



**PATERSON  
GROUP**

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Geotechnical Engineering  
Environmental Engineering  
Hydrogeology  
Materials Testing  
Building Science  
Rural Development Design  
Retaining Wall Design  
Noise and Vibration Studies

September 16, 2022  
File: PE5584-LET.01

**Caivan (Jock River) Limited Partnership  
and Barrhaven Conservancy Development Corporation**  
2934 Baseline Road, Suite 302  
Ottawa, Ontario  
K1T 3R7

Attention: **Mr. Hugo Lalonde**

Subject: **Phase I - Environmental Site Assessment Update  
4305, 4345 and 4375 McKenna Casey Drive and  
3285, 3288, 3300 and 3305 Borrisokane Drive  
Ottawa, Ontario (Conservancy Lands)**

[patersongroup.ca](http://patersongroup.ca)

Dear Sir,

Further to your request, Paterson Group (Paterson) conducted a Phase I - Environmental Site Assessment (Phase I ESA) Update for the aforementioned property. This report updates a previous Phase I ESA report completed by Golder, dated October 2018, and is intended to meet the requirements of a Phase I ESA, as per the MECP Standard O.Reg. 153/04, as amended, under the Environmental Protection Act. This report is to be read in conjunction with the previous report.

## Site Information

The Phase I Property is located on the west and east sides of Borrisokane Road, immediately north of the Jock River, in the City of Ottawa, Ontario. The western portion of the Phase I Property consists of 4305, 4345 and 4375 McKenna Casey Drive and 3288 and 3300 Borrisokane Road. The eastern portion of the Phase I Property consists of 3285 and 3305 Borrisokane Road.

The western portion of the Phase I Property is zoned as a Development Reserve (DR) Zone and the eastern portion is zoned as a Residential Third Density Zone (R3YY) and Open Space and Leisure Zone (O1).

The Phase I Property is 166 hectares in size. The Phase I Property is not currently serviced however, full municipal services will be available at the time of development. The Phase I Property is shown on Drawing PE5584-1 – Site Plan.





## Records Review

### Phase I ESA Study Area Determination

A radius of approximately 250 m was determined to be appropriate as a Phase I Study Area for this assessment. Properties outside the 250 m radius are not considered to have the potential to impact the Phase I Property, based on their separation distance.

### First Developed Use Determination

For the purposes of this report, and based on aerial photographs and the documentation reviewed, the Phase I Property is considered to have been first developed with a farmhouse and barn sometime prior to 1946.

### Previous Engineering Reports

The following reports were reviewed prior to conducting this assessment:

- ❑ 'Phase I Environmental Site Assessment, 4305, 4375, 4345 McKenna Casey Drive, 3285, 3300, 3305 Borrisokane Road – Ottawa, Ontario, prepared by Golder dated October 2018.

According to historical research conducted as part of the 2018 Phase I ESA, the portion of the Phase I Property addressed 3288 Borrisokane Road was developed with the former farmhouse and barn prior to 1946. The remainder of the Phase I Property has existed solely as agricultural fields and vacant land. No environmental concerns were identified with respect to the historical use of the Phase I Property.

One historical potentially contaminating activity (PCA) in the form of a historical railway was identified immediately north of the Phase I Property. Based on its separation distance, as well as there being no record of spills in the vicinity of the Phase I Property, the former railway was not considered to have the potential to impact the Phase I Property.

Following the historical research, an inspection of the Phase I Property and surrounding lands was conducted. No environmental concerns were identified on the Phase I Property at the time of the site visit.

No areas of potential environmental concern (APECs) were identified at the time of the Phase I -ESA and as a result, a Phase II -ESA was not recommended.

- ❑ 'Geotechnical Investigation, Proposed Residential Development, Conservancy Lands – Ottawa, Ontario, prepared by Paterson dated July 15, 2021.



The geotechnical investigation involved the advancement of 57 boreholes to a maximum depth of 9.1m below the existing ground surface. Additionally, 39 monitoring wells were installed by others for the purpose of monitoring groundwater levels across the property.

The subsurface profile encountered across the Phase I Property generally consisted of a surficial layer of topsoil underlain by a silty clay deposit. Glacial till was encountered in the south-eastern corner of the Phase I Property at depths ranging from 3.7 to 6.3m below the existing ground surface. Fill material was not encountered during the subsurface investigation.

### **Environment Canada**

A search of the National Pollutant Release Inventory (NPRI) was conducted electronically on September 8, 2022. The Phase I Property was not listed in the NPRI database. No records of pollutant release were listed in the database for properties located within the Phase I Study Area.

### **Areas of Natural Significance**

A search of natural significance and features within the Phase I Study Area was conducted on the website of the Ontario Ministry of Natural Resources (MNR) on September 8, 2022. The search did not reveal any areas of natural significance within the Phase I Study Area.

### **Water Bodies**

The nearest body of water with respect to the Phase I Property is the Jock River which runs east to west along the southern property boundary of the western portion of the Phase I Property.

### **PCB Inventory**

A search of provincial PCB waste storage sites was conducted. No PCB waste storage sites are located within the Phase I Study Area.

### **Ministry of the Environment, Conservation and Parks (MECP) Instruments**

A request was submitted to the MECP Freedom of Information (FOI) office for information with respect to certificates of approval, permits to take water, certificates of property use or any other similar MECP issued instruments for the Phase I Property. At the time of issuance of this report, a response from the MECP had not been received. A copy of the response will be forwarded to the client, should it contain any pertinent information.



### **MECP Submissions**

A request was submitted to the MECP FOI office for information with respect to reports related to environmental conditions for the Phase I Property. At the time of issuance of this report, a response from the MECP had not been received. A copy of the response will be forwarded to the client, should it contain any pertinent information.

### **MECP Incident Reports**

A request was submitted to the MECP FOI office for information with respect to records concerning environmental incidents, orders, offences, spills, discharges of contaminants or inspections maintained by the MECP for the site or adjacent properties. At the time of issuance of this report, a response from the MECP had not been received. A copy of the response will be forwarded to the client, should it contain any pertinent information.

### **MECP Waste Management Records**

A request was submitted to the MECP FOI office for information with respect to waste management records. At the time of issuance of this report, a response from the MECP had not been received. A copy of the response will be forwarded to the client, should it contain any pertinent information.

### **MECP Coal Gasification Plant Inventory**

The Ontario Ministry of Environment document titled "Municipal Coal Gasification Plant Site Inventory, 1991" was reviewed to reference the locations of former plants with respect to the site. No Municipal Coal Gasification Plant Sites are located within the Phase I Study Area.

### **MECP Brownfields Environmental Site Registry**

A search of the MECP Brownfields Environmental Site Registry was conducted as part of this assessment for the site, neighbouring properties, and the general area of the site. No Records of Site Condition (RSCs) were filed for the Phase I Property or properties within the Phase I ESA Study Area.

### **MECP Waste Disposal Site Inventory**

The Ontario Ministry of Environment document titled "Waste Disposal Site Inventory in Ontario, 1991" was reviewed as part of the historical research. This document includes all recorded active and closed waste disposal sites, industrial manufactured gas plants and coal tar distillation plants in the Province of Ontario. There are no former waste disposal sites located within 250 m of the Phase I Study Area.





### **Technical Standards and Safety Authority (TSSA)**

The TSSA, Fuels Safety Branch in Toronto, was contacted electronically on September 8, 2022, to inquire about current and former underground storage tanks, spills and incidents for the site and neighbouring properties. A response from the TSSA indicated that no records were listed in the TSSA registry for the selected properties. A copy of the TSSA response has been appended to this report.

### **City of Ottawa Landfill Document**

The document entitled “Old Landfill Management Strategy, Phase I – Identification of Sites, City of Ottawa”, was reviewed. There are no closed landfill sites within the vicinity of the Phase I study area.

### **City of Ottawa Historical Land Use Inventory (HLUI)**

The response from the City of Ottawa to the 2018 HLUI request was reviewed as part of this assessment. No records were identified on the Phase I Property or within the Phase I Study Area. The City noted that there are existing waste facilities located along Trail Road, however these waste facilities were located approximately 1.5 km from the Phase I Property and based on their significant separation distance, are not considered to have had the potential to impact the Phase I Property.

A requisition form was sent to the City of Ottawa to request information from the City’s Historical Land Use Inventory database for the Phase I Property. A response had not been received at the time of issuing this report. A copy of the search results will be forwards to the client upon receipt. A copy of the HLUI request form has been appended to this report.

### **Environmental Risk Information Service (ERIS) Report**

Paterson reviewed the ERIS report that was acquired in conjunction with the 2018 Golder Phase I – ESA.

Three borehole records were documented for the Phase I Property. The boreholes were completed in conjunction with previous geotechnical investigations. Four water well information systems (WWIS) records were also identified on the Phase I Property and pertained to domestic wells that are no longer in use.

Records identified within the Phase I Study Area were limited to borehole records, certificate of approval (CA) records, ERIS historical searches and WWIS records.

No PCAs were identified through a review of the ERIS database report.



## **Aerial Photographs**

The latest aerial photograph reviewed for the 2018 Phase I ESA was from 2014. A review of the 2021 aerial photograph shows the Phase I Property as being in the initial stages of development. Several access roads can be seen traversing the Phase I Property and soil disturbances indicating lot grading can be seen in the central and western portions of the property. No PCAs were identified through a review of the 2021 aerial photograph. A copy of the 2021 aerial photograph has been appended to this report.

## **Topographic Maps**

Topographic maps were obtained from Natural Resources Canada – The Atlas of Canada website and from the City of Ottawa website.

Regionally, the topographic maps indicate the Phase I Property is approximately 90 m above sea level and regional topography in the general area of the Phase I Property slopes gently downward to the south, towards the Jock River. An illustration of the referenced topographic map is presented on Figure 2 – Topographic Map, appended to this report.

## **Physiographic Maps**

A Physiographic Map was reviewed from the Natural Resources Canada – The Atlas of Canada website. According to this physiographic map, the site is located in the St. Lawrence Lowlands. According to the mapping description provided: “The lowlands are plain-like areas that were all affected by the Pleistocene glaciations and are therefore covered by surficial deposits and other features associated with the ice sheets.” Mapping shows the Phase I Property as situated in an area of limestone plains.

## **Geological Maps**

The Geological Survey of Canada website on the Urban Geology of the National Capital Area was consulted as part of this assessment. Based on this information, bedrock in the area of the site is reported to consist of interbedded dolostone and sandstone of the Oxford Formation. Overburden soils consist of clay and silt with a drift thickness ranging from 10 to 15m. Based on the completed geotechnical assessment, the subsurface of the Phase I Property consists of clay and glacial till in the southeastern portion.

## **Water Well Records**

A search of the MECP’s web site for all drilled well records within 250 m of the Phase I Property was conducted on September 9, 2022. One well record was identified on the Phase I Property and pertained to a domestic well that was drilled in 1990. Well records for 6 water supply wells and one abandonment record from 1963 to 2015 were identified for properties within the Phase I Study Area.



The potable wells were drilled to depths ranging from 7 to 37m below grade. Bedrock was encountered at an average depth of 13m, and the groundwater table was intercepted at depths ranging from 2.87 to 10.44m.

Based on the age of the well records as well as the availability of municipal services once residential development is completed on the Phase I Property, the potable wells are no longer considered to be in use. A copy of the well records has been appended to this report.

## **Interviews**

Mr. Hugo Lalonde, a representative of the current property owner, was interviewed as part of this Phase I ESA Update. Mr. Lalonde informed Paterson that the Phase I Property has historically been used for residential and agricultural purposes. Paterson was also informed that there has never been any fuel or oil stored on the Phase I Property and that the property is in the initial stages of residential development.

Mr. Lalonde was unaware of any environmental concerns on the Phase I Property or in the immediate vicinity.

## **Site Reconnaissance**

A site reconnaissance visit was conducted on September 12, 2022, by a representative of the Environmental Division at Paterson Group Inc. In addition to the Phase I Property, the uses of neighbouring properties within the Phase I Study Area were also assessed at the time of the site visit.

## **Buildings and Structures**

There are currently no buildings or structures on the Phase I Property.

## **Site Features**

The Phase I Property is primarily occupied by vacant lightly vegetated land with gravel service roads that run east-west across the central portion of the property. Four surcharge stockpiles were observed on the Phase I Property: two on the western portion and two on the eastern portion. These piles consist of engineered fill and/or reworked native material and are used to assess the loading capabilities of the native soils prior to development.

Additionally, four small stockpiles of concrete and several stockpiles of boulders were observed on the western and eastern portions of the Phase I Property. Small amounts of rebar were observed in the concrete within the stockpiles. Although the stockpiled rebar and concrete are not considered to have the potential to impact the Phase I Property, it is recommended they are removed prior to development.





Site drainage occurs primarily through infiltration in the lightly vegetated areas and sheet flow to drainage ditches throughout the Phase I Property. The Phase I Property is relatively flat and at grade with Borrisokane Road and the regional topography slopes gently downward to the south, towards the Jock River. Groundwater within the Phase I Study Area is expected to flow towards the south.

No evidence of current or former railway or spur lines was observed on the Phase I Property at the time of the site visit. There were no unidentified substances observed on the exterior of the Phase I Property.

As previously discussed, based on the age of the potable well records as well as the availability of municipal services once residential development on the Phase I Property is complete, it is unlikely potable wells remain in use. No potable wells observed on the Phase I Property or on properties within the Phase I Study Area.

The Phase I Property is shown on Drawing PE5584-1 - Site Plan

### **Other Potential Environmental Concerns**

No signs of stressed vegetation or unidentified substances were observed on the Phase I Property at the time of this assessment.

### **Importation of Fill Material of Known Quality**

Fill material was imported to the Phase I Property, for development purposes, during the interim of February through April 2020 and again in October 2020. The fill material, consisting of a silty sand and silty clay material, resulted from the redevelopment of the former Drummond's aggregate pit addressed 3713 Borrisokane Road. It should be noted that Paterson had completed several environmental investigations at the source property and that a Record of Site Condition was filed in the MECP's Environmental Site Registry for the residential redevelopment.

The excavation of fill material was monitored on a full-time basis by Paterson personnel. All soil was subjected to a screening, sampling, and analysis program prior to importation to the Phase I Property to ensure the site standards of the Phase I Property were met. All soil imported to the Phase I Property was determined to comply with the applicable MECP standards. Based on the findings of the monitoring program and analytical test results, the fill material is not considered to represent a potentially contaminating activity on the Phase I Property and as such, does not represent an area of potential environmental concern.





## **Neighbouring Properties**

An inspection of the neighbouring properties was conducted from publicly accessible roadways at the time of the site inspection. Land use adjacent to the Phase I Property was as follows:

- North – Strandherd Drive followed by vacant land and residential dwellings;
- South – Jock River followed by agricultural fields;
- East – Agricultural fields followed by Greenbank Road;
- West – Highway No.416 followed by agricultural fields.

Land use within the Phase I Study Area primarily consists of residential developments and agricultural fields.

No PCAs were identified with respect to the current use of the surrounding lands. The surrounding land use within the Phase I Study Area is presented on Drawing PE5584-2 – Surrounding Land Use Plan, appended to this report.

## **Review and Evaluation of Information**

### **Land Use History**

The Phase I Property solely existed as vacant agricultural land with the exception of a farmstead previously located on the property addressed 3288 Borrisokane Road prior to the preparation of the land for development in 2020/2021.

### **Potentially Contaminating Activities and Areas of Potential Environmental Concern**

No new potentially contaminating activities (PCAs) were identified at the Phase I Property or within the Phase I Study Area, since the previous 2018 Phase I ESA. As such, no areas of potential environmental concern (APECs) are present on the Phase I Property.

## **Conceptual Site Model**

### **Geological and Hydrogeological Setting**

The Geological Survey of Canada website on the Urban Geology of the National Capital Area was consulted as part of this assessment. Based on this information, bedrock in the area of the site is reported to consist of interbedded dolostone and sandstone of the Oxford Formation. Overburden soils consist of clay and silt with a drift thickness ranging from 10 to 15m. Based on the completed geotechnical assessment, the subsurface of the Phase I Property consists of clay and glacial till in the southeastern portion.



## **Existing Buildings and Structures**

There are currently no buildings or structures located on the Phase I Property.

## **Water Bodies and Areas of Natural Significance**

The Jock River runs along the southern property boundary of the eastern portion of the Phase I Property.

No areas of natural significance were identified on the Phase I Property or within the Phase I Study Area.

## **Water Well Records**

A search of the MECP 's web site for all drilled well records within 250 m of the Phase I Property was conducted on September 9, 2022. One well record was identified on the Phase I Property and pertained to a domestic well that was drilled in 1990. Well records for 6 water supply wells and one abandonment record from 1963 to 2015 were identified for properties within the Phase I Study Area.

The potable wells were drilled to depths ranging from 7 to 37m below grade. Bedrock was encountered at an average depth of 13m, and the groundwater table was intercepted at depths ranging from 2.87 to 10.44m.

Based on the age of the well records as well as the availability of municipal services once residential development is completed on the Phase I Property, the potable wells are no longer considered to be in use. A copy of the well records has been appended to this report.

## **Neighbouring Land Use**

Neighbouring land use in the Phase I Study Area is primarily residential dwellings to the north, Highway No.416 followed by agricultural fields to the west, residential development to the east and the Jock River to the south. Two retail fuel outlets were identified within the Jock River followed by a residential development to the south. No PCAs were identified with respect to the current use of the neighbouring lands.

## **Potentially Contaminating Activities and Areas of Potential Environmental Concerns**

Based on the findings of the updated records review and site visit, no PCAs resulting in APECs on the Phase I Property were identified.



## **Assessment of Uncertainty and/or Absence of Information**

The information available for review as part of the preparation of this Phase I- ESA is considered to be sufficient to conclude that there are no APECs on the Phase I Property. A variety of independent sources were consulted as part of this assessment, and as such, the conclusions of this report are not affected by uncertainty which may be present with respect to the individual sources.

## **Conclusions**

The results of the records review, research, and site inspection indicated that there are no new potential environmental concerns regarding the Phase I Property since the 2018 Phase I ESA. Based on the results of this Phase I ESA Update, **in our opinion, a Phase II Environmental Site Assessment is not required for the property**

## **Statement of Limitations**

This Phase I - Environmental Site Assessment Update report has been prepared in general accordance with O.Reg. 153/04, as amended. The conclusions presented herein are based on information gathered from a historical review and field inspection program. The findings of the Phase I ESA Update are based on a review of readily available geological, historical, and regulatory information and a cursory review made at the time of the field assessment. The historical research relies on information supplied by others, such as local, provincial, and federal agencies and was limited within the scope-of-work, time, and budget of the project herein.

Should any conditions be encountered at the Phase I Property and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment. This report was prepared for the sole use of Caivan (Jock River) Limited Partnership and Barrhaven Conservancy Development Corporation.

Permission and notification from Caivan (Jock River) Limited Partnership and Barrhaven Conservancy Development Corporation as well as this firm will be required to release this report to any other party.



We trust that this submission satisfies your current requirements. Should you have any questions, please contact the undersigned.

**Paterson Group Inc.**

Samuel Berube, EIT



Karyn Munch, P.Eng., Q.P.ESA

**Report Distribution**

- Caivan (Jock River) Limited Partnership c/o Barrhaven Conservancy Development Corporation
- Paterson Group (1 copy)

**Attachments:**

- Figure 1 - Key Plan
- Figure 2 - Topographic Map
- Aerial Photograph (2019)
- Drawing PE5584-1 - Site Plan
- Drawing PE5584-2 - Surrounding Land Use Plan
- FOI Request
- TSSA Correspondence
- HLUI Request
- MECP Well Records



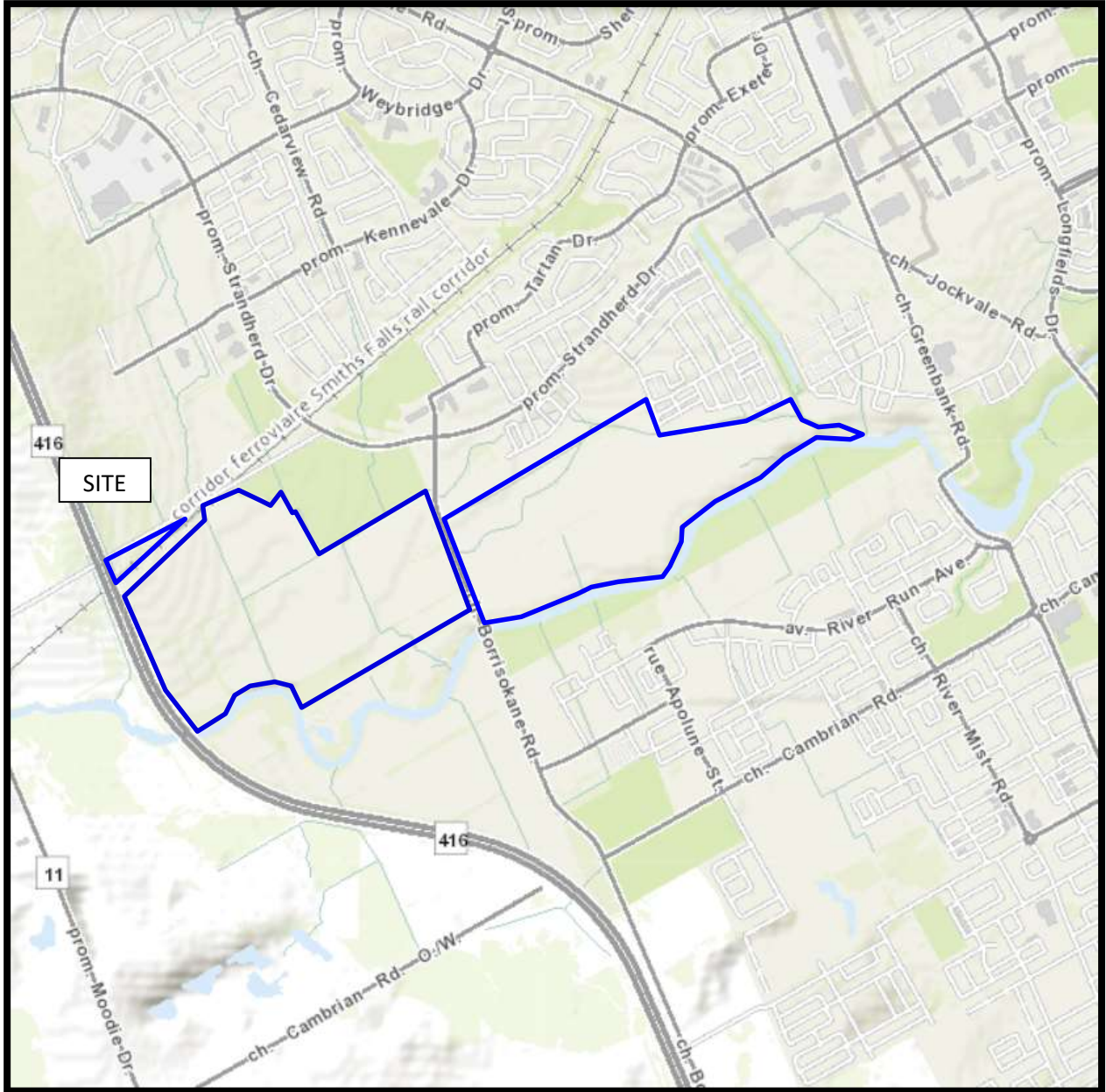


FIGURE 1  
KEY PLAN





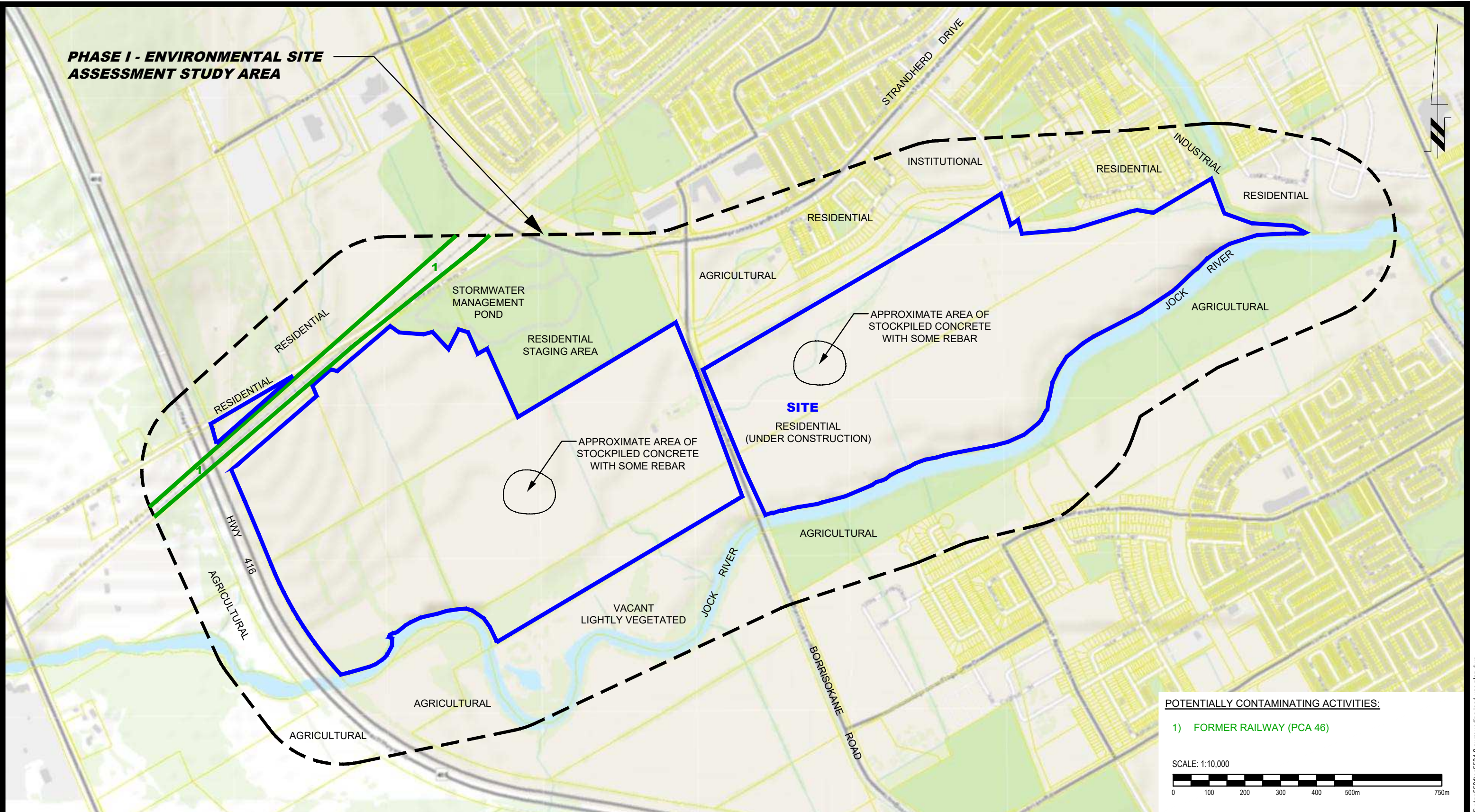
FIGURE 2  
TOPOGRAPHIC MAP



AERIAL PHOTOGRAPH  
2021



**PHASE I - ENVIRONMENTAL SITE ASSESSMENT STUDY AREA**



**POTENTIALLY CONTAMINATING ACTIVITIES:**

- 1) FORMER RAILWAY (PCA 46)

SCALE: 1:10,000



NO.	REVISIONS	DATE	INITIAL

**CAIVAN COMMUNITIES**  
**PHASE I - ENVIRONMENTAL SITE ASSESSMENT UPDATE**  
**CONSERVANCY LANDS**

OTTAWA, ONTARIO  
Title: **SITE PLAN & SURROUNDING LAND USE PLAN**

Scale:	1:10,000	Date:	09/2022
Drawn by:	YA	Report No.:	PE5584-1
Checked by:	SB	Dwg. No.:	<b>PE5584-1</b>
Approved by:	KM	Revision No.:	



## Ministry of the Environment, Conservation and Parks

### Freedom of Information Request for Property Information

#### Instructions

Use this form to:

- submit and pay for a new FOI request for access to records/information about a property
- pay for a deposit or a final fee on an existing FOI request

Fields marked with an asterisk (\*) are mandatory.

**Are you: \***

- Submitting a new FOI Request for Property Information
- Paying a deposit or final fee for an existing FOI Request for Property Information

#### Section 1 – Description of Records Requested

##### Time Period for Records Requested

From (yyyy/mm/dd) \*

2018/01/01

To (yyyy/mm/dd) \*

2022/09/09

##### Type of Record(s) \*

- All environmental records relating to the identified property/site exclusive of Environmental Approvals and Registrations
- Environmental Approvals and Registrations (e.g. Environmental Compliance Approvals; Certificate of Approval; Renewable Energy Approvals; Environmental Activity and Sector Registry Registrations)

Select only if you are seeking access to an Approval or Registration that is not publicly available or if you are also seeking supporting documents relating to the Approval or Registration.

Operator and vendor Pesticide Licenses from September 4, 2018, final Approvals and Registrations are publicly available on the Access Environment website at:

<https://www.accessenvironment.ene.gov.on.ca/AEWeb/ae/GoSearch.action?search=basic&lang=en>.

Records of Site Condition (RSC) records are publicly available on the Brownfields Environmental Site Registry (BSER).

- RSC records between 2004 to June 30, 2011 are available at:  
<https://www.lrcsde.lrc.gov.on.ca/besrWebPublic/generalSearch>
- RSC records filed after July 2011 are available at:  
[https://www.lrcsde.lrc.gov.on.ca/BFISWebPublic/pub/earchFiledRsc\\_search?request\\_locale=en](https://www.lrcsde.lrc.gov.on.ca/BFISWebPublic/pub/earchFiledRsc_search?request_locale=en)

- Other Specific Document(s)

##### Type of Approval/Registration \*

- Drinking Water Licenses
- No Supporting Documents  All Supporting Documents  Some Supporting Documents
- Pesticide Licenses

Only pesticide licenses post September 2018 are available. Prior to September 2018, only Pesticide license applications and supporting documentation is available

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Permits to Take Water

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Water Source \*

Groundwater    Surface Water

Noise Vibrations Approvals/Registrations

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Air Emissions Approvals/Registrations

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Water Approvals/Registrations - Ontario Water Resources Commission, treatment, ground level, standpipes & elevated storage, pumping stations (local & booster), mains

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Sewage – Treatment, Stormwater, Storm, Leachate & Lieachate Treatment & Sewage pump stations, Sanitary

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Waste Water - Industrial discharge

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Waste Sites - Disposal, Landfill sites, Transfer stations, Processing sites, Incinerator sites

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Waste Management Systems - haulers: sewage, non-hazardous & hazardous waste, mobile waste processing units, Polychlorinated Biphenyls (PCBs) storage, transfer or destruction, Waste Generator Systems)

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Company Name

Waste Generator Registration - number/class

List any record(s) that should be excluded from the scope of your request (e.g. email correspondences; records originating from your organization/business; records already in your possession, prior year(s) annual reports for approvals)

Please provide any additional relevant information relating to your request. For example, does your request relate to any other ministry business? Please note that this information is being requested only in order to provide contextual information to the Access and Privacy Office and will not in any way affect or expedite the status of any related ministry business identified.

## Section 2 – Requester Information

Last Name \*  First Name \*  Middle Initial

Business/Organization Name (if applicable or indicate "N/A") \*

Project/Reference Number (if applicable)

Are you submitting this request on behalf of a client? \*  
 Yes  No

### Mailing Address

Unit Number  Street Number \*  Street Name \*

PO Box  City/Town \*  Province \*  Postal Code \*

Telephone Number \*  ext.  Email Address \*

Is there an alternate contact (e.g. office admin)? \*  
 Yes  No

## Section 3 – Current Property Address Information

Is the property a:

Park  Lake  First Nation Band  Wind Farm  Federal Land  Island  Unsurveyed Land

Are you requesting information about multiple addresses? \*

Yes  No

Please only submit a request with multiple addresses if the property is one site. To be considered one site, addresses must be adjacent to each other and owned by the same owner(s).

Do the multiple addresses belong to one site? \*

Yes  No

Please submit a separate FOI request for each address.

Site Name

### Property Address

#### Address 1

Unit Number  Street Number  Street Name

Full Lot Number  Concession  Geographic Township

City/Town/Village \*

Closest Intersection

Strandherd Drive and Mckenna Casey Drive

**Address 2**

Unit Number

Street Number

Street Name

4345

McKenna Casey Drive

Full Lot Number

Concession

Geographic Township

Nepean

City/Town/Village \*

Ottawa

Closest Intersection

Strandherd Drive and Mckenna Casey Drive

**Address 3**

Unit Number

Street Number

Street Name

3305

Borrisokane Road

Full Lot Number

Concession

Geographic Township

Nepean

City/Town/Village \*

Ottawa

Closest Intersection

Borrisokane Road and Strandherd Drive

**Section 4 – Previous Property Address Information**

Do you want the ministry to search all prior historical addresses for this property/site for the time period of the records requested? \*

Yes  No

**Section 5 – Owner Information**

Please provide all present and previous property owner and/or tenant names for the search years requested.

**Current Property Owner/Tenant**

**Address 1**

4375 McKenna Casey Drive

Nepean

Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Address 2**

4345 McKenna Casey Drive

Nepean

Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Address 3**

3305 Borrisokane Road  
Nepean  
Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Section 6 – Supporting Documents**

Please upload any documents (e.g. Maps) that are relevant to your FOI request.

The total size of all attachments must not be more than 8 MB.

1. File Name

Total File Size

Payment confirmation number: 24288686



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#### Section 1 – Description of Records Requested

##### Time Period for Records Requested

From (yyyy/mm/dd) \*

To (yyyy/mm/dd) \*

2018/01/01

2022/09/08

##### Type of Record(s) \*

- All environmental records relating to the identified property/site exclusive of Environmental Approvals and Registrations
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<https://www.lrcsde.lrc.gov.on.ca/besrWebPublic/generalSearch>
- RSC records filed after July 2011 are available at:  
[https://www.lrcsde.lrc.gov.on.ca/BFISWebPublic/pub/earchFiledRsc\\_search?request\\_locale=en](https://www.lrcsde.lrc.gov.on.ca/BFISWebPublic/pub/earchFiledRsc_search?request_locale=en)

Other Specific Document(s)

##### Type of Approval/Registration \*

- Drinking Water Licenses
- No Supporting Documents  All Supporting Documents  Some Supporting Documents
- Pesticide Licenses

Only pesticide licenses post September 2018 are available. Prior to September 2018, only Pesticide license applications and supporting documentation is available

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Permits to Take Water

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Water Source \*

Groundwater    Surface Water

Noise Vibrations Approvals/Registrations

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Air Emissions Approvals/Registrations

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Water Approvals/Registrations - Ontario Water Resources Commission, treatment, ground level, standpipes & elevated storage, pumping stations (local & booster), mains

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Sewage – Treatment, Stormwater, Storm, Leachate & Lieachate Treatment & Sewage pump stations, Sanitary

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Waste Water - Industrial discharge

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Waste Sites - Disposal, Landfill sites, Transfer stations, Processing sites, Incinerator sites

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Waste Management Systems - haulers: sewage, non-hazardous & hazardous waste, mobile waste processing units, Polychlorinated Biphenyls (PCBs) storage, transfer or destruction, Waste Generator Systems)

No Supporting Documents    All Supporting Documents    Some Supporting Documents

Company Name

Waste Generator Registration - number/class

List any record(s) that should be excluded from the scope of your request (e.g. email correspondences; records originating from your organization/business; records already in your possession, prior year(s) annual reports for approvals)

Please provide any additional relevant information relating to your request. For example, does your request relate to any other ministry business? Please note that this information is being requested only in order to provide contextual information to the Access and Privacy Office and will not in any way affect or expedite the status of any related ministry business identified.

## Section 2 – Requester Information

Last Name \*  First Name \*  Middle Initial

Business/Organization Name (if applicable or indicate "N/A") \*

Project/Reference Number (if applicable)

Are you submitting this request on behalf of a client? \*  
 Yes  No

### Mailing Address

Unit Number  Street Number \*  Street Name \*

PO Box  City/Town \*  Province \*  Postal Code \*

Telephone Number \*  ext.  Email Address \*

Is there an alternate contact (e.g. office admin)? \*  
 Yes  No

## Section 3 – Current Property Address Information

Is the property a:

Park  Lake  First Nation Band  Wind Farm  Federal Land  Island  Unsurveyed Land

Are you requesting information about multiple addresses? \*

Yes  No

Please only submit a request with multiple addresses if the property is one site. To be considered one site, addresses must be adjacent to each other and owned by the same owner(s).

Do the multiple addresses belong to one site? \*

Yes  No

Please submit a separate FOI request for each address.

Site Name

### Property Address

#### Address 1

Unit Number  Street Number  Street Name

Full Lot Number  Concession  Geographic Township

City/Town/Village \*

Closest Intersection

Mckenna Casey Drive and Strandherd Drive

**Address 2**

Unit Number

Street Number

Street Name

3285

Borrisokane road

Full Lot Number

Concession

Geographic Township

13

3

Nepean

City/Town/Village \*

Ottawa

Closest Intersection

Borrisokane Road and Strandherd Drive

**Address 3**

Unit Number

Street Number

Street Name

3288

Borrisokane road

Full Lot Number

Concession

Geographic Township

14

4

Nepean

City/Town/Village \*

Ottawa

Closest Intersection

Borrisokane Road and Strandherd Drive

**Address 4**

Unit Number

Street Number

Street Name

3300

Borrisokane road

Full Lot Number

Concession

Geographic Township

13

4

Nepean

City/Town/Village \*

Ottawa

Closest Intersection

Borrisokane Road and Strandherd Drive

**Section 4 – Previous Property Address Information**

Do you want the ministry to search all prior historical addresses for this property/site for the time period of the records requested? \*

Yes  No

**Section 5 – Owner Information**

Please provide all present and previous property owner and/or tenant names for the search years requested.

**Current Property Owner/Tenant**

**Address 1**

4305 Mckenna Casey Drive

Lot 14 Conc 3 Nepean  
Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Address 2**

3285 Borrisokane road  
Lot 13 Conc 3 Nepean  
Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Address 3**

3288 Borrisokane road  
Lot 14 Conc 4 Nepean  
Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Address 4**

3300 Borrisokane road  
Lot 13 Conc 4 Nepean  
Ottawa

Owner Name

Caivan

Date of Ownership (yyyy/mm/dd)

Tenant Name

**Section 6 – Supporting Documents**

Please upload any documents (e.g. Maps) that are relevant to your FOI request.

The total size of all attachments must not be more than 8 MB.

1. File Name

Total File Size

Payment confirmation number: 24284615

## Samuel Berube

---

**From:** Public Information Services <publicinformationservices@tssa.org>  
**Sent:** September 8, 2022 4:23 PM  
**To:** Samuel Berube  
**Subject:** RE: PE5584 - TSSA Request

**Please refrain from sending documents to head office. The Public Information (PI) team works remotely, mailing in applications will lengthen the overall processing time.**

### **NO RECORD FOUND IN CURRENT DATABASE**

Hello Samuel,

Thank you for your request for confirmation of public information. TSSA has performed a preliminary search of TSSA's current database.

- We confirm that there are no records in our current database of any fuel storage tanks at the subject address(es).

This is not a confirmation that there are no records in the archives. For a further search in our archives, please submit an application for release of public information (PI Form) through TSSA's new Service Prepayment Portal. The associated fee must be paid via credit card (Visa or MasterCard) through a secure site.

Please follow the steps below to access the new application(s) and Service Prepayment Portal:

1. Click [Release of Public Information - TSSA](#) - TSSA and click "need a copy of a document";
2. Select the appropriate application, download it and complete it in full; and
3. Proceed to page 3 of the application and click the link TSSA Service Prepayment Portal under payment options (the link will take you the secure site to pay for the release via credit card).

Accessing the Service Prepayment Portal:

1. Select new or existing customer (\*if you are an existing customer, you will need your account # & postal code to access your account);
2. Select the program area: AD (Amusement Devices), BPV (Boilers and Pressure Vessels), ED (Elevating Devices), FS (Fuels Services), OE (Operating Engineers) or SKI (Ski Lifts) and click continue;
3. Enter the application form number (obtained from bottom left corner of application form) and click continue;
  - a. When selecting the application form number from the drop-down menu, please make sure you select the application that begins with "PI" (i.e. PI-FS, PI-BPV etc.);
4. Complete the primary contact information section;
5. Complete the fees section;
6. Upload your completed application; and
7. Upload supporting documents (if required) and click continue.

Once all steps have been successfully completed, you will receive your receipt via email.

Questions? Please contact TSSA's Public Information Release team at [publicinformationservices@tssa.org](mailto:publicinformationservices@tssa.org).

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.

Kind Regards,





**Nicola Carty | Public Information Agent**

Public Information  
345 Carlingview Drive  
Toronto, Ontario M9W 6N9  
Tel: +1 416-734-3221 | E-Mail: [ncarty@tssa.org](mailto:ncarty@tssa.org)  
[www.tssa.org](http://www.tssa.org)



**Winner of 2022 5-Star Safety Cultures Award**

**From:** Samuel Berube <[SBerube@patersongroup.ca](mailto:SBerube@patersongroup.ca)>

**Sent:** September 8, 2022 3:00 PM

**To:** Public Information Services <[publicinformationservices@tssa.org](mailto:publicinformationservices@tssa.org)>

**Subject:** PE5584 - TSSA Request

**[CAUTION]:** This email originated outside the organisation.  
Please do not click links or open attachments unless you recognise the source of this email and know the content is safe.

Good afternoon,

Can you please complete a search of your records for the following properties in Ottawa, Ontario?

3285, 3288, 3300, 3305 – **Borrisokane Road**

4305, 4345, 4375– **Mckenna Casey Drive**

Thank you,



**SAMUEL BERUBE, EIT**  
Junior Environmental Engineer  
TEL: (613) 226-7381 ext. 335  
DIRECT: (613) 696-9651  
9 AURIGA DRIVE  
OTTAWA ON K2E 7T9  
[patersongroup.ca](http://patersongroup.ca)

EXPLORE THE POSSIBILITIES WITH US AND VISIT OUR REFRESHED WEBSITE TODAY.

This electronic message and any attached documents are intended only for the named recipients. This communication from the Technical Standards and Safety Authority may contain information that is privileged, confidential or otherwise protected from disclosure and it must not be disclosed, copied, forwarded or distributed without authorization. If you have received this message in error, please notify the sender immediately and delete the original message.

**Office Use Only**

Application Number: _____	Ward Number: _____	Application Received: (dd/mm/yyyy): _____
Client Service Centre Staff: _____	Fee Received: \$	<input type="text"/>



# Historic Land Use Inventory

## Application Form

### Notice of Public Record

All information and materials required in support of your application shall be made available to the public, as indicated by Section 1.0.1 of *The Planning Act*, R.S.O. 1990, C.P.13.

### Municipal Freedom of Information and Protection Act

Personal information on this form is collected under the authority the *Planning Act*, RSO 1990, c. P. 13 and will be used to process this application. Questions about this collection may be directed by mail to Manager, Business Support Services, Planning Infrastructure and Economic Development Department, 110 Laurier Avenue West, Ottawa, K1P 1J1, or by phone at (613) 580-2424, ext. 24075

### Background Information

**\*Site Address or Location:**

4305 McKenna Casey Drive and 3285, 3288 and 3300 Borrisokane Road, City of Ottawa  
PINs: 045950057, 045950025, 045950023 and 045951745

*\* Mandatory Field*

### Applicant/Agent Information:

Name:	Paterson Group		
Mailing Address:	9 Auriga Drive , Ottawa, ON		
Telephone:	613-226-7381	Email Address:	sberube@patersongroup.ca

### Registered Property Owner Information:

Same as above

Name:	Caivan		
Mailing Address:	2934 Baseline Road, Suite 302, Ottawa, ON, K2P 1B2		
Telephone:		Email Address:	hugo.lalonde@caivan.ca

## Site Details

Legal Description  
and PIN:

Part 1 of Lot 14, Concession 3 and Parts 3,4 and 5 of Lot 13, Part 1 of Lot 14 and Part of Lot 15, Ottawa, ON  
PINs: 045950057, 045950025, 045950023 and 045951742

What is the land  
currently used for?

Residential

Lot frontage:  m Lot depth:  m Lot area: \_\_\_\_\_ m<sup>2</sup>

**OR** Lot area: (irregular lot)  m<sup>2</sup>

Does the site have Full Municipal Services:  Yes  No

## Required Fees

Please don't hesitate to visit [the Historic Land Use Inventory website](#) more information. Fees must be paid in full at the time of application submission.

Planning Fee

\$105.00

## Submittal Requirements

The following are required to be submitted with this application:

- 1. Consent to Disclose Information:** Consultants and other third parties may make requests for information on behalf of an individual or corporation. However, if the requester is not the owner of the property, **the requester must provide the City of Ottawa with a 'consent to disclose information' letter, signed by the property owner.** This will authorize the City of Ottawa to release any relevant information about the property or its owner(s) to the requester. Consent for disclosure is required in the event that personal information or proprietary company information is found concerning the property and its owner. All consents must clearly indicate the name of the property owner as well as the name of the requester, and must be signed and dated.
- 2. Disclaimer:** Requesters must read and understand the conditions included in the attached disclaimer and submit a signed disclaimer to the City of Ottawa's Planning, Infrastructure and Economic Development Department. This disclaimer is related to the Historic Land Use Inventory and must be received by the City of Ottawa, signed and dated by the requestor, before the process can begin.
- 3. A site plan or key plan of the property, its location and particular features.**
- 4. Any significant dates or time frames that you would like researched.**



**Disclaimer**  
**For use with HLUI Database**

CITY OF OTTAWA ("the City") is the owner of the Historical Land Use Inventory ("HLUI"), a database of information on the type and location of land uses within the geographic area of Ottawa, which had or have the potential to cause contamination in soil, groundwater or surface water.

The City, in providing information from the HLUI, to Paterson Group \_\_\_\_\_ ("the Requester") does so only under the following conditions and understanding:

1. The HLUI may contain erroneous information given that such records and sources of information may be flawed. Changes in municipal addresses over time may have introduced error in such records and sources of information. The City is not responsible for any errors or omissions in the HLUI and reserves the right to change and update the HLUI without further notice. The City does not, however, make any commitment to update the HLUI. Accordingly, all information from the HLUI is provided on an "as is" basis with no representation or warranty by the City with respect to the information's accuracy or exhaustiveness in responding to the request.
2. City staff will perform a search of the HLUI based on the information given by the Requester. City staff will make every effort to be accurate, however, the City does not provide an assurance, guarantee, warranty, representation (express or implied), as to the availability, accuracy, completeness or currency of information which will be provided to the Requester. The HLUI in no way confirms the presence or absence of contamination or pollution of any kind. The information provided by the City to the Requester is provided on the assumption that it will not be relied upon by any person whatsoever. The City denies all liability to any such persons attempting to rely on any information provided from the HLUI database.
3. The City, its employees, servants, agents, boards, officials or contractors take no responsibility for any actions, claims, losses, liability, judgments, demands, expenses, costs, damages or harm suffered by any person whatsoever including negligence in compiling or disseminating information in the HLUI.
4. Copyright is reserved to the City.
5. Any use of the information provided from the HLUI which a third party makes, or any reliance on or decisions to be based on it, are the responsibilities of such third parties. The City, its employees, servants, agents, boards, officials or contractors accept no responsibility for any damages, if any, suffered by a third party as a result of decisions made as a result of an information search of the HLUI.
6. Any use of this service by the Requestor indicates an acknowledgement, acceptance and limits of this disclaimer.
7. All information collected under this request and all records provided in response to this request are subject to the provisions of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended.

Signed:  \_\_\_\_\_

Dated (dd/mm/yyyy): 08/09/2022 \_\_\_\_\_

Per: Samuel Berube \_\_\_\_\_  
(Please print name)

Title: Environmental Engineer \_\_\_\_\_

Company: Paterson Group \_\_\_\_\_



**PATERSON  
GROUP**

September 8, 2022  
File: PE5584 -HLUI

**City of Ottawa**  
110 Laurier Avenue W  
Ottawa, Ontario  
K1P 1J1

Subject: **Authorization Letter, HLUI Search  
Phase I-Environmental Site Assessment  
4305 McKenna Casey Drive and  
3285, 3288 and 3300 Borrisokane Road  
Ottawa, ON**

**Consulting Engineers**

9 Auriga Drive  
Ottawa, Ontario  
K2E 7T9

**Tel: (613) 226-7381**

Geotechnical Engineering  
Environmental Engineering  
Hydrogeology  
Materials Testing  
Building Science  
Rural Development Design  
Retaining Wall Design  
Noise and Vibration Studies

**[patersongroup.ca](http://patersongroup.ca)**

Dear Sir/Madame

Please consider this letter as confirmation that Paterson Group has been retained to conduct a Phase I-Environmental Site Assessment at the aforementioned property.

With this letter, the property owner authorizes the City of Ottawa and other regulatory bodies to release, to Paterson Group, information requested for the purpose of completing an environmental assessment of the property.

**Name of Company/Property Owner:**

Barrhaven Conservancy Development Corporation

**Name of Representative:**

Hugo Lalonde

**Signature:**

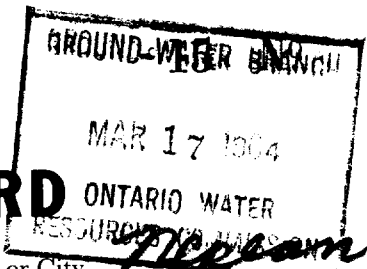
*Hugo Lalonde*

**Date:**

September 8 2022



Ridea FRONT



6084

UTM 18 43 871.0 E

15 50.111580 N

The Ontario Water Resources Commission Act

Elev. 4 R 0305

# WATER WELL RECORD

Basin 25 | County or District Carleton

Township, Village, Town or City Nepean

Con. 4 RF Lot 16

Date completed 5 Aug 63 (day month year)

Address 635 Richmond RD Ottawa

### Casing and Screen Record

Inside diameter of casing 6 5/8"  
 Total length of casing 41' 7"  
 Type of screen none  
 Length of screen  
 Depth to top of screen  
 Diameter of finished hole 6 5/8"

### Pumping Test

Static level TOP - 000  
 Test-pumping rate 20 G.P.M.  
 Pumping level 12  
 Duration of test pumping 3 hrs  
 Water clear or cloudy at end of test clear  
 Recommended pumping rate 4 G.P.M.  
 with pump setting of 10 feet below ground surface

### Well Log

### Water Record

#### Overburden and Bedrock Record

	From ft.	To ft.	Depth(s) at which water(s) found	Kind of water (fresh, salty, sulphur)
<u>Sandy loam</u>	<u>0</u>	<u>2</u>	<u>40-43</u>	<u>fresh</u>
<u>Blue clay</u>	<u>2</u>	<u>11</u>		
<u>Blue clay + stones</u>	<u>11</u>	<u>39</u>		
<u>Coarse sand + gravel</u>	<u>39</u>	<u>43</u>		

For what purpose(s) is the water to be used?

Business TOWER OFFICE

Is well on upland, in valley, or on hillside? hillside

Drilling or Boring Firm NE Gahmton Drilling Co Ltd

Address Caril Ave Ottawa

Licence Number 1021

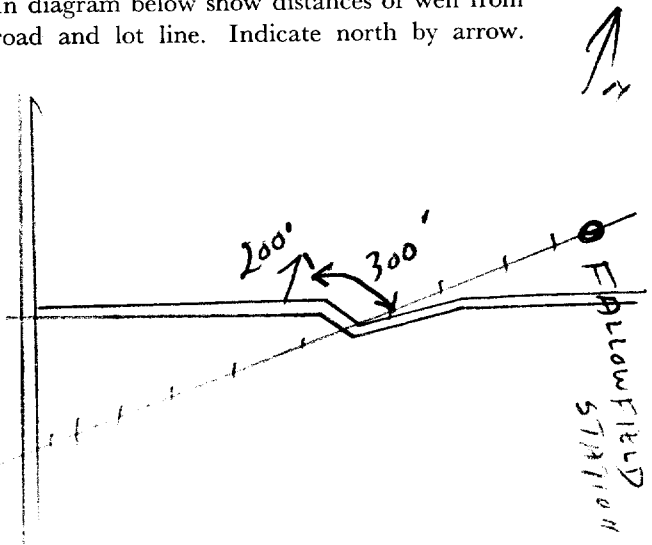
Name of Driller or Borer M Gibbons

Address Admacton Cent

Date March 3/64  
Roy W Rennie  
(Signature of Licensed Drilling or Boring Contractor)

### Location of Well

In diagram below show distances of well from road and lot line. Indicate north by arrow.





# WATER WELL RECORD

316/50

1. PRINT ONLY IN SPACES PROVIDED  
2. CHECK  CORRECT BOX WHERE APPLICABLE

11 1514917 13008 RF 04

COUNTY OR DISTRICT: [redacted] TOWNSHIP, BOROUGH, CITY, TOWN, VILLAGE: Nepean CON., BLOCK, TRACT, SURVEY, ETC.: 4 R.F. LOT: 015 15

DATE COMPLETED: DAY 29 MO 08 YR 75  
R. # 7 Ottawa, Ontario

1514917 18 439336 5011828 4 306 4 26 JUL 08, 1977 301

GENERAL COLOUR	MOST COMMON MATERIAL	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH - FEET	
				FROM	TO
brown	sand	gravel & boulders	packed	0	15
gray	hardpan	boulders	packed	15	77
gray	limestone			77	123

31 0015628/11/13 0.0772/4/379 0/232/5  
32

**41 WATER RECORD**

WATER FOUND AT - FEET	KIND OF WATER			
10-13	1 <input checked="" type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERAL	14
15-18	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERAL	19
20-23	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERAL	24
25-28	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERAL	29
30-33	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERAL	34-60

**51 CASING & OPEN HOLE RECORD**

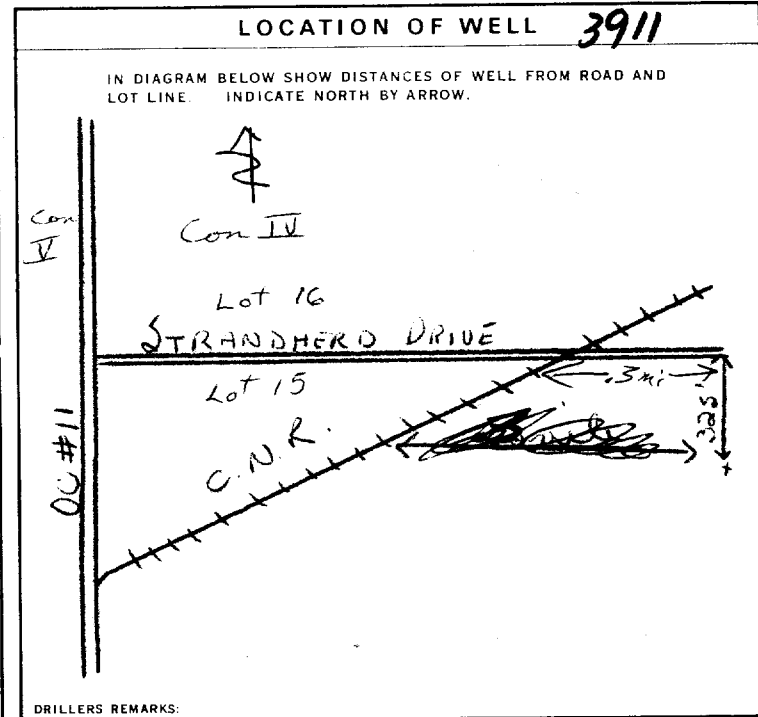
INCHES DIAM INCHES	MATERIAL	WALL THICKNESS INCHES	DEPTH - FEET	
			FROM	TO
6 1/2	1 <input checked="" type="checkbox"/> STEEL 2 <input type="checkbox"/> GALVANIZED 3 <input type="checkbox"/> CONCRETE 4 <input checked="" type="checkbox"/> OPEN HOLE	188	0	0079
06	1 <input type="checkbox"/> STEEL 2 <input type="checkbox"/> GALVANIZED 3 <input type="checkbox"/> CONCRETE 4 <input checked="" type="checkbox"/> OPEN HOLE		79	123
06	1 <input type="checkbox"/> STEEL 2 <input type="checkbox"/> GALVANIZED 3 <input type="checkbox"/> CONCRETE 4 <input checked="" type="checkbox"/> OPEN HOLE			0123

**61 PLUGGING & SEALING RECORD**

DEPTH SET AT - FEET		MATERIAL AND TYPE (CEMENT GROUT, LEAD PACKER, ETC.)
FROM	TO	
10-13	14-17	
18-21	22-25	
26-29	30-33	

**71 PUMPING TEST**

PUMPING TEST METHOD 1 <input checked="" type="checkbox"/> PUMP 2 <input type="checkbox"/> BAILER	PUMPING RATE 0010 GPM	DURATION OF PUMPING 01 HOURS 00 MINS
STATIC LEVEL 020 FEET	WATER LEVEL END OF PUMPING 065 FEET	WATER LEVELS DURING
19-21	22-24	15 MINUTES 26-28 065 FEET
		30 MINUTES 29-31 065 FEET
		45 MINUTES 32-34 065 FEET
		60 MINUTES 35-37 065 FEET
IF FLOWING, GIVE RATE	PUMP INTAKE SET AT	WATER AT END OF TEST
	075 FEET	1 <input checked="" type="checkbox"/> CLEAR 2 <input type="checkbox"/> CLOUDY
RECOMMENDED PUMP TYPE <input type="checkbox"/> SHALLOW <input checked="" type="checkbox"/> DEEP	RECOMMENDED PUMP SETTING 075 FEET	RECOMMENDED PUMPING RATE 0005 GPM



**FINAL STATUS OF WELL**  
1  WATER SUPPLY  
2  OBSERVATION WELL  
3  TEST HOLE  
4  RECHARGE WELL  
5  ABANDONED, INSUFFICIENT SUPPLY  
6  ABANDONED, POOR QUALITY  
7  UNFINISHED

**WATER USE**  
1  DOMESTIC  
2  STOCK  
3  IRRIGATION  
4  INDUSTRIAL  
5  OTHER  
6  COMMERCIAL  
7  MUNICIPAL  
8  PUBLIC SUPPLY  
9  COOLING OR AIR CONDITIONING  
10  NOT USED

**METHOD OF DRILLING**  
1  CABLE TOOL  
2  ROTARY (CONVENTIONAL)  
3  ROTARY (REVERSE)  
4  ROTARY (AIR)  
5  AIR PERCUSSION  
6  BORING  
7  DIAMOND  
8  JETTING  
9  DRIVING

**CONTRACTOR**  
NAME OF WELL CONTRACTOR: Capital Water Supply Ltd.  
ADDRESS: Box 490 Stittsville, Ontario  
LICENCE NUMBER: 1558  
NAME OF DRILLER OR BORER: M. Hamilton  
SIGNATURE OF CONTRACTOR: Walter Kavanagh  
SUBMISSION DATE: DAY 2 NO. 9 YR 75

**OFFICE USE ONLY**  
DATA SOURCE: 1  
CONTRACTOR: 1558  
DATE RECEIVED: 110975  
DATE OF INSPECTION: June 10/76  
INSPECTOR: [Signature]  
REMARKS: [Signature]  
P: [Signature]  
WI



1. PRINT ONLY IN SPACES PROVIDED  
2. CHECK  CORRECT BOX WHERE APPLICABLE

11 1518260 MUNICIPAL 15008 CON RF 09

COUNTY OR DISTRICT: Ottawa-Carleton TOWNSHIP, BOROUGH, CITY, TOWN, VILLAGE: Nepean CON. BLOCK TRACT SURVEY ETC: Conc. 4 R.F. II 016  
1140 Fisher Ave.; Ottawa, Ont. DATE COMPLETED: DAY 20 MO 04 YR 83  
 BOREHOLE NO. 011499 ELEVATION 0310 BASIN CODE 4 26

LOG OF OVERBURDEN AND BEDROCK MATERIALS (SEE INSTRUCTIONS)					
GENERAL COLOUR	MOST COMMON MATERIAL	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH - FEET	
				FROM	TO
Brown	Hardpan	Boulders		0	15
Brown	Sandy Clay	Gravel & Boulders		15	43
Gray	Limestone		Medium Soft	43	125

MOE VF-18

31 00156413 0036051113 0125215788  
 32

**41 WATER RECORD**

WATER FOUND AT - FEET	KIND OF WATER			
10-13 <u>0120'</u>	1 <input checked="" type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	2 <input type="checkbox"/> SALTY	4 <input type="checkbox"/> MINERAL
15-18	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	2 <input type="checkbox"/> SALTY	4 <input type="checkbox"/> MINERAL
20-23	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	2 <input type="checkbox"/> SALTY	4 <input type="checkbox"/> MINERAL
25-28	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	2 <input type="checkbox"/> SALTY	4 <input type="checkbox"/> MINERAL
30-33	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	2 <input type="checkbox"/> SALTY	4 <input type="checkbox"/> MINERAL

**51 CASING & OPEN HOLE RECORD**

INSIDE DIAM. INCHES	MATERIAL	WALL THICKNESS INCHES	DEPTH - FEET
10-11 <u>06</u>	1 <input checked="" type="checkbox"/> STEEL		13-16
17-18 <u>06</u>	2 <input type="checkbox"/> GALVANIZED	<u>188</u>	20-23
22-25 <u>5-13</u>	3 <input type="checkbox"/> CONCRETE		27-30
	4 <input checked="" type="checkbox"/> OPEN HOLE		

**SCREEN**

SIZE OF OPENING (SLOT NO.)	DIAMETER INCHES	LENGTH FEET
31-33	34-38	39-40

MATERIAL AND TYPE: \_\_\_\_\_ DEPTH TO TOP OF SCREEN: 41-44 FEET

**61 PLUGGING & SEALING RECORD**

DEPTH SET AT - FEET	MATERIAL AND TYPE	CEMENT GROUT LEAD PACKER, ETC.
10-13	14-17	
18-21	22-25	
26-29	30-33	80

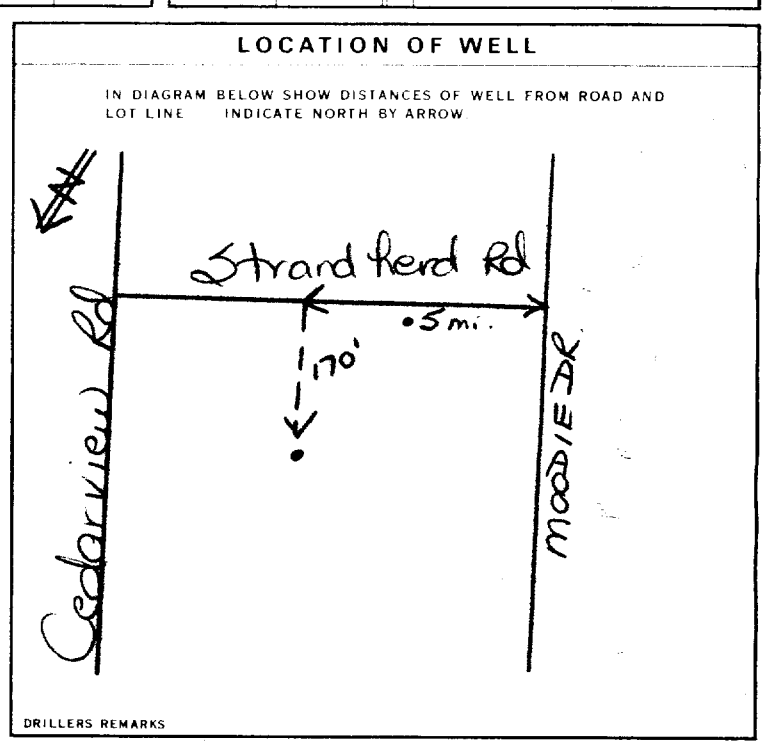
**71 PUMPING TEST**

PUMPING TEST METHOD	PUMPING RATE GPM	DURATION OF PUMPING HOURS
1 <input checked="" type="checkbox"/> PUMP 2 <input type="checkbox"/> BAILER	<u>0010</u>	<u>01</u>

STATIC LEVEL	WATER LEVEL END OF PUMPING	WATER LEVELS DURING PUMPING				
19-21 <u>015</u> FEET	22-24 <u>050</u> FEET	15 MINUTES <u>050</u> FEET	30 MINUTES <u>050</u> FEET	45 MINUTES <u>050</u> FEET	60 MINUTES <u>050</u> FEET	35-37 <u>050</u> FEET

IF FLOWING GIVE RATE: \_\_\_\_\_ PUMP INTAKE SET AT: 50 FEET WATER AT END OF TEST: 1  CLEAR 2  CLOUDY

RECOMMENDED PUMP TYPE:  SHALLOW  DEEP RECOMMENDED PUMP SETTING: 060 FEET RECOMMENDED PUMPING RATE: 0005 GPM



**FINAL STATUS OF WELL** 1  WATER SUPPLY 5  ABANDONED - INSUFFICIENT SUPPLY  
 2  OBSERVATION WELL 6  ABANDONED - POOR QUALITY  
 3  TEST HOLE 7  UNFINISHED  
 4  RECHARGE WELL

**WATER USE** 01 1  DOMESTIC 5  COMMERCIAL  
 2  STOCK 6  MUNICIPAL  
 3  IRRIGATION 7  PUBLIC SUPPLY  
 4  INDUSTRIAL 8  COOLING OR AIR CONDITIONING  
 OTHER 9  NOT USED

**METHOD OF DRILLING** 5 1  CABLE TOOL 6  BORING  
 2  ROTARY (CONVENTIONAL) 7  DIAMOND  
 3  ROTARY (REVERSE) 8  JETTING  
 4  ROTARY (AIR) 9  DRIVING  
 AIR PERCUSSION

**CONTRACTOR** NAME OF WELL CONTRACTOR: Capital Water Supply Ltd. LICENCE NUMBER: 1558  
 ADDRESS: Box 490; Stittsville, Ont. K0A 3Y0  
 NAME OF DRILLER OR BORER: S. Miller LICENCE NUMBER: \_\_\_\_\_  
 SIGNATURE OF CONTRACTOR: [Signature] SUBMISSION DATE: DAY 26 MO 04 YR 83

**OFFICE USE ONLY** DATA SOURCE: 1 CONTRACTOR: 1558 DATE RECEIVED: 02 06 83  
 DATE OF INSPECTION: \_\_\_\_\_ INSPECTOR: \_\_\_\_\_  
 REMARKS: \_\_\_\_\_



1. PRINT ONLY IN SPACES PROVIDED  
2. CHECK  CORRECT BOX WHERE APPLICABLE

11

1524165

MUNICIPALITY 15008

CON. 104

COUNTY OR DISTRICT: Carleton Place TOWNSHIP, BOROUGH, CITY, TOWN, VILLAGE: Nepean CON. BLOCK, TRACT, SURVEY ETC: Con 4 LOT: 19

DATE COMPLETED: DAY 3 MO 11 YR 89

PH# Nepean K214 7V2

**LOG OF OVERBURDEN AND BEDROCK MATERIALS** (SEE INSTRUCTIONS)

GENERAL COLOUR	MOST COMMON MATERIAL	OTHER MATERIALS	GENERAL DESCRIPTION	DEPTH - FEET	
				FROM	TO
grey	sand	gravel boulders		0	20
grey	clay	gravel		20	56
grey	limestone			56	182

31

32

**41 WATER RECORD**

WATER FOUND AT - FEET	KIND OF WATER					
10-13 178	1 <input checked="" type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERALS	5 <input type="checkbox"/> GAS	6 <input type="checkbox"/>	14
15-18	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERALS	5 <input type="checkbox"/> GAS	6 <input type="checkbox"/>	15
20-23	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERALS	5 <input type="checkbox"/> GAS	6 <input type="checkbox"/>	24
25-28	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERALS	5 <input type="checkbox"/> GAS	6 <input type="checkbox"/>	29
30-33	1 <input type="checkbox"/> FRESH	3 <input type="checkbox"/> SULPHUR	4 <input type="checkbox"/> MINERALS	5 <input type="checkbox"/> GAS	6 <input type="checkbox"/>	30

**51 CASING & OPEN HOLE RECORD**

INSIDE DIAM INCHES	MATERIAL	WALL THICKNESS INCHES	DEPTH - FEET	
			FROM	TO
6 7/8	1 <input type="checkbox"/> STEEL 2 <input type="checkbox"/> GALVANIZED 3 <input type="checkbox"/> CONCRETE 4 <input type="checkbox"/> OPEN HOLE 5 <input type="checkbox"/> PLASTIC	1/8	0	59
6	1 <input type="checkbox"/> STEEL 2 <input type="checkbox"/> GALVANIZED 3 <input type="checkbox"/> CONCRETE 4 <input type="checkbox"/> OPEN HOLE 5 <input type="checkbox"/> PLASTIC		59	182

**SCREEN**

SIZE(S) OF OPENING (SLOT NO.)	DIAMETER INCHES	LENGTH FEET

MATERIAL AND TYPE: \_\_\_\_\_ DEPTH TO TOP OF SCREEN: \_\_\_\_\_

**61 PLUGGING & SEALING RECORD**

DEPTH SET AT - FEET	MATERIAL AND TYPE (CEMENT GROUT LEAD PACKER, ETC.)	
10-13	14-17	cement grout
18-21	22-25	
26-29	30-33	

**71 PUMPING TEST**

PUMPING TEST METHOD: 1  PUMP 2  BAILER

PUMPING RATE: 10 GPM

DURATION OF PUMPING: 1 HOURS 0 MINS

STATIC LEVEL	WATER LEVEL END OF PUMPING	WATER LEVELS DURING			
20	60	15 MINUTES	30 MINUTES	45 MINUTES	60 MINUTES
		60	60	60	60

IF FLOWING, GIVE RATE: \_\_\_\_\_ PUMP INTAKE SET AT: \_\_\_\_\_ WATER AT END OF TEST: \_\_\_\_\_

RECOMMENDED PUMP TYPE:  SHALLOW  DEEP

RECOMMENDED PUMP SETTING: 60 FEET

RECOMMENDED PUMPING RATE: 8 GPM

**LOCATION OF WELL**

IN DIAGRAM BELOW SHOW DISTANCES OF WELL FROM ROAD AND LOT LINE INDICATE NORTH BY ARROW

56479

**FINAL STATUS OF WELL**

1  WATER SUPPLY 5  ABANDONED, INSUFFICIENT SUPPLY  
 2  OBSERVATION WELL 6  ABANDONED POOR QUALITY  
 3  TEST HOLE 7  UNFINISHED  
 4  RECHARGE WELL 8  DEWATERING

**WATER USE**

1  DOMESTIC 5  COMMERCIAL  
 2  STOCK 6  MUNICIPAL  
 3  IRRIGATION 7  PUBLIC SUPPLY  
 4  INDUSTRIAL 8  COOLING OR AIR CONDITIONING  
 9  NOT USED

**METHOD OF CONSTRUCTION**

1  CABLE TOOL 5  BORING  
 2  ROTARY (CONVENTIONAL) 7  DIAMOND  
 3  ROTARY (REVERSE) 8  JETTING  
 4  ROTARY (AIR) 9  DRIVING  
 5  AIR PERCUSSION 10  DIGGING 11  OTHER

**CONTRACTOR**

NAME OF WELL CONTRACTOR: H. Mans Well Drilling WELL CONTRACTOR'S LICENCE NUMBER: 3644

ADDRESS: Box 326, Richmond Ont.

NAME OF WELL TECHNICIAN: \_\_\_\_\_ WELL TECHNICIAN'S LICENCE NUMBER: \_\_\_\_\_

SIGNATURE OF TECHNICIAN/CONTRACTOR: \_\_\_\_\_ SUBMISSION DATE: DAY 4 MO 11 YR 89

**OFFICE USE ONLY**

DATA SOURCE: \_\_\_\_\_ CONTRACTOR: 3644 DATE RECEIVED: JAN 26 1990

DATE OF INSPECTION: \_\_\_\_\_ INSPECTOR: \_\_\_\_\_

REMARKS: \_\_\_\_\_





Well Tag No. (Place Sticker and/or Print Below)

Measurements recorded in:  Metric  Imperial

Well Owner's Information
First Name: CITY OF OTTAWA
Last Name/Organization: 14140 RT CONSTRUCTION (A.S.)
Mailing Address: 387 ALBION RD. SOUTH
Municipality: OTTAWA
Province: ON
Postal Code: K1V 1K3

Well Location
Address of Well Location: N/A
Township: NEPEAN (RF)
Lot: 15
Concession: 3
County/District/Municipality: OTTAWA
City/Town/Village: OTTAWA
Province: Ontario
Postal Code:
UTM Coordinates: Zone 8, Easting 184411, Northing 5912445
Municipal Plan and Sublot Number: SNC (5000 NEPEAN COLLECT)

Overburden and Bedrock Materials/Abandonment Sealing Record
General Colour:
Most Common Material:
Other Materials:
General Description:
Depth (m/ft) From To:
WELL ABANDONMENT
Cdr BH 15-12
SNC

Annular Space
Depth Set at (m/ft) From To:
Type of Sealant Used (Material and Type):
Volume Placed (m³/ft³):

Method of Construction
Well Use
Cable Tool, Rotary, Boring, etc.
Public, Commercial, Domestic, etc.

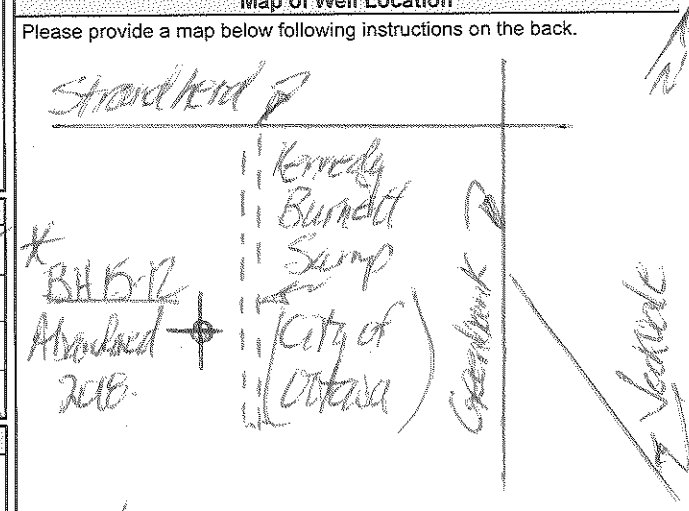
Construction Record - Casing
Inside Diameter (cm/in):
Open Hole OR Material:
Wall Thickness (cm/in):
Depth (m/ft) From To:
Status of Well: Observation and/or Monitoring Hole

Construction Record - Screen
Outside Diameter (cm/in):
Material:
Slot No.:
Depth (m/ft) From To:
Status of Well: Abandoned, other, specify Construction

Water Details
Hole Diameter
Water found at Depth (m/ft):
Kind of Water: Fresh, Untested, Gas, etc.
Depth (m/ft) From To:
Diameter (cm/in):

Well Contractor and Well Technician Information
Business Name of Well Contractor: STANTON DRILLING INC
Well Contractor's Licence No.: 48175
Business Address: 157 FIVE ARCHES DRIVE
Municipality: FARGENTHAM
Province: ON
Postal Code: K0M 1R0
Business E-mail Address: stanton.drilling@bell.net
Name of Well Technician: JAMES PETOL
Signature of Technician and/or Contractor:
Date Submitted: YYY Y M D D

Results of Well Yield Testing
Alter test of well yield, water was:
Draw Down:
Recovery:
Pumping rate (l/min / GPM):
Duration of pumping:
Final water level end of pumping (m/ft):
Recommended pump depth (m/ft):
Recommended pump rate (l/min / GPM):
Well production (l/min / GPM):
Disinfected? Yes No



Comments: (Cdr BH 15-12)
Well owner's information package delivered:
Date Package Delivered:
Date Work Completed:
Ministry Use Only:
Audit No.: 2252113
DEC 21 2018



Measurements recorded in:  Metric  Imperial

A 251220

Page \_\_\_\_\_ of \_\_\_\_\_

Address of Well Location (Street Number/Name) 4025 Strandhead Drive		Township OTTAWA Carleton	Lot	Concession
County/District/Municipality OTTAWA Carleton		City/Town/Village OTTAWA	Province Ontario	Postal Code
UTM Coordinates Zone	Easting	Northing	Municipal Plan and Sublot Number	
NAD 83			Other	

Overburden and Bedrock Materials/Abandonment Sealing Record (see instructions on the back of this form)				
General Colour	Most Common Material	Other Materials	General Description	Depth (m/ft) From To
	Bentonite Hole Plug		1 BAG	-4Ft 18'8"
	Bentonite hole Plug		1/2 BAG	-5Ft 14Ft
	Bentonite Hole Plug		3/4 BAG	-5' to 15Ft

Annular Space		
Depth Set at (m/ft) From To	Type of Sealant Used (Material and Type)	Volume Placed (m³/ft³)

Results of Well Yield Testing				
After test of well yield, water was: <input type="checkbox"/> Clear and sand free <input type="checkbox"/> Other, specify _____	Draw Down		Recovery	
	Time (min)	Water Level (m/ft)	Time (min)	Water Level (m/ft)
If pumping discontinued, give reason:	Static Level			
	1		1	
Pump intake set at (m/ft)	2		2	
Pumping rate (l/min / GPM)	3		3	
Duration of pumping ____ hrs + ____ min	4		4	
Final water level end of pumping (m/ft)	5		5	
If flowing give rate (l/min / GPM)	10		10	
	15		15	
Recommended pump depth (m/ft)	20		20	
	25		25	
Recommended pump rate (l/min / GPM)	30		30	
	40		40	
Well production (l/min / GPM)	50		50	
	60		60	
Disinfected? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				

Method of Construction		Well Use		
<input type="checkbox"/> Cable Tool	<input type="checkbox"/> Diamond	<input type="checkbox"/> Public	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Not used
<input type="checkbox"/> Rotary (Conventional)	<input type="checkbox"/> Jetting	<input type="checkbox"/> Domestic	<input type="checkbox"/> Municipal	<input type="checkbox"/> Dewatering
<input type="checkbox"/> Rotary (Reverse)	<input type="checkbox"/> Driving	<input type="checkbox"/> Livestock	<input type="checkbox"/> Test Hole	<input type="checkbox"/> Monitoring
<input type="checkbox"/> Boring	<input type="checkbox"/> Digging	<input type="checkbox"/> Irrigation	<input type="checkbox"/> Cooling & Air Conditioning	
<input type="checkbox"/> Air percussion		<input type="checkbox"/> Industrial		
<input type="checkbox"/> Other, specify _____		<input type="checkbox"/> Other, specify _____		

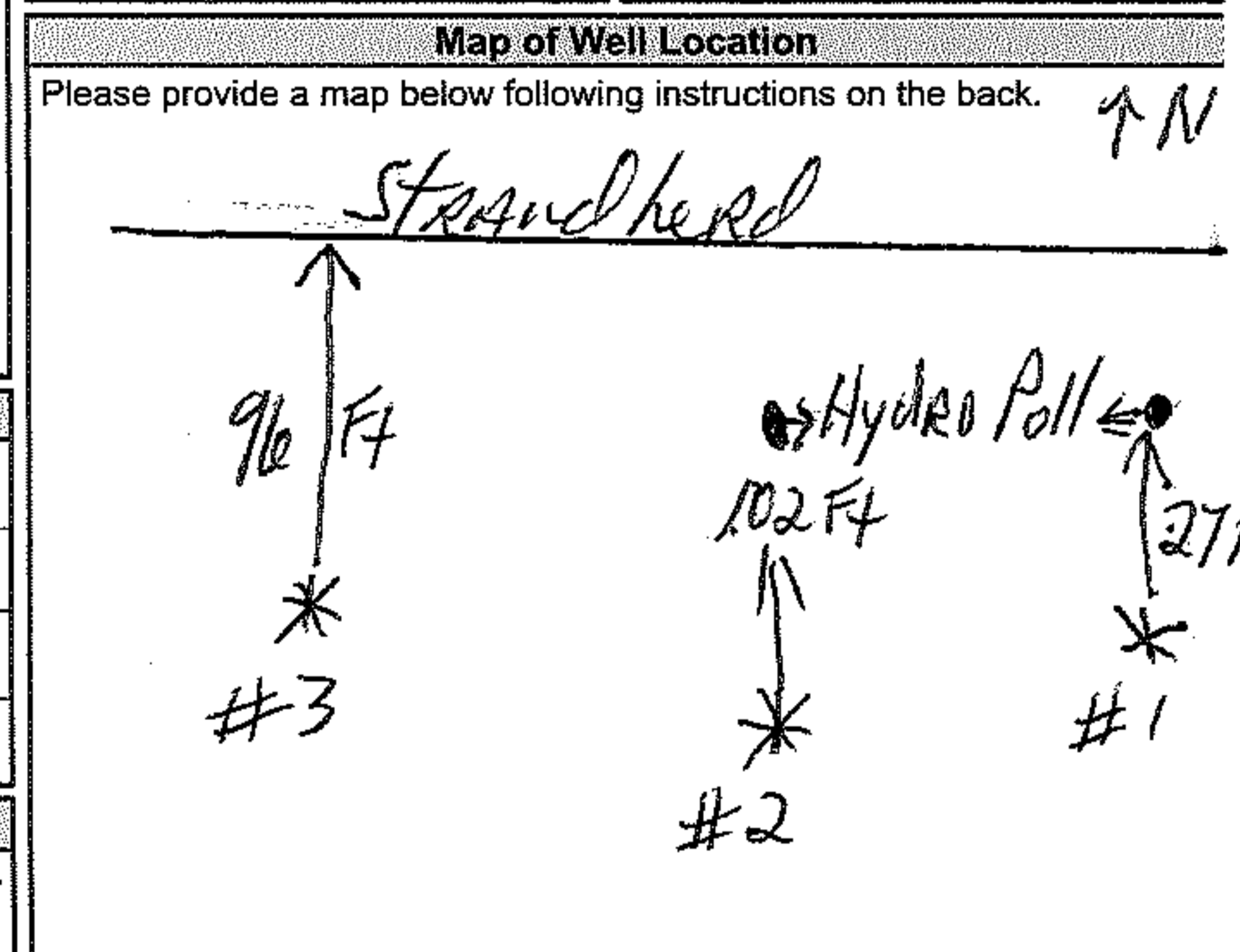
Construction Record - Casing				Status of Well	
Inside Diameter (cm/in)	Open Hole OR Material (Galvanized, Fibreglass, Concrete, Plastic, Steel)	Wall Thickness (cm/in)	Depth (m/ft)		<input type="checkbox"/> Water Supply <input type="checkbox"/> Replacement Well <input type="checkbox"/> Test Hole <input type="checkbox"/> Recharge Well <input type="checkbox"/> Dewatering Well <input checked="" type="checkbox"/> Observation and/or Monitoring Hole <input type="checkbox"/> Alteration (Construction) <input type="checkbox"/> Abandoned, Insufficient Supply <input type="checkbox"/> Abandoned, Poor Water Quality <input type="checkbox"/> Abandoned, other, specify _____ <input type="checkbox"/> Other, specify _____
			From	To	

Construction Record - Screen				
Outside Diameter (cm/in)	Material (Plastic, Galvanized, Steel)	Slot No.	Depth (m/ft)	
			From	To

Water Details		Hole Diameter	
Water found at Depth (m/ft) <input type="checkbox"/> Gas <input type="checkbox"/> Other, specify _____	Kind of Water: <input type="checkbox"/> Fresh <input type="checkbox"/> Untested	Depth (m/ft) From To	Diameter (cm/in)
Water found at Depth (m/ft) <input type="checkbox"/> Gas <input type="checkbox"/> Other, specify _____	Kind of Water: <input type="checkbox"/> Fresh <input type="checkbox"/> Untested		
Water found at Depth (m/ft) <input type="checkbox"/> Gas <input type="checkbox"/> Other, specify _____	Kind of Water: <input type="checkbox"/> Fresh <input type="checkbox"/> Untested		

Well Contractor and Well Technician Information			
Business Name of Well Contractor RAYMOND Pump + Wells		Well Contractor's Licence No. 7 2 6 0	
Business Address (Street Number/Name) Box 18, 147 Principale St		Municipality NATION	
Province Ont.	Postal Code K0A 3C0	Business E-mail Address labrosse_09@hotmail.com	

Bus. Telephone No. (inc. area code) 613 913 1824	Name of Well Technician (Last Name, First Name) RAYMOND JACQUES
Well Technician's Licence No. 0264	Signature of Technician and/or Contractor <i>Raymond Jacques</i>
	Date Submitted 20190624



Comments:

Well owner's information package delivered <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date Package Delivered	Ministry Use Only	
		Y Y Y Y M M D D 2019 06 23	Audit No. Z307124