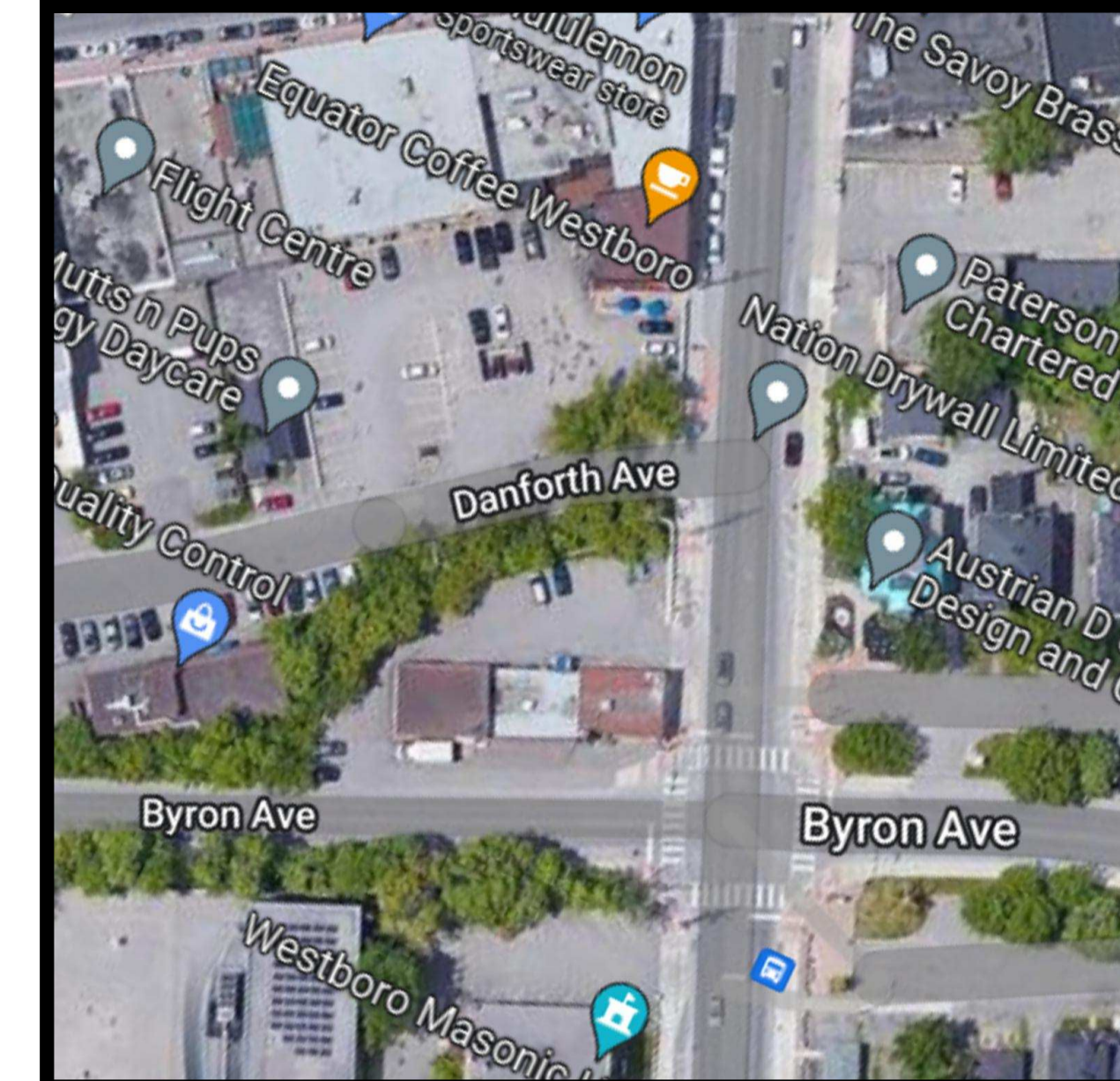
DESIGNED BY: T.H. DRAWN BY: T.H. APPROVED BY: V.J.

PROJECT: **PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON**

DRAWING TITLE: **SERVICING PLAN**

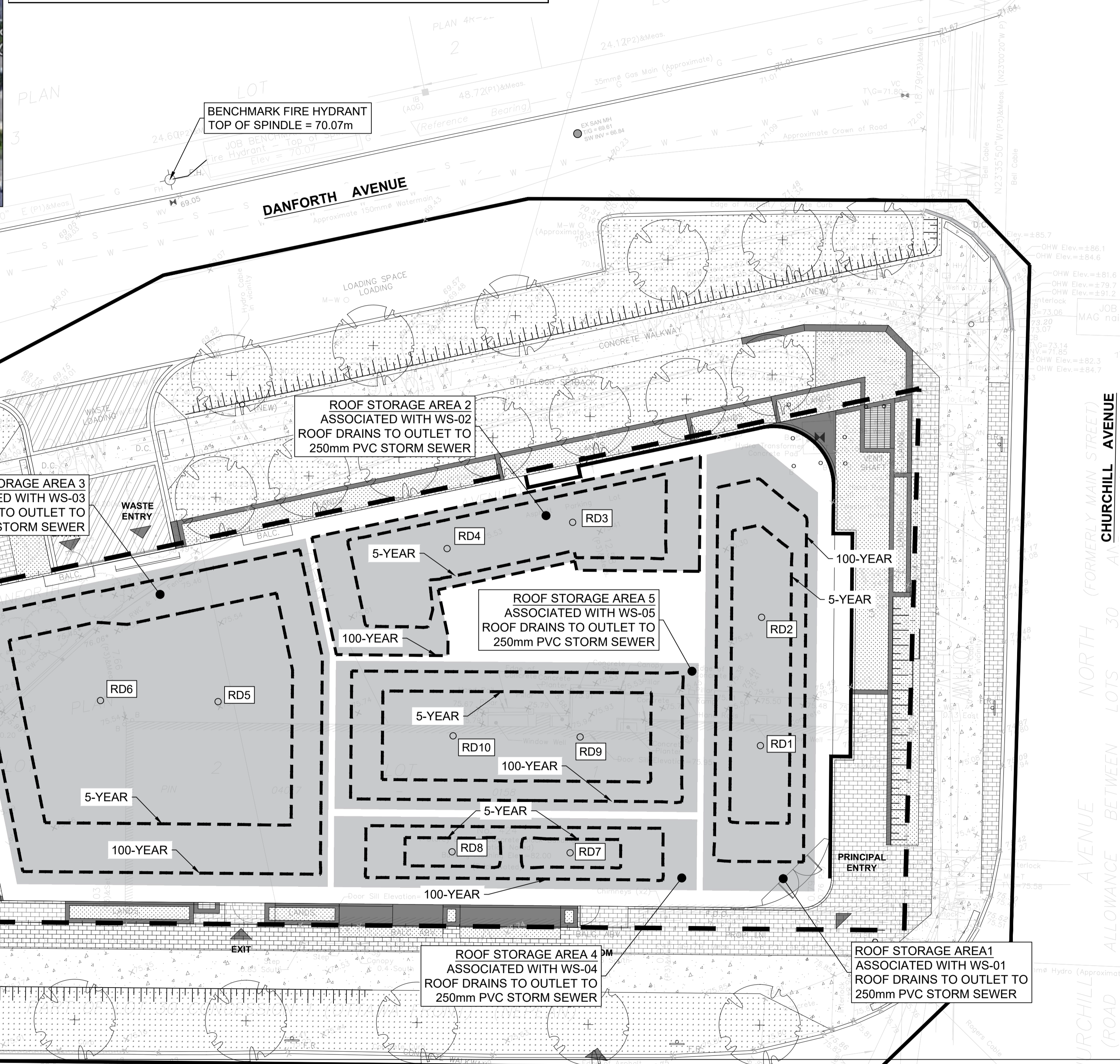
PROJECT NO.: 220224 DATE: APRIL, 2023

C401



SUMMARY OF RELEASE RATES AND STORAGE VOLUMES				
CATCHMENT AREAS	DRAINAGE AREAS (ha)	100-YEAR RELEASE RATE	100-YEAR REQUIRED STORAGE (m3)	TOTAL AVAILABLE STORAGE (m3)
WS-01 (ROOF)	0.012	1.26	3.15	6.03
WS-02 (ROOF)	0.014	1.26	4.23	4.55
WS-03 (ROOF)	0.025	1.26	9.46	13.17
WS-04 (ROOF)	0.006	1.26	1.09	3.14
WS-05 (ROOF)	0.013	1.26	3.76	6.64
TOTAL CONTROLLED	0.070	6.30	21.69	33.53
WS-06 (UNCONTROLLED)	0.031	15.59	0	0
TOTAL UNCONTROLLED	0.031	15.59	0.00	0.00
TOTAL	0.101	21.89	21.69	33.53

* Allowable Release Rate = 10.81L/s. As per City comments it's acceptable to only control the roof portion of the site. The remainder can be uncontrolled if it flows to the City ROW. Total controlled flow = 6.30L/s meeting the allowable release rate of 10.81L/s.



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED TERRACING
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
- PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- MATCH INTO EXISTING BOTTOM OF CURB
- MATCH INTO EXISTING TOP OF CURB
- PROPOSED TOP OF PLANTER WALL
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- STM - PROPOSED STORM SEWER
- SAN - PROPOSED SANITARY SEWER
- WTR - PROPOSED WATERMAIN
- STM - EXISTING STORM SEWER
- SAN - EXISTING SANITARY SEWER
- WTR - EXISTING WATERMAIN
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
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- PROPOSED 5/100 YEAR HIGH WATER LEVEL
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- WS-XX CONTROLLED
- AREA RUNOFF COEFFICIENT
- AREA IN HECTARES

USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE THE SCOPE AND INTENT OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS REQUIRED BY ALL WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAIL AS SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

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CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT, WHETHER OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

SCALE: 1:125

EXISTING GRADES AT NEIGHBORING PROPERTY TO COORDINATE WITH EXISTING BUILDING FINISHES

TERRACE LOCATED ON LEVEL 2 (AMENITIES FLOOR - NOT ON GROUND LEVEL). REFER TO ARCH DRAWINGS. DRAINAGE TO BE ACCOMMODATED INTERNALLY VIA THE BUILDING MECHANICAL SYSTEM. *OUT OF CIVIL SCOPE

No.	REVISIONS	BY	DATE
03	RE-ISSUED FOR APPROVAL	S.V.	03 MAY 2024
02	RE-ISSUED FOR APPROVAL	T.H.	14 APR 2023
01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022



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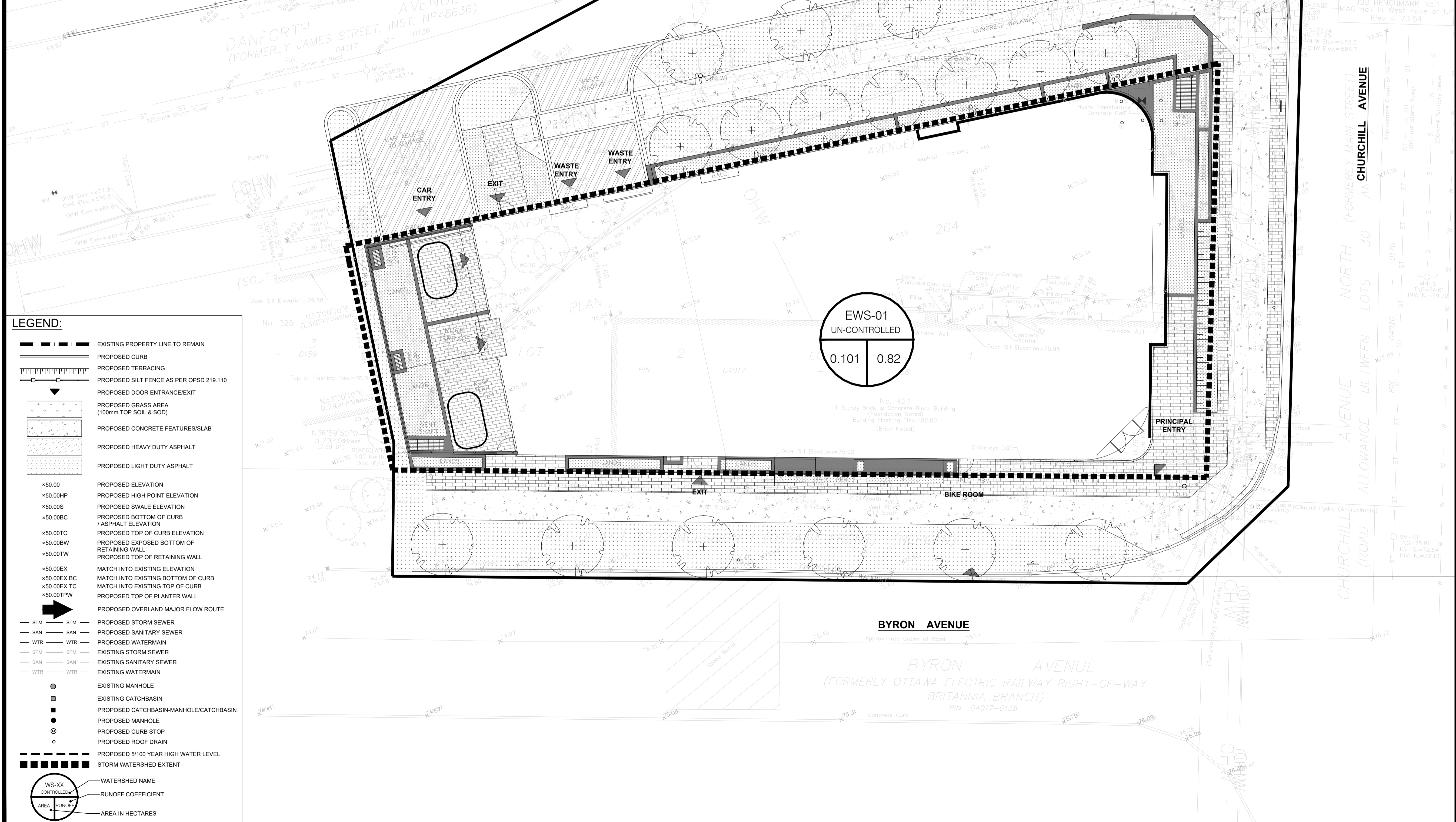
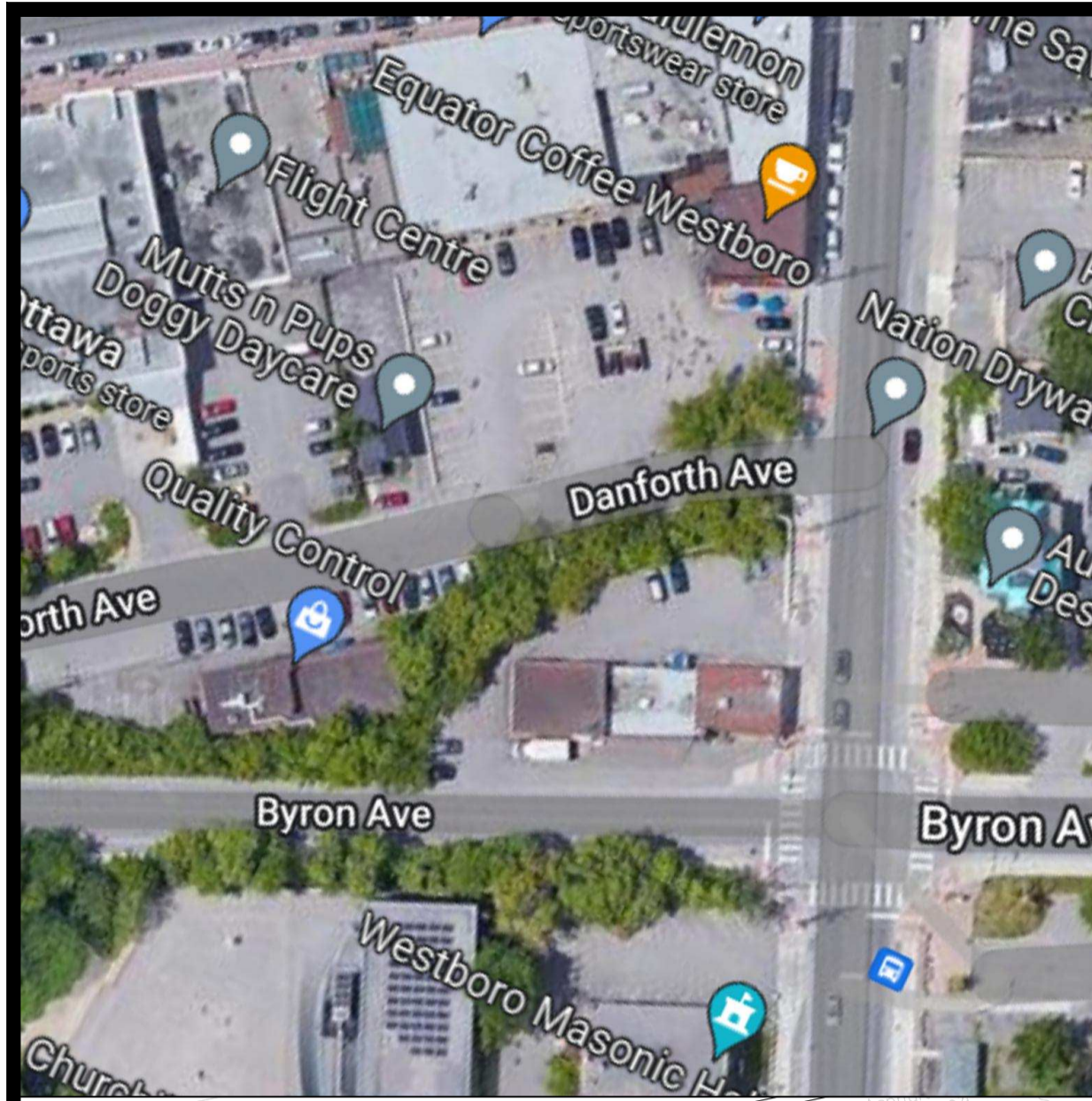
DRAWING TITLE: STORMWATER MANAGEMENT PLAN

PROJECT NO: 220224

DATE: APRIL, 2023

C601

Watershed	Associated Roof Drains	Drain Type	Weir Opening	Flow/Drain (L/s)	Available Storage Volume (m3)	Maximum Ponding Depth (m)	Required 5-Year Volume (m3)	5-Year Ponding Depth (m)	Required 100-Year Volume (m3)	100-Year Ponding Depth (m)
WS-01	1	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	6.03	0.15	1.06	0.08	3.15	0.12
	2	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-02	3	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	4.55	0.15	1.53	0.11	4.23	0.15
	4	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-03	5	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	13.17	0.15	3.78	0.10	9.46	0.14
	6	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-04	7	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	3.14	0.15	0.21	0.06	1.09	0.11
	8	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						
WS-05	9	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63	6.64	0.15	1.32	0.09	3.76	0.13
	10	WATTS ADJUSTABLE ACCUTROL RD-100-A1	Fully Closed	0.63						



LEGEND:

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- PROPOSED LIGHT DUTY ASPHALT
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- *50.00HP PROPOSED HIGH POINT ELEVATION
- *50.00S PROPOSED SWALE ELEVATION
- *50.00BC PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- *50.00TC PROPOSED TOP OF CURB ELEVATION
- *50.00BW PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- *50.00TW PROPOSED TOP OF RETAINING WALL
- *50.00EX MATCH INTO EXISTING ELEVATION
- *50.00EX BC MATCH INTO EXISTING BOTTOM OF CURB
- *50.00EX TC MATCH INTO EXISTING TOP OF CURB
- *50.00TPW PROPOSED TOP OF PLANTER WALL
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- STM - STM PROPOSED STORM SEWER
- SAN - SAN PROPOSED SANITARY SEWER
- WTR - WTR PROPOSED WATERMAIN
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- SAN - SAN EXISTING SANITARY SEWER
- WTR - WTR EXISTING WATERMAIN
- EXISTING MANHOLE
- EXISTING CATCHBASIN
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- PROPOSED 5/100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WS-XX WATERSHED NAME
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- A AREA IN HECTARES

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1.5m 0 3.0 6.0m
SCALE: 1:25

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02	RE-ISSUED FOR APPROVAL	T.H.	14 APR 2023
01	ISSUED FOR APPROVAL	T.H.	11 OCT 2022

LICENCED PROFESSIONAL ENGINEER
V. JOHNSON
100510576
05-03-2024
PROVINCE OF ONTARIO

NOT AUTHENTIC UNLESS SIGNED AND DATED

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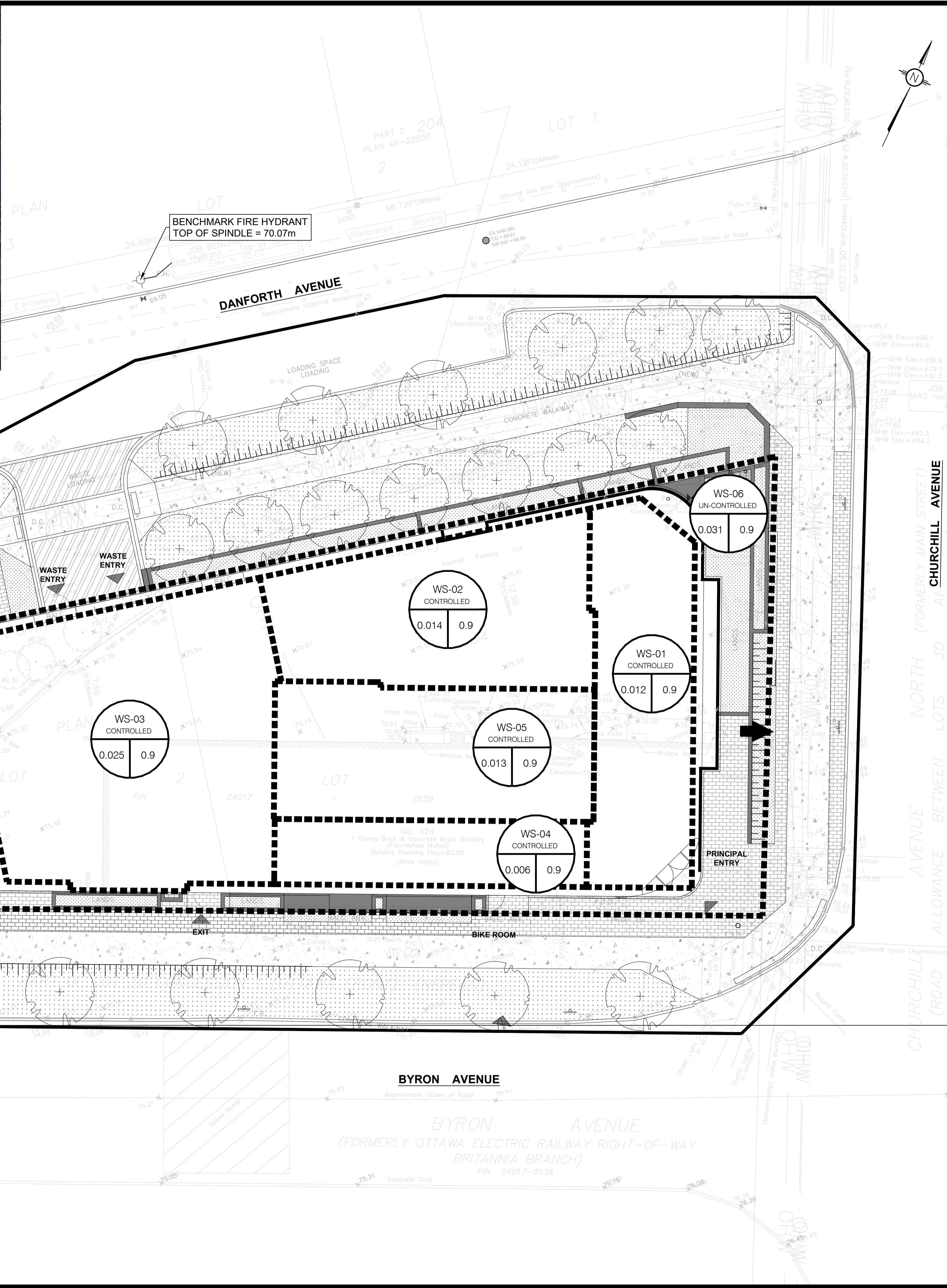
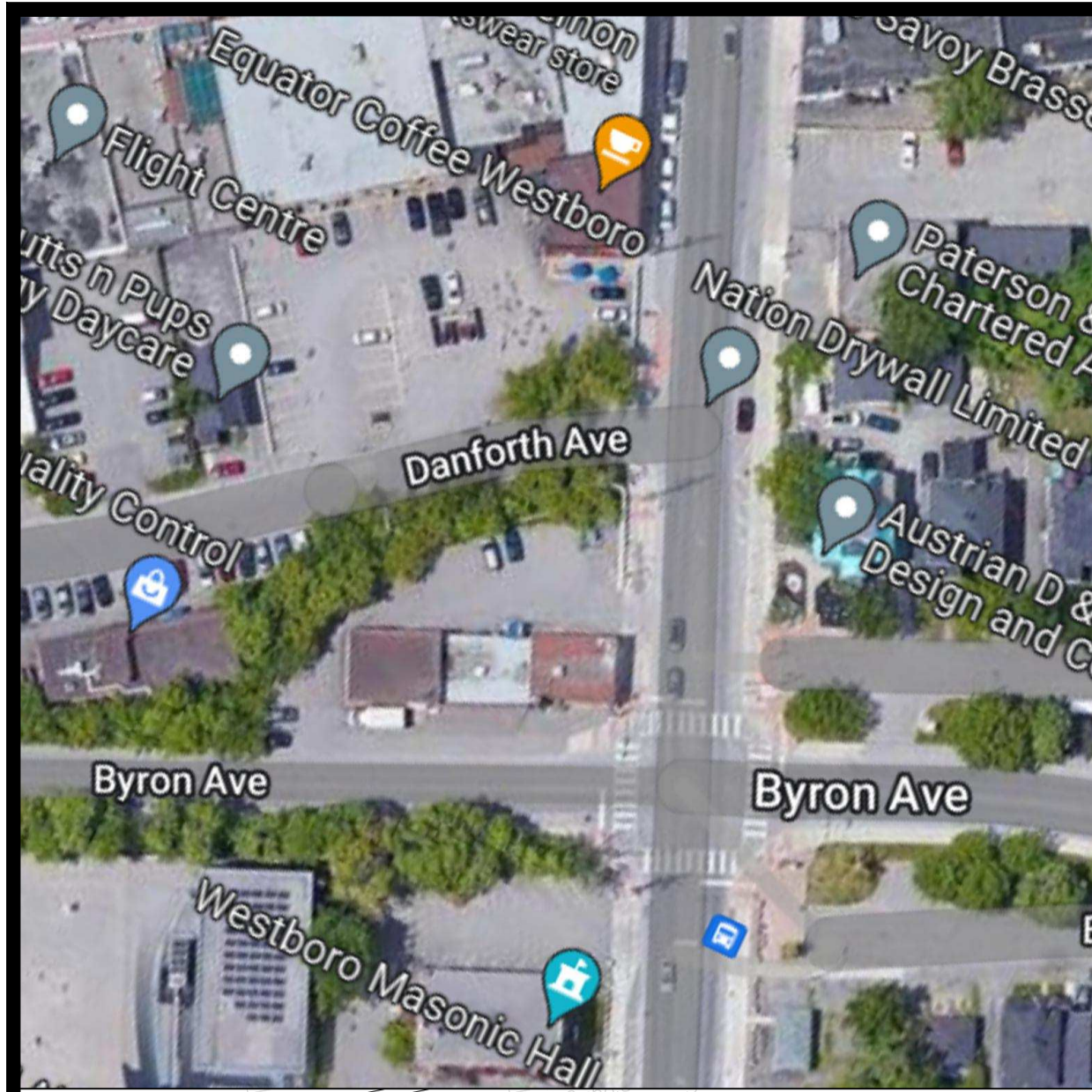
PROJECT: PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: PRE-DEVELOPMENT WATERSHED PLAN

PROJECT NO. 220224 DATE APRIL, 2023

C701

D07-16-08-0022 #16789



LEGEND:

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- ==== PROPOSED CURB
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PROJECT: PROPOSED 7-STORY CONDO RE-DEVELOPMENT 424 CHURCHILL AVE OTTAWA, ON

DRAWING TITLE: POST-DEVELOPMENT WATERSHED PLAN

PROJECT NO. 220224 DATE: APRIL, 2023

C702

