



CARRUTHERS AVENUE DEVELOPMENT

266-268 CARRUTHERS AVENUE, OTTAWA, ON

ISSUED FOR RE-ZONING AND SPC

2022-11-07 11:46:29 AM

ARCHITECTURAL DRAWINGS



S.J. LAWRENCE ARCHITECT INC.
18 DEAKIN ST. SUITE 205
OTTAWA, ONTARIO K2E 8B7
(P) 613 739 7770
(F) 613 739 7703

MECHANICAL /
ELECTRICAL DRAWINGS



QUADRANT ENGINEERING LIMITED,
CONSULTING ENGINEERS
107 PRETORIA AVE.
OTTAWA, ONTARIO, K1S 1W8
(P) 613 567-1487
(F) 613 567-1493

PLANNER / LANDSCAPER

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS

JAMES LENNOX ASSOCIATES INC
3332 CARLING AVE.
OTTAWA, ONTARIO, K2H 5A8
(P) (613) 722-5168
(F) 1 (866) 343-3942

NOTES:
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 3) DO NOT SCALE DRAWINGS.
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

INTERIOR WALL ASSEMBLIES

P1 - NON-RATE INTERIOR PARTITION
 NON-LOAD BEARING/ NON-INSULATED PARTITION STUDS & GYPSUM TO US OF FLOOR/ TRUSS OR GYPSUM CEILING (UNO)
 • 1/2" GYPSUM BOARD + (TAPED, SANDED & PAINT)
 • 2x4 SPF STUD @ 16" O.C.
 • 1/2" GYPSUM BOARD + (TAPED, SANDED & PAINT)

P2 - NON-RATE INTERIOR PARTITION
 NON-LOAD BEARING/ INSULATED PARTITION STUDS & GYPSUM TO US OF FLOOR/ TRUSS OR GYPSUM CEILING (UNO)
 • 1/2" GYPSUM BOARD + (TAPED, SANDED & PAINT)
 • 2x4 SPF STUD @ 16" O.C. CW BATT INSULATION
 • 1/2" GYPSUM BOARD + (TAPED, SANDED & PAINT)

P3 - NON-RATED INTERIOR PLUMBING CHASE
 NON-LOAD BEARING/ INSULATED PLUMBING CHASE STUDS & GYPSUM TO US OF FLOOR/ TRUSS OR GYPSUM CEILING (UNO)
 • 1/2" GYPSUM BOARD + (TAPED, SANDED & PAINT)
 • 2x4 SPF STUD @ 16" O.C. CW BATT INSULATION

P4 - 1HR RATED INTERIOR PARTITION (45MIN FRR REQUIRED)
 RATED, INTERIOR, LOAD BEARING AND NON LOAD BEARING, PARTY WALLS STUDS & GYPSUM TO US OF BEAM/JOIST OR FIRE RATED GYPSUM CEILING (UNO)
 1HR FRR (2012 OBC W14)
 STC-51
 • 5/8" TYPE-X GYPSUM BOARD + (TAPED, SANDED & PAINT)
 • 2x6 WOOD STUD FRAMING @ 16" O.C. MAX CW BATT INSULATION
 • 1/2" RESILIENT METAL CHANNELS SPACED 24" O.C.
 • 5/8" TYPE-X GYPSUM BOARD + (TAPED, SANDED & PAINT)

P5 - 1HR RATED INTERIOR PARTITION (45MIN FRR REQUIRED)
 RATED, LOAD BEARING AND NON LOAD BEARING, INTERIOR WALLS STUDS & GYPSUM TO US OF BEAM/JOIST OR FIRE RATED GYPSUM CEILING (UNO)
 1HR FRR (2012 OBC W14)
 STC-36
 • 5/8" TYPE-X GYPSUM BOARD + (TAPED, SANDED & PAINT)
 • 2x6 WOOD STUD FRAMING @ 16" O.C. MAX CW BATT INSULATION (AS PER OBC SB-2 WALL TYPE W16 SUB TEXT "a")
 • 5/8" TYPE-X GYPSUM BOARD + (TAPED, SANDED & PAINT)

P6 - NON-RATE INTERIOR PARTITION
 SAME AS P5 - 2x4 STUD REPLACED WITH 2x6 STUD @ 16" O.C.

FLOOR ASSEMBLIES

F1 - BASEMENT SLAB
 • FLOOR FINISH (TBD BY OWNER)
 • 4" CONCRETE SLAB CW WELDED WIRE MESH
 • 2" EPS INSULATION
 • 8" REINFORCED POLY. VAPOR BARRIER
 • 8" COMPACTED GRANULAR FILL TO OBC 2012 9.16.2.1
 • UNDISTURBED SOIL OR COMPACTED FILL AS GEO-TECH ENGINEERING
 PROVIDE VAPOR RETARDER UNDER ENTIRE LEVEL 1 SLAB ON GRADE

F2 - TYPICAL FLOOR ASSEMBLY
 TYPICAL RATED FLOOR ASSEMBLY
 45min FRR (FLOOR TYPE F9h - 2012 OBC) STC-53
 • FLOOR FINISH (TBD BY OWNER)
 • 5/8" 1x6 PLYWOOD SUBFLOOR (GLUED & SCREWED)
 • 14" T&I FLOOR JOISTS (REFER TO MANUFACTURER SHOP DWGS) CW BATT INSULATION
 • RESILIENT METAL CHANNELS SPACED @ 24" O.C.
 • 2 LAYERS OF 1/2" TYPE X GYPSUM BOARD (TAPED, SANDED & PAINT)
 ALL HVAC DUCT WORK TO BE CONCEALED IN DROP BULKHEADS BELOW RATED CEILING MEMBRANE

FOUNDATION WALLS

F1 - EXTERIOR FOUNDATION WALL
 • CEMENT PARGING FOR EXPOSED FDN WALL TO 8" BELOW GRADE
 • HDPE DIMPLED DRAINAGE MEMBRANE FROM GRADE TO FOOTING
 • BITUMINOUS DAMPROOFING
 • CONCRETE WALL (THICKNESS AS INDICATED ON PLANS)

F2 - INTERIOR FOUNDATION WALL
 • CONCRETE WALL (THICKNESS AS INDICATED ON PLANS)

EXTERIOR WALL ASSEMBLIES

W1 - WALL TYPE
 LOAD BEARING EXTERIOR WALL WITH STONE/BRICK VENEER (REFER TO ELEVATIONS), COLOUR & PROFILE TBD BY OWNER
 1 HOUR FRR (OBC SB-3 W1b)
 MIN: R-19 + CI R5
 • 3-1/2" MASONRY VENEER CW TIES & WEEP HOLES
 • 1" AIR SPACE & MASONRY CAVITY MESH
 • 1" RIGID INSULATION (R-5 CI)
 • VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED
 • 5/8" DENGLASS SHEATHING W/ FIREGUARD
 • 2x6" WOOD STUDS AS PER STRUCTURAL
 • 2x6" WOOD STUDS AS PER STRUCTURAL
 • CW R-19 MINERAL FIBER INSULATING (AS PER OBC SB-2 WALL TYPE W1b (1)(H))
 • 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS)
 • 1/2" TYPE X GYPSUM BOARD + (TAPED, SANDED & PAINT)

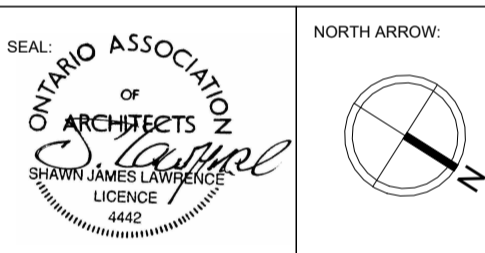
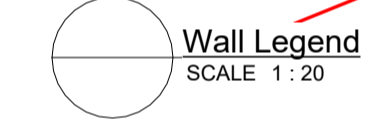
W2 - WALL TYPE
 LOAD BEARING EXTERIOR WALL WITH ALUMINUM PLATE PANEL SYSTEM - COLOUR TBD BY OWNER
 MIN: R-19 + CI R5
 • ALUMINUM PLATE PANEL CW THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER
 • 1" AIRSPACE
 • 1" RIGID INSULATION (R-5 CI)
 • AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED
 • 5/8" DENGLASS SHEATHING W/ FIREGUARD
 • 2x6" WOOD STUDS AS PER STRUCTURAL
 • CW R-19 MINERAL FIBER INSULATING (AS PER OBC SB-2 WALL TYPE W1b (1)(H))
 • 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS)
 • 1/2" TYPE X GYPSUM BOARD + (TAPED, SANDED & PAINT)

W3 - WALL TYPE
 LOAD BEARING EXTERIOR WALL WITH HORIZONTAL METAL SIDING - COLOUR TBD BY OWNER
 MIN: R-19 + CI R5
 • PRE-FINISHED METAL CLADDING
 • THERMALLY BROKEN GLAZING SUPPORT SYSTEM
 • 1" AIRSPACE
 • 1" RIGID INSULATION (R-5 CI)
 • AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED
 • 5/8" DENGLASS SHEATHING W/ FIREGUARD
 • 2x6" WOOD STUDS AS PER STRUCTURAL
 • CW R-19 MINERAL FIBER INSULATING (AS PER OBC SB-2 WALL TYPE W1b (1)(H))
 • 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS)
 • 1/2" TYPE X GYPSUM BOARD + (TAPED, SANDED & PAINT)

ROOF ASSEMBLIES

R1 - TYPICAL ROOF TERRACE
 TYPICAL RATED ROOF ASSEMBLY
 45min FRR (FLOOR TYPE F9h - 2012 OBC)
 R-VALUE = R33 MIN
 • (2) 5/8" X 2 X 2 COMPOSITE PANEL PAVES SYSTEM CW ADJUSTABLE PAVES PEDESTALS
 • FULLY ADHERED TPO ROOF MEMBRANE ASSEMBLY
 • 1/2" MEMBRANE UNDERLAYMENT
 • SLOPED INSULATION (AS INDICATED ON ROOF PLAN)
 • 5/8" EXTERIOR GRADE SHEATHING CW H-CLIPS
 • 16" LVL (REFER TO MANUFACTURER SHOP DWGS)
 • MIN. R-31 MEDIUM DENSITY (2-LB) CLOSED CELL SPRAY FOAM INSULATION (CONTINUOUS VAPOR BARRIER)
 • 1/2" RESILIENT CHANNEL @ 24" O.C. MAX.
 • 1/2" TYPE X GYPSUM BOARD
 • 1/2" TYPE X GYPSUM BOARD (TAPED, SANDED & PAINT)

R2 - ROOF ABOVE STAIRS
 R-VALUE = R31 MIN
 • FULLY ADHERED TPO ROOF MEMBRANE ASSEMBLY
 • 1/2" MEMBRANE UNDERLAYMENT
 • SLOPED INSULATION (AS INDICATED ON ROOF PLAN)
 • 5/8" EXTERIOR GRADE SHEATHING CW H-CLIPS
 • 2x8 ROOF JOIST (REFER TO MANUFACTURER SHOP DWGS)
 • MIN. R-31 MEDIUM DENSITY (2-LB) CLOSED CELL SPRAY FOAM INSULATION (CONTINUOUS VAPOR BARRIER)
 • 1x3" WOOD STRAPPING @ 16" O.C. MAX.
 • 1/2" TYPE X GYPSUM BOARD (TAPED, SANDED & PAINT)



No.	DATE	REVISION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

ONTARIO BUILDING CODE MATRIX

Item	WINCHESTER DEVELOPMENT, 454 LANCASTER LANE, WINCHESTER, ON, BUILDING B	OBC Reference
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration 11.1 to 11.4 1.1.2. [A] 1.1.2. [A] & 10.1.3.	
2	Major Occupancy (s) Group: C Building Area (m²): Existing 0m², New 382m², Total 382m² Gross Area (m²): Existing 0m², New 1,528m², Total 1,528m² Number of Stories: Above Grade 3, Below Grade 1 Height of Building (m): +/- 11.18m Number of Streets/ Fire Fighter Access: 1 Building Classification: RESIDENTIAL, OBC	3.1.2.1. (1) 9.10.2. 1.1.1.2. [A] 1.1.1.2. [A] 1.1.1.2. [A] 1.1.1.2. [A] & 3.2.1.1. 3.2.2.10. & 3.2.5. 3.2.2.20. - .83 9.10.2. 9.10.8.2. 3.2.1.5. 3.2.2.17. INDEX
9	Sprinkler System Proposed: <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> Not Required	INDEX
10	Standpipe Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9. N/A
11	Fire Alarm Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4. 9.10.18.
12	Water Service/ Supply is adequate: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7. N/A
13	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6. N/A
14	Permitted Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible	3.2.2.20. - .83 9.10.6.
15	Mezzanine(s) Area (m²): 0	3.2.1.1. (3)(18) 9.10.4.1.
16	Occupant load based on: <input type="checkbox"/> m²/person <input type="checkbox"/> Design of building 1st and second Floor: Occupancy Group: Load: 0 Persons Basement (1): Occupancy Group: Load: 21 Persons 4th floor (1): Occupancy Group: Load: 21 Persons Total Occupant Load: Load: 42 Persons	3.1.1.7. 9.9.1.3.
17	Barrier-free Design: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.8. 9.5.2.
18	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19 9.10.1.3. (4) 9.10.8. 9.10.9.
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies: FRR (Hours): Listed Design No. or Description (SB-2) Floors: 45min / 1hr Refer to Assemblies Roof: 0hr Refer to Assemblies Mezzanine: n/a Refer to Assemblies Exits: n/a Refer to Assemblies FRR of Supporting Members: Listed Design No. or Description (SB-2) Floors: 45min / 1hr Refer to Assemblies Roof: 0hr Refer to Assemblies Mezzanine: n/a Refer to Assemblies	3.2.2.20. .83 & 3.2.1.4. 9.10.8. 9.10.9.
20	Spatial Separation - Construction of Exterior Walls Wall: Area of EBP (m²): L.D. (m): L/H or H/L: Permitted Max % of openings: FRR (Hours): Listed Design or Description: Construction: Cladding: North: n/a 100% 0hr East: n/a 100% 0hr South: n/a 100% 0hr West: REFER TO SOUTH ELEVATION FOR CALCUS 1hr SB-2 W1b	3.2.3. 9.10.14.

GENERAL NOTES:

- ALL WALLS TO BE CONTINUOUS FROM SLAB TO SLAB UNLESS NOTED OTHERWISE.
- ALL INTERIOR CORRIDORS AND DEMISING WALLS BETWEEN SUITES TO BE TYPE P5 UNLESS OTHERWISE NOTED.
- REFER TO FINISH SCHEDULE IN ID PACKAGE. REPLACE GYPSUM BOARD WITH TILE BACKER IN ALL AREAS HAVING CERAMIC TILE WALL FINISH. ENSURE LISTED FIRE RATINGS ARE MAINTAINED.
- INTERIOR STUD WALLS: PROVIDE TWO ROWS OF CONTINUOUS ACOUSTIC CAULKING AT STUD TRACK AT TOP OF SLAB, UNDERSIDE OF SLAB AND AT VERTICAL FACE WHERE STUDS ABUT STRUCTURE.
- PIECEMEAL OF GYPSUM BOARD SHEETS IS NOT ACCEPTABLE.
- JOINTS OF LAYERED GYPSUM BOARD SHOULD BE STAGGERED.
- CAULK AT TOP AND BOTTOM OF WALLS AT EDGE OF GYPSUM BOARD PANELS.
- PROVIDE CAULKING ROD BACKUP AT ANY GAP OVER 1/4".
- ELECTRICAL AND DEVICE BOXES ON OPPOSING FACES OF WALL SHALL BE LOCATED IN SEPARATE STUD CAVITIES.
- RUN FIBERGLASS BATT/MINERAL WOOL (REFER TO WALL TYPE) INSULATION BEHIND AND AROUND ALL ELECTRICAL BOXES. - NO BACK TO BACK ELECTRICAL BOXES.
- BACKING TO BE PROVIDED AT ALL MILLWORK LOCATIONS. COORDINATE ON SITE.
- SEAL ALL PENETRATIONS THROUGH ACOUSTICAL RATED WALLS (PARTY WALLS AND CORRIDOR WALLS) TIGHT WITH A COMBINATION OF JOINT COMPOUND AND ACOUSTICAL CAULK.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS (PARTY WALLS, CORRIDOR WALLS, ETC) TIGHT WITH A COMBINATION OF JOINT COMPOUND AND FIRE CAULK, TO ENSURE A CONTINUOUS FIRE RATING. PROVIDE TESTED ASSEMBLIES FOR ALL FIRE STOPPING.
- PROVIDE WOOD BLOCKING WITHIN WALL TO PROVIDE ANCHORAGE FOR CABINETS, WASHROOM ACCESSORIES, HAND RAILINGS, ETC. BLOCKING SHALL NOT LINK BOTH SIDES OF A WALL. PLYWOOD MAY BE USED AS BLOCKING ON THE INNER LAYER OF DOUBLE LAYER WALL ASSEMBLIES. 16GA METAL STRIPS IN 6" W/ WIDTH & CONTINUOUS THROUGHOUT LENGTH OF BLOCKING REQUIREMENT MAY ALSO BE USED.
- PROVIDE 3/4" FIRE RATED OUT TREATED PLYWOOD, GOOD ONE SIDE WITH FIRE RETARDANT PAINT, FOR MOUNTING OF ALL ELECTRICAL PANELS, CABLING, COMMUNICATION, BELL AND SECURITY PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
- THICKEN WALLS AS REQUIRED TO ACCOMMODATE ELECTRICAL PANELS & MECHANICAL ITEMS. CONTRACTOR TO CONFIRM CODE COMPLIANCE WITH ARCHITECT BEFORE SITE WORK BEGINS.
- ALL EXPOSED CONCRETE TO BE ENCLOSED WITH 12.7mm GYPSUM BOARD ON 41mm STEEL STUDS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
- FOR ASSEMBLIES REQUIRING TO CONFORM TO A LISTED UL/ULC RATING, MATERIALS WITHIN THE ASSEMBLY SHALL BE EXACTLY AS PER THE TESTED ASSEMBLY. ALL MATERIAL SHALL BE LABELED WITH UL/ULC IDENTIFICATION.
- ALL ELECTRICAL SWITCHES ARE TO BE LOCATED BETWEEN 4"-8" FROM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO ACCOMMODATE THE LOCATION OF SWITCHES SHOWN ON ELECTRICAL DRAWINGS AND SUIT THE APPROVED STUD MOCK-UP.
- PROVIDE SCUPPERS AT EDGES OF ROOF WHERE OVER FLOW CONTROL, ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH ARCHITECT.
- ALL FIRE DAMPER INSTALLATION TO BE PER MANUFACTURER INSTRUCTIONS. HVAC CONTRACTOR TO COORDINATE ON SITE WITH DRYWALL/FRAMING CONTRACTOR TO ENSURE INSTALLATION INSTRUCTIONS ARE FOLLOWED EXACTLY AND ACCESS DOORS ARE PROVIDED.
- PROVIDE ALL CLOSETS WITH MINIMUM 2 FULL WIDTH SHELVE 12" DEEP AND WITH ONE FULL WIDTH HANGER ROD.
- ANY WASHROOM WALLS ADJACENT TO LIVING SPACES/PUBLIC AREAS ARE TO HAVE SOUND ATTENUATING BATT INSULATION -ULC APPROVED. IN THE STUD CAVITIES (TO FILL CAVITY).
- ALL STEEL STUDS TO BE FRAMED @ 466mm o/c U.N.O ON PLAN.
- ALL STEEL STUDS ARE TO EXTEND TO UNDERSIDE OF STRUCTURE U.N.O.
- ALL GYPSUM BOARD IS TO EXTEND TO FULL HEIGHT OF PARTITION U.N.O.
- INTERIOR DOORS TO BE INSTALLED 100mm FROM ADJACENT WALL UNO
- INTERIOR FINISHES AS PER ID PACKAGE
- FRAME DOOR OPENINGS SO THERE IS 100mm FROM EDGE OF DOOR FRAME TO PERPENDICULAR WALL

LIST OF ABBREVIATIONS:

ACT	ACOUSTIC CEILING TILE ABOVE FINISH FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
ASSY	ASSEMBLY
BD	BOARD
BLDG	BUILDING GRADE
CB	BUILDING CATCH BASIN
CC	CATCH CENTER TO CENTER
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CR	CARD READER
CT	CERAMIC TILE
CW	CURTAIN WALL
CW	COMPLETE WITH DIMENSION
DM	HANDICAP DOOR OPERATOR
DO	DOOR
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EP	EXTERIOR INSULATED & FINISH SYSTEM
EP	EXTERIOR PANEL
EQ	EQUAL
ES	EMERGENCY SCUPPER
EXP	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FIN	FINISH
FL	FLOOR
FRR	FIRE RESISTANCE RATING
GL	GLASS GLAZING
GB	GRAB BAR
GYP	GYPSUM WALLBOARD
H/L	HOT WATER TANK
HW	HOT WATER TANK
INT	INTERIOR
JO	JOINT
JT	JOINT
LTG	LIGHTING
MAX	MAXIMUM
MECH	MECHANICAL
MC	MEDICINE CABINET
MIN	MINIMUM
NBC	NATIONAL BUILDING CODE
NO	NOT TO SCALE
NTS	NOT TO SCALE
OBC	ONTARIO BUILDING CODE
OC	ON CENTER
OH	OVERHEAD
PT	PRESSURE TREATED
PLAM	PLASTIC LAMINATE
PSF	PRESSED STEEL FRAME
PVC	POLY VINYL CHLORIDE
RCF	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REIN	REINFORCED
REQD	REQUIRED
RWL	RAIN WATER LEADER
S	SHOWER
SM	SIMILAR
SS	STAINLESS STEEL
T/O	TOP OF
TYP	TYPICAL
US	UNDERSIDE
VCT	VINYL COMPOSITION TILE
VEST	VESTIBUL
WC	WATER CLOSET

SECTION CUT

ROOM TAG
 DRAWING NUMBER: 1 A101
 ROOM NUMBER

DOOR TAG
 ROOM NAME
 ROOM NUMBER

WINDOW TAG
 DOOR NUMBER: 11
 (B) - BASEMENT (M) - MAIN FLOOR (S) - SECOND FLOOR (T) - THIRD FLOOR (W) - WINDOW No.

CONSTRUCTION ASSEMBLY
 (W) - WALL (EV) - EXISTING WALL (P) - PARTITION (F) - FLOOR (R) - ROOF (I) - ASSEMBLY No.

POINT ELEVATION TAG
 ELEVATION HEIGHT: 1000

ELEVATION TAG
 ELEVATION HEIGHT: 1000
 Elevation Name: NAME OF ELEVATION

REVISION
 REV 1: REVISION LOCATION AND NUMBER

GRID TAG
 GRID NUMBER: 0

CALLOUT TAG
 DRAWING NUMBER: 1 A101
 SHEET NUMBER

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703 sj@sjarchitect.com

PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
GENERAL NOTES AND SPECS

DRAWN BY: GH **CHECKED BY:** B.L. S.J.L.

PLOT DATE: 2022-11-07 11:46:31 AM

JOB NUMBER: SL-1077-22 **SCALE:** As Indicated

LEGEND

- NEW OVERHEAD DOOR
- NEW DOOR / ENTRANCE
- PROPOSED RIVERSTONE MULCH
- EXISTING VEGETATION REFER TO LANDSCAPE DWGS
- BICYCLE PARKING SPACE (1.8Mx0.6M)
- NO PARKING LINES
- PROPOSED PRECAST CONCRETE PAVERS
- PROPOSED SOD - REFER TO LANDSCAPE DWGS
- NEW SAWCUT CONCRETE SIDEWALK
- PARKING STALL COUNT PER ROW
- NEW SIGN, REFER TO SIGN LEGEND
- STREET LIGHT
- HYDRO POST
- DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
- V VISITOR PARKING
- TWO WAY TRAFFIC
- DEPRESSED CURB (DC)
- PROPERTY LINE
- EXISTING FENCE
- MINIMUM SETBACKS (ZONING)
- NEW CONSTRUCTION
- EXISTING BUILDINGS
- BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
- *REFER TO LANDSCAPE DWGS



CITY OF OTTAWA ZONING BY-LAW

R4UB ZONING (SECTION 161-2 & SECTION 144)	REQUIREMENT (LOW-RISE APARTMENT, MAXIMUM 12 UNITS)	PROPOSED
MINIMUM LOT WIDTH	15m	20.12m
MINIMUM LOT AREA	450 m ²	429m ²
MAXIMUM BUILDING HEIGHT	11m	11m
MINIMUM FRONT YARD SETBACK (SECTION 144)	3.91m (MEASURED FOR 276 CARRUTHERS)	3.75m
MINIMUM CORNER SIDE YARD SETBACK	4.5m	N/A
MINIMUM REAR YARD SETBACK (SECTION 144)	30% OF LOT DEPTH = 8.4m	0m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	NORTH: 1.5m SOUTH: 1.5m INTERIOR OF L-SHAPE (WEST AND SOUTH): 0m
MAXIMUM NUMBER OF UNITS FOR A LOW-RISE APARTMENT IN TRAIL	12 UNITS	18 UNITS
LOW-RISE APARTMENT DWELLINGS IN R4UB ZONE	NO MOTOR VEHICLE PARKING IS PERMITTED ON A LOT LESS THAN 450m ² IN THE CASE OF A LOT OF 450m ² OR GREATER: A) AT LEAST 25% OF DWELLING UNITS MUST HAVE AT LEAST 2 BEDROOMS	NO MOTOR VEHICLE PARKING IS PROPOSED
PRINCIPAL ENTRANCE	1 ENTRANCE	1 PRINCIPAL ENTRANCE, BICYCLE STORAGE ENTRANCE, 1 BARRIER-FREE ENTRANCE
FRONT FACADE	25% WINDOWS	42% WINDOWS
FRONT YARD FIXTURES	THE FRONT YARD MUST BE EQUIPPED WITH SOLID, PERMANENT FIXTURES TO PREVENT MOTOR VEHICLE PARKING	TREES ARE PROVIDED WITHIN THE FRONT YARD
BALCONY	1 BALCONY OR PORCH FOR EVERY UNIT THAT FACES A PUBLIC STREET AT OR ABOVE THE FIRST STOREY, AND TOTAL BALCONY AREA OF 2m ² MINIMUM	1 BALCONY FOR EACH UNIT FACING THE STREET ON THE SECOND AND THIRD STOREYS ALL BALCONIES > 2m ² AREA: UNIT 12: 7.6m ² UNIT 13: 6.6m ² UNIT 17: 7.6m ² UNIT 18: 6.6m ²
LANDSCAPED AREA (TOTAL LOT AREA) (SECTION 161)	NOT REQUIRED	COMPLIES
LANDSCAPED AREA, REAR YARD (SECTION 161)	A) ANY PART OF THE REAR YARD NOT OCCUPIED MUST BE SOFTLY LANDSCAPED B) THE MINIMUM AREA OF SOFT LANDSCAPING PER (A) MUST BE AT LEAST 50 SQUARE METERS	REAR YARD IS FULLY OCCUPIED, NO LANDSCAPING PROPOSED N/A
LANDSCAPED AREA FRONT YARD (SECTION 161)	40% = 30m ²	61% = 46m ²
PARKING REQUIREMENTS (SEC. 101, 102, 111)	REQUIREMENT	PROPOSED
MINIMUM PARKING RATES (SECTION 161, AREA X OF SCHEDULE 1A)	NO MOTOR VEHICLE PARKING IS PERMITTED	0 SPACES
BICYCLE PARKING SPACES (SECTION 111)	0.5 SPACES / DWELLING UNIT = 9 SPACES	18 SPACES
BICYCLE PARKING SPACE PROVISIONS (SECTION 111)	HORIZONTAL: 0.6m x 1.8m (MINIMUM 50% OF SPACES) VERTICAL: 0.5m x 1.5m STACKED: 0.35m x 1.8m ACCESS AISLE: 1.5m	4 VERTICAL SPACES (0.5m x 1.5m) 14 STACKED SPACES (0.6m x 1.8m) ACCESS AISLE: 1.5m
BUILDING AREAS	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)
LOWER LEVEL	287 sq.m	3,090 sq.ft
GROUND FLOOR LEVEL	288.5 sq.m	3,106 sq.ft
SECOND FLOOR LEVEL	318.8 sq.m	3,432 sq.ft
THIRD FLOOR LEVEL	318.8 sq.m	3,432 sq.ft
TOTAL	926.1 sq.m	9,970 sq.ft

CLIENT NAME: **THE BERGE HOMES**

NOTES:
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3) DO NOT SCALE DRAWINGS.
4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

BUILDING FLOOR STATISTICS

FLOOR	SUITES	2 BED	1 BED	STUDIO
LOWER LEVEL	4	1	2	1
GROUND FLOOR	4	N/A	3	1
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	3	N/A
TOTAL	18	5	11	2
SUITE MIX		28%	61%	11%

SEAL: **SHAWN J. LAWRENCE ARCHITECT INCORPORATED**

NORTH ARROW:

REVISIONS:

No.	DATE	REVISION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.04	ISSUED FOR COORDINATION
02	2022.08.15	ISSUED FOR COORDINATION
01	2022.07.27	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 202 OTTAWA, ONTARIO K2E 8B7
T: (613) 738-7770 F: (613) 738-7703 sjl@sjlarchitect.com

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PROJECT: **CARRUTHERS DEVELOPMENT**
266 CARRUTHERS, OTTAWA, ON

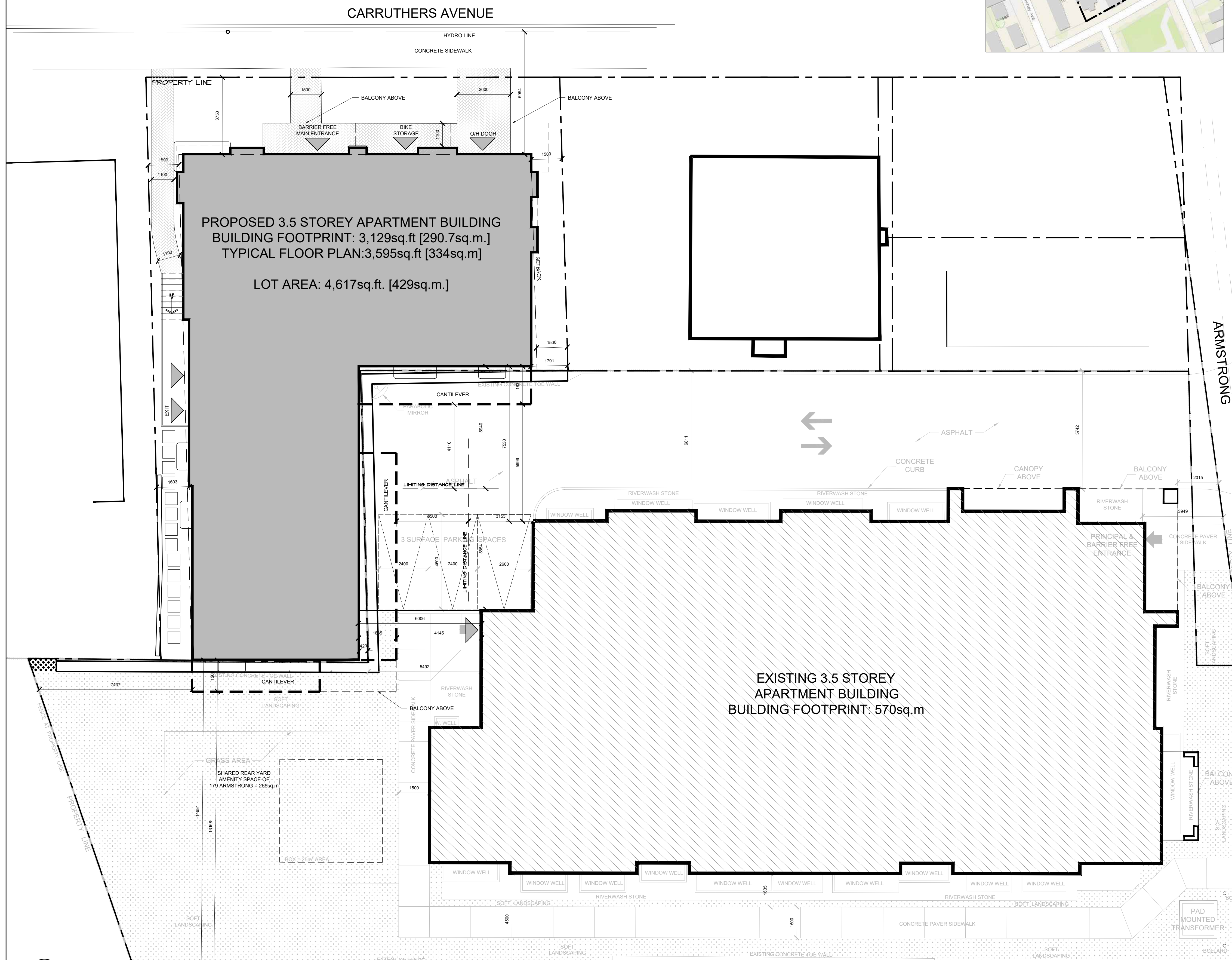
SHEET TITLE: **PRELIMINARY SITE PLAN**

DRAWN BY: **AL** CHECKED BY: **S.J.L.**

PLOT DATE: 2022.11.07 PROJECT DATE: 2022.06.08

JOB NUMBER: **SL-1077-22** SCALE: **AS SHOWN**

SHEET NUMBER: **A100**



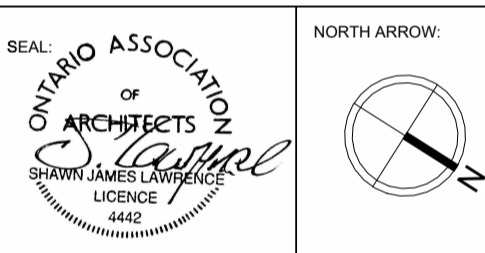
01 SITE PLAN
SCALE: 1:100

A100
PLAN #

APPLICATION #

Area Schedule (Gross Building)		
UNUN	Area	Level
1 BED		
UNIT 3	464 R ²	BASEMENT
UNIT 4	572 R ²	BASEMENT
UNIT 6	575 R ²	LEVEL 1
UNIT 7	496 R ²	LEVEL 1
UNIT 8	577 R ²	LEVEL 1
UNIT 9	517 R ²	LEVEL 2
UNIT 11	556 R ²	LEVEL 2
UNIT 12	571 R ²	LEVEL 2
UNIT 14	517 R ²	LEVEL 3
UNIT 16	556 R ²	LEVEL 3
UNIT 17	589 R ²	LEVEL 3
2 BED		
UNIT 1	687 R ²	BASEMENT
UNIT 10	852 R ²	LEVEL 2
UNIT 13	674 R ²	LEVEL 2
UNIT 15	852 R ²	LEVEL 3
UNIT 18	686 R ²	LEVEL 3
BACHELOR		
UNIT 2	338 R ²	BASEMENT
UNIT 5	340 R ²	LEVEL 1

- NOTES:
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04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 730 7770 F: (613) 739 7703 sj@sjarchitect.com



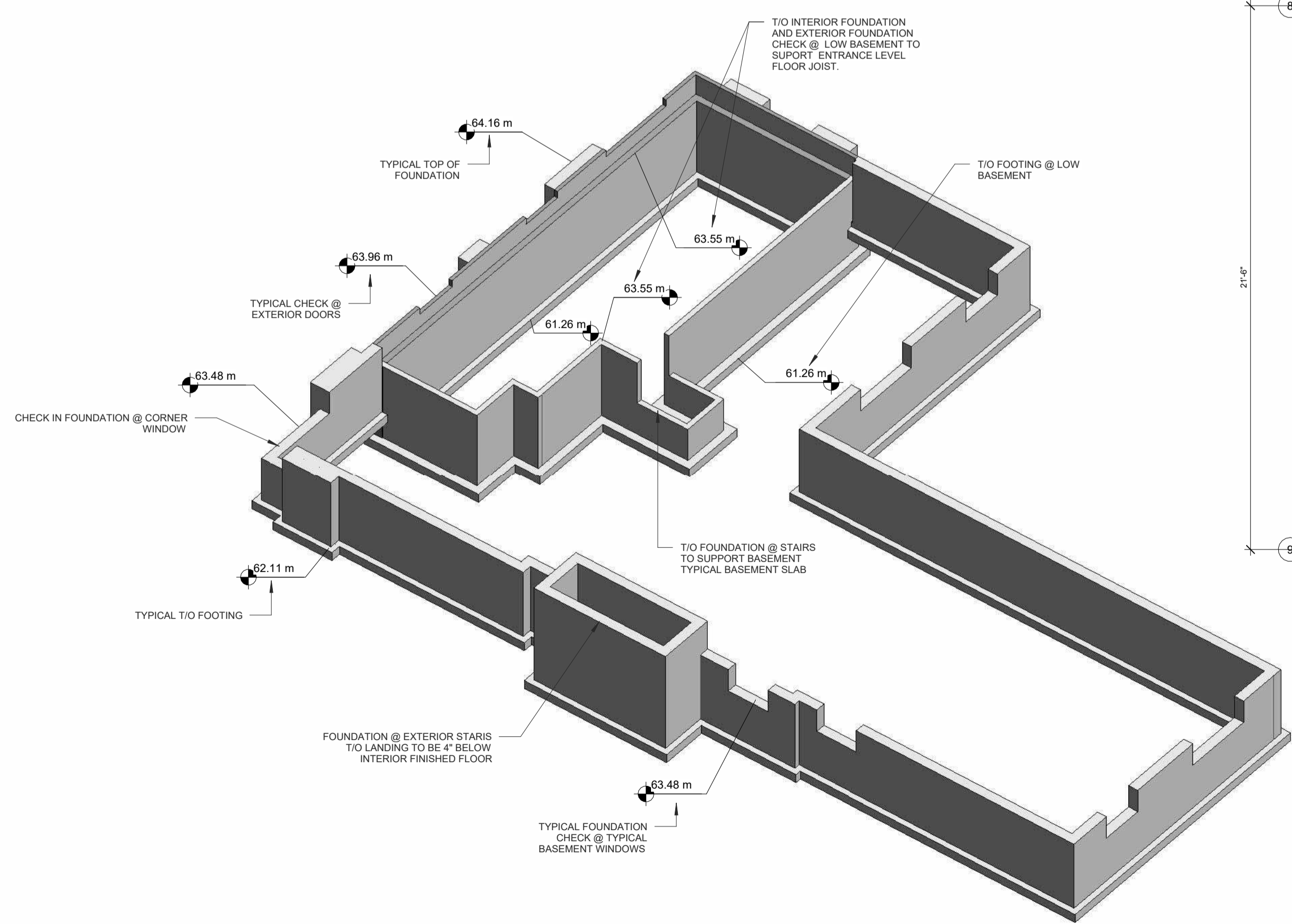
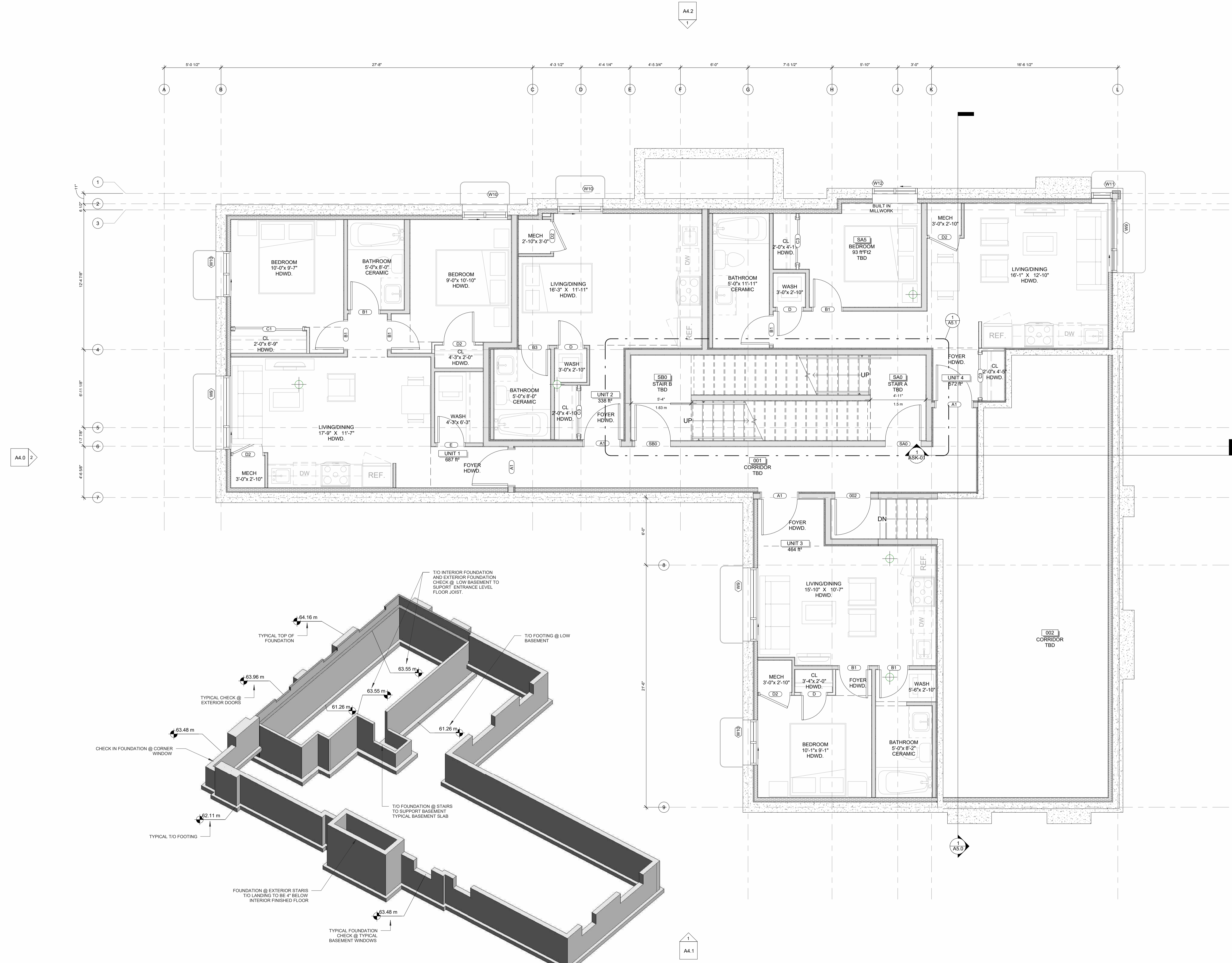
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 268-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
BASEMENT PLAN

DRAWN BY: GH CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-11-07 11:46:38 AM
 JOB NUMBER: 8L-1077-22 SCALE: 1/4" = 1'-0"

A2.0

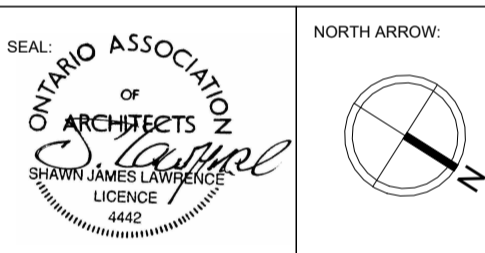
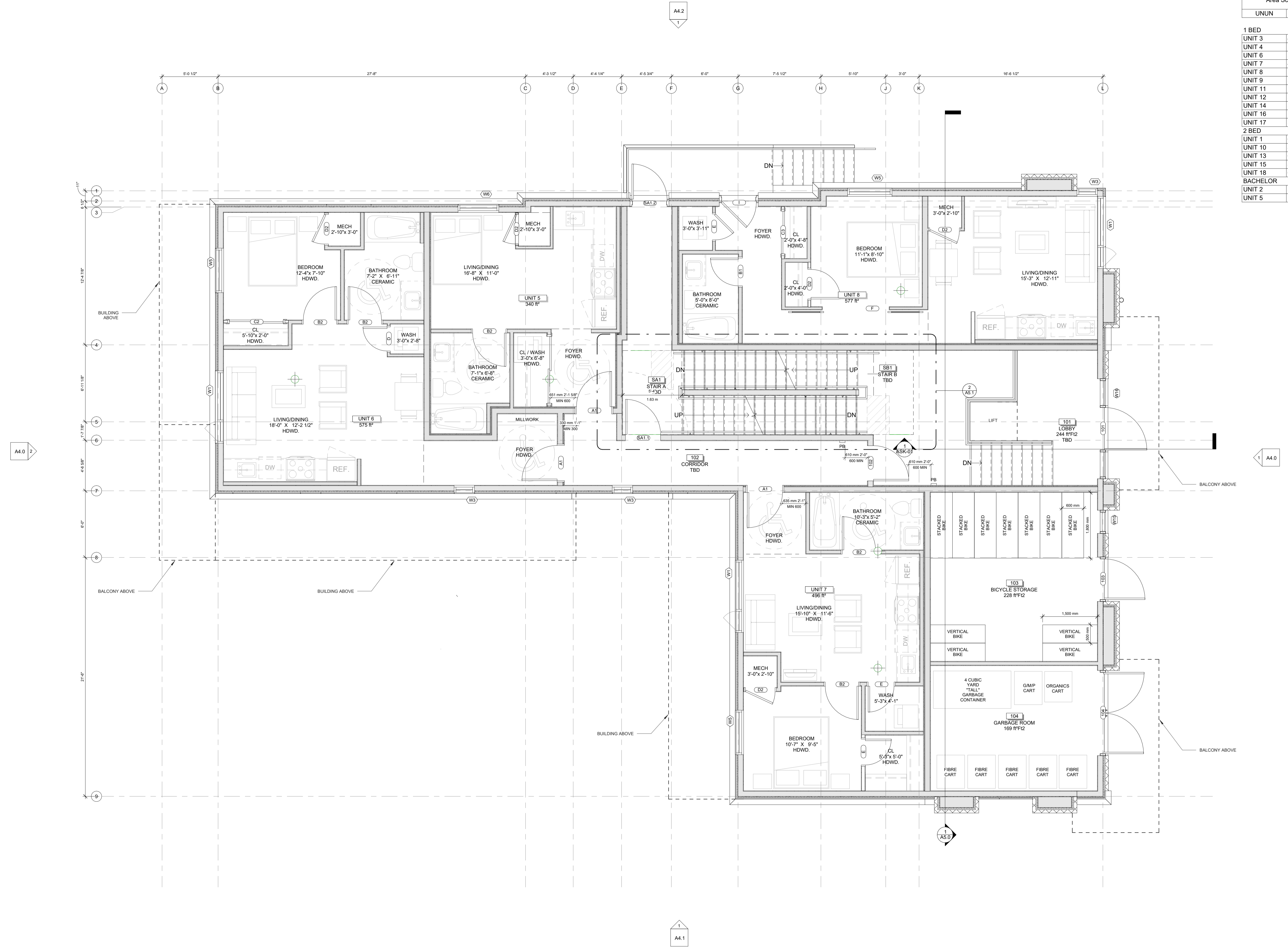


1 -T.O. Slab
 A2.0 SCALE 1/4" = 1'-0"

3 3D FOUNDATION
 A2.0 SCALE

NOTES:
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Area Schedule (Gross Building)		
UNUN	Area	Level
1 BED		
UNIT 3	464 R ²	BASEMENT
UNIT 4	572 R ²	BASEMENT
UNIT 6	575 R ²	LEVEL 1
UNIT 7	496 R ²	LEVEL 1
UNIT 8	577 R ²	LEVEL 1
UNIT 9	517 R ²	LEVEL 2
UNIT 11	556 R ²	LEVEL 2
UNIT 12	571 R ²	LEVEL 2
UNIT 14	517 R ²	LEVEL 3
UNIT 16	556 R ²	LEVEL 3
UNIT 17	589 R ²	LEVEL 3
2 BED		
UNIT 1	687 R ²	BASEMENT
UNIT 10	852 R ²	LEVEL 2
UNIT 13	674 R ²	LEVEL 2
UNIT 15	852 R ²	LEVEL 3
UNIT 18	686 R ²	LEVEL 3
BACHELOR		
UNIT 2	338 R ²	BASEMENT
UNIT 5	340 R ²	LEVEL 1



No.	DATE	REVISION
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 18 DEAKIN STREET
 SUITE 305
 OTTAWA, ONTARIO
 K2E 8B7
 T: (613) 739 7770
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 sl@sjlarchitect.com

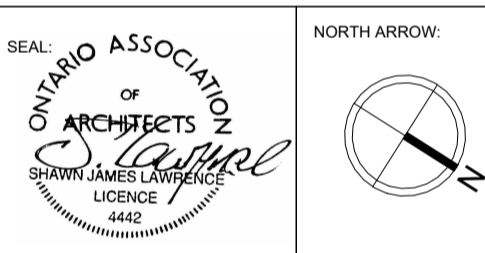
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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 268-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY:
 GH
 CHECKED BY:
 B.L. S.J.L.
 PLOT DATE:
 2022-11-07 11:46:40 AM
 JOB NUMBER:
 SL-1077-22
 SCALE:
 1/4" = 1'-0"

Area Schedule (Gross Building)		
UNUN	Area	Level
1 BED		
UNIT 3	464 ft ²	BASEMENT
UNIT 4	572 ft ²	BASEMENT
UNIT 6	575 ft ²	LEVEL 1
UNIT 7	496 ft ²	LEVEL 1
UNIT 8	577 ft ²	LEVEL 1
UNIT 9	517 ft ²	LEVEL 2
UNIT 11	556 ft ²	LEVEL 2
UNIT 12	571 ft ²	LEVEL 2
UNIT 14	517 ft ²	LEVEL 3
UNIT 16	556 ft ²	LEVEL 3
UNIT 17	589 ft ²	LEVEL 3
2 BED		
UNIT 1	687 ft ²	BASEMENT
UNIT 10	852 ft ²	LEVEL 2
UNIT 13	674 ft ²	LEVEL 2
UNIT 15	852 ft ²	LEVEL 3
UNIT 18	686 ft ²	LEVEL 3
BACHELOR		
UNIT 2	338 ft ²	BASEMENT
UNIT 5	340 ft ²	LEVEL 1

NOTES:
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01	2022.07.05	ISSUED FOR REVIEW

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 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
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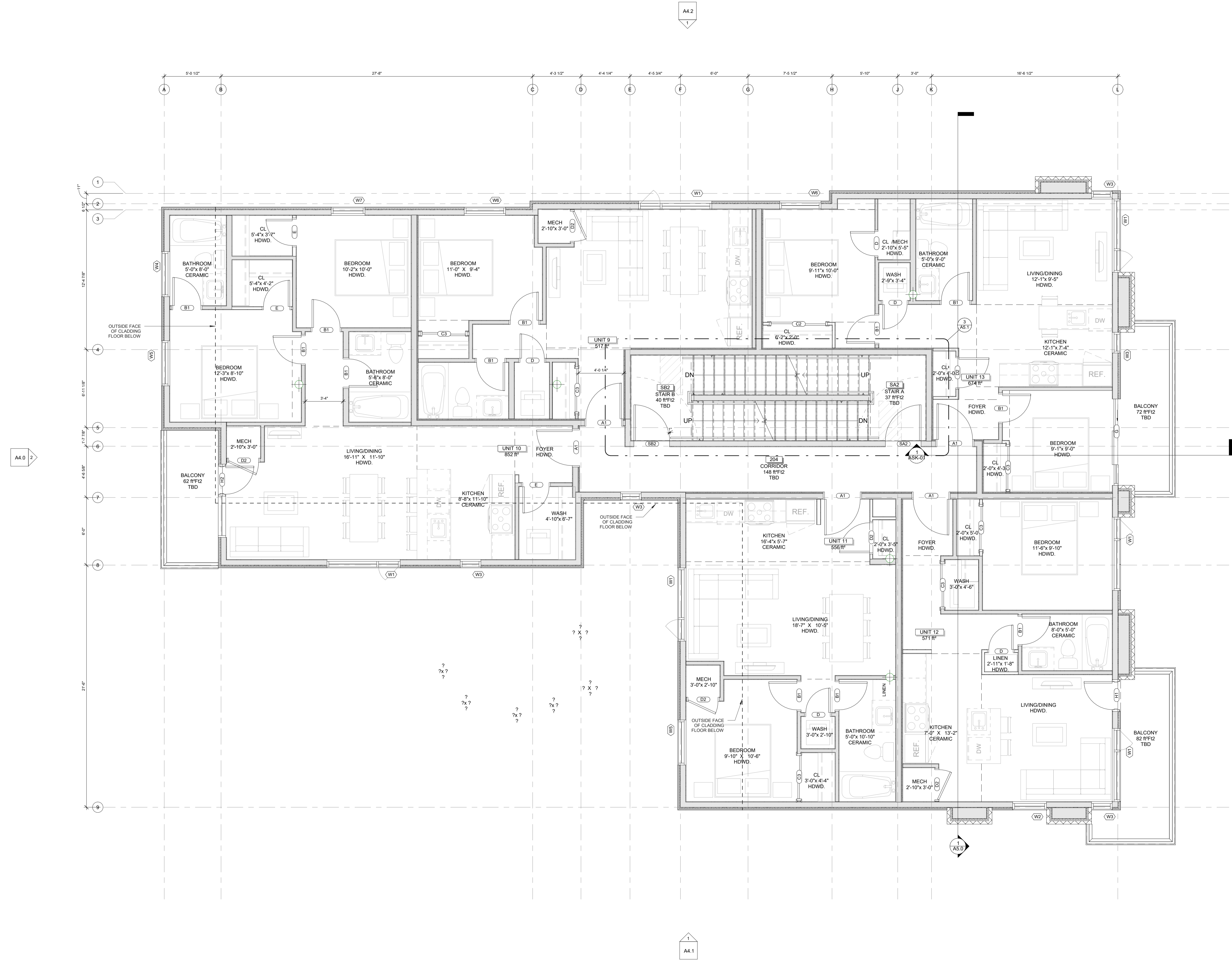
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 268-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
SECOND AND THIRD FLOOR PLAN

DRAWN BY: GH CHECKED BY: B.L. S.J.L.

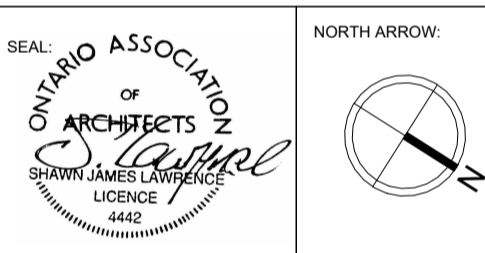
PLOT DATE:
 2022-11-07 11:46:41 AM

JOB NUMBER: 8L-1077-22 SCALE: 1/4" = 1'-0"



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Area Schedule (Gross Building)		
UNUN	Area	Level
1 BED		
UNIT 3	464 ft ²	BASEMENT
UNIT 4	572 ft ²	BASEMENT
UNIT 6	575 ft ²	LEVEL 1
UNIT 7	496 ft ²	LEVEL 1
UNIT 8	577 ft ²	LEVEL 1
UNIT 9	517 ft ²	LEVEL 2
UNIT 11	556 ft ²	LEVEL 2
UNIT 12	571 ft ²	LEVEL 2
UNIT 14	517 ft ²	LEVEL 3
UNIT 16	556 ft ²	LEVEL 3
UNIT 17	589 ft ²	LEVEL 3
2 BED		
UNIT 1	687 ft ²	BASEMENT
UNIT 10	852 ft ²	LEVEL 2
UNIT 13	674 ft ²	LEVEL 2
UNIT 15	852 ft ²	LEVEL 3
UNIT 18	686 ft ²	LEVEL 3
BACHELOR		
UNIT 2	338 ft ²	BASEMENT
UNIT 5	340 ft ²	LEVEL 1



No.	DATE	REVISION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

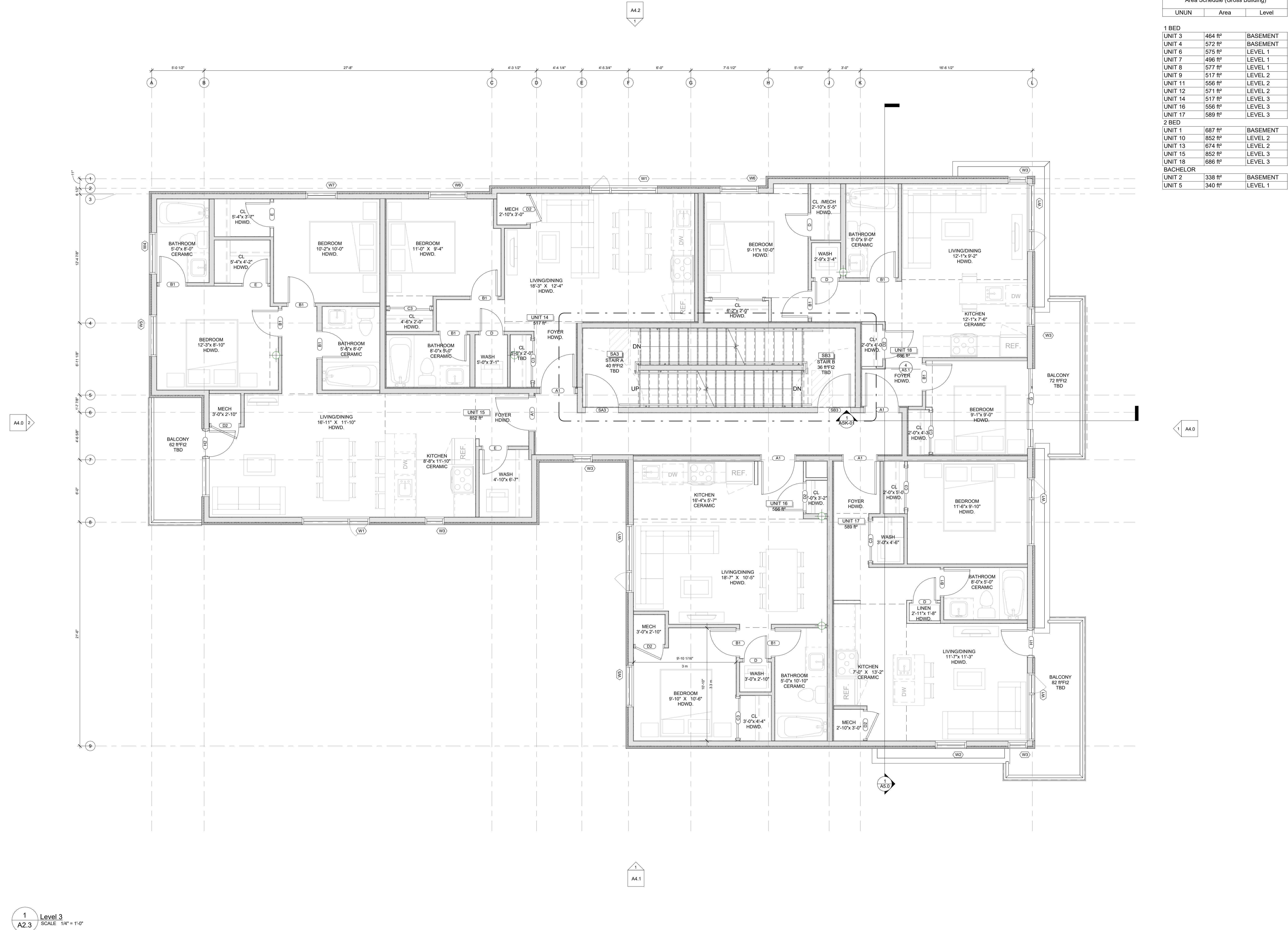
S.J. LAWRENCE ARCHITECT INCORPORATED
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 T: (613) 733-7770 F: (613) 739-7703 sjl@sjlarchitect.com

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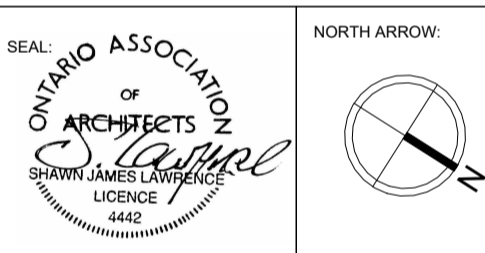
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY: GH CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-11-07 11:46:44 AM
 JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"



- NOTES:
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02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

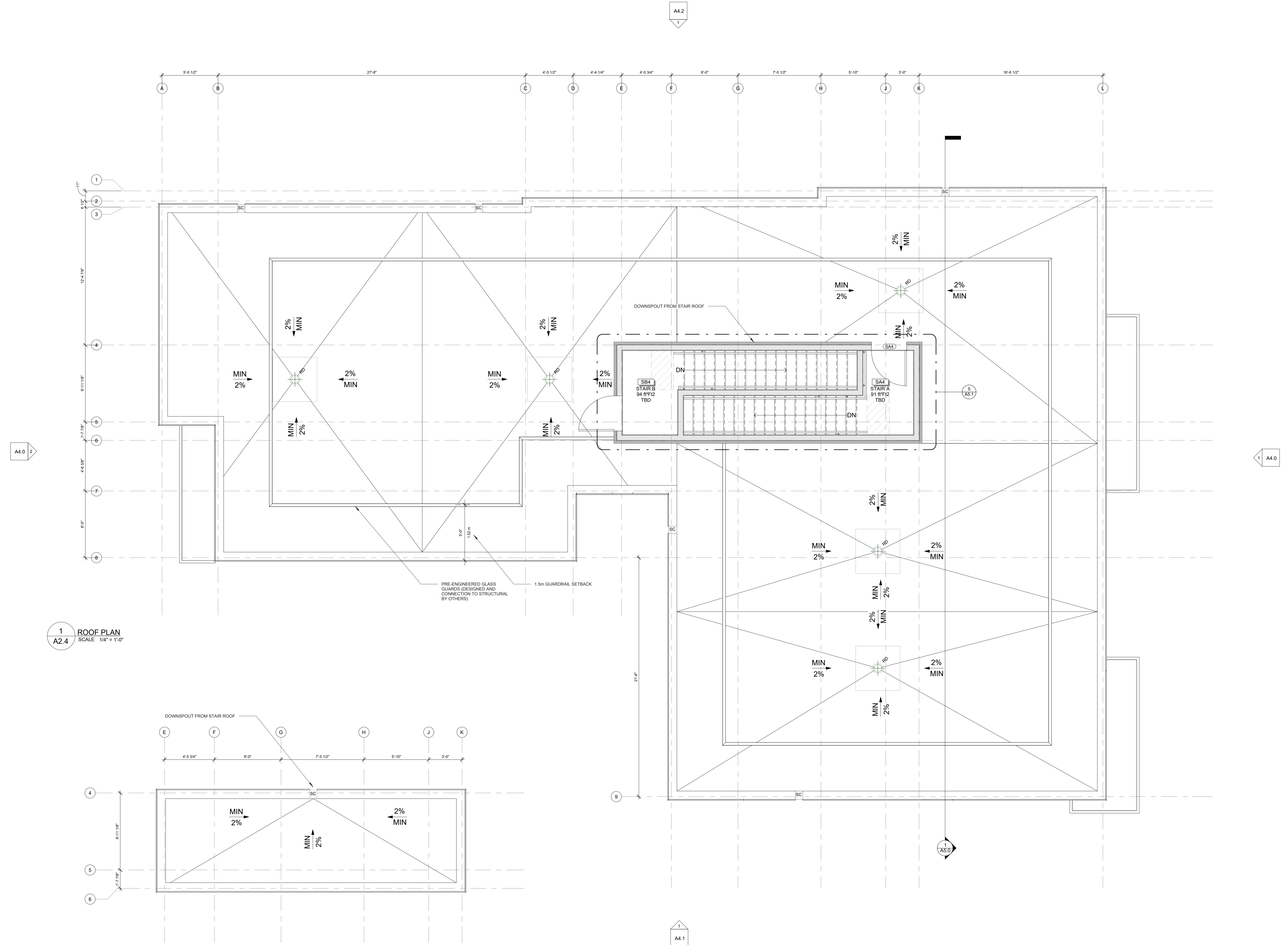
SHEET TITLE:
ROOF PLAN

DRAWN BY: **GH** CHECKED BY: **B.L. S.J.L.**

PLOT DATE:
 2022-11-07 11:46:45 AM

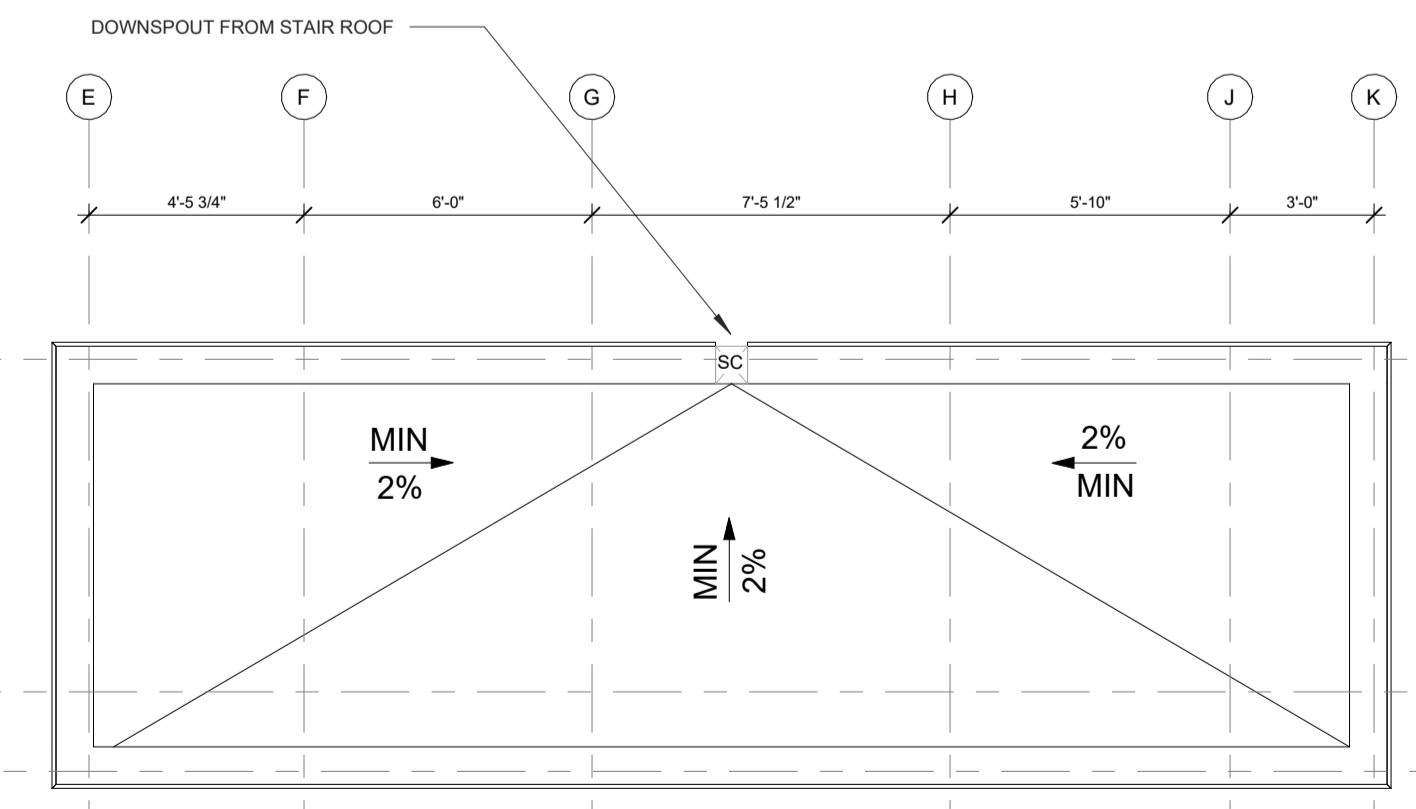
JOB NUMBER: **SL-1077-22** SCALE: **1/4" = 1'-0"**

A2.4

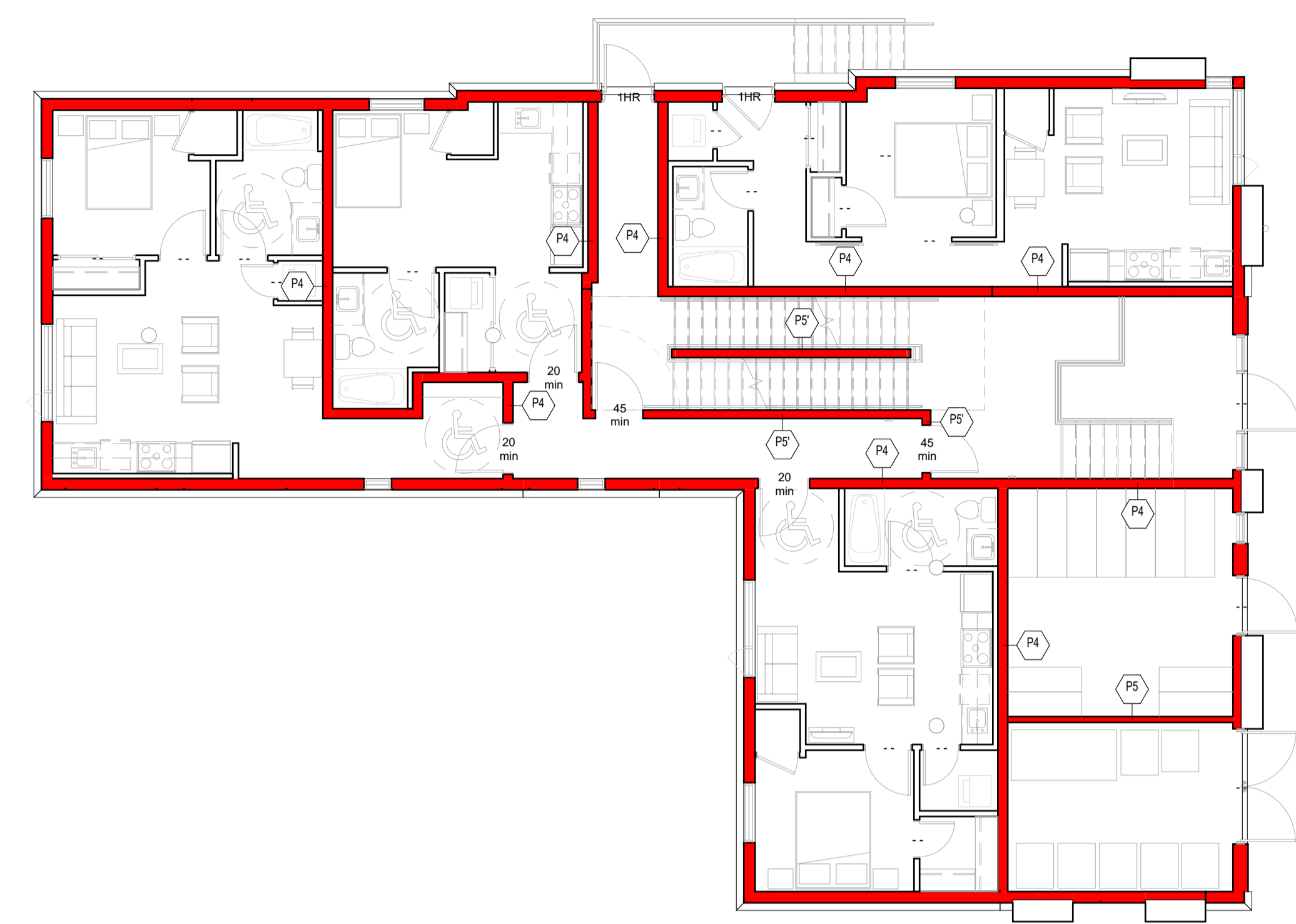


1
A2.4 ROOF PLAN
 SCALE 1/4" = 1'-0"

2
A2.4 T/O STAIR ROOF STRUCTURE
 SCALE 1/4" = 1'-0"



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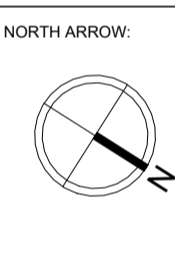
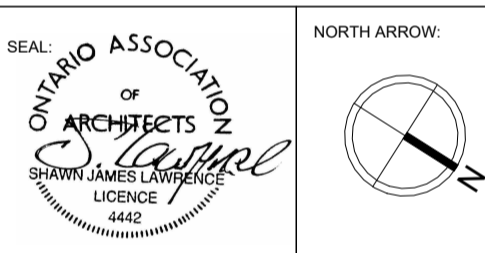
1 -T.O. Slab FRR
 A2.5 SCALE 1/8" = 1'-0"

2 Level 1 FRR
 A2.5 SCALE 1/8" = 1'-0"



3 Level 2 FRR
 A2.5 SCALE 1/8" = 1'-0"

4 Level 3 FRR
 A2.5 SCALE 1/8" = 1'-0"



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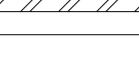
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

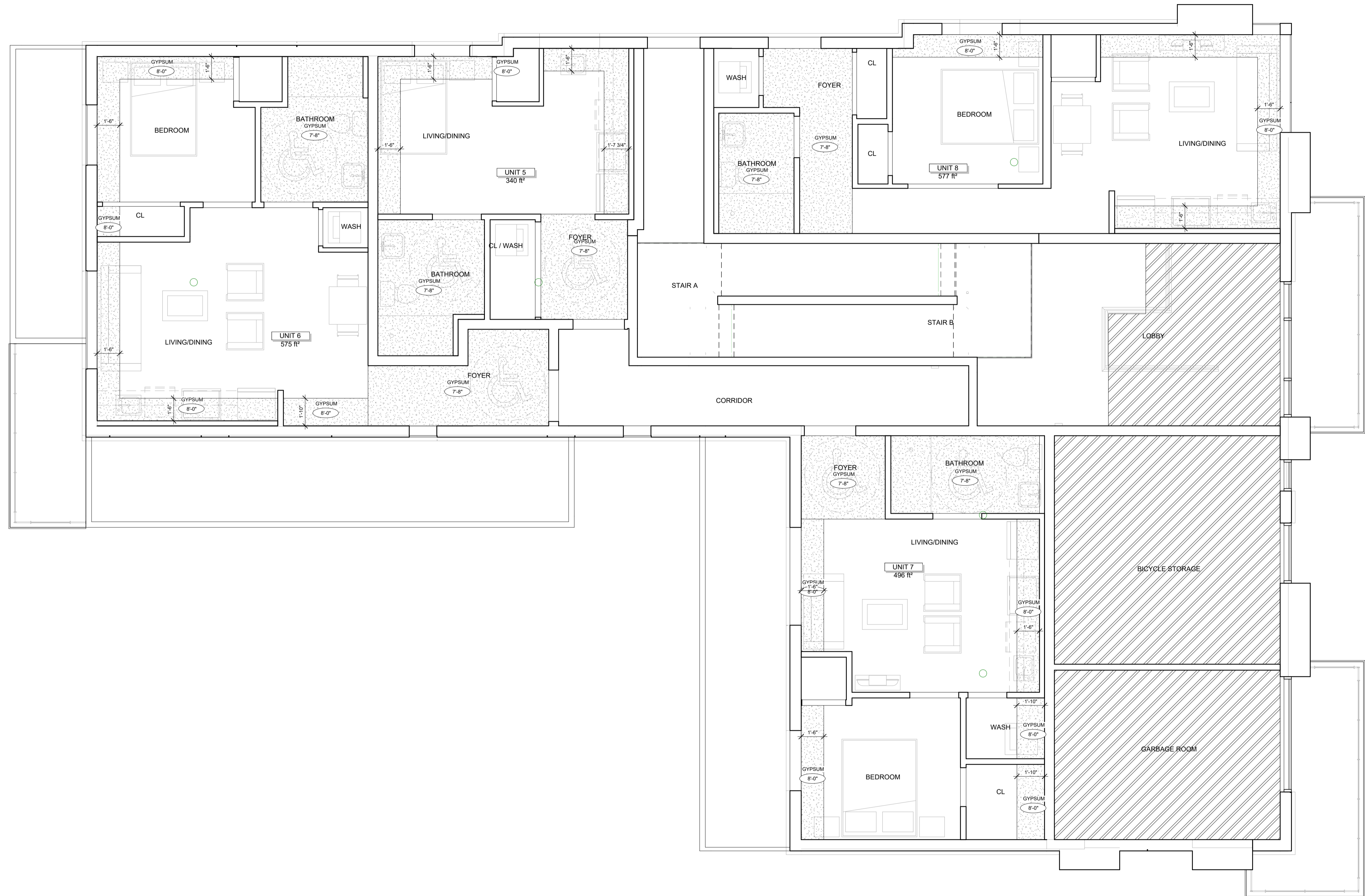
SHEET TITLE:
FRR PLANS

DRAWN BY: GH CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-11-07 11:46:49 AM
 JOB NUMBER: SL-1077-22 SCALE: 1/8" = 1'-0"

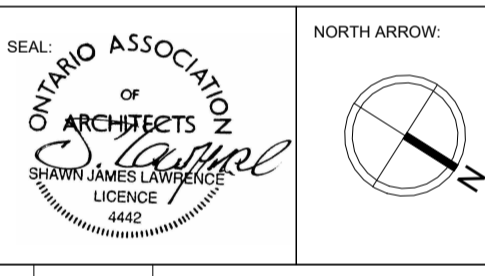
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CEILING LEGEND

	BULKHEAD	REFER TO RCP FOR HEIGHT
	US OF ASSEMBLY	7'-0"
	US OF ASSEMBLY	13'-9"
	US OF ASSEMBLY	9'-0"



1 Level 1
 A3.1 SCALE 1/4" = 1'-0"



04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW
No.	DATE	REVISION

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

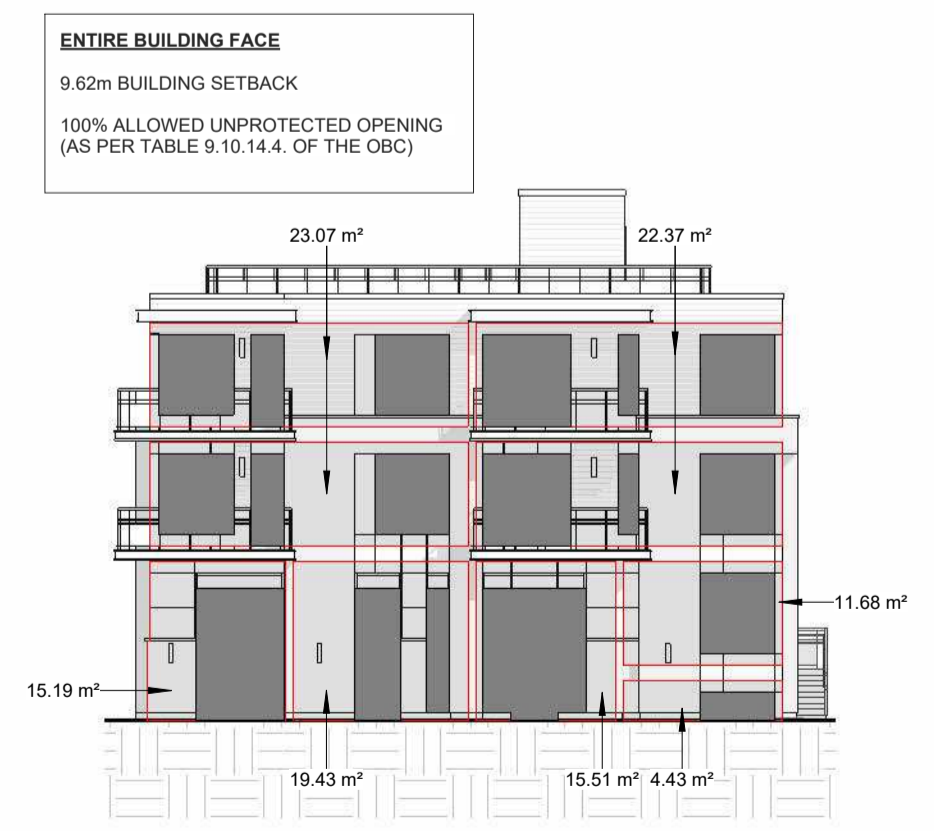
SHEET TITLE:
REFLECTED CEILING PLANS

DRAWN BY: GH CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-11-07 11:46:52 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

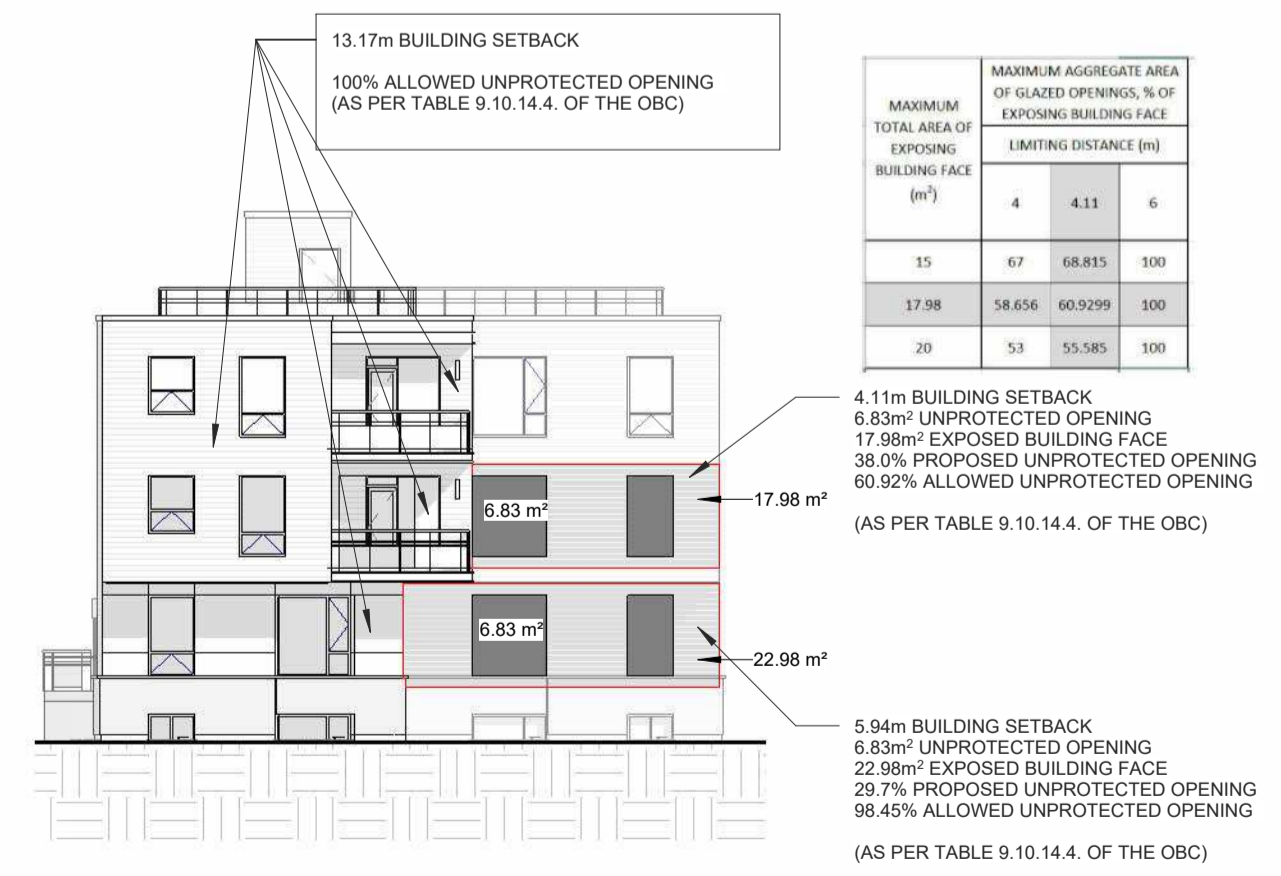
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KEYNOTES-ELEVATION

NOTE NUMBER	NOTE TEXT
1	CEMENT PARPING ON ALL EXPOSED FOUNDATION TO 2' BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SOUNSCAPE
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



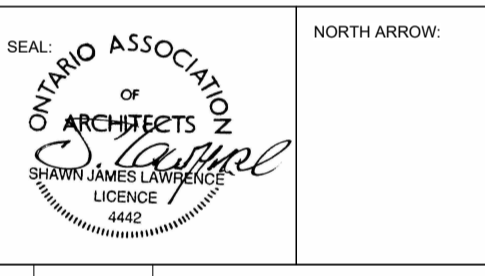
3 EAST ELEVATION LIMITING DISTANCE CALCS
 SCALE 1 : 200



4 WEST ELEVATION LIMITING DISTANCE CALCS
 SCALE 1 : 200

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))	4	4.11	6
55	87	68.815	100	
17.98	58.856	60.9299	100	
28	53	55.585	100	

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))	4	5.94	6
20	53	98.59	100	
22.98	48.232	98.447	100	
25	45	98.35	100	



No.	DATE	REVISION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
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02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 739 7770 F: (613) 739 7703
 sjl@sjlarchitect.com

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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 268-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: GH CHECKED BY: B.L. S.J.L.

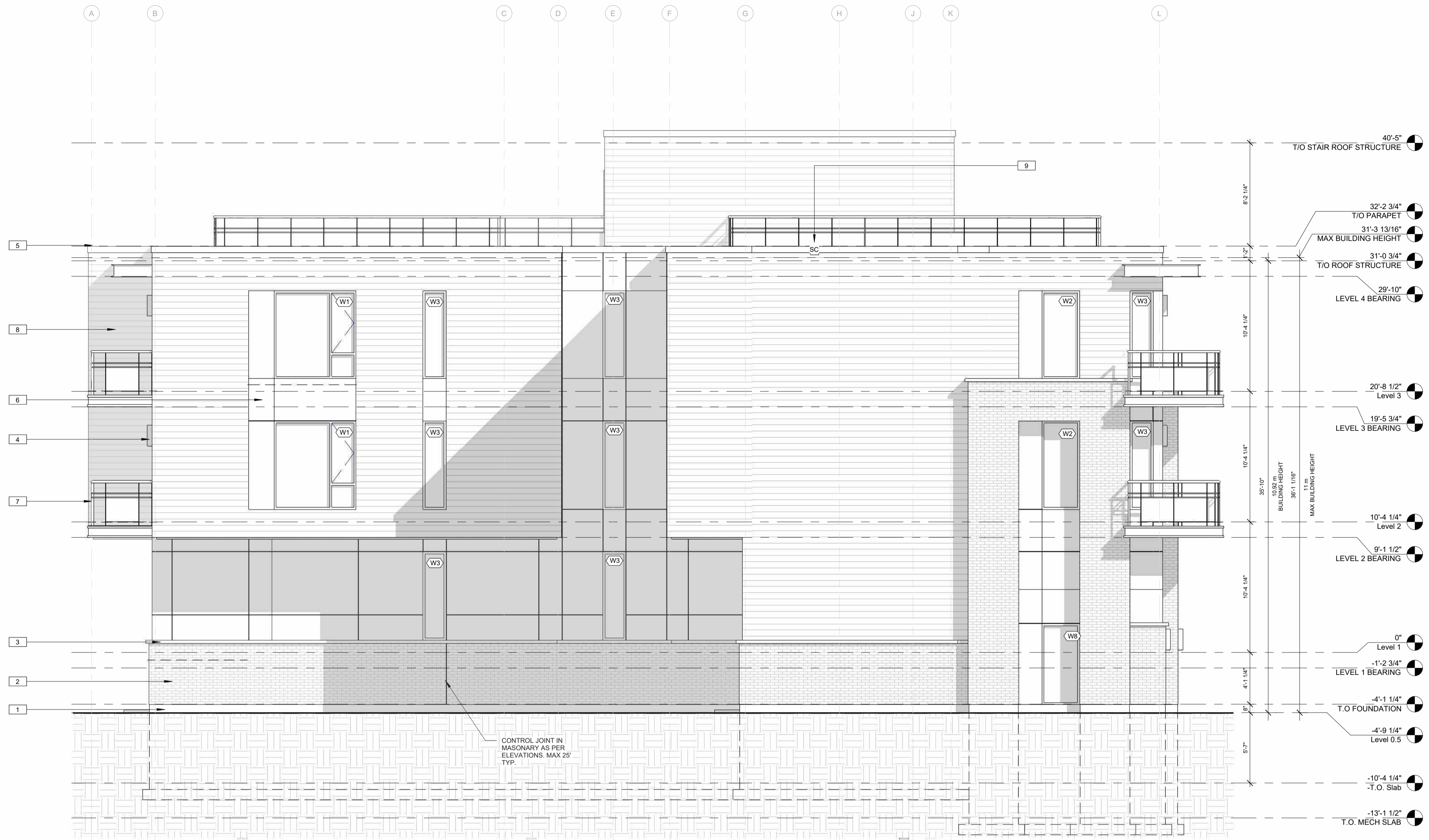
PLOT DATE: 2022-11-07 11:47:05 AM

JOB NUMBER: SL-1077-22 SCALE: As Indicated

- NOTES:
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KEYNOTES-ELEVATION

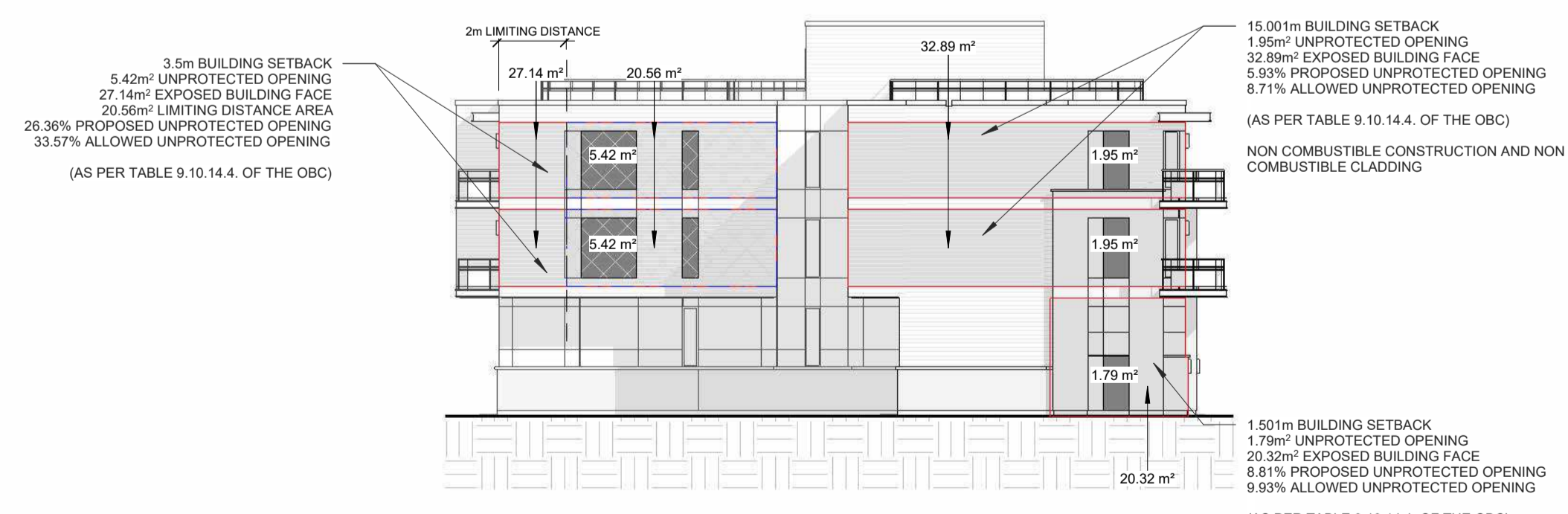
NOTE NUMBER	NOTE TEXT
1	CEMENT PAVING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRE-CAST CONCRETE SILL
4	WALL SCOTCH
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1 SOUTH ELEVATION
 SCALE 3/16" = 1'-0"

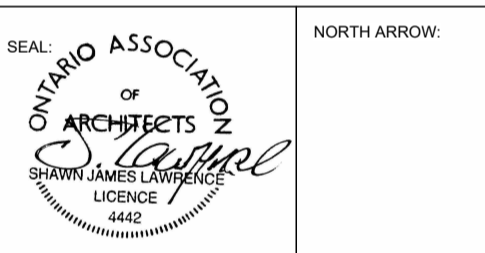
MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	3	3.5	4
25	26	35.5	45	
77.14	24.716	33.574	42.432	
30	23	31	39	

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	1.5	1.501	2
30	9	9.006	12	
32.89	8.711	8.717	11.711	
40	8	8.006	11	



2 SOUTH ELEVATION LIMITING DISTANCE CALCS
 SCALE 1:200

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE	1.5	1.501	3
20	10	10.0033	15	
20.32	9.936	9.9329	14.872	
25	9	9.00267	13	



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 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 730 7770 F: (613) 739 7703


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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

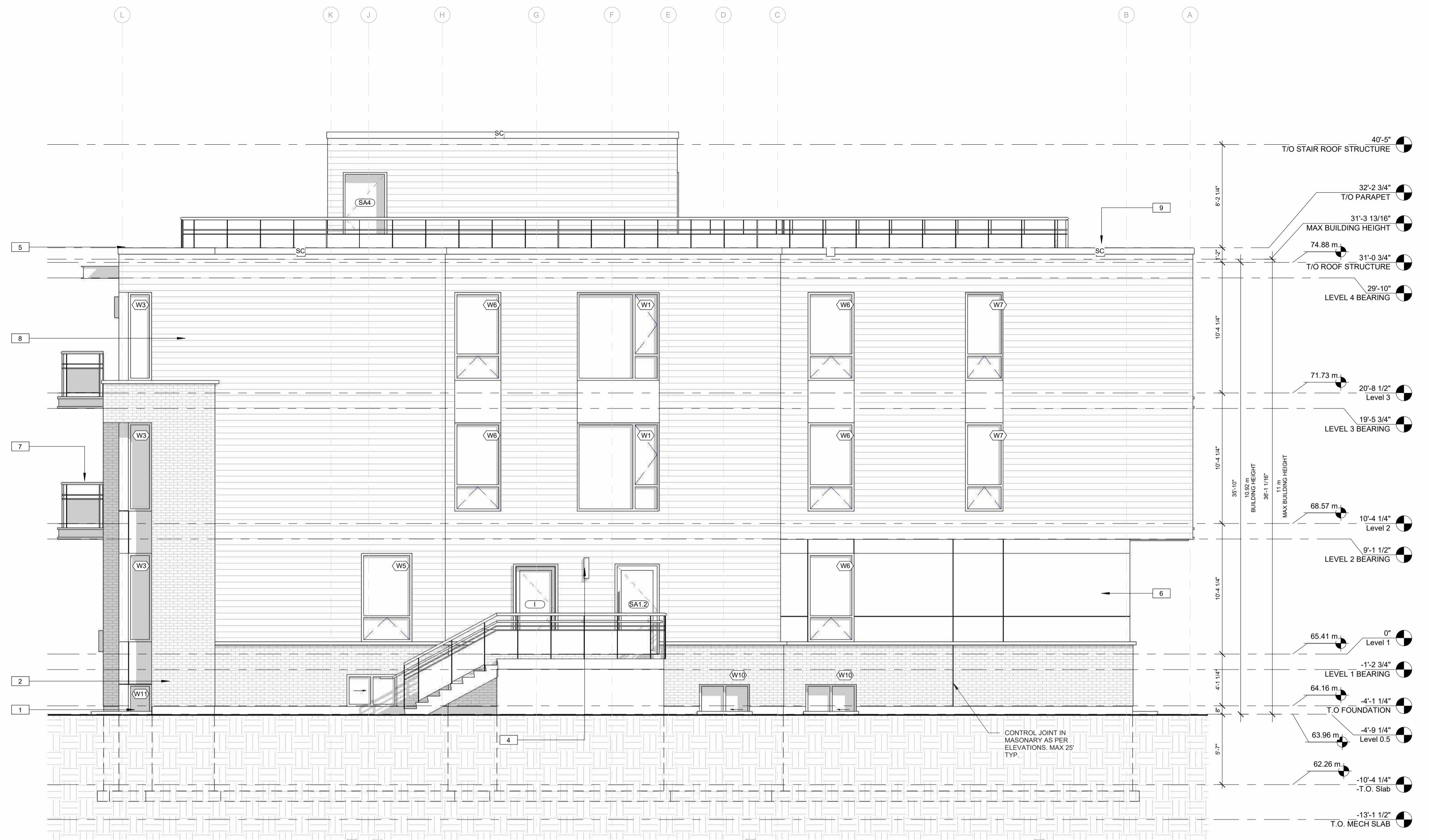
DRAWN BY: GH CHECKED BY: B.L. S.J.L.

PLLOT DATE: 2022-11-07 11:47:13 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

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KEYNOTES-ELEVATION

NOTE NUMBER	NOTE TEXT
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8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1 NORTH ELEVATION
 SCALE 3/16" = 1'-0"

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
25	9 9.64 13
25.04	9 9.63872 12.992
30	9 9.48 12

1.77m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 25.04m² EXPOSED BUILDING FACE
 9.50% PROPOSED UNPROTECTED OPENING
 9.63% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
15	10 10.841 15.588
15	10 10.841 15.588
20	10 10.8 15

1.58m BUILDING SETBACK
 1.95m² UNPROTECTED OPENING
 18.53m² EXPOSED BUILDING FACE
 10.52% PROPOSED UNPROTECTED OPENING
 10.89% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
30	9 9.06 12
32.89	8.711 8.771 11.711
40	8 8.06 11

1.51m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 32.10m² EXPOSED BUILDING FACE
 8.10% PROPOSED UNPROTECTED OPENING
 8.77% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

ENTIRE BUILDING FACE TO BE NON COMBUSTIBLE CONSTRUCTION AND NON COMBUSTIBLE CLADDING

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
30	9 9.06 12
30.47	8.953 9.013 11.953
40	8 8.06 11

1.51m BUILDING SETBACK
 2.38m² UNPROTECTED OPENING
 30.47m² EXPOSED BUILDING FACE
 7.81% PROPOSED UNPROTECTED OPENING
 9.01% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
30	9 9.06 12
30	12 12.18 21
30	12 12.18 21
30	12 12.18 21

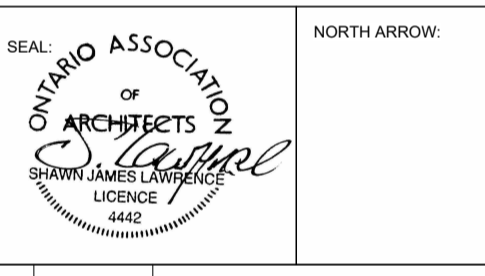
1.58m BUILDING SETBACK
 0.9m² UNPROTECTED OPENING
 3.2m² EXPOSED BUILDING FACE
 0% PROPOSED UNPROTECTED OPENING
 12.18% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
30	12 12.18 21
30	12 12.18 21
30	12 12.18 21

1.69m BUILDING SETBACK
 0.9m² UNPROTECTED OPENING
 8.4m² EXPOSED BUILDING FACE
 10.71% PROPOSED UNPROTECTED OPENING
 12.18% ALLOWED UNPROTECTED OPENING
 (AS PER TABLE 9.10.14.4. OF THE OBC)

MAXIMUM TOTAL AREA OF EXPOSING BUILDING FACE (m ²)	MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS, % OF EXPOSING BUILDING FACE (LIMITING DISTANCE (m))
30	12 12.18 21
30	12 12.18 21
30	12 12.18 21

2 NORTH ELEVATION LIMITING DISTANCE CALCS
 SCALE 1:200



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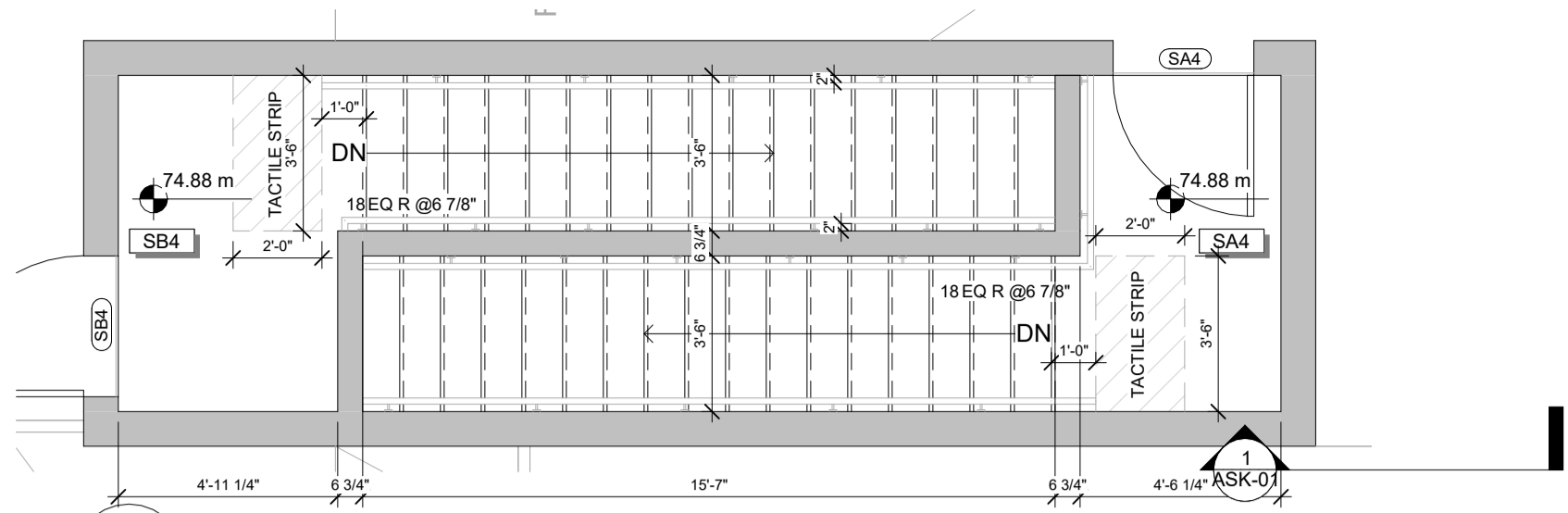
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 T: (613) 730 7770 F: (613) 739 7703 sjl@sjlarchitect.com

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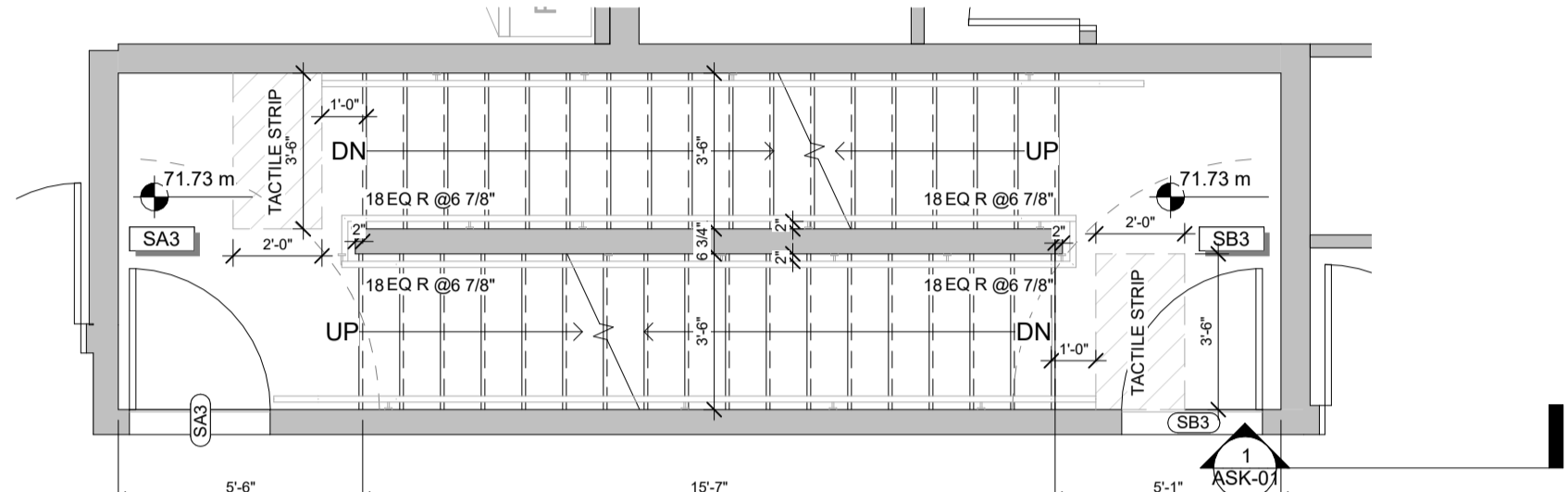
PROJECT: CARRUTHERS AVENUE DEVELOPMENT
 246-248 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE: ELEVATIONS

DRAWN BY: GH CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-11-07 11:47:21 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

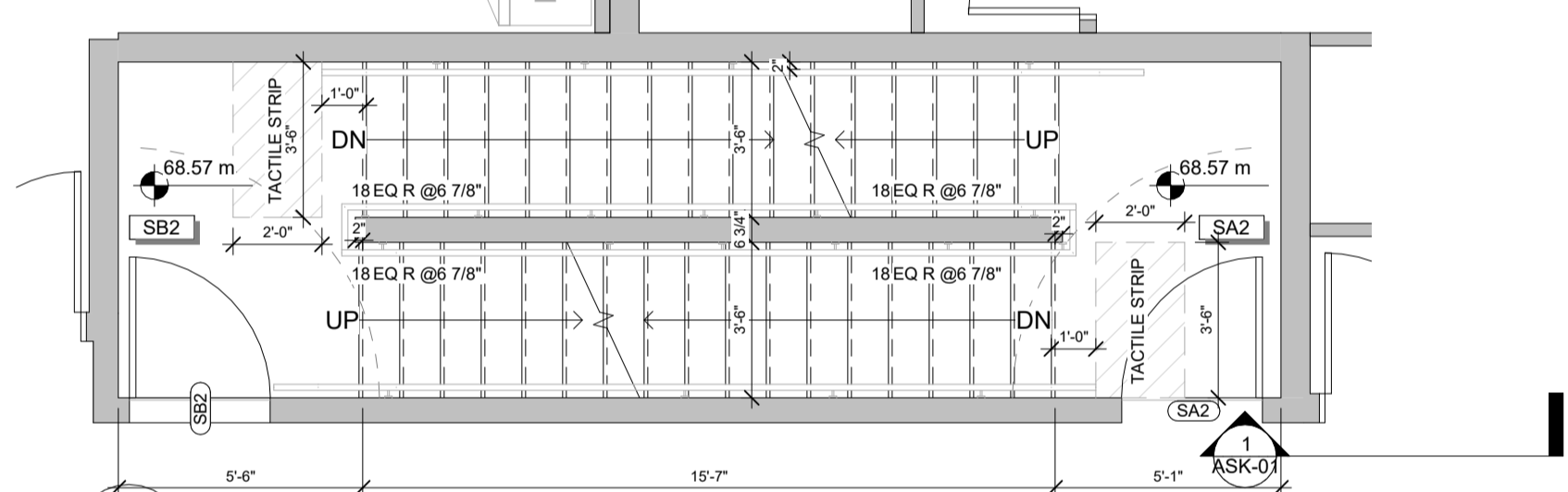
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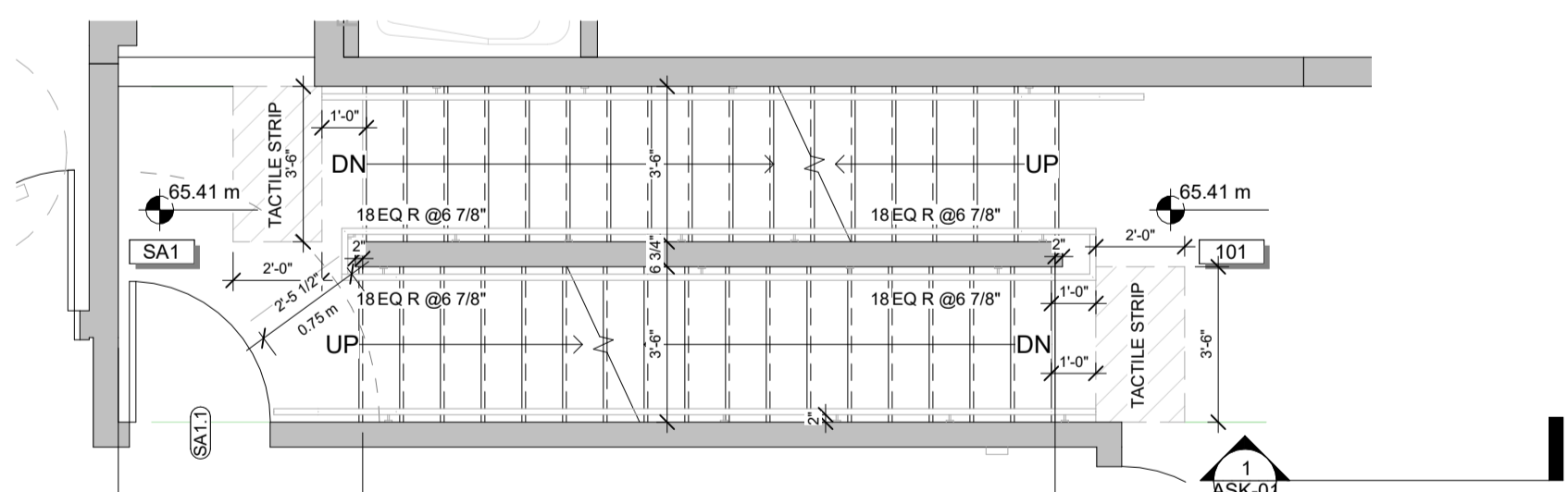
5 STAIRS - ROOFTOP
 A5.1 SCALE 1/4" = 1'-0"



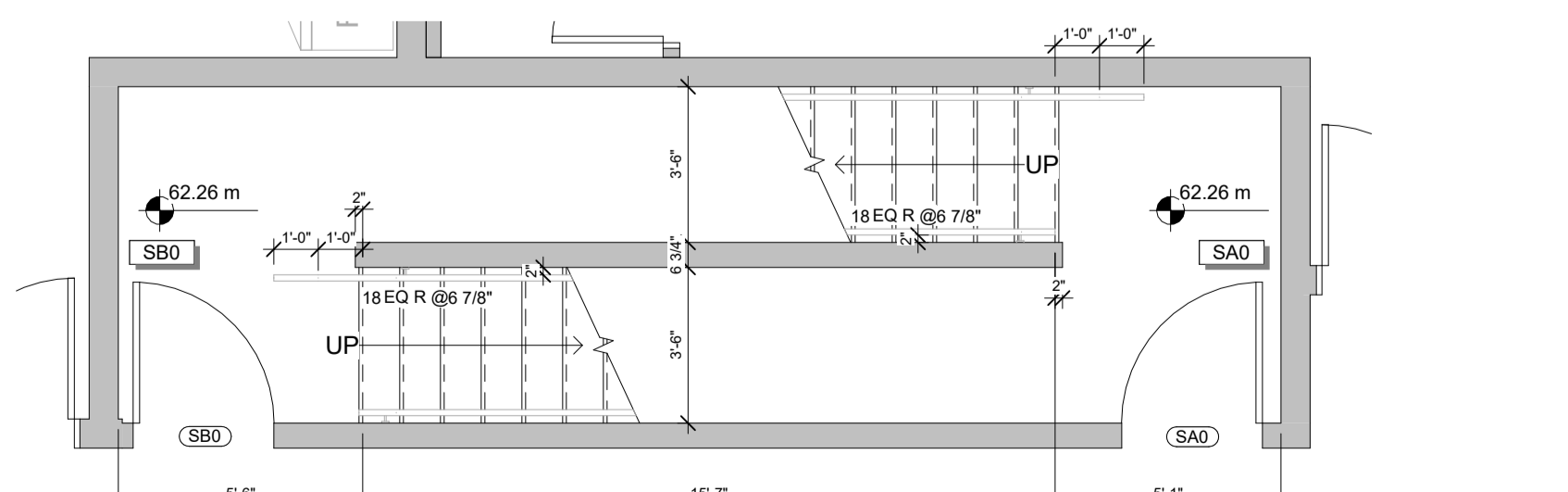
4 STAIRS - LEVEL 3
 A5.1 SCALE 1/4" = 1'-0"



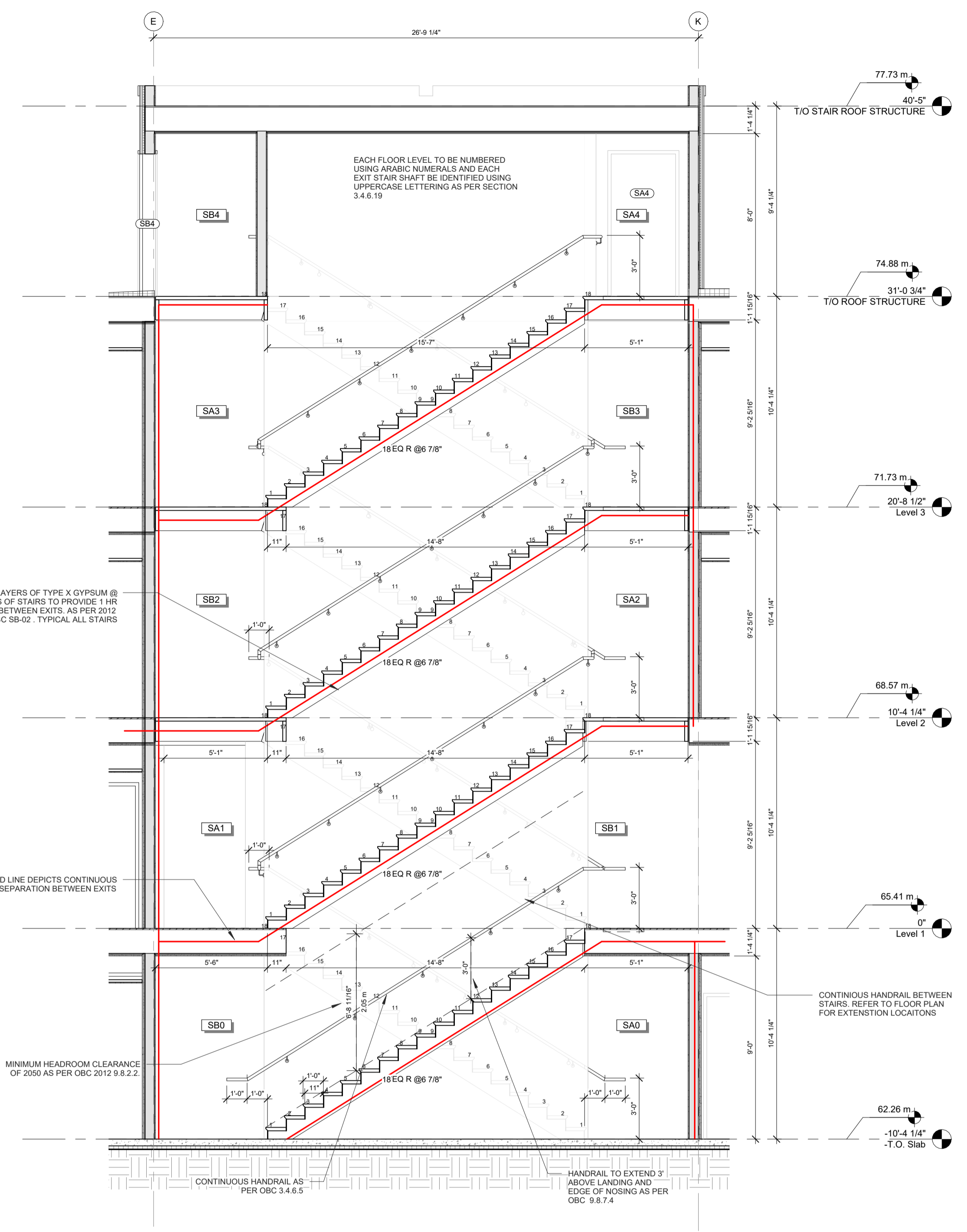
3 STAIRS - LEVEL 2
 A5.1 SCALE 1/4" = 1'-0"



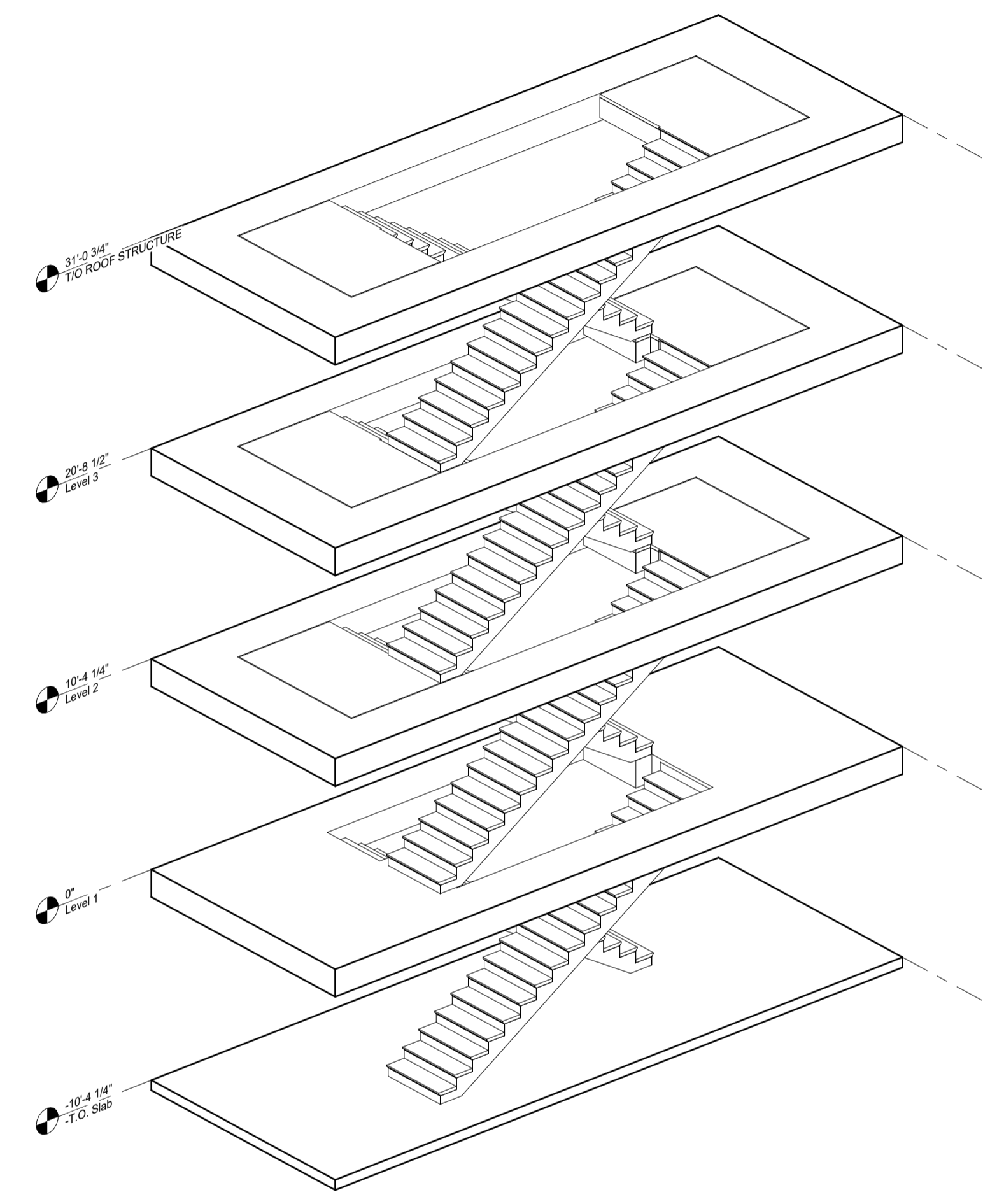
2 STAIRS - LEVEL 1
 A5.1 SCALE 1/4" = 1'-0"



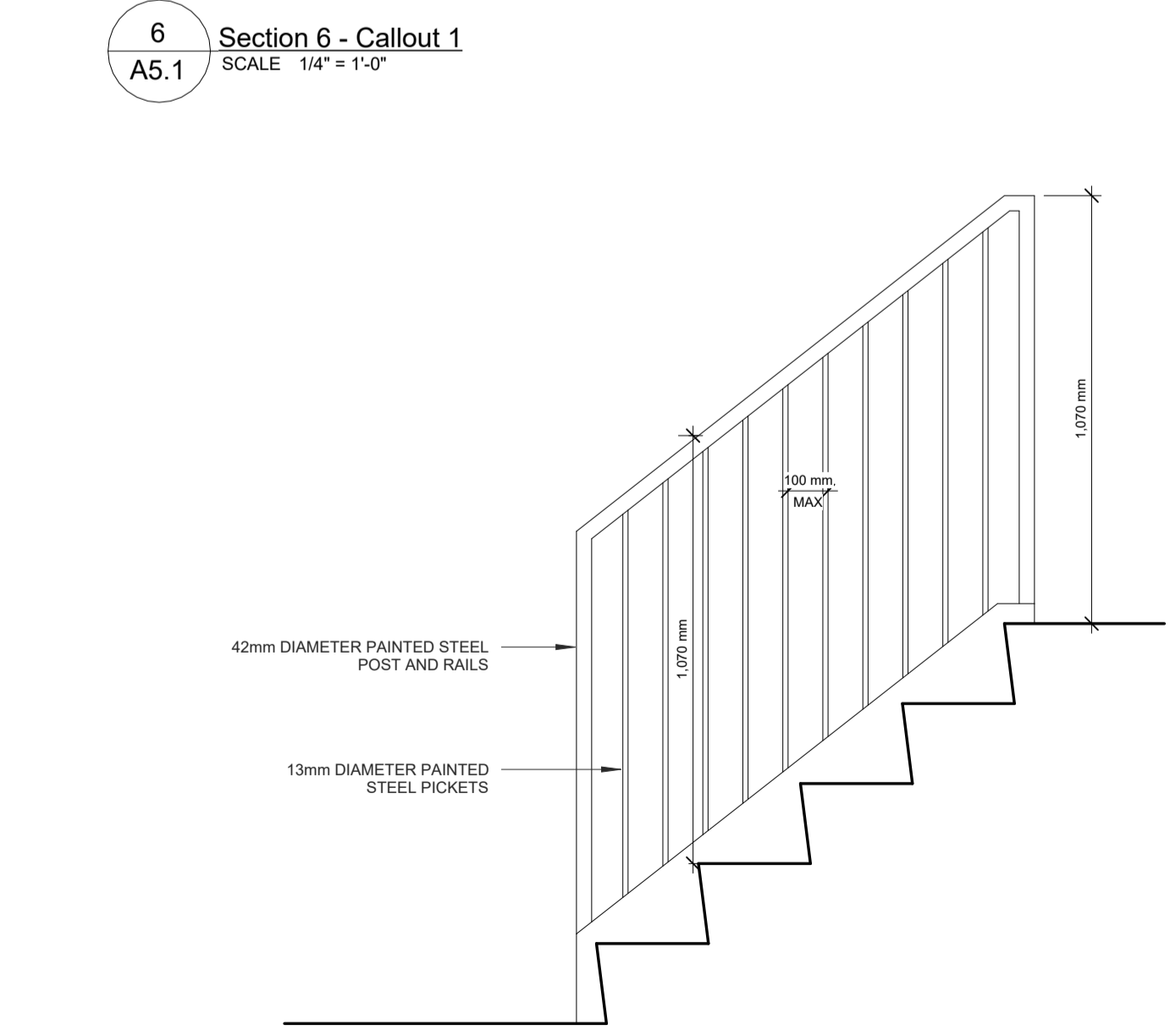
1 STAIRS - BASEMENT
 A5.1 SCALE 1/4" = 1'-0"



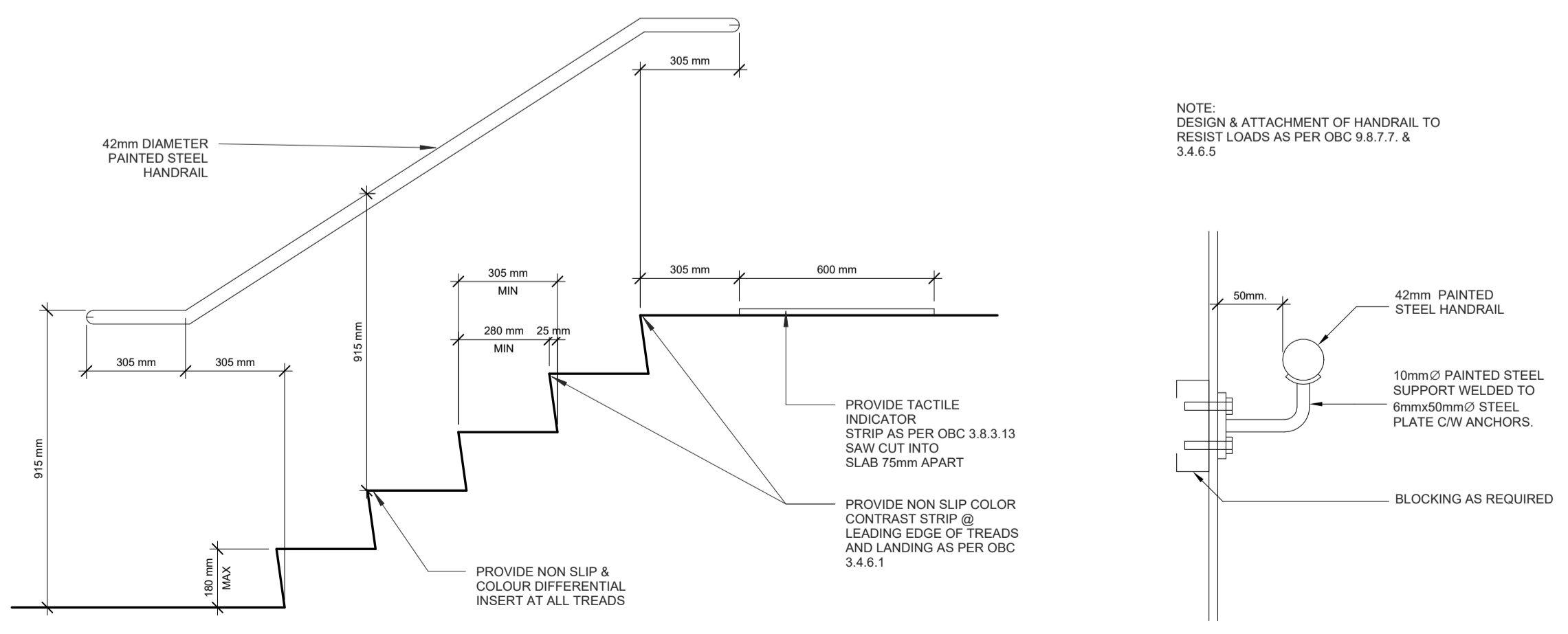
6 Section 6 - Callout 1
 A5.1 SCALE 1/4" = 1'-0"



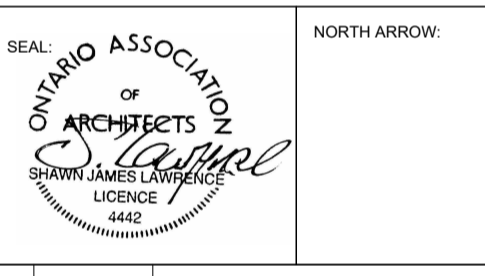
8 3D STAIR SCALE
 A5.1 SCALE



7 TYPICAL STAIR DETAILS
 A5.1 SCALE 3/4" = 1'-0"



NOTE:
 DESIGN & ATTACHMENT OF HANDRAIL TO RESIST LOADS AS PER OBC 9.8.7.7 & 3.4.6.5



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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

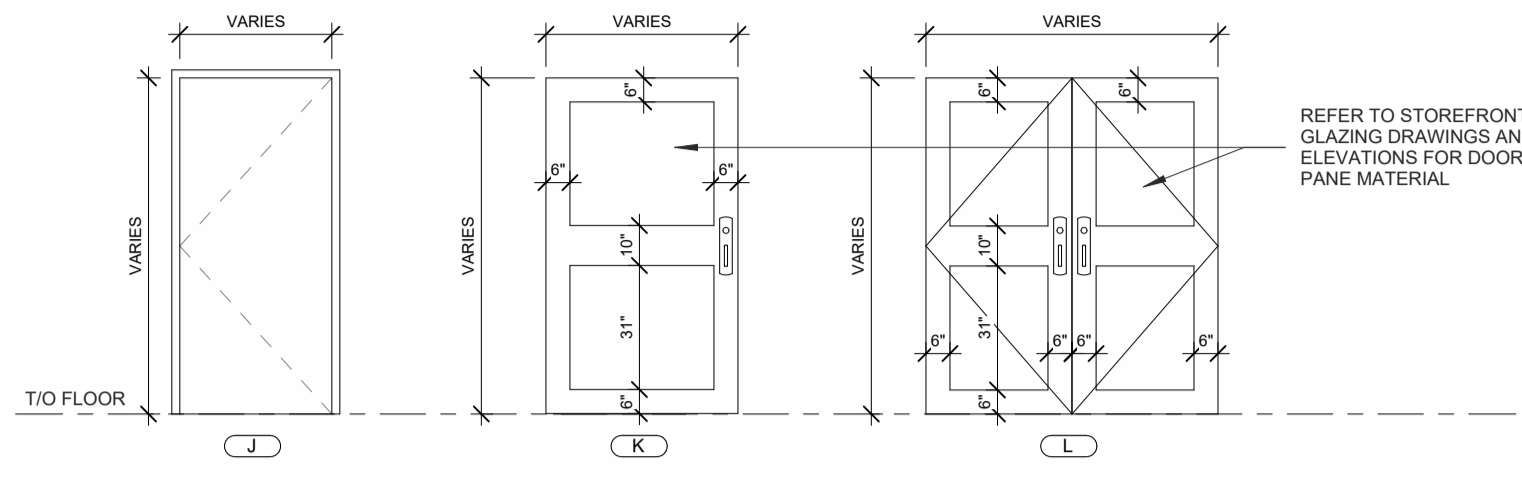
SHEET TITLE:
STAIR SECTION AND DETAILS

DRAWN BY: GH CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2022-11-07 11:47:26 AM
 JOB NUMBER: SL-1077-22 SCALE: As Indicated

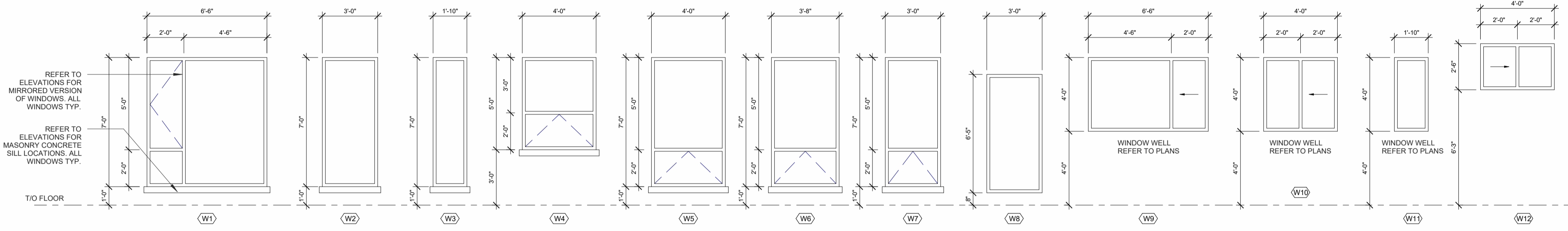
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Door Schedule

T/O Slab	Room	Door Type	Material	Size (WxHxT)	Min. Thickness	Frame	Finish	Hardware	Notes	
002	CORRIDOR	CORRIDOR	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [C] [J] [L]
SA0	CORRIDOR	STAIR A	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
SB0	CORRIDOR	STAIR B	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
Level 0.5										
101	EXTERIOR	CORRIDOR	ALUMINUM	84" x 48" x 1.34"	--	K	BLACK ANODIZED	ALUMINUM	BLACK ANODIZE	[A] [P] [H] [J] [K] [L] [O]
103	EXTERIOR	CORRIDOR	ALUMINUM	84" x 44" x 1.34"	--	K	BLACK ANODIZED	ALUMINUM	BLACK ANODIZE	[A] [C] [J] [K] [L]
104	EXTERIOR	CORRIDOR	ALUMINUM	84" x 88" x 1.34"	--	L	BLACK ANODIZED	ALUMINUM	BLACK ANODIZE	[A] [E] [J] [K] [L] [O]
Level 1										
102	CORRIDOR	LOBBY	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [L] [P] [M]
SA1.1	CORRIDOR	STAIR A	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
SA1.2	STAIR A	EXTERIOR	INSULATED METAL	84" x 38" x 1.34"	1HR	K	PAINTED	PRESSED STEEL	PAINTED	[A] [P] [H] [J] [K] [L] [O]
Level 2										
SA2	STAIR A	CORRIDOR	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
SB2	CORRIDOR	STAIR B	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
Level 3										
SA3	EXTERIOR	STAIR A	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
SB3	STAIR B	EXTERIOR	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
T/O ROOF STRUCTURE										
SA4	EXTERIOR	STAIR A	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]
SB4	EXTERIOR	STAIR B	HOLLOW METAL	84" x 38" x 1.34"	45 min	J	PAINTED	PRESSED STEEL	PAINTED	[A] [H] [P] [L]



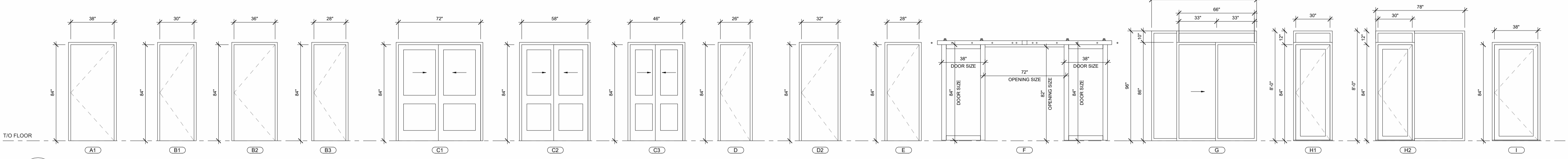
1 NON SUITE DOORS
 SCALE 1/4" = 1'-0"



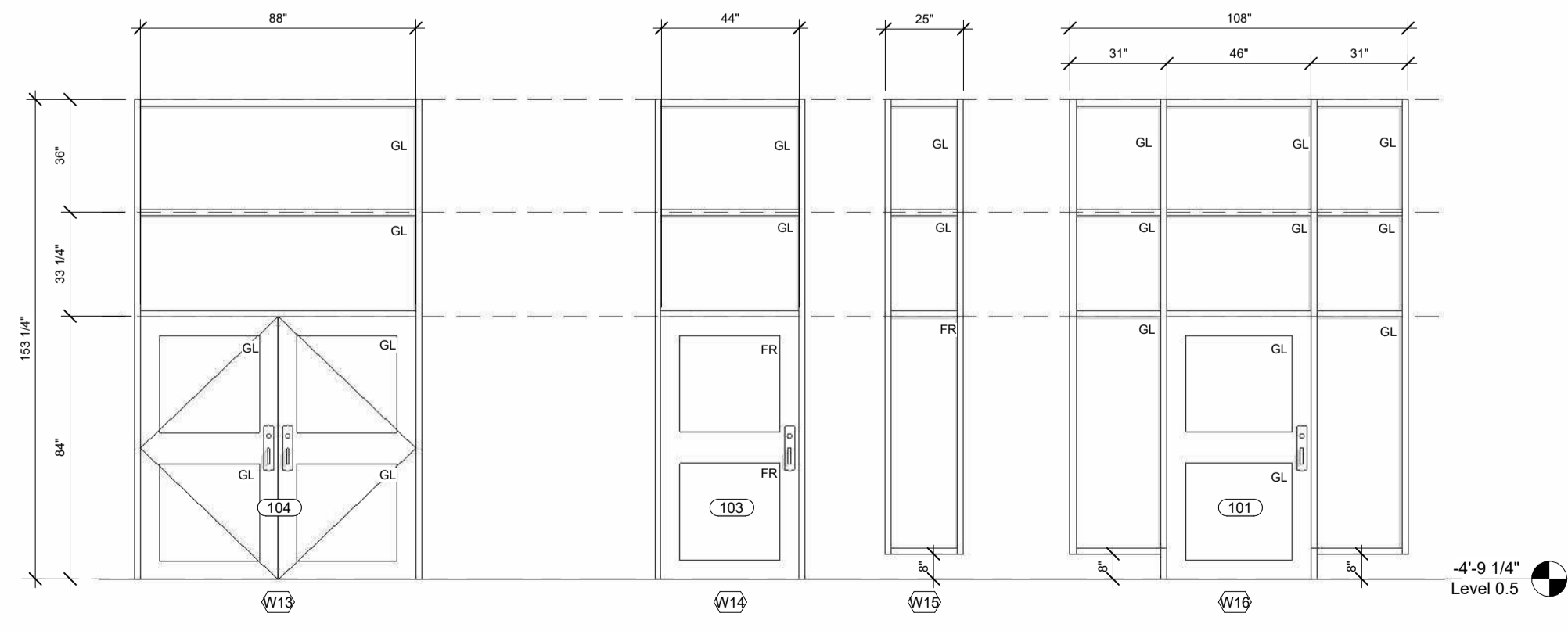
2 WINDOW LEGEND
 SCALE 1/4" = 1'-0"

- NOTES:**
- SP = INSULATED SPANDREL PANEL
 - GL = GLAZING
 - FR = FIRE RATED GLASS "FIRELITE"
 - GWG = GEORGIAN WIRE GLASS
 - TG = TEMPERED GLASS
 - FG = FROSTED GLASS
- ** REFER TO ELEVATIONS FOR FROSTED GLASS LOCATION AND OPERATOR DIRECTION FOR WALL WINDOWS AND DOORS
- GENERAL NOTES:**
- ALL EXTERIOR WINDOW/DOOR FRAMES TO BE TIED INTO CONTINUOUS AIR BARRIER AS INDICATED ON THE ARCHITECTURAL DETAILS
 - ALL WINDOW AND DOOR FRAMES TO HAVE GYPSUM BOARD RETURNS UNLESS OTHERWISE NOTED
 - ALL INTERIOR / EXTERIOR FRAMES TO BE CAULKED TO ADJACENT MATERIALS USING APPROPRIATE CAULKING AS INDICATED IN DETAILS
- GENERAL WINDOW NOTES**
- ALL WINDOWS - BLACK ALUMINUM
 - ALL SIDE LIGHTS - SAME AS ADJACENT DOOR MATERIAL
 - NO BRICK-MOULDING FOR BASEMENT WINDOWS
 - SEE ELEVATIONS FOR OPERABLE DIRECTION
 - ALL WINDOWS TO BE RESIST FORCED ENTRY AS PER O.B.C. 9.7.6
 - ALL WINDOWS/ SLIDING GLASS DOORS SHALL HAVE A MAXIMUM U-VALUE OF 1.4
 - CONFIRM ROUGH OPENING WITH MANUFACTURER
 - ALL OPERABLE WINDOWS WITH A SILL HEIGHT GREATER THAN 480mm TO BE INSTALLED WITH A MECHANISM THAT WILL LIMIT THE OPENING TO LESS THAN 100mm, IN ACCORDANCE WITH OBC 2012 9.8.8
 - SITE MEASURE WINDOW SCREENS TO CONFIRM OVERALL DIMENSIONS
- GENERAL DOOR NOTES**
- ALL EXT. DOORS TO RESIST FORCED ENTRY AS PER OBC 9.6.8
 - THERMAL RESISTANCE FOR EXT. DOORS TO BE NOT LESS THAN R4 AS PER SBI-Z-1.19 (1)
 - ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED
 - CONFIRM ROUGH OPENING WITH MANUFACTURER

- [A] - HINGES
- [B] - DEADBOLT LOCK
- [C] - LOCKSET
- [D] - PRIVACY SET
- [E] - PASSAGE SET
- [F] - DUMMY SET/BALL CATCH
- [G] - FLUSH BOLT
- [H] - PULL
- [I] - PUSH
- [J] - WEATHER STRIPPING
- [K] - THRESHOLD
- [L] - SELF CLOSER
- [M] - PUSH BUTTON / ELEC. OPERATOR
- [N] - ROLLER CATCH
- [O] - FCB
- [P] - PANIC BAR



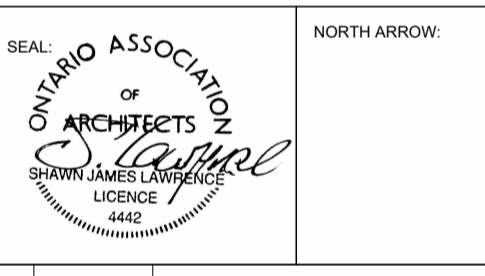
3 SUITE DOORS
 SCALE 1/4" = 1'-0"



4 STORFRONT GLAZING - FRONT
 SCALE 1/4" = 1'-0"

DOOR SCHEDULE-SUITES

Door Type	Fire Rating	SIZE (WxHxT)	Description	DOOR FINISH			FRAME FINISH			NOTES	DOOR HARDWARE
				DOOR	Frame Type	FRAME FINISH					
A1	20 min	38" x 84" x 1.75"	METAL	PRE-FINISHED	PRESSED STEEL	PAINTED				[A] [B] [E] [J] [L]	
B1	--	30" x 84" x 1.75"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED				[A] [D]	
B2	--	38" x 84" x 1.75"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED				[A] [D]	
B3	--	28" x 84" x 1.75"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED				[A] [D]	
C1	--	72" x 84" x 1.75"	HOLLOW CORE WD, (K2) SLIDING	PAINTED/STAIN	--	--			DOUBLE SLIDING DOOR	[A] [F] [H]	
C2	--	58" x 84" x 1.75"	HOLLOW CORE WD, (K2) SLIDING	PAINTED/STAIN	--	--			DOUBLE SLIDING DOOR	[A] [F] [H]	
C3	--	48" x 84" x 1.75"	HOLLOW CORE WD, (K2) SLIDING	PAINTED/STAIN	--	--			DOUBLE SLIDING DOOR	[A] [F] [H]	
D	--	26" x 84" x 1.75"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED				[A] [F] [H]	
D2	--	32" x 84" x 1.75"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED				[A] [F] [H]	
E	--	28" x 84" x 1.75"	HOLLOW CORE WD	PAINTED/STAIN	TBD	PAINTED				[A] [F] [H]	
F	--	38" x 84" x 1.00"	WOOD	STAINED	--	--			BARN DOOR	[A] [E]	
G	--	70" x 88" x 1.75"	INSULATED ALUMINUM	BLACK ANODIZED	INSULATED ALUMINUM	BLACK ANODIZED			SLIDING DOOR	[A] [C] [J] [K]	
H1	--	30" x 84" x 1.75"	INSULATED ALUMINUM	BLACK ANODIZED	INSULATED ALUMINUM	BLACK ANODIZED				[A] [C] [J] [K]	
H2	--	30" x 84" x 1.75"	INSULATED ALUMINUM	BLACK ANODIZED	INSULATED ALUMINUM	BLACK ANODIZED				[A] [C] [J] [K]	
I	1HR	38" x 84" x 1.75"	INSULATED METAL	PRE-FINISHED	PRESSED STEEL	PAINTED				[A] [B] [E] [J] [K]	



No.	DATE	REVISION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 305 OTTAWA, ONTARIO K2E 8B7
 T: (613) 730 7770 F: (613) 739 7703 sj@sjlarchitect.com



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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
BUILDING SCHEDULES

DRAWN BY: GH
CHECKED BY: B.L. S.J.L.

PLOT DATE: 2022-11-07 11:47:31 AM

JOB NUMBER: SL-1077-22
SCALE: 1/4" = 1'-0"