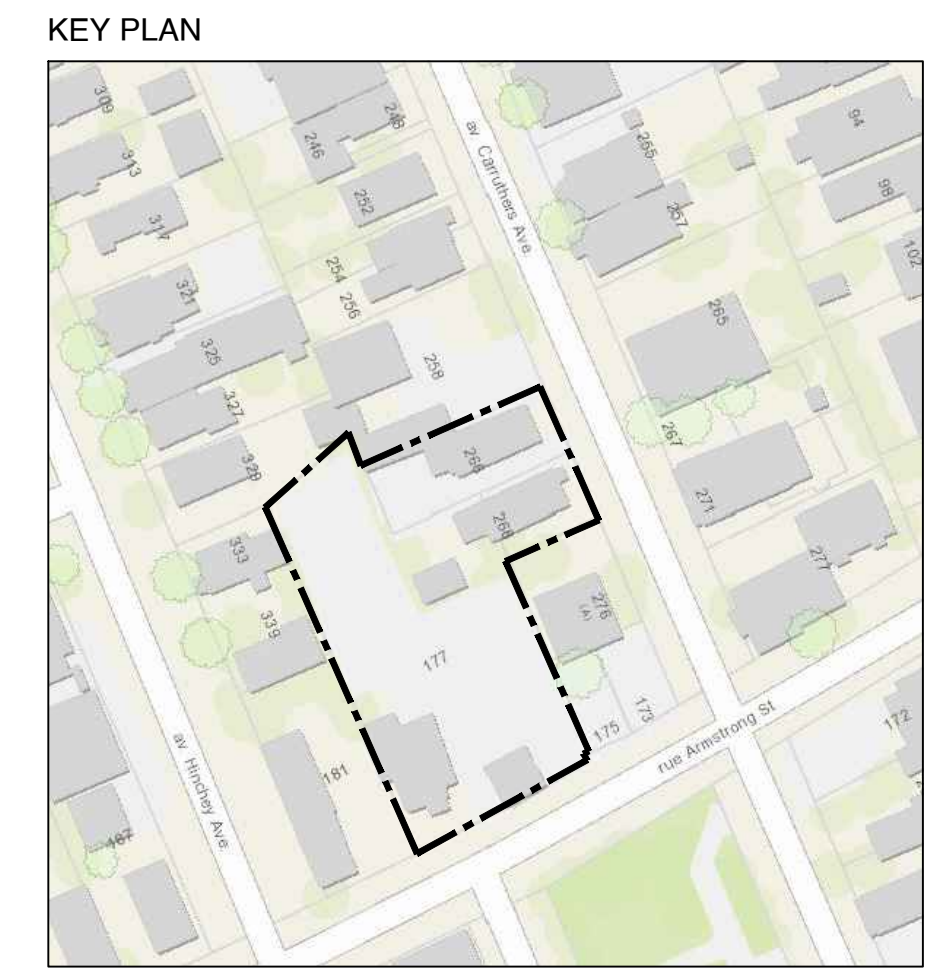


LEGEND

	NEW OVERHEAD DOOR		BICYCLE PARKING SPACE (1.8Mx0.6M)		NEW SIGN, REFER TO SIGN LEGEND		TWO WAY TRAFFIC		NEW CONSTRUCTION
	NEW DOOR / ENTRANCE		NO PARKING LINES		STREET LIGHT		DEPRESSED CURB (DC)		EXISTING BUILDINGS
	PROPOSED RIVERSTONE MULCH		PROPOSED PRECAST CONCRETE PAVERS		HYDRO POST		PROPERTY LINE		BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	EXISTING VEGETATION REFER TO LANDSCAPE DWGS		PROPOSED SOD - REFER TO LANDSCAPE DWGS		DESIGNATED ACCESSIBLE PARKING SPACE AS PER ADDA STANDARDS		EXISTING FENCE		*REFER TO LANDSCAPE DWGS
	NEW SAWCUT CONCRETE SIDEWALK		PARKING STALL COUNT PER ROW		V VISITOR PARKING		MINIMUM SETBACKS (ZONING)		



CITY OF OTTAWA ZONING BY-LAW

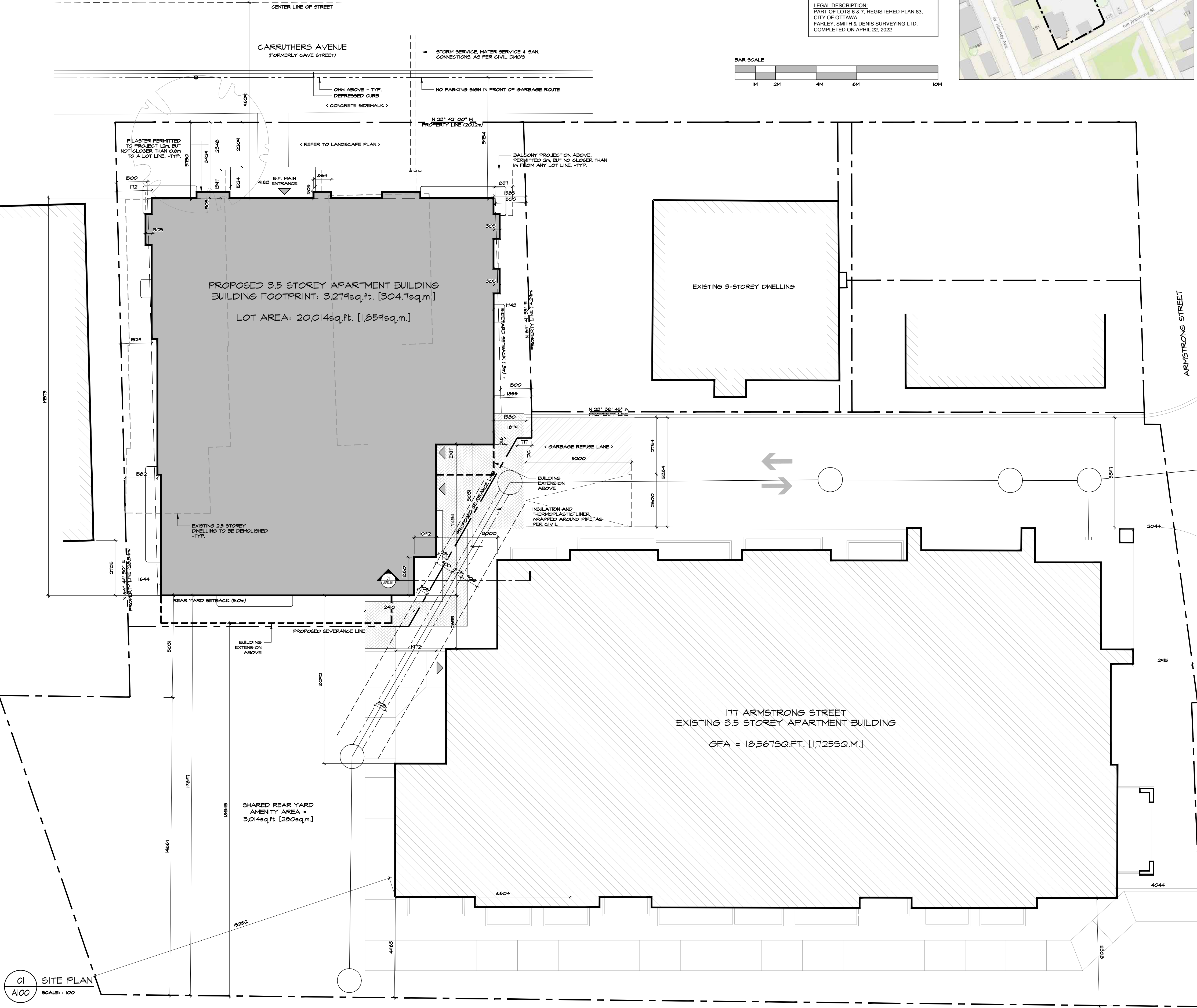
ZONING MECHANISM	RAUB PROVISION (PUD)	PROPOSED	COMPLIANCE
MINIMUM LOT WIDTH	N/A	20.12m	
MINIMUM LOT AREA	1,400m²	1,859m²	
MAXIMUM BUILDING HEIGHT	11m	11m	X
MINIMUM FRONT YARD SETBACK (SEC. 144)	3.91m (MEASURED FOR 276 CARRUTHERS)	3.75m	X
MINIMUM CORNER SIDE YARD SETBACK	1.5m	>1.5m	
MINIMUM REAR YARD SETBACK (SECTION 144 (5))	1.2m	19.6m	
MINIMUM INTERIOR SIDE YARD SETBACK	FOR THE FIRST 18M BACK FROM THE STREET: 1.5m FOR THE REMAINDER: 25% OF THE LOT DEPTH TO A MAXIMUM OF 7.5m	NORTH: 1.5m FOR FULL LENGTH OF BUILDING SOUTH: 1.5m	
INTERIOR YARD AREA (SECTION 144 (6))	A MINIMUM INTERIOR YARD IS REQUIRED THAT ABUTS THE REAR YARD AND INTERIOR SIDE YARD BY EXTENDING A PARALLEL LINE FROM THE MINIMUM REQUIRED REAR YARD SETBACK (1.2 M) AFFECTING THE ABUTTING LOT. ACROSS THE LONGEST SHARED COMMON LINE INTO THE AFFECTED SITE FOR A DISTANCE EQUAL TO 30% OF THE AFFECTED LOT'S ACTUAL WIDTH.	NO INTERIOR YARD AREA IS PROPOSED, HOWEVER, A REAR YARD OF 275m² IS PROPOSED.	X
MAXIMUM NUMBER OF UNITS FOR A LOW-RISE APARTMENT IN RAUB	12 UNITS	18 UNITS	X
LOW-RISE APARTMENT DWELLINGS IN RAUB ZONE	NO MOTOR VEHICLE PARKING IS PERMITTED ON A LOT LESS THAN 450m² IN THE CASE OF A LOT OF 450m² OR GREATER: A) AT LEAST 25% OF DWELLING UNITS MUST HAVE AT LEAST 2 BEDROOMS	N/A 28%	N/A
PRINCIPAL ENTRANCE	1 ENTRANCE	1 PRINCIPAL ENTRANCE BICYCLE STORAGE ENTRANCE. 1 BARRIER-FREE ENTRANCE	
FRONT FACADE	25% WINDOWS	33.6% WINDOWS	
FRONT YARD FIXTURES	THE FRONT YARD MUST BE EQUIPPED WITH SOLID, PERMANENT FIXTURES TO PREVENT MOTOR VEHICLE PARKING	TREES ARE PROVIDED WITHIN THE FRONT YARD TO PREVENT VEHICLE PARKING	
BALCONY	1 BALCONY OR PORCH FOR EVERY UNIT THAT FACES A PUBLIC STREET AT OR ABOVE THE FIRST STOREY, AND TOTAL BALCONY AREA OF 2m² MINIMUM	1 BALCONY FOR EACH UNIT FACING THE STREET ON THE SECOND AND THIRD STOREYS ALL BALCONIES > 2m² AREA: UNIT 12 & 17: 5.3m² UNIT 13 & 18: 6.6m²	
LANDSCAPED AREA (TOTAL LOT AREA) (SECTION 161)	30%	38.4% (714.15m²)	
LANDSCAPED AREA, REAR YARD (SECTION 161)	A) ANY PART OF THE REAR YARD NOT OCCUPIED MUST BE SOFTLY LANDSCAPED B) THE MINIMUM AREA OF SOFT LANDSCAPING PER (A) MUST BE AT LEAST 50 SQUARE METERS	REAR YARD IS PROPOSED TO BE SOFTLY LANDSCAPED REAR YARD = 280m² AND PROPOSED TO BE SOFTLY LANDSCAPED	
LANDSCAPED AREA, FRONT YARD (SECTION 161)	40% = 30m²	75% = 58.8m² (EXCLUDING WALKWAY)	
MINIMUM WIDTH OF A PRIVATE WAY	6m	5.3m	X
MINIMUM SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO A PRIVATE WAY (SECTION 131)	1.8m	1.87m	
MINIMUM SEPARATION DISTANCE BETWEEN BUILDINGS (SECTION 131)	WHERE THE HEIGHT OF ABUTTING BUILDINGS WITHIN THE PUD IS EQUAL TO OR LESS THAN 14.5m: 1.2m	3.0m	
AMENITY AREA (SECTION 137)	RAUB ZONE NOT REQUIRED TO HAVE AMENITY SPACE	PRIVATE: 32.2m² COMMUNAL: ROOF TOP 121m² & SHARED REAR YARD AMENITY 275m²	

CLIENT NAME: THE BERGE HOMES

NOTES:
1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME BEARING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
3) DO NOT SCALE DRAWINGS.
4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

BUILDING FLOOR STATISTICS

	SUITES	2 BED	1 BED	STUDIO
LOWER LEVEL	4	1	3	N/A
GROUND FLOOR	4	N/A	4	N/A
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	3	N/A
	18	5	13	0
		28%	72%	0%



URBAN EXCEPTION 2701	REQUIREMENTS	PROPOSED	COMPLIANCE
MAXIMUM NUMBER OF DWELLING UNITS	33	NO CHANGE	EXCEPTION TO REMAIN
RESIDENTIAL PARKING	NOT REQUIRED	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM PARKING SPACE WIDTH	2.4m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM PARKING SPACE DEPTH	4.6m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM ROOFTOP ACCESS SETBACK FROM THE FRONT WALL FOR A MAXIMUM OF 6.5m	0m	NO CHANGE	EXCEPTION TO REMAIN
MINIMUM ROOFTOP ACCESS AREA	46.3m²	NO CHANGE	EXCEPTION TO REMAIN
PRINCIPAL ENTRANCE	ONLY ONE PRINCIPAL ENTRANCE IS REQUIRED	NO CHANGE	EXCEPTION TO REMAIN
MAXIMUM LOT AREA	1,430m²	1,859m²	EXCEPTION TO BE REMOVED

URBAN EXCEPTION 2702	REQUIREMENTS	PROPOSED	COMPLIANCE
MINIMUM LOT AREA	143.7m²	1,859m²	EXCEPTION TO BE REMOVED
PARKING REQUIREMENTS (SECTION 101, 102, 111)	REQUIREMENTS	PROPOSED	COMPLIANCE
MINIMUM PARKING RATES (SECTION 101, 102)	DWELLING, LOW-RISE: 0.5 SPACES/UNIT (AFTER THE FIRST 12 UNITS) = 3 SPACES VISITOR: 0.1 SPACES/UNIT (AFTER THE FIRST 12 UNITS AND UP TO A MAXIMUM OF 30 SPACES PER BUILDING) = 1 SPACE TOTAL: 4 SPACES	1 SPACES	X
MINIMUM PARKING RATES NEAR RAPID TRANSIT (SECTION 103)	AREA B SCHEDULE 1: 1.75 SPACES/UNIT (TOTAL RESIDENT + VISITOR) LOCATED WITHIN 600m OF TUNNEY'S PASTURE	1 SPACES	
PARKING SPACE PROVISIONS (SECTION 106)	MAXIMUM: 2.6m x 5.2m MINIMUM: 2.1m x 5.2m PARALLEL PARKING LENGTH: 6.7m	2.6m x 5.2m	EXISTING ZONING EXCEPTION TO BE CARRIED FORWARD FOR EXISTING PARKING SPACES
AISELS AND DRIVEWAYS (SECTION 107)	DRIVEWAYS: MINIMUM WIDTH: 2.6m	DRIVEWAYS: 5.3m	
PARKING NOT LOCATED IN A PARKING LOT OR PARKING GARAGE 71-90 DEGREE ANGLE OF PARKING	AISELS: MINIMUM WIDTH: 6.7m		
BICYCLE PARKING SPACES (SECTION 111)	0.5 SPACES / DWELLING UNIT = 9 SPACES	18 SPACES	
BICYCLE PARKING SPACE PROVISIONS (SECTION 111)	HORIZONTAL: 0.6m x 1.8m (MINIMUM 50% OF SPACES) VERTICAL: 0.5m x 1.5m STACKED: 0.9m x 1.8m ACCESS AISLE: 1.5m	18 SPACES (0.6m x 1.8m) AISLE: 1.5m	

BUILDING AREAS	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)	COMPLIANCE
LOWER LEVEL	304.7 sq.m	3,279 sq.ft	
GROUND FLOOR LEVEL	304.7 sq.m	3,279 sq.ft	
SECOND FLOOR LEVEL	316.2 sq.m	3,403 sq.ft	
THIRD FLOOR LEVEL	316.2 sq.m	3,403 sq.ft	
TOTAL	1,233.2 sq.m	13,274 sq.ft	

SEAL: OTTAWA ASSOCIATION OF ARCHITECTS
SHAWN J. LAWRENCE ARCHITECT INCORPORATED
JENNIFER LAWRENCE
JL 442

NORTH ARROW:

13 2023.12.20 ISSUED FOR SPC RESPONSE
12 2023.11.20 ISSUED FOR COORDINATION
11 2023.10.27 ISSUED FOR REVIEW
10 2023.09.28 ISSUED FOR REVIEW
09 2023.07.17 ISSUED FOR SPC RESPONSE
08 2023.03.24 REISSUED FOR ZONING & SPC
07 2023.02.24 ISSUED FOR COORDINATION
06 2023.02.13 ISSUED FOR REVIEW
05 2023.01.09 ISSUED FOR OPEN HOUSE
04 2022.11.07 ISSUED FOR RE-ZONING AND SPC
03 2022.11.04 ISSUED FOR COORDINATION
02 2022.08.15 ISSUED FOR COORDINATION
01 2022.07.27 ISSUED FOR REVIEW

No. DATE REVISION

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PROJECT: CARRUTHERS DEVELOPMENT
266 CARRUTHERS, OTTAWA, ON

SHEET TITLE: SITE PLAN

DRAWN BY: B.L. CHECKED BY: S.J.L.
PLOT DATE: 2024.01.05 PROJECT DATE: 2022.06.06
JOB NUMBER: SL-1077-22 SCALE: AS SHOWN
SHEET NUMBER:

A1.0