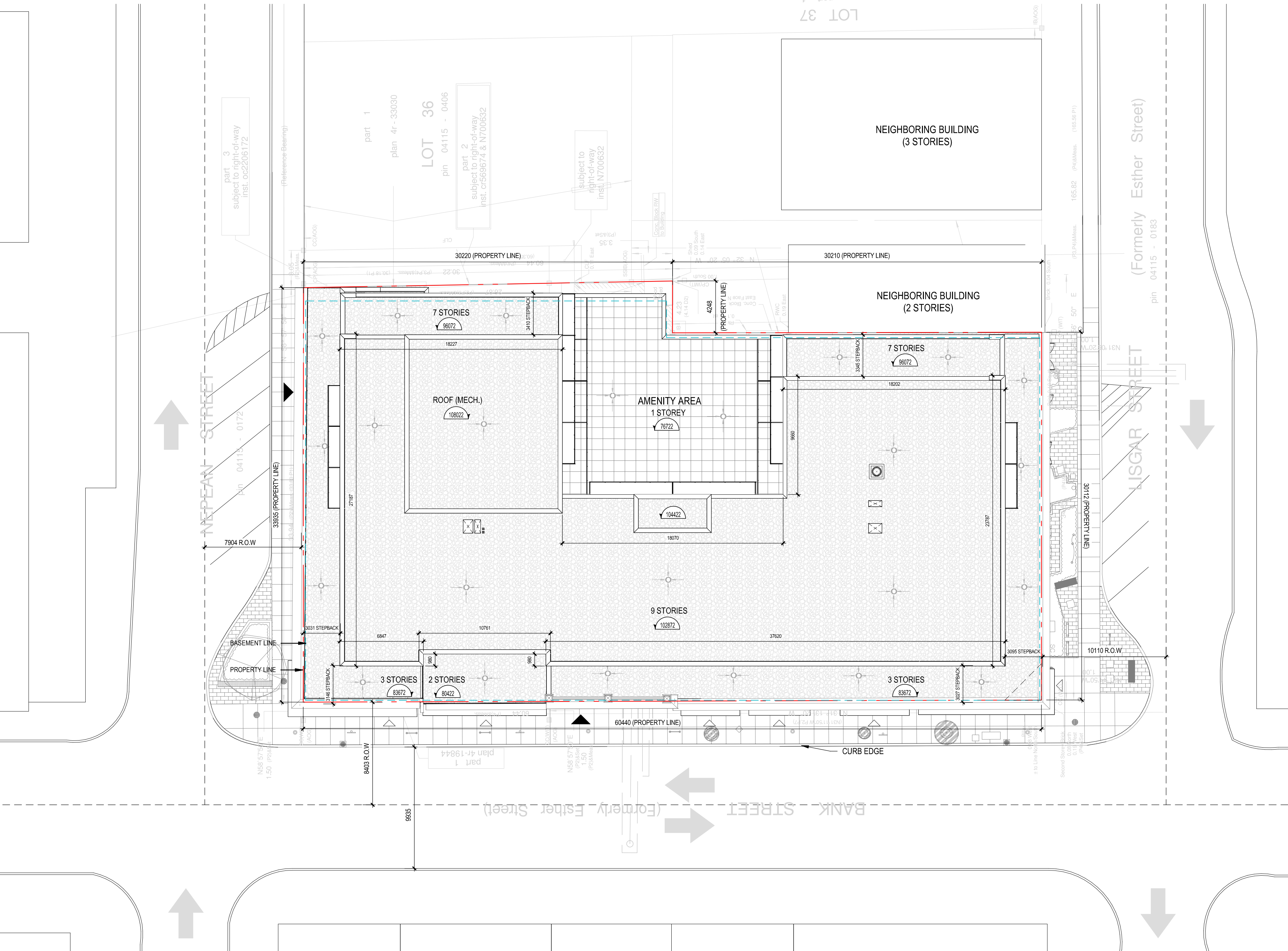
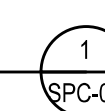


TM H(19) Zoning	Required	Provided
Front Yard	Bank Street	
Minimum Lot Area	No minimum	1943 m ²
Minimum Lot Width	No minimum	60.44 m
Minimum Building Height (m)	6.7 m within 20 m of front lot line	
Maximum Building Height (m)	19 meters as per height restriction in zoning	30 m
Minimum Front Yard Setback (Bank, west)	No minimum	0 m (existing condition)
	Above 15 m, min. front yard setback of 2 meters 2 meters from hydro poles; 5 meters from high-voltage power line	3 m setback above 15 m N/A
Maximum Front Yard Setback (Bank, west)	2 meters; does not apply to corner sight triangle; areas used for balcony above 2nd floor.	0m (existing condition)
Active Entrances	1 per ground floor occupancy	8
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	3 m for height up to 15 meters	0 m, up to 3rd floor
Minimum Side Yard Setback (Nepean, north) (Lisgar,south)	Above 15 m: Ground floor setback plus 2 meters (does not apply to corner site triangle), balconies not included	1.2 m past 3rd floor
Minimum Rear Yard Setback (Back Alley,east)	7.5 meters (abutting R-zone)	0m (existing condition)
Minimum Interior Yard Setback	3 m (mixed-use building abutting R zone) does not apply, has no interior side yard	N/A
Amenity Space Requirements	6m ² per unit Min. 50% communal, aggregated into areas of 54 m ² and where more than one aggregated area is provided, at least one must be minimum 54 m ² . 263 units * 6 m ² = 1578 m ²	Provided: Balconies: 598 m ² Communal area(GF/basement): 767 m ² Communal area(2nd floor): 235 m ² Total amenity area = 1 600 m ²
Landspace Area	Abutting a residential zone = Min. 3 m; reduced to 1 m where 1.4 m high opaque fence is provided In all other cases = No minimum	N/A
Parking Requirements	Residents: 0.5 spaces/unit after the first 12 units for units above the 4th floor = 125 Visitor: 0.1 spaces/unit after the first 12 units= 25 Commercial: Not required if GFA is less than 200m ² per use	Provided: 0
Aisle and Driveway Width	3m for parking lots with less than 20 parking spaces; 6m for parking lots with more than 20 spaces	N/A
Bicycle Parking	0.5/unit x 263 units=132	Provided: 264

NOTES	CONSTRUCTION LEGEND	ZONING MECHANISM	REGULATION	PROPOSED	AREA SUMMARY	RESIDENTIAL UNITS SUMMARY	LEGEND
SURVEY: PROPERTY BOUNDARY & TOPOGRAPHY INFORMATION WAS DERIVED FROM: • LOT 35 (SOUTH NEPEAN STREET) AND PART OF LOT 3 (EAST BANK STREET) AND PART OF LOT 35 (NORTH LISGAR STREET), REGISTERED PLAN 2996 CITY OF OTTAWA, DATED JULY 29TH, 2022. • SURVEYOR: ANNIS O'SULLIVAN, VOLLEBEKK LTD. (14 CONOURSE GATE, SUITE 500, NEPEAN, ON, K2E 7S6)	 EXISTING TO BE CONSERVED NEW CONSTRUCTION	Residential Waste (Solid Waste Collection Design Guidelines for Multi-Unit Residential Development ; 4.2)	Garbage (Compacted) = 0.053y ³ /unit Require 15y ³ Recycling (GMP) = 0.018y ³ /unit Require 6y ³ Recycling (Fibres) = 0.038y ³ /unit Require 12y ³ Organics = 240L containers/ 50 units Require 6 containers	Garbage (Compacted) = (0.053y ³ /263 units) = 14y ³ Total = 5x 3y ³ containers Recycling (GMP) = (0.018y ³ /263 units) = 5y ³ Total = 2x 3y ³ containers Recycling (Fibres) = (0.038y ³ /263 units) = 10y ³ Total = 4x 3y ³ containers Organics = 263 units : 50 = 6 Total = 6 containers	LOT AREA: 1943 m ² LOT COVERAGE: 98% GFA: 1895 m ²	GROUND FLOOR: 2 UNITS 2ND FLOOR: 32 UNITS 3RD FLOOR: 32 UNITS 4TH TO 7TH FLOOR: (34 UNITS x 4) = 136 UNITS 8TH TO 9TH FLOOR: (30 UNITS x 2) = 60 UNITS TOTAL: 263 UNITS	 PROPERTY LINE PROJECTION LINE BASEMENT RESIDENTIAL ENTRANCE COMMERCIAL ENTRANCE



SITE PLAN
1 : 200



FILE NUMBERS: D02-02-22-0127
D07-12-22-0188
PLAN NUMBER: 18910

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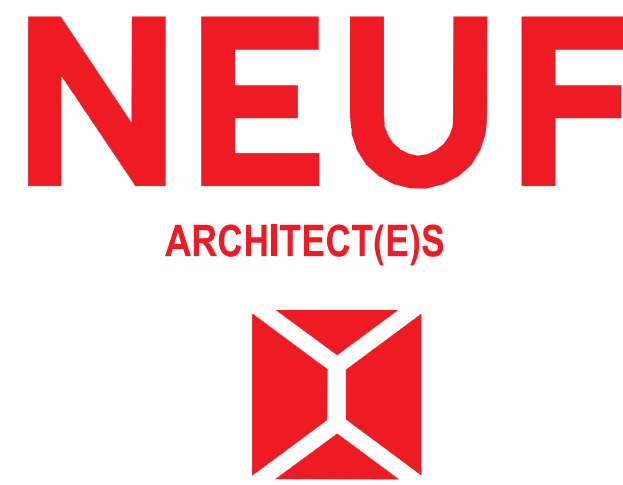
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OUVRAGE Project
211-231 BANK

EMPLACEMENT Location NO PROJET No.
 211-231 BANK STREET, OTTAWA 13369

NO	REVISION	DATE (aaaa.mm.jj)
1	SPC	2024.09.10

DESSINÉ PAR Drawn by S.W.
 DATE (aaaa.mm.jj) 2024.09.10
 TITRE DU DESSIN Drawing Title
 VERIFIÉ PAR Checked by M.M., H.G.
 ECHELLE Scale As
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SITE PLAN

REVISION Revision NO. DESSIN Dwg Number
1 SPC-01