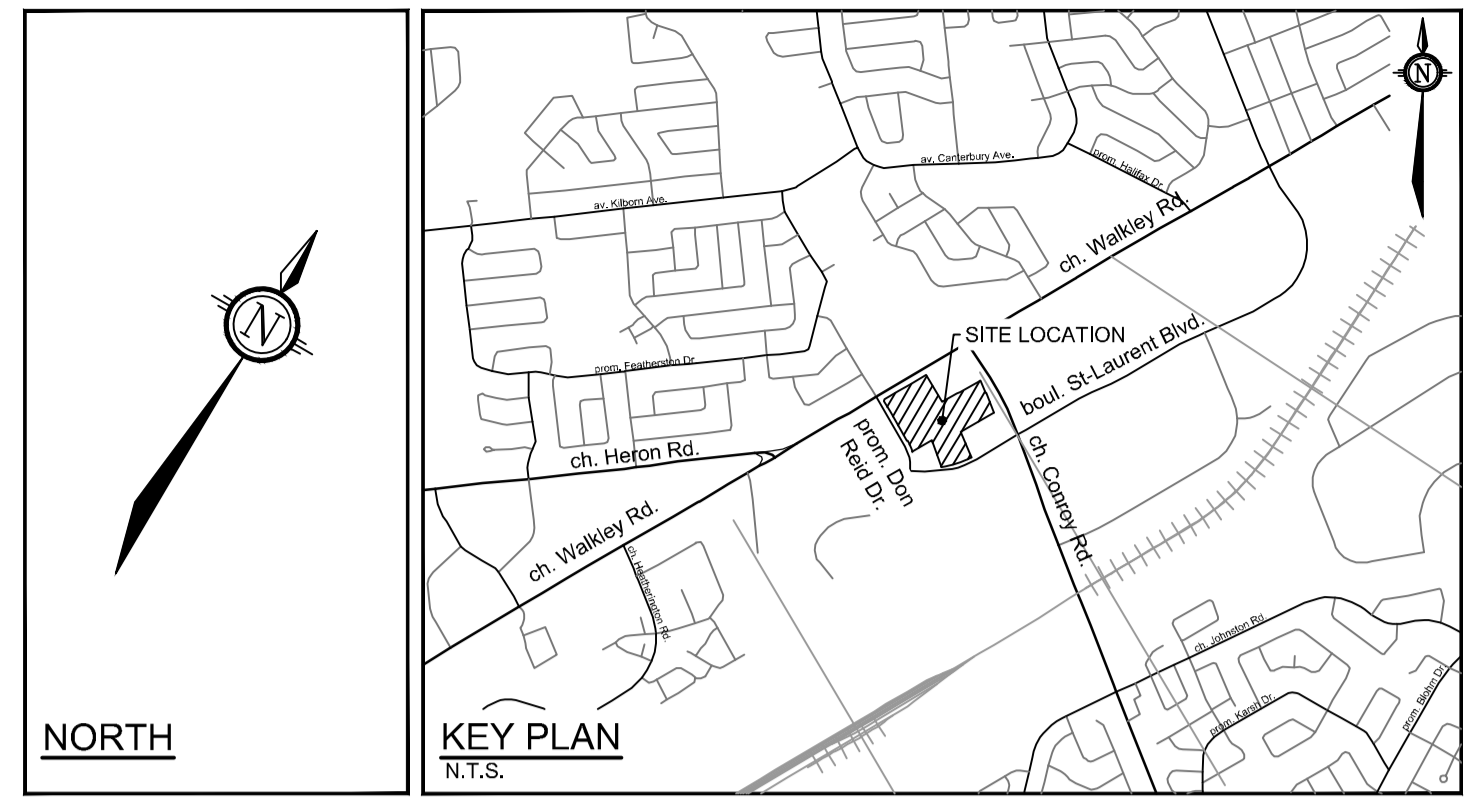
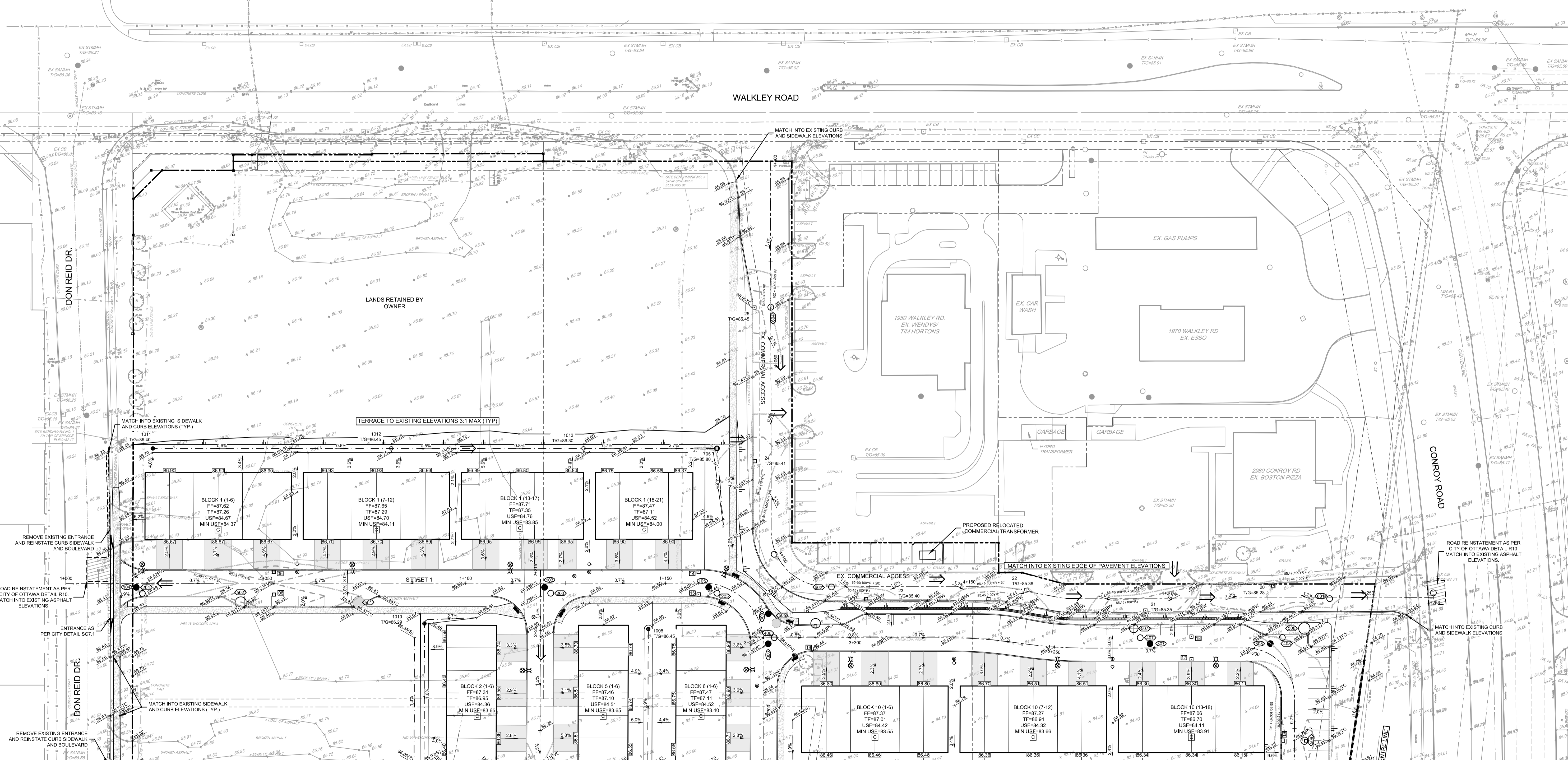


LEGEND

- PROPERTY LINE
- MISC LEGAL LINE (EASEMENT, PROPERTY LINES)
REFER TO LEGAL PLAN FOR DETAILS
- TT 50
TT 50P/V1
TT 50P/S
2.0%
X 76.45
- PROPOSED ELEVATION
- PROPOSED POINT OF VERTICAL INFLECTION ELEVATION
- PROPOSED SWALE ELEVATION
- SLOPE AND DIRECTION
- EXISTING ELEVATION
- DIRECTION OF MAJOR OVERLAND FLOW
- PROPOSED SAN MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED STORM MANHOLE C/W ICD
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED CATCHBASIN MANHOLE C/W ICD
- PROPOSED CATCHBASIN
- PROPOSED CATCHBASIN C/W ICD
- PROPOSED CATCHBASIN
- PROPOSED CATCHBASIN C/W ICD
- PROPOSED LANDSCAPE DRAIN
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE AND VALVE BOX
- TACTILE WALKING SURFACE INDICATOR (TWSI) PER CITY DETAIL SCT.3
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL C/W RAILING
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED ASPHALT DRIVEWAY
- SWALE C/W SUBDRAIN AND DIRECTION OF FLOW
- TERRACING 3:1 SLOPE MAX (UNLESS OTHERWISE INDICATED)
- FF= PROPOSED DWELLING ELEVATION
- TF= FINISHED FLOOR ELEVATION
- USF= UNDERSIDE OF FOOTING ELEVATION
- MIN USF= MINIMUM UNDERSIDE OF FOOTING ELEVATION
- 1:100 YEAR PONDING AREA AND ELEVATION
- 1:100 YEAR (+20%) PONDING AREA AND ELEVATION
- EXISTING UTILITY POLE C/W GUY WIRES
- EXISTING VALVE & VALVE CHAMBER
- EXISTING VALVE & VALVE BOX
- EXISTING HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCHBASIN
- EXISTING LIGHT STANDARD
- EXISTING FENCE
- EXISTING TRAFFIC SIGNAL
- EXISTING MONITORING WELL
- EXISTING TRANSFORMER
- EXISTING DITCH CENTRELINE

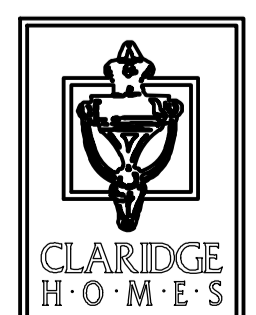


REFER TO 122040-ND2FOR ADDITIONAL NOTES & DETAILS



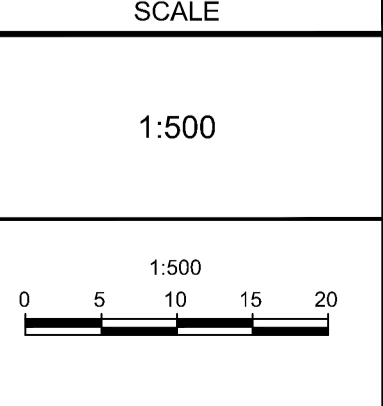
NOTE:
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED, BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

CLARIDGE HOMES
CLARIDGE HOMES
505 PRESTON STREET,
2ND FLOOR
OTTAWA, ONTARIO
K1S 4N7.



NOT FOR CONSTRUCTION

No.	REVISION	DATE	BY
4	REVISED SITE PLAN	SEPT 29/23	ARM
3	ISSUED FOR UTILITY COORDINATION	SEPT 20/23	ARM
2	REVISED PER CITY COMMENTS	MAY 26/23	GJM
1	ISSUED IN SUPPORT OF DEVELOPMENT APPLICATIONS	NOV 01/22	GJM



DESIGN	ARM
CHECKED	GJM
DRAWN	CJF/ARM
CHECKED	ARM
APPROVED	GJM

FOR REVIEW ONLY

NOVATECH
Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6
Telephone: (613) 254-9643
Facsimile: (613) 254-5867
Website: www.novatech-eng.com

LOCATION CITY OF OTTAWA 2510 ST. LAURENT BOULEVARD		PROJECT No.	122040
DRAWING NAME GRADING PLAN (NORTH)		REV	REV#4
		DRAWING No.	122040-GR2