

KENT STREET & JAMES STREET OTTAWA ONTARIO

NEUF architect(e)s for Katasa
Project 12399
Date 01.09.2023

DESIGN BRIEF



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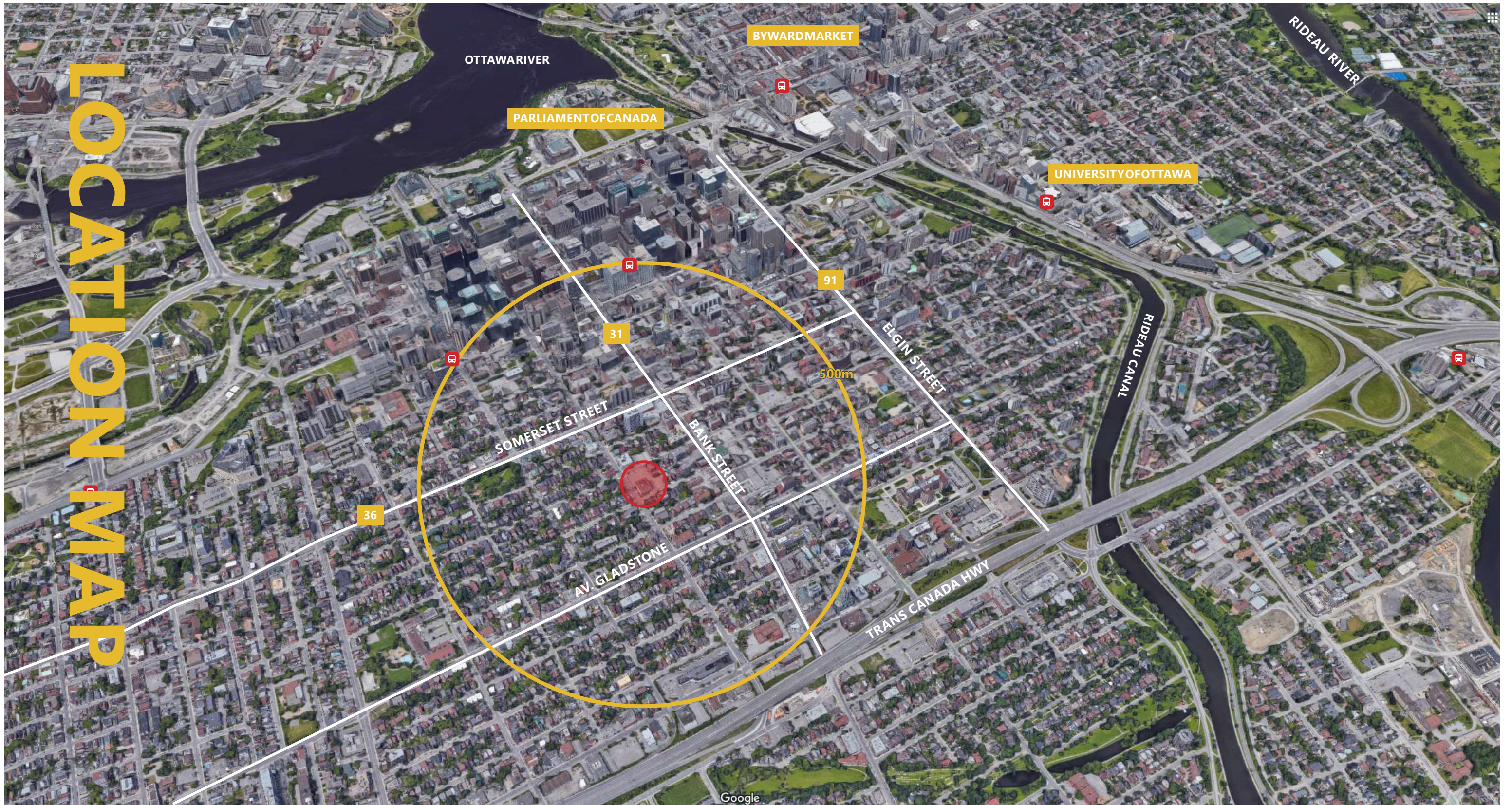
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SITE ANALYSIS

LOCATION MAP

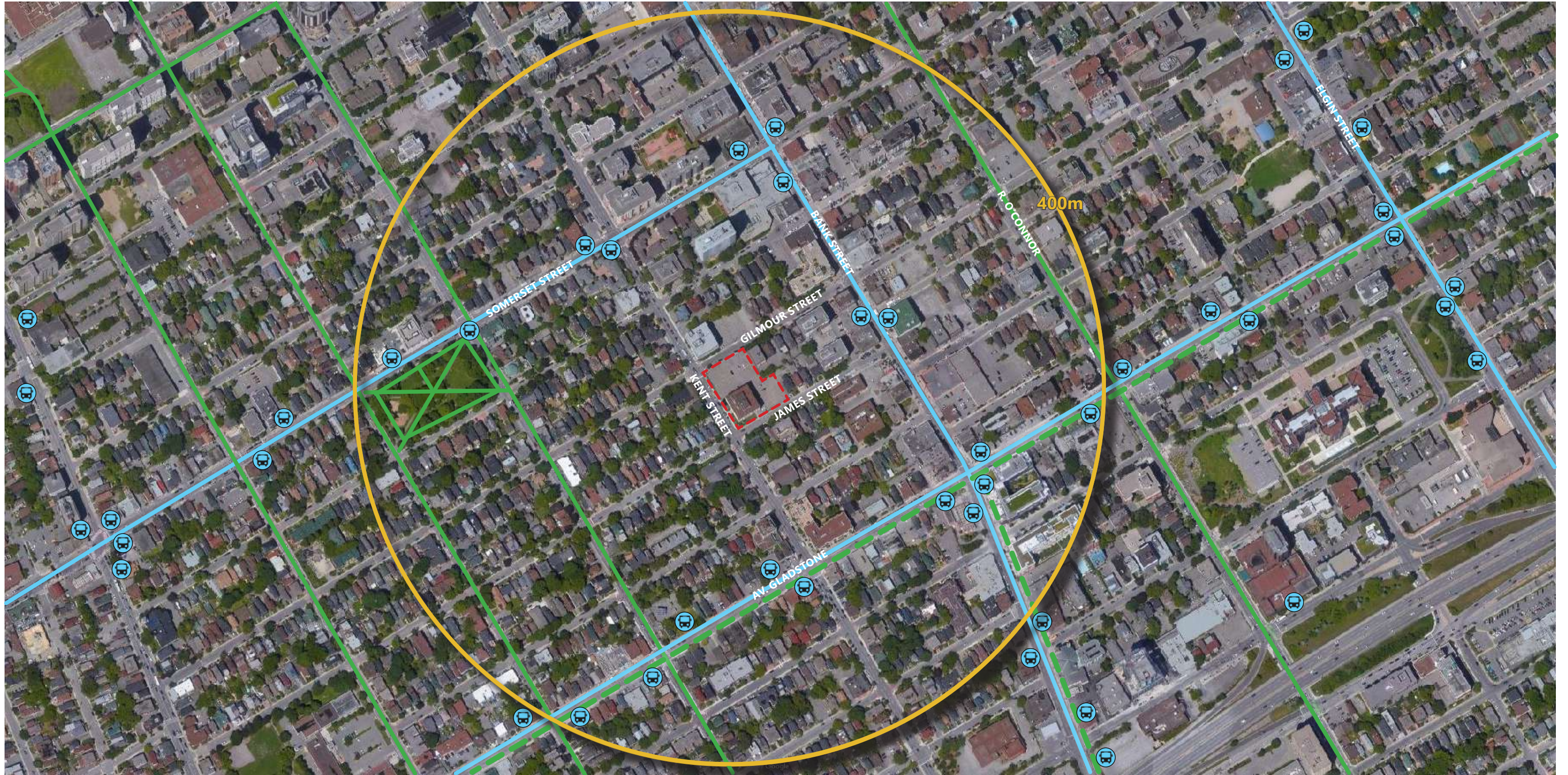


LÉGENDE

-  SITE
-  SUBWAY STATION

0 100 200 500m





LÉGENDE

--- SITE

BUS STOPS













BUS LINE

BIKE PATH

ROUTES SUITABLE FOR BICYCLES

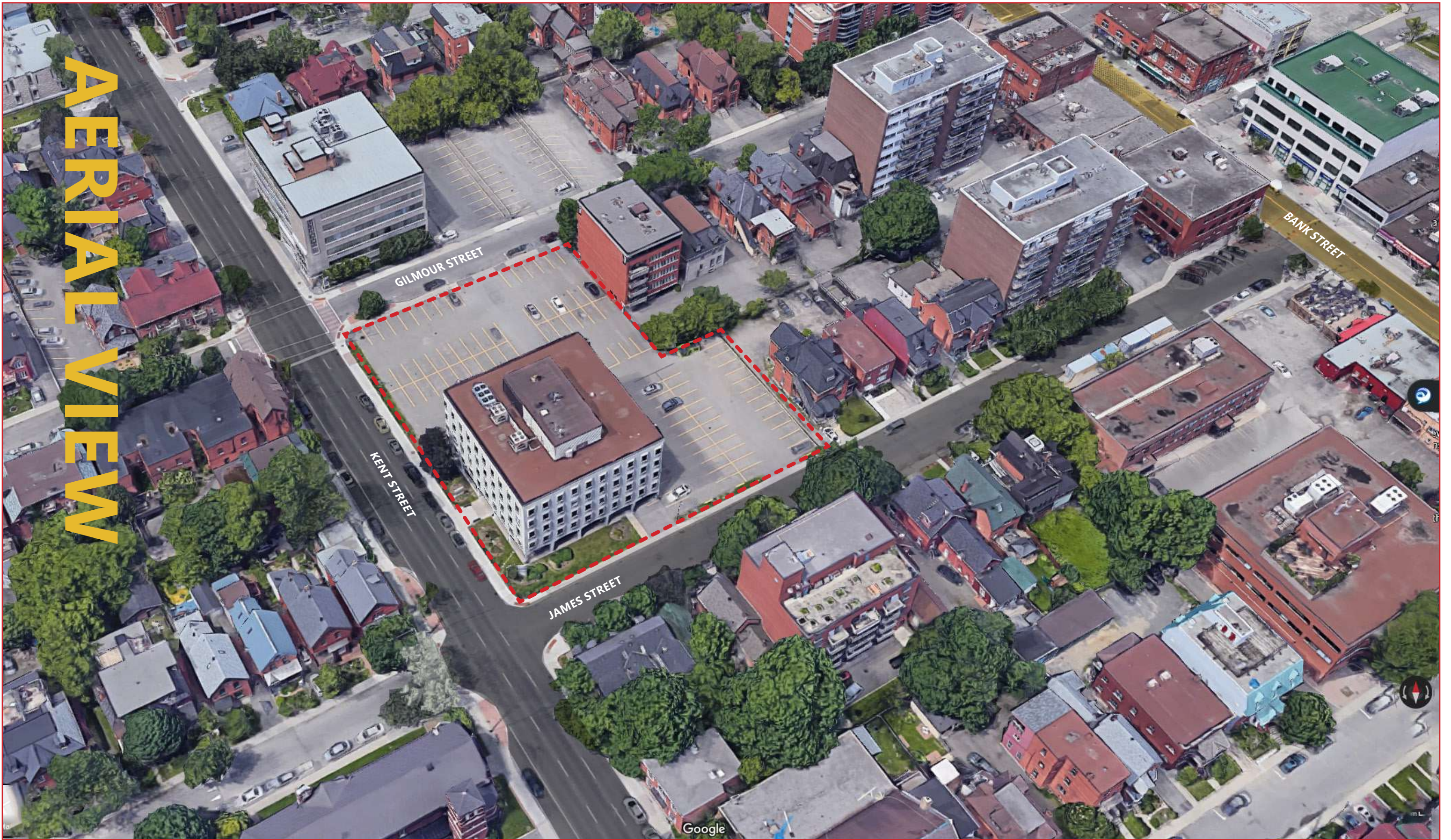


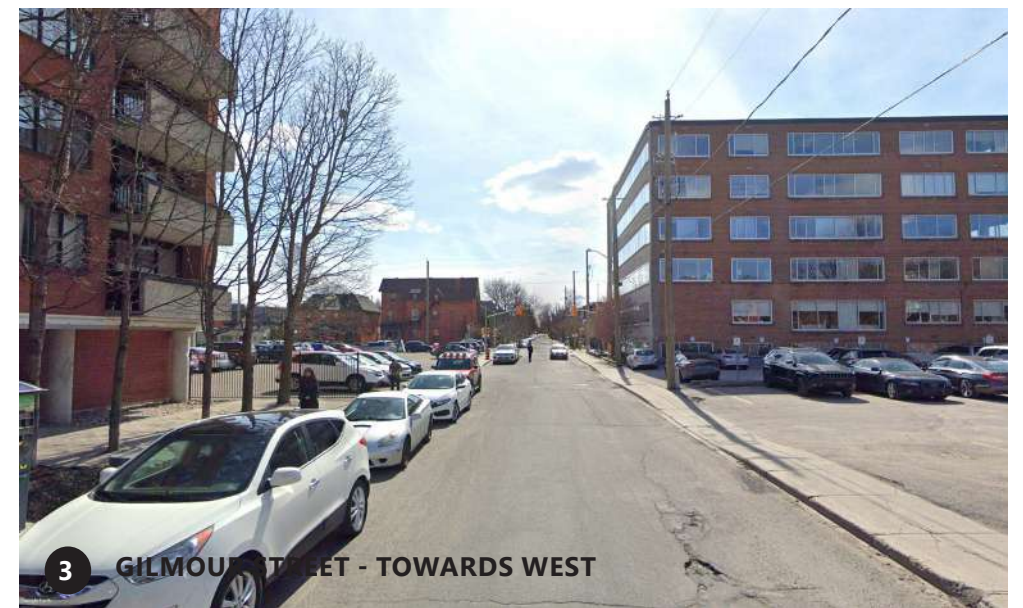
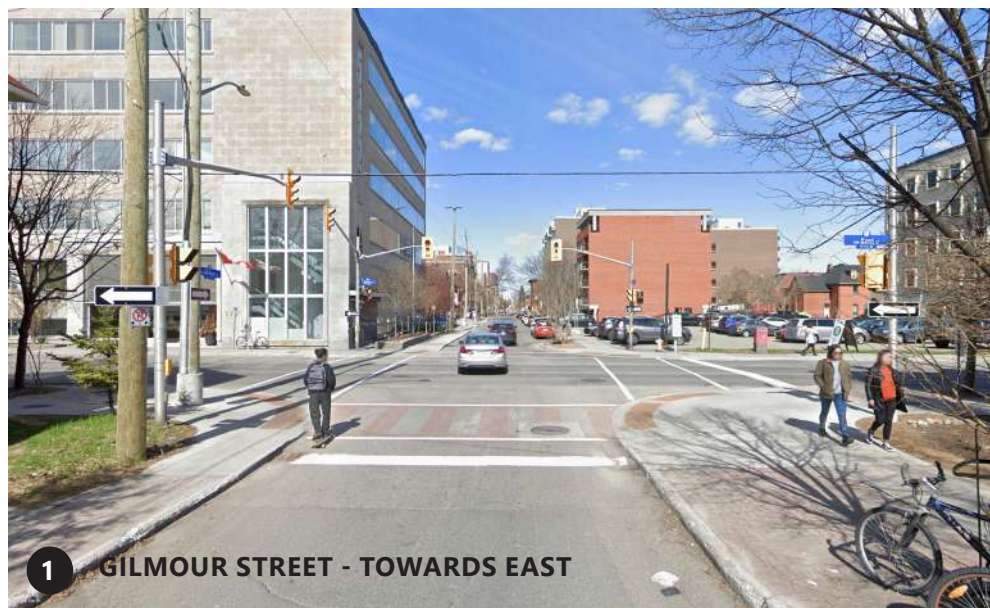
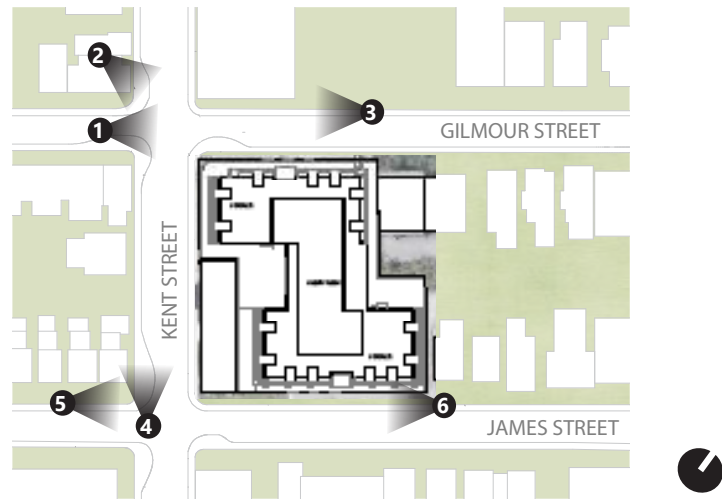
LÉGENDE

-  RESTAURANTS AND CAFES
-  CHURCH AND CHAPEL
-  STORES
-  INN
-  GAZ STATION
-  CAR WORKSHOPS AND RENTALS
-  DUNDONALD PARK
-  SPORTS
-  CANADIAN MUSEUM OF NATURE
-  DAY CARE
-  MARKET
-  SPA
-  PARKING



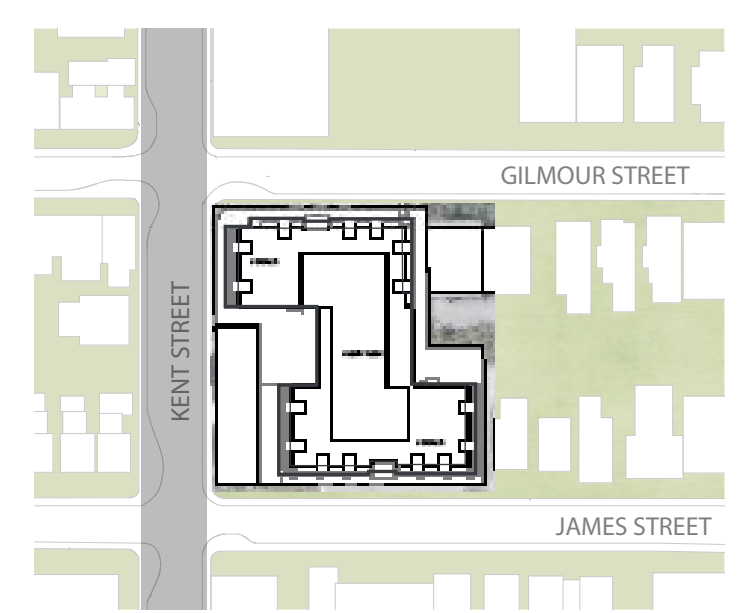
AERIAL VIEW





**URBAN
INTEGRATION
STUDY**



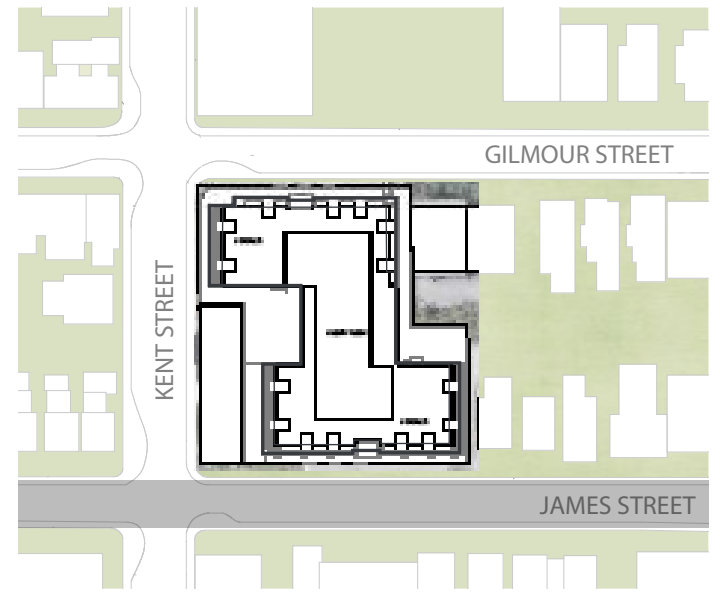




KENT ST.

JAMES STREET ELEVATION 1

1:750



KENT ST.

JAMES STREET ELEVATION 2

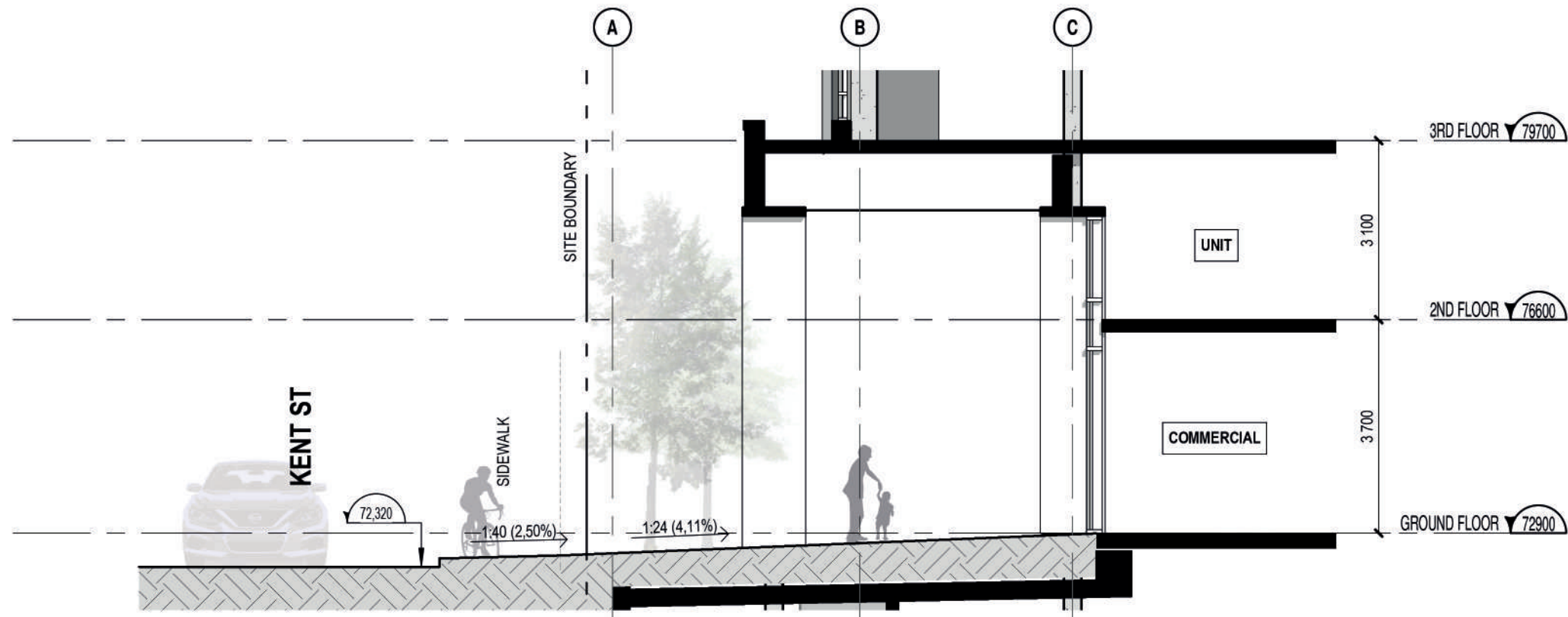
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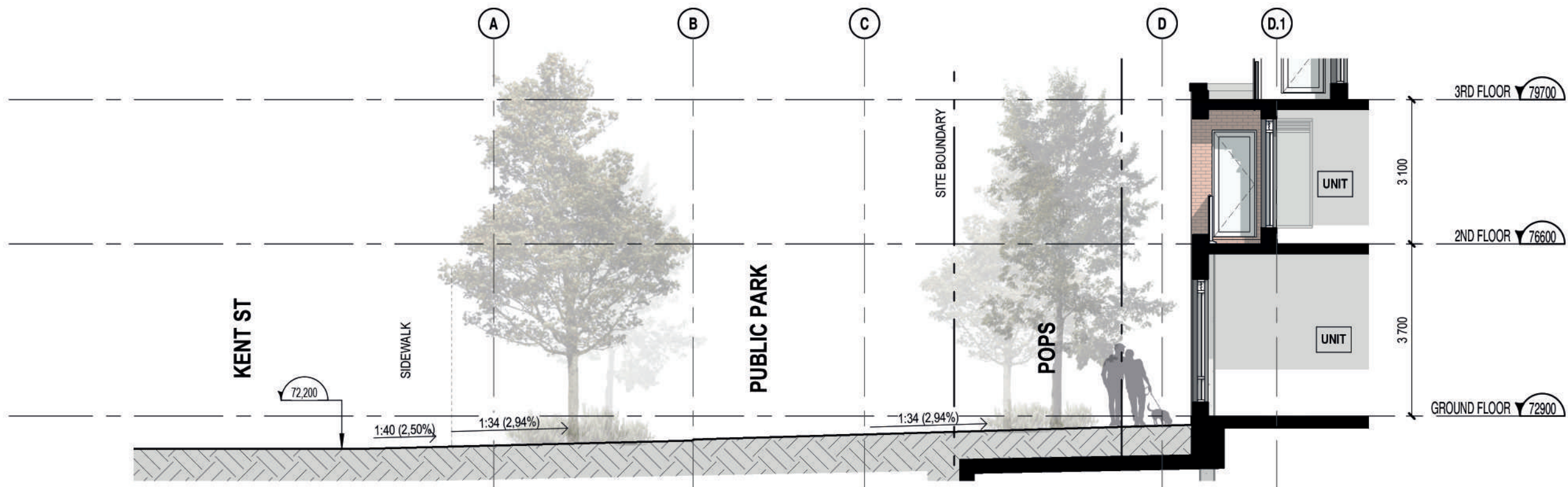






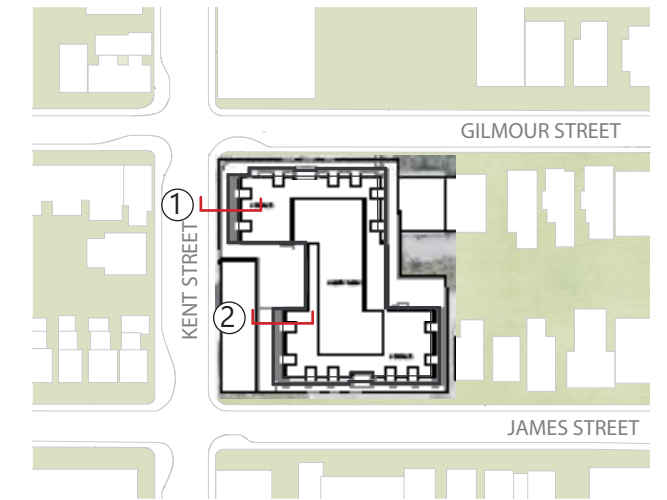
① STREET INTERFACE - KENT STREET COMMERCIAL

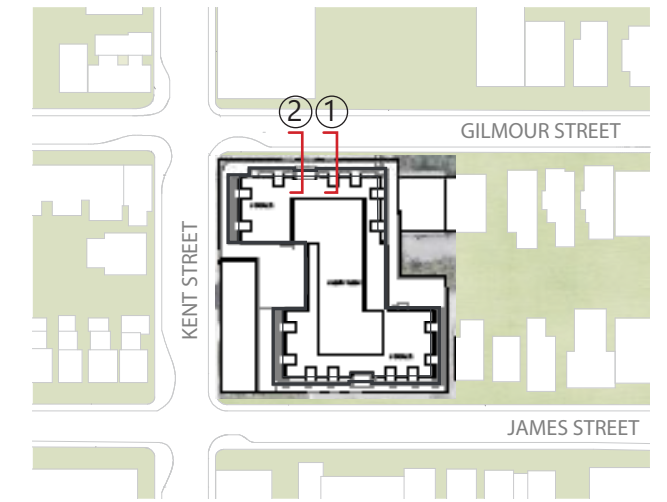
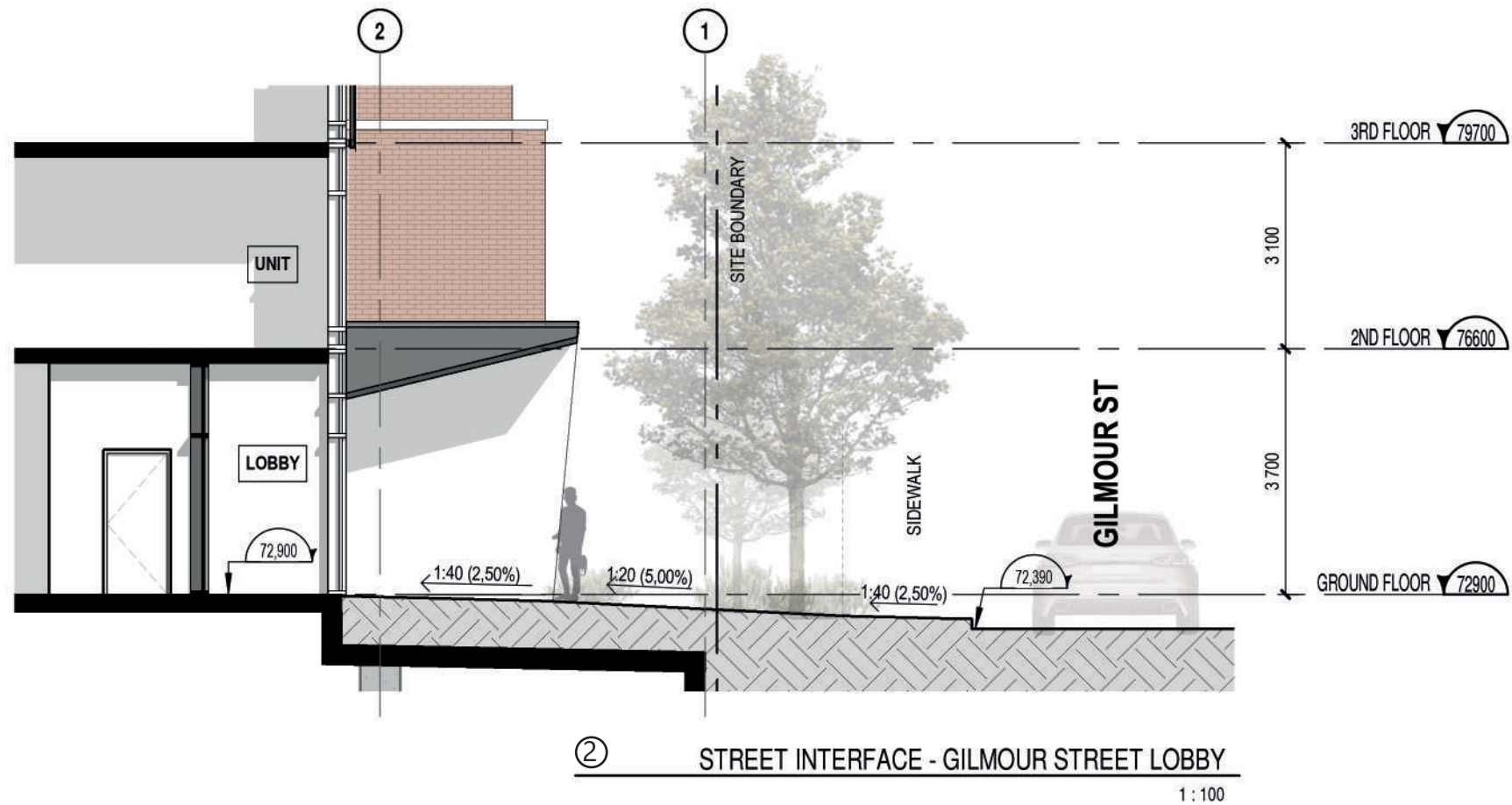
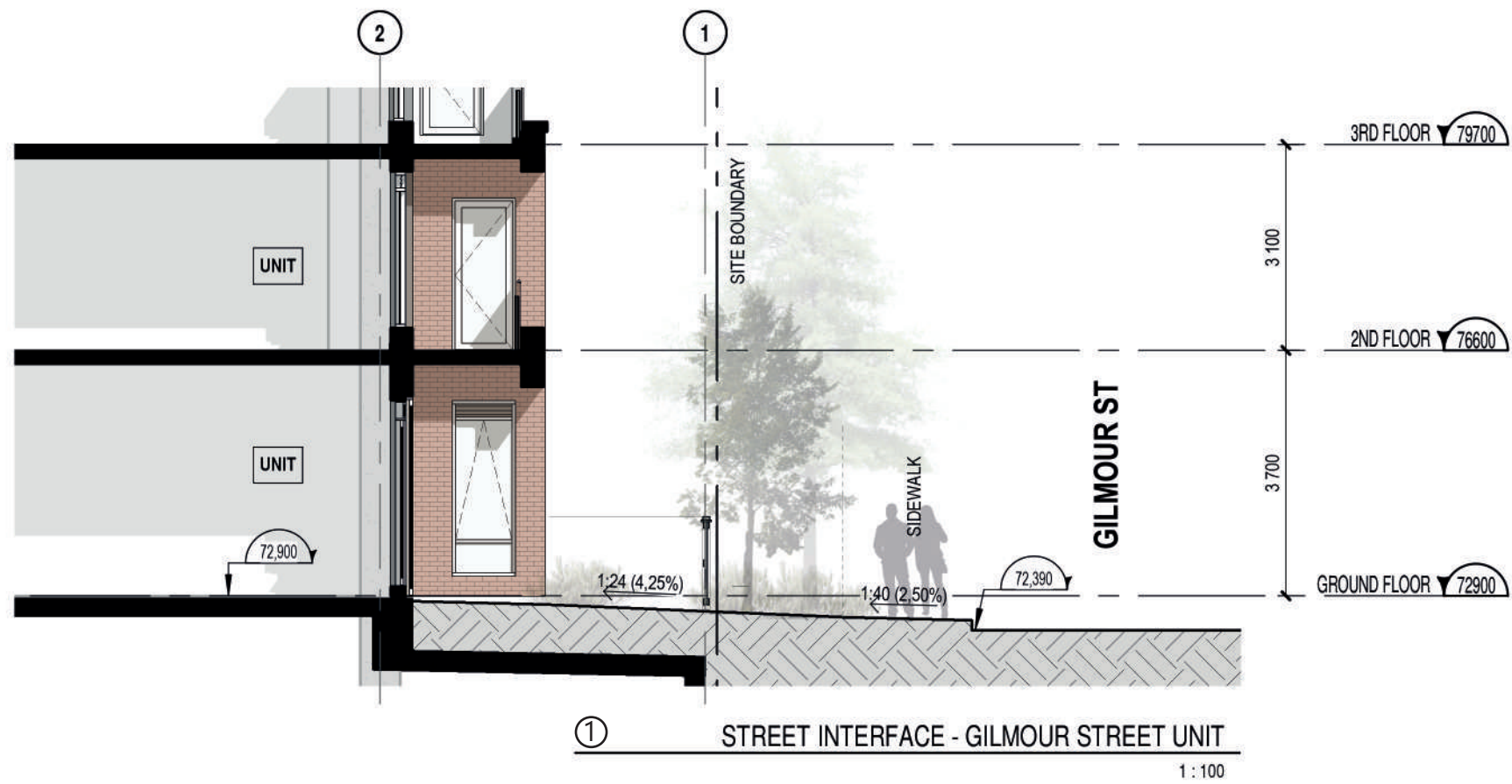
1 : 100

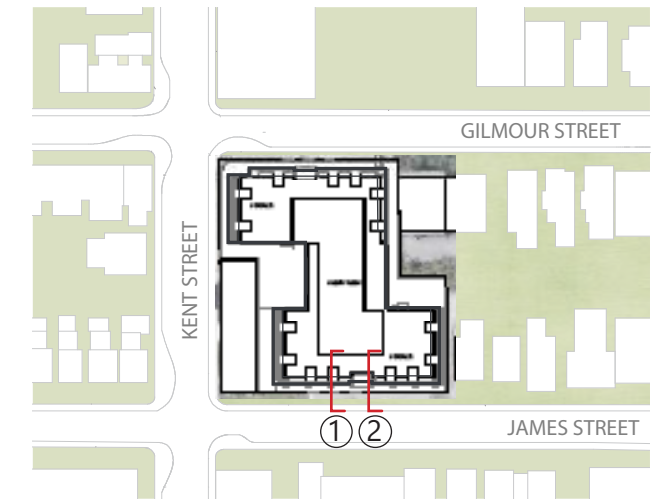
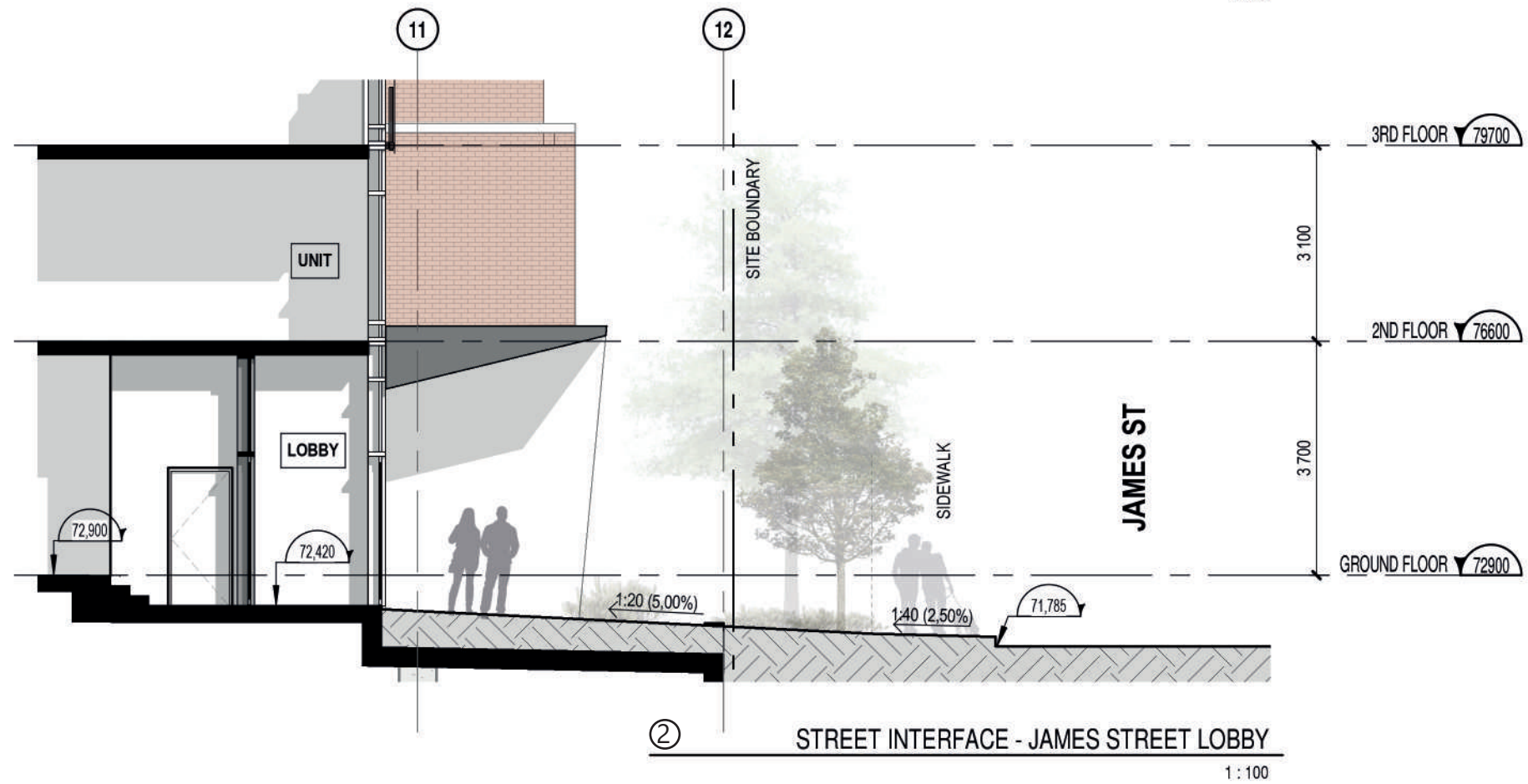
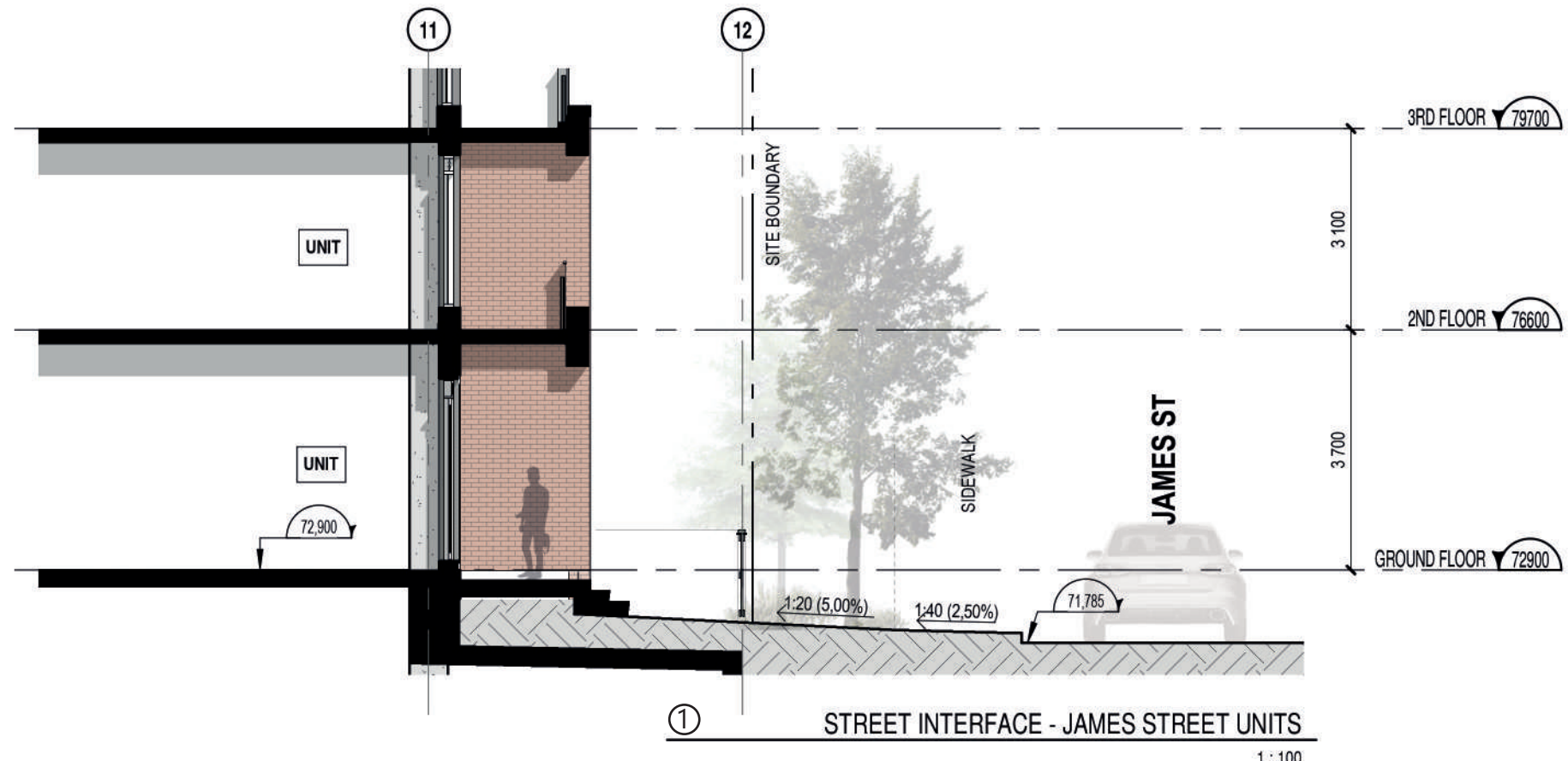


② STREET INTERFACE - KENT STREET PARK

1 : 100

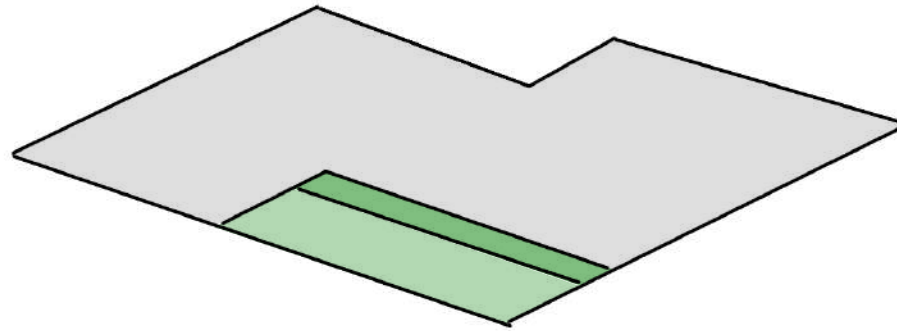




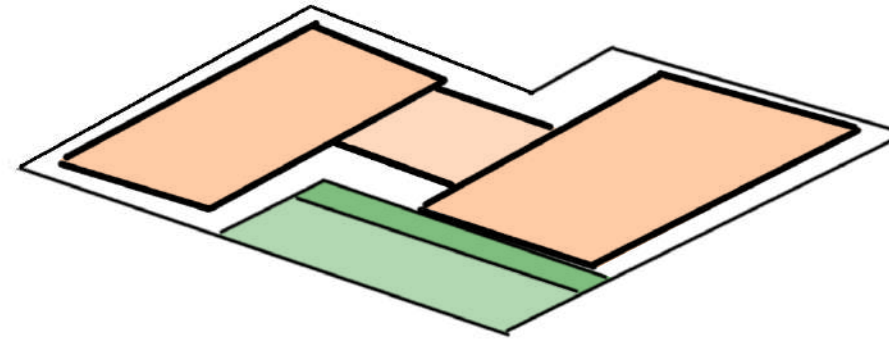


DESIGN STRATEGIES

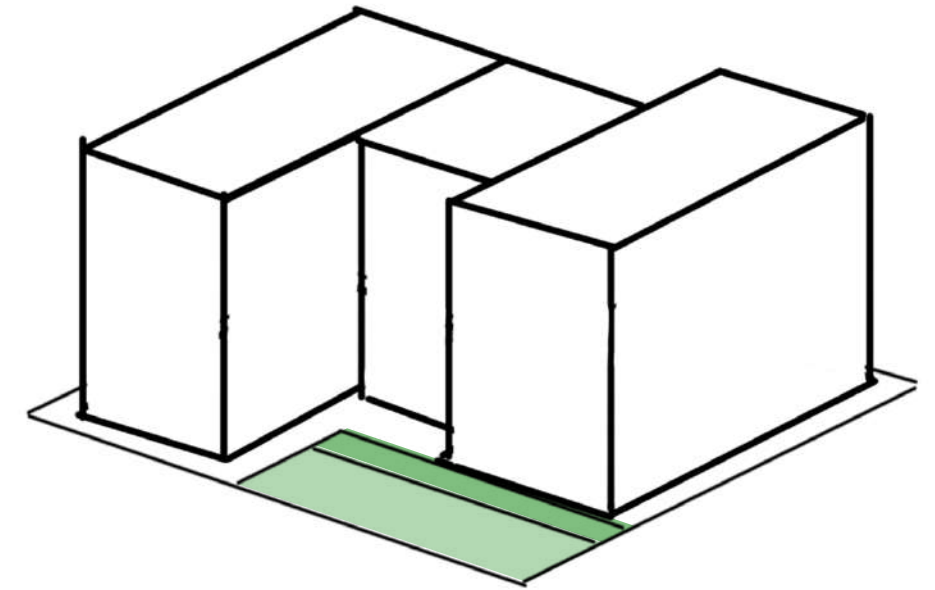
1. MASSING



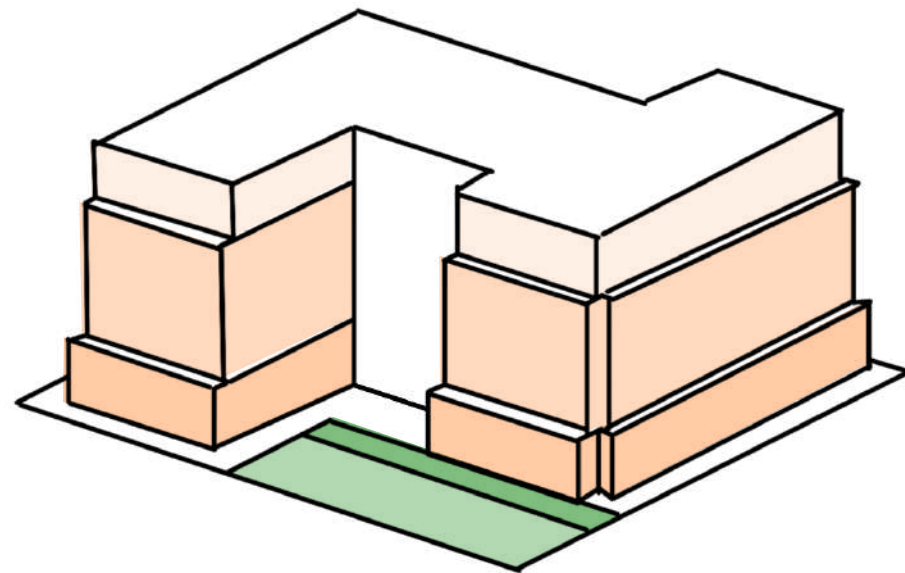
1. EXISTING SITE FOOTPRINT – IDENTIFY 10% PARK AREA ON SITE WITH RESPECT TO SOLAR ORIENTATION (SOUTH FACING). ADD PRIVATE LANDSCAPED AREA TO VISUALLY EXTEND DEPTH OF PARK.



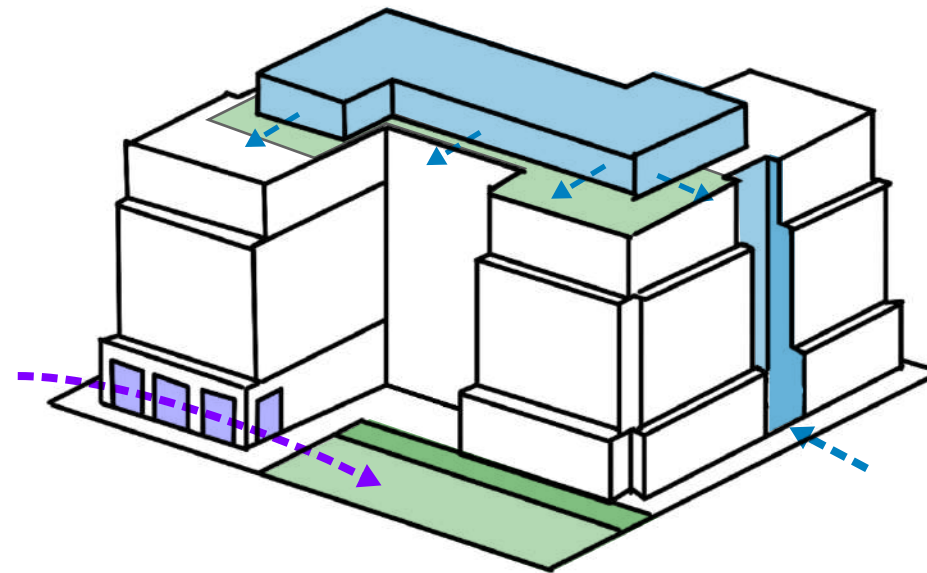
2. SET OUT NORTH AND SOUTH BUILDING FOOTPRINTS WITH RESPECT TO SITE ORIENTATION. CONNECT WITH BUILDING LINK.



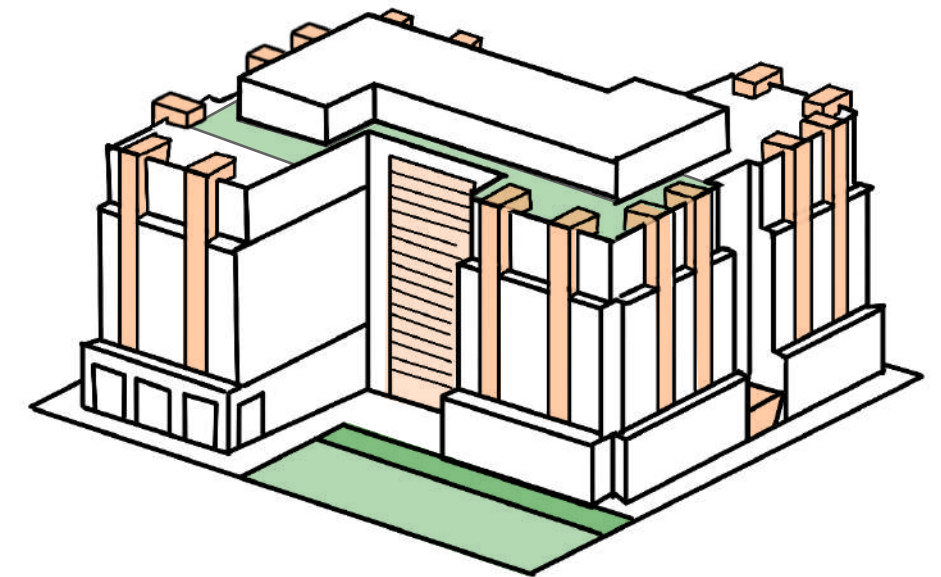
3. EXTRUDE FOOTPRINT TO ACHIEVE BUILDING MASSING WITH RESPECT TO 9 STOREY MAXIMUM HEIGHT.



4. IDENTIFY BUILDING SETBACKS TO DEFINE PODIUM, MIDDLE AND UPPER PARTS OF THE BUILDING.

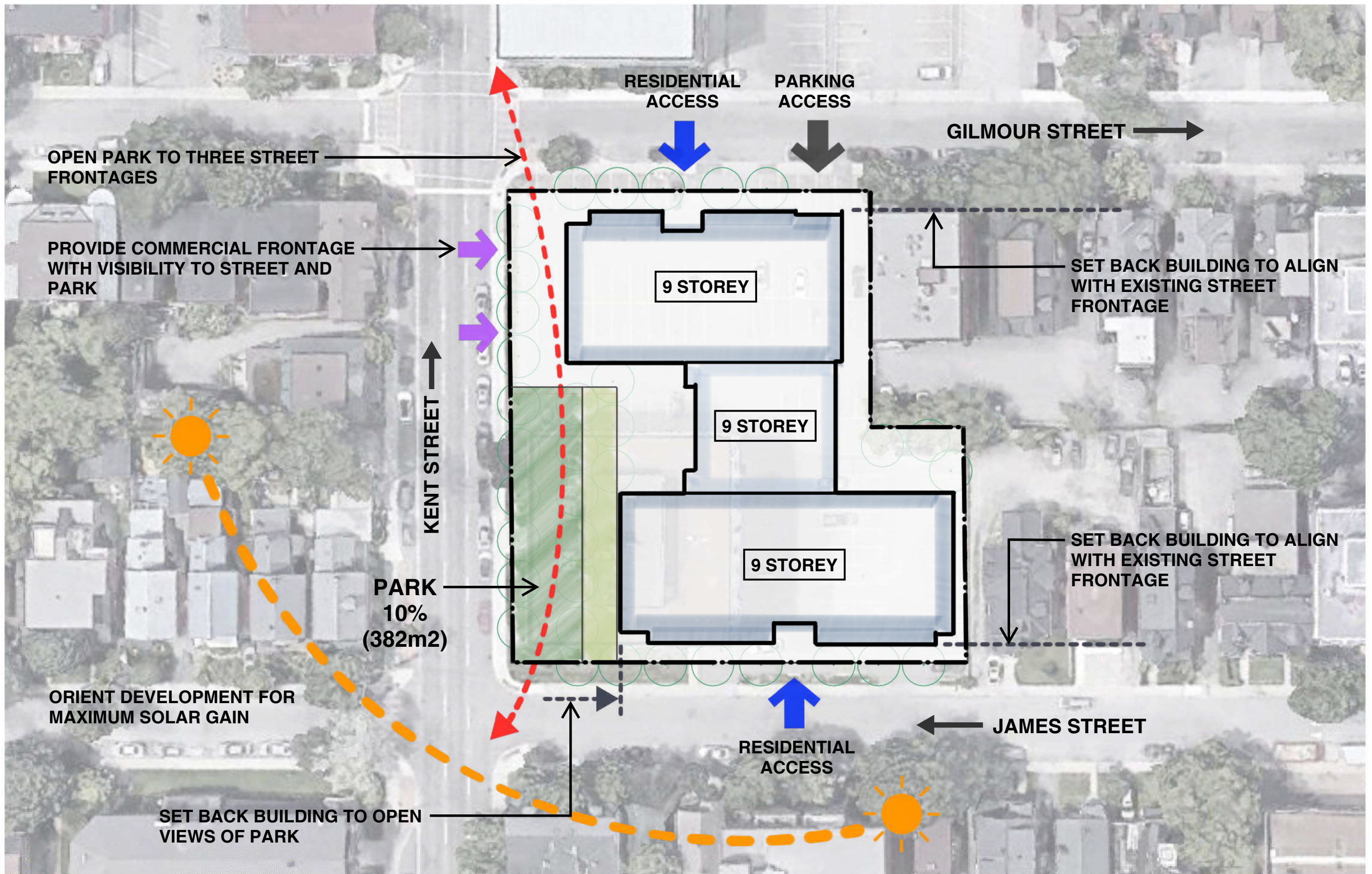


5. CREATE BUILDING RELIEFS TO CLEARLY IDENTIFY PUBLIC ACCESS AND RESIDENTIAL ACCESS. IDENTIFY AMENITY AREA WITH VISUAL CONNECTION TO THE STREET AND PARK.



6. DEFINE BUILDING IDENTITY WITH FINE GRAIN DETAIL AND ARCHITECTURAL FEATURES TO ALL FACADES.





DESIGN STRATEGIES

2. PARK AND P.O.P.S.

KENT SQUARE

- ▶ THE DESIGN IS PROPOSING 385m² PARK AREA (10% OF THE SITE)
- ▶ IN ORDER TO CREATE AN URBAN PUBLIC SPACE A POPS AREA IS PROPOSED ALONG THE PARK AREA, EMERGING KENT STREET CORRIDOR.
- ▶ THE CONCEPT WILL OFFER AN OPEN PUBLIC SPACE, COUPLED WITH A COVERED SPACES THAT CAN BE USED AS A MEETING PLACE ALL YEAR ROUND, ALLOWING FOR VARIOUS POP UP COMMUNITY SPACES REGARDLESS OF THE SEASON. THIS SPACE IS IN INTERACTION WITH THE PARK AND POPS AND WITH THE COMMERCIAL AREA AND THE BUILDING.
- ▶ THE SPACE WILL BE ACCESSIBLE FROM ALL THREE STREET FRONTS.

🕒 Proposed public space area: 385m² (10% of site)



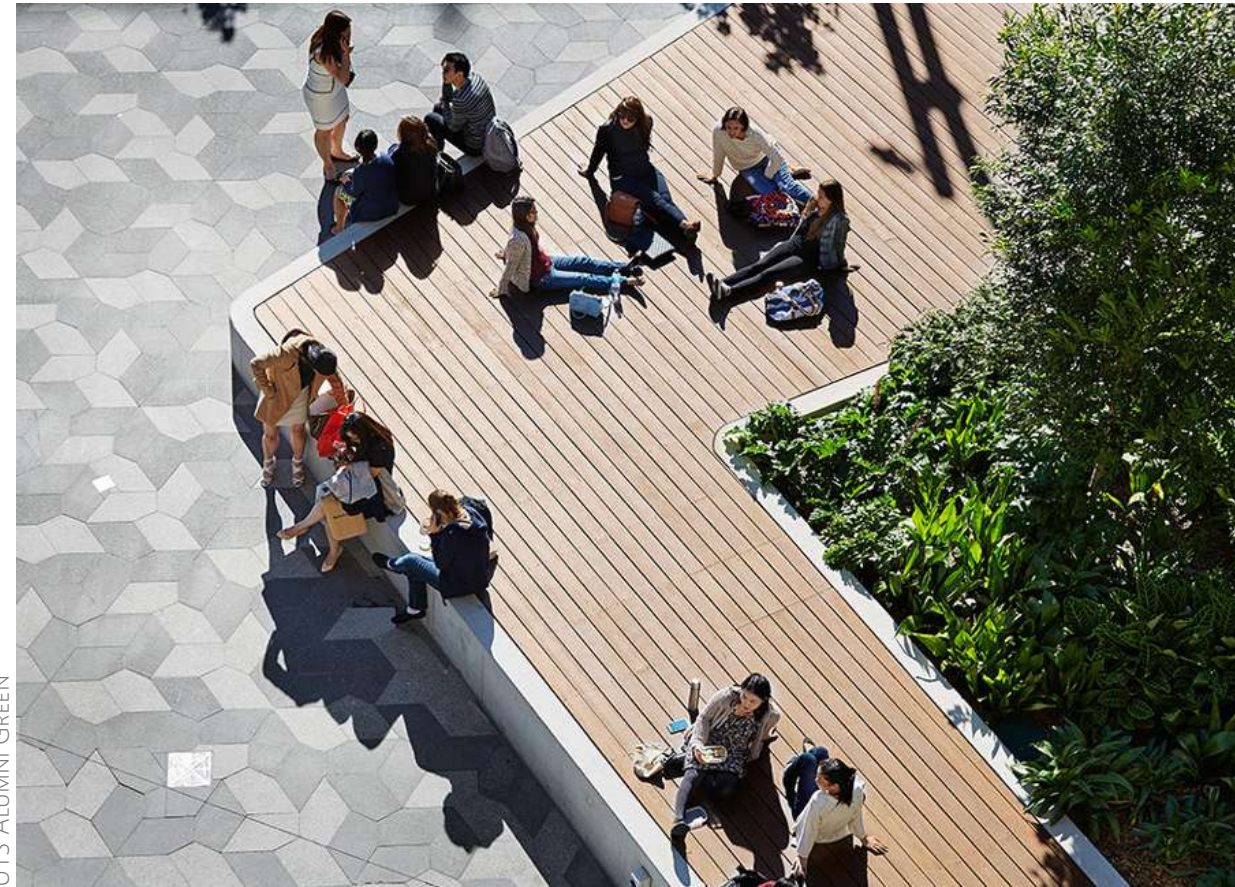


- LEGEND**
- TREES
 - TURF
 - PAVING
 - SIDE WALK
 - DOOR



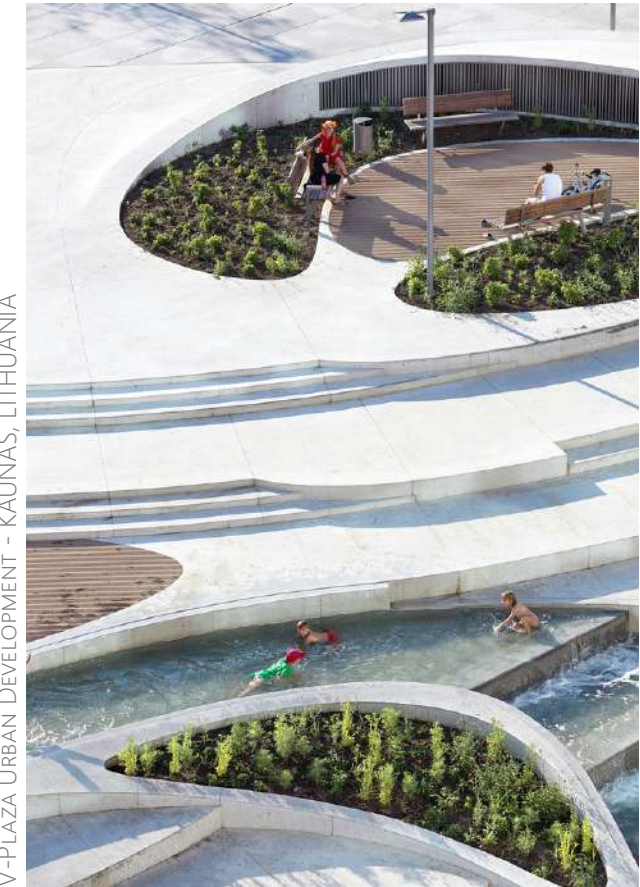
LONSDALE STREET, DANDENONG

VARIOUS MATERIALS



UTS ALUMNI GREEN

SOCIAL ENCOUNTERS



V-PLAZA URBAN DEVELOPMENT - KAUNAS, LITHUANIA

SHALLOW BASIN & STEPS



YANCHEP GOLF ESTATE SALES AND INFORMATION CENTRE

DYNAMIC URBAN FURNITURE



UMGESTALTUNG SÜDHEIMER PLATZ STUTTGART

RHYTHM AND DIVERSITY



GYEONGUI LINE FOREST PARK

PLAYFUL

DESIGN STRATEGIES

3. MATERIALITY



OFF-WHITE PRECAST MOLDING TO DELINEATE THE BASE AND MIDDLE BUILDING PORTIONS

BRICK PODIUM MATERIALITY TO HARMONIZE WITH THE DISTRICT URBAN FABRIC

SUSPENDED ART PIECE OR LIGHTING FIXTURE ABOVE COMMERCIAL PLAZA TO BE CONFIRMED

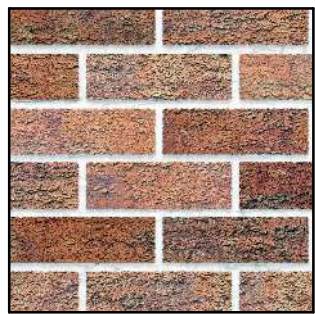
OFF-WHITE PRECAST PANELS TO FRAME ARCADE OPENINGS

CURTAIN WALL TO DEFINE COMMERCIAL PROGRAM

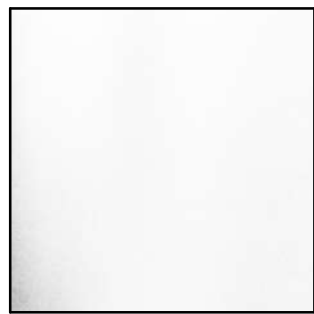
OFF-WHITE CONCRETE FOUNDATION FOR COLUMN BASE AND PROTECTION

PAVERS TREATMENT TO BE CONFIRMED

NOTE: PRIVACY FENCES REMOVED FOR CLARITY



BRICKWORK



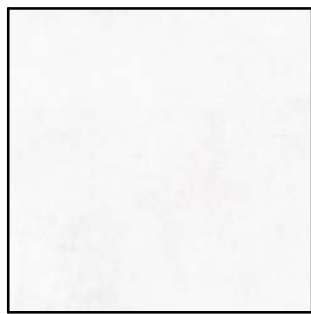
OFF-WHITE ALUMINUM FINISH



NEUTRAL CLEAR ANODIZED ALUMINUM FINISH



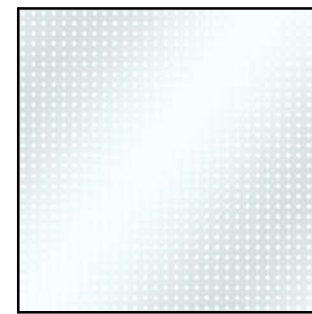
CHARCOAL ALUMINUM FINISH



OFF-WHITE CONCRETE



CLEAR GLAZING



PATTERNED GLAZING



SPANDREL GLAZING



RECESSED CURTAIN WALL FROM GROUND FLOOR TO TOP LEVEL TO BREAK UP MASSING AND EMPHASIZE ENTRANCE LOCATION

OFF-WHITE PRECAST CONCRETE FRAME TO MARK THE MAIN RESIDENTIAL ENTRANCES AND REFLECT THE DETAILING OF THE OTHER FEATURE PRECAST FRAMES ON THE BUILDING

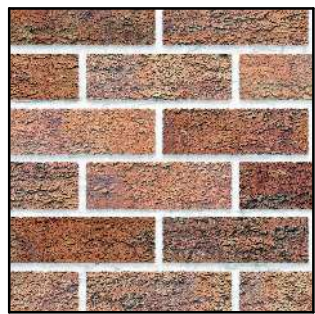
TYPICAL LOUVER-INTEGRATED PUNCH WINDOW

BRICK PODIUM MATERIALITY TO HARMONIZE WITH THE DISTRICT URBAN FABRIC

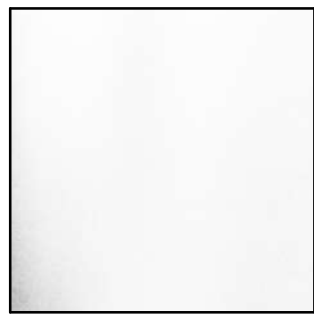
RECESSED ENTRANCE TO CREATE TRANSITION SPACE BETWEEN STREET AND LOBBY

BARRIER-FREE ACCESS TO ALL MAIN ENTRANCES

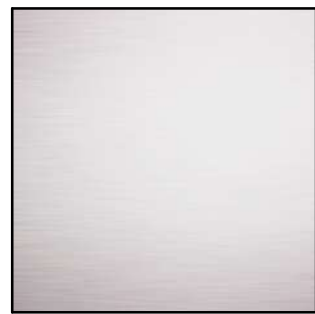
NOTE: PRIVACY FENCES REMOVED FOR CLARITY



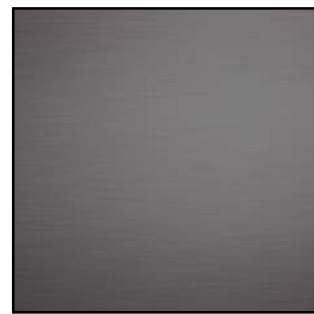
BRICKWORK



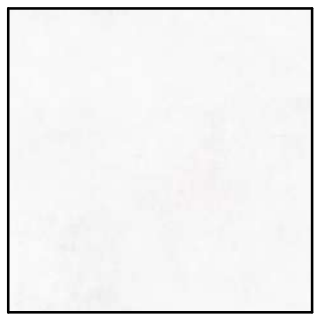
OFF-WHITE ALUMINUM FINISH



NEUTRAL CLEAR ANODIZED ALUMINUM FINISH



CHARCOAL ALUMINUM FINISH



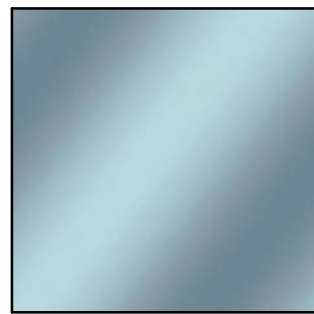
OFF-WHITE CONCRETE



CLEAR GLAZING



PATTERNED GLAZING



SPANDREL GLAZING



OFF-WHITE PRECAST MOLDING TO DELINEATE THE BASE AND MIDDLE BUILDING PORTIONS

CONTEMPORARY BRICK TOWNHOUSE TYPOLOGY TO HARMONIZE WITH NEIGHBOURING PROPERTIES

PRIVATE OUTDOOR SPACES EMBEDDED IN TOWNHOUSE VOLUMES TO MAINTAIN A CONTINUOUS ARCHITECTURAL TREATMENT

ALUMINUM & PATTERNED GLASS RAILINGS

RECESSED BRICKWORK DETAILING TO ARTICULATE TOWNHOUSE MAIN FAÇADES AND ADD INTEREST FOR PEDESTRIANS

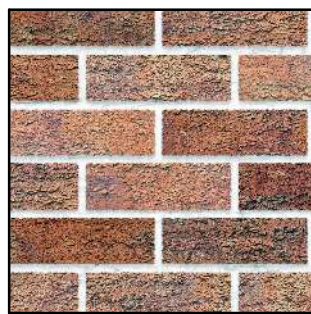
TYPICAL LOUVER-INTEGRATED PUNCH WINDOW

STEPS TO EMPHASIZE TRANSITION TO PRIVATE REALM

LANDSCAPED PLANTERS TO CREATE A SENSE OF PRIVACY IN FRONT OF PRIVATE ENTRANCES

PAVERS AND LANDSCAPING TREATMENT TO BE CONFIRMED

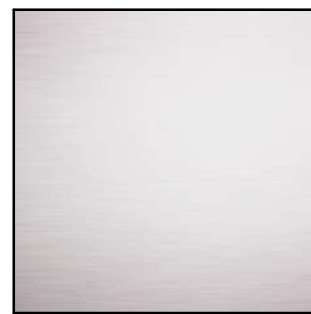
NOTE: PRIVACY FENCES REMOVED FOR CLARITY



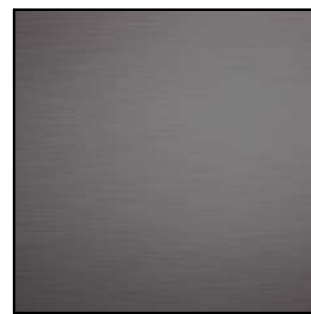
BRICKWORK



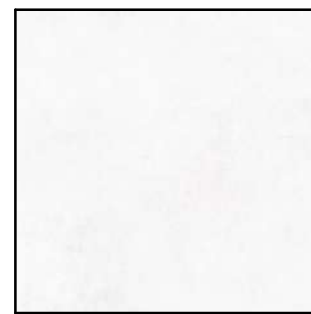
OFF-WHITE ALUMINUM FINISH



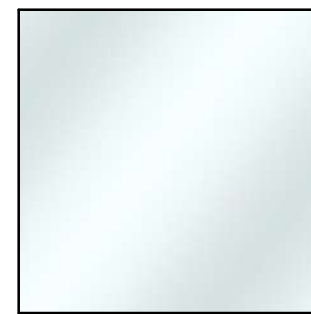
NEUTRAL CLEAR ANODIZED ALUMINUM FINISH



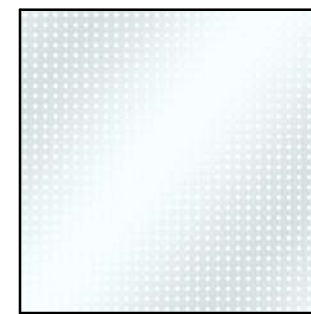
CHARCOAL ALUMINUM FINISH



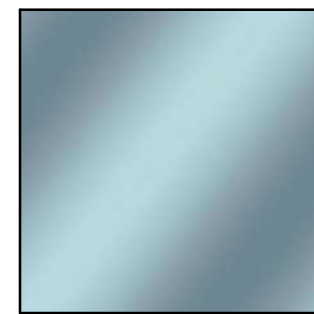
OFF-WHITE CONCRETE



CLEAR GLAZING



PATTERNED GLAZING



SPANDREL GLAZING

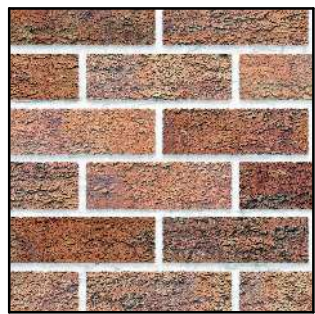


TYPICAL LOUVER-INTEGRATED PUNCH WINDOW

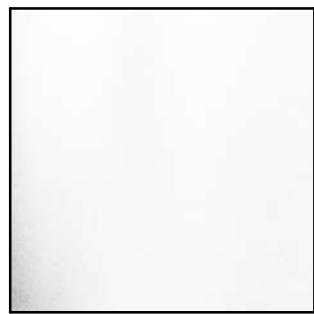
OFF-WHITE PRECAST FRAME TO EMPHASIZE VERTICAL LINES AND CREATE A CLASSICAL ARCHITECTURAL RYTHM

PRIVATE OUTDOOR SPACES EMBEDDED IN MASSING TO MAINTAIN A CONTINUOUS ARCHITECTURAL TREATMENT

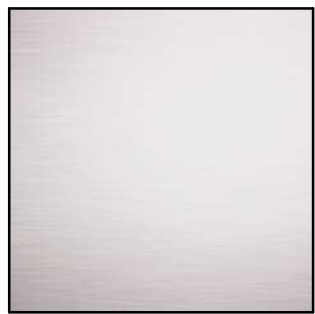
ALUMINUM & PATTERNED GLASS RAILINGS (WITH RESPECT TO BSDG)



BRICKWORK



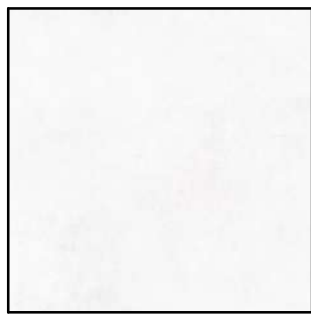
OFF-WHITE ALUMINUM FINISH



NEUTRAL CLEAR ANODIZED ALUMINUM FINISH



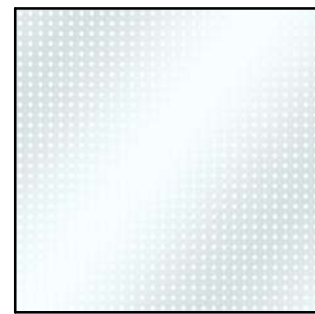
CHARCOAL ALUMINUM FINISH



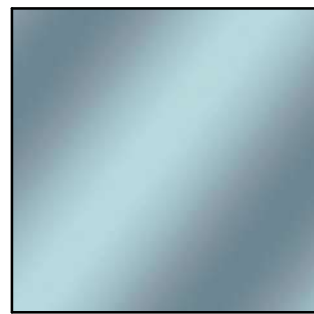
OFF-WHITE CONCRETE



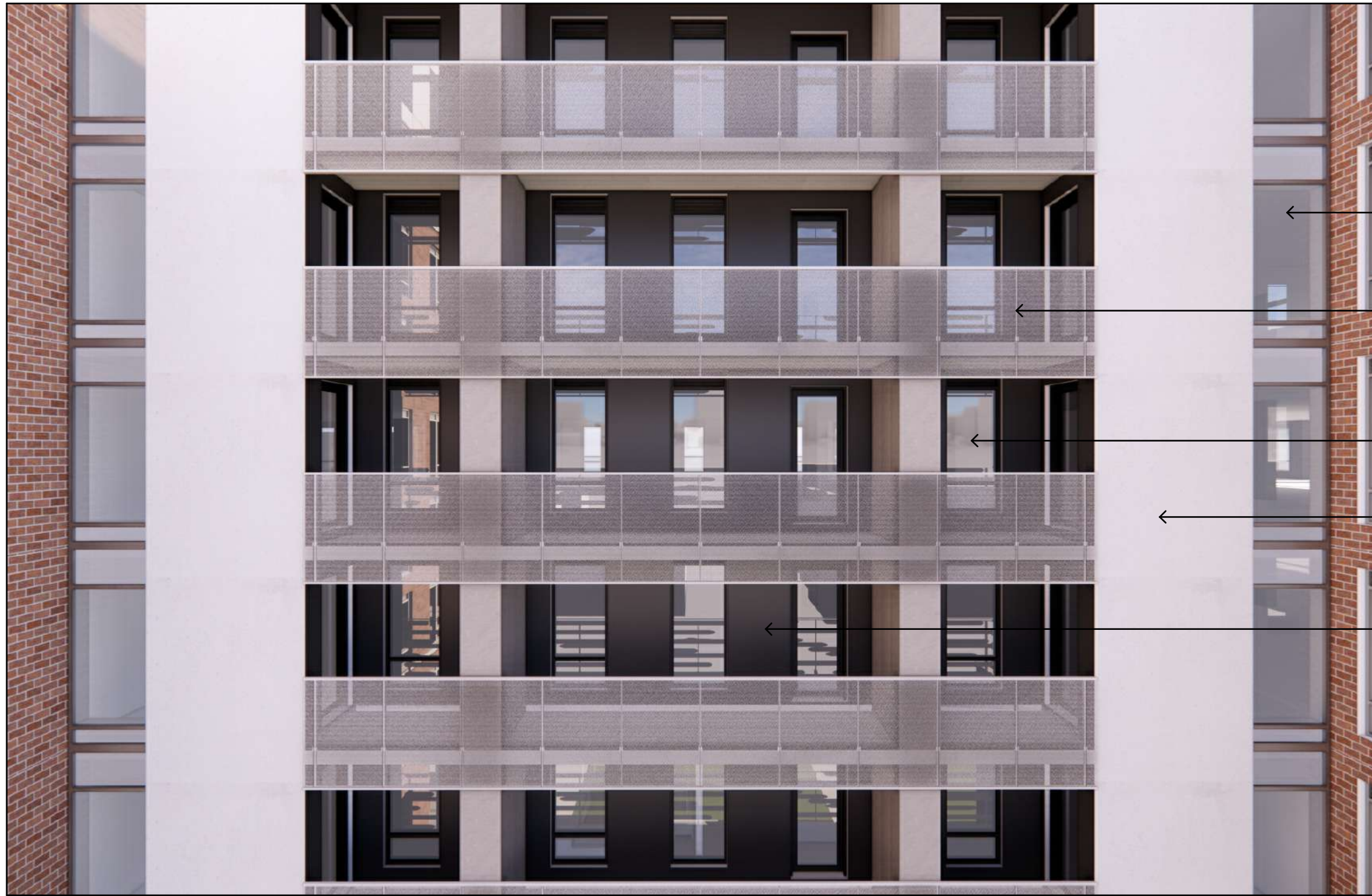
CLEAR GLAZING



PATTERNED GLAZING



SPANDREL GLAZING



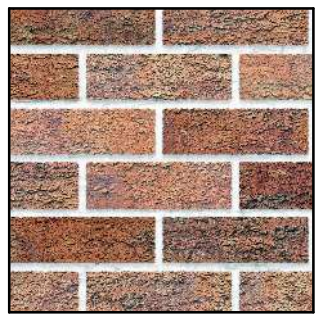
← CURTAIN WALL INSERTS TO CREATE A CLEAR BREAK BETWEEN BRICK MASSING AND CENTRAL FAÇADE

← ALUMINUM & GLASS RAILING (WITH RESPECT TO BSDG)

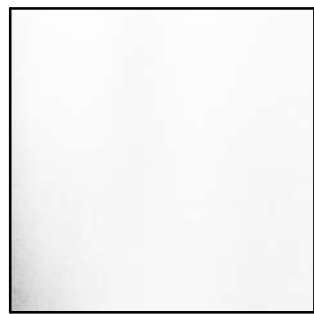
← TYPICAL LOUVER-INTEGRATED PUNCH WINDOW

← OFF-WHITE PRECAST PANELS WITH VERTICAL PANELLING COMPOSITION

← CHARCOAL ALUMINUM FINISH INSIDE LOGGIAS TO CREATE CONTRAST WITH VERTICAL WHITE PRECAST ELEMENTS



BRICKWORK



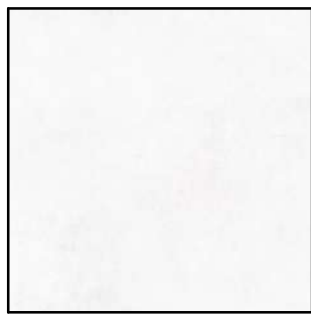
OFF-WHITE ALUMINUM FINISH



NEUTRAL CLEAR ANODIZED ALUMINUM FINISH



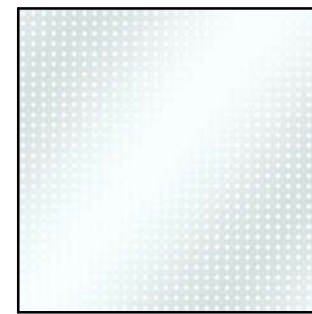
CHARCOAL ALUMINUM FINISH



OFF-WHITE CONCRETE



CLEAR GLAZING



PATTERNED GLAZING



SPANDREL GLAZING



DISCRETE CURTAIN WALL TREATMENT FOR COMMON AREAS PENTHOUSE

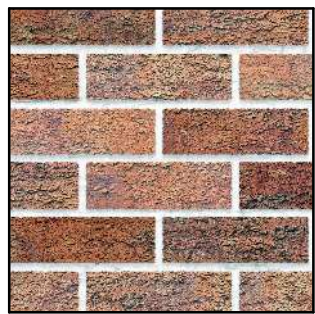
OFF-WHITE PRECAST FRAMES AT TOP RESIDENTIAL LEVEL TO CREATE A DISTINCTIVE ARCHITECTURAL SIGNATURE

OFF-WHITE ALUMINUM FINISH FOR RECESSED TOP FLOORS TO HARMONIZE WITH SKY TONES

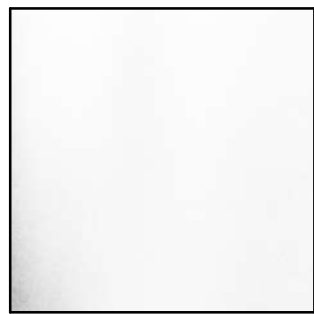
ALUMINUM & PATTERNED GLASS RAILINGS (WITH RESPECT TO BSDG)

TYPICAL LOUVER-INTEGRATED PUNCH WINDOW

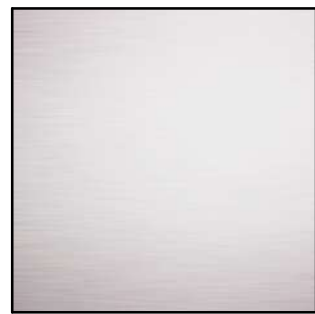
OFF-WHITE PRECAST MOLDING TO DELINEATE THE MIDDLE AND TOP BUILDING PORTIONS



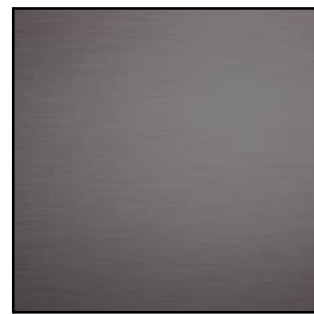
BRICKWORK



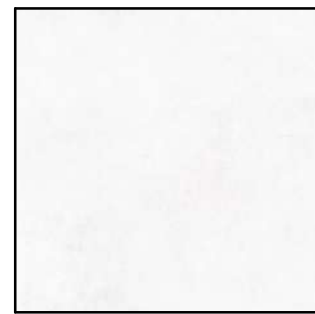
OFF-WHITE ALUMINUM FINISH



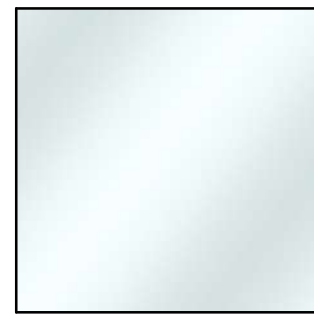
NEUTRAL CLEAR ANODIZED ALUMINUM FINISH



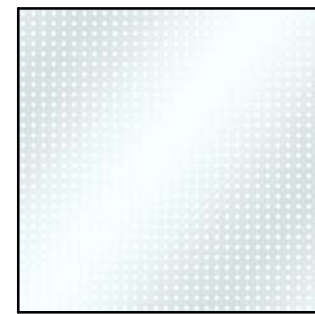
CHARCOAL ALUMINUM FINISH



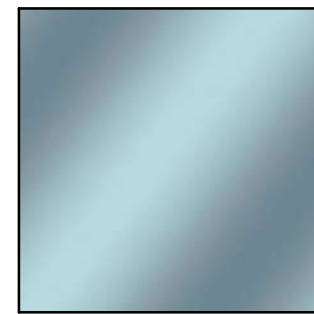
OFF-WHITE CONCRETE



CLEAR GLAZING

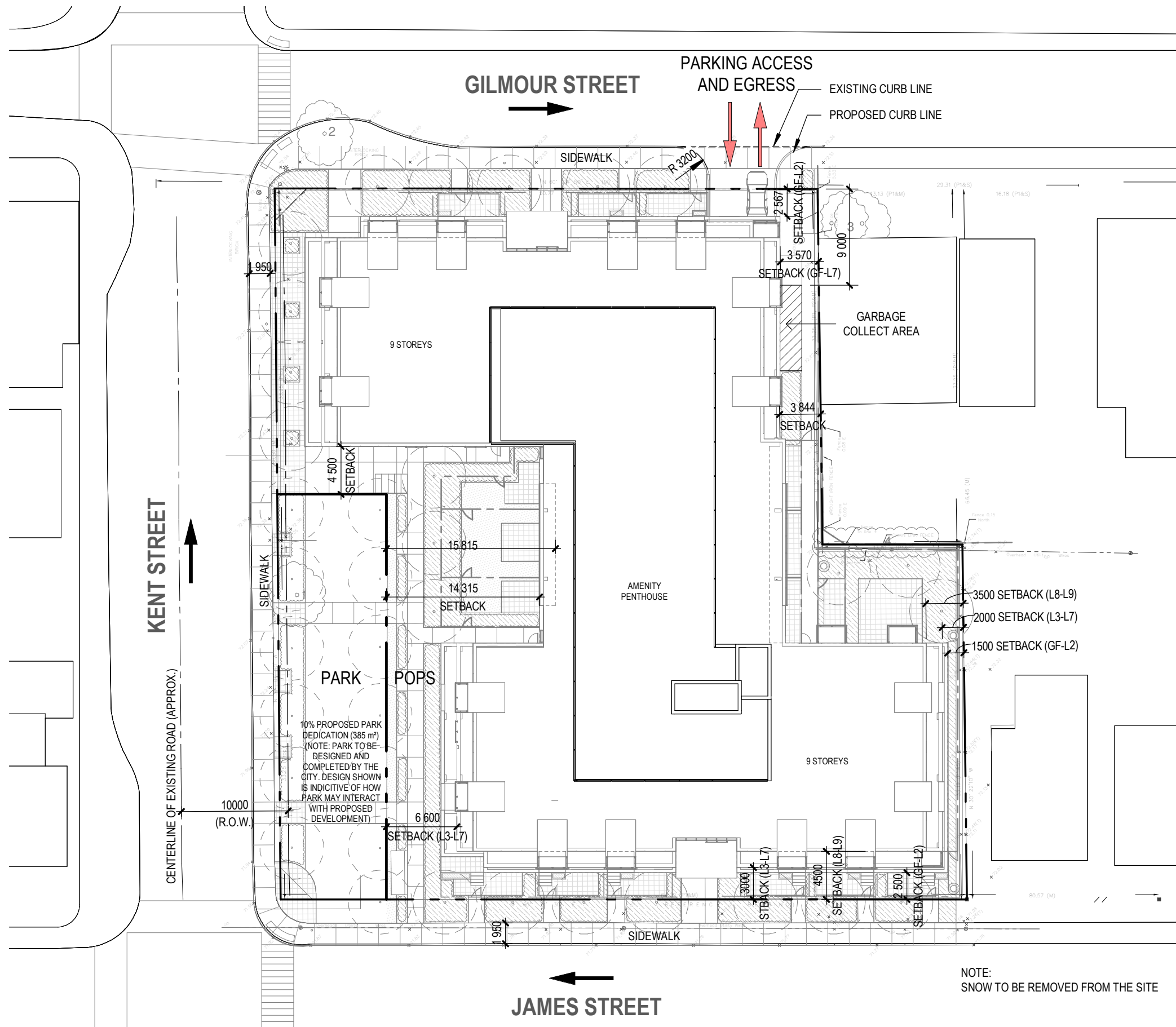


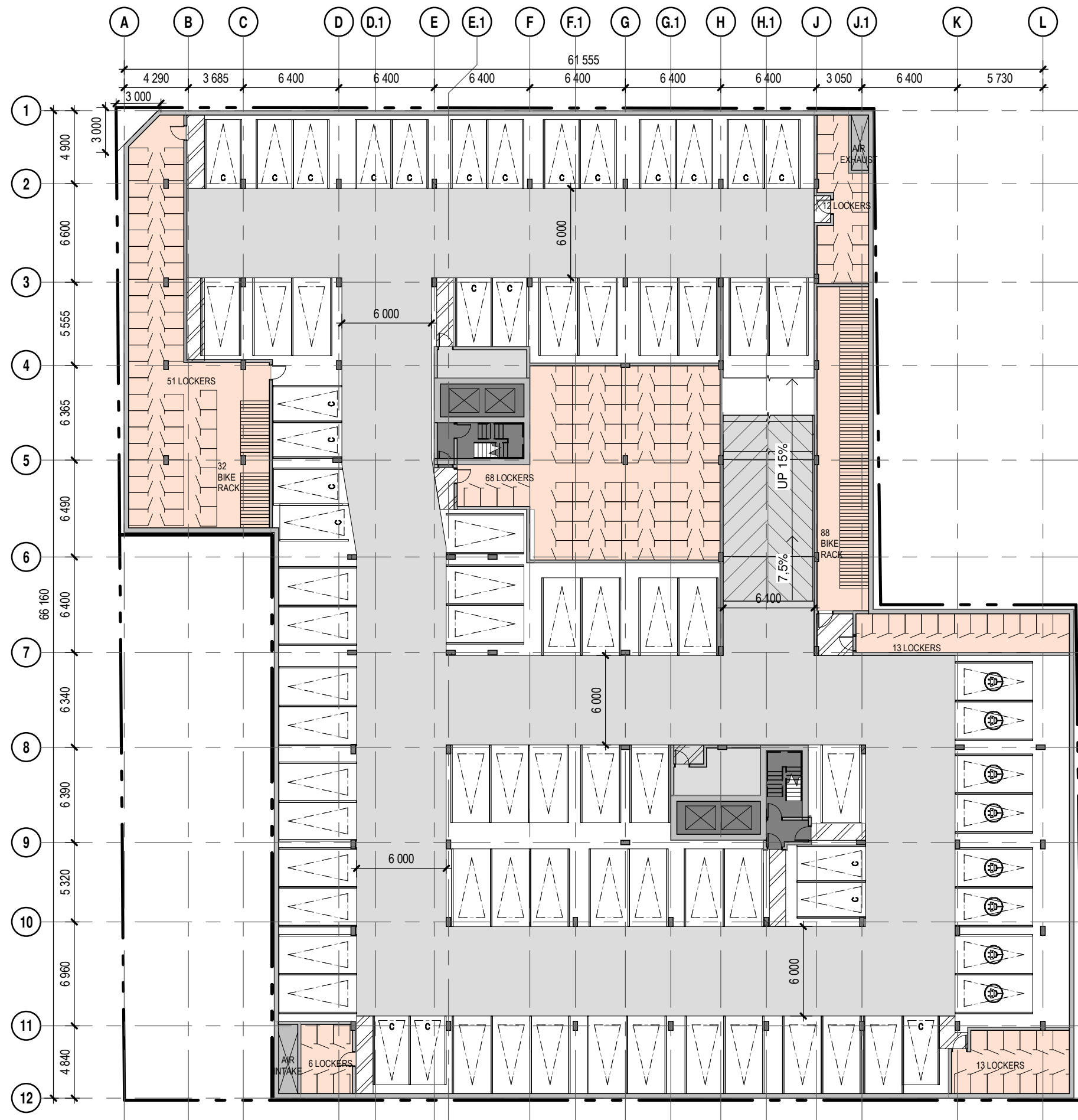
PATTERNED GLAZING



SPANDREL GLAZING

DRAWINGS





- STUDIO
- 1 BEDROOM
- 1 BEDROOM+DEN
- 2 BEDROOMS
- 3 BEDROOMS
- TOWNHOUSE
- AMENITIES
- COMMERCIAL
- SERVICES
- CIRCULATION
- VERTICAL CIRCULATION

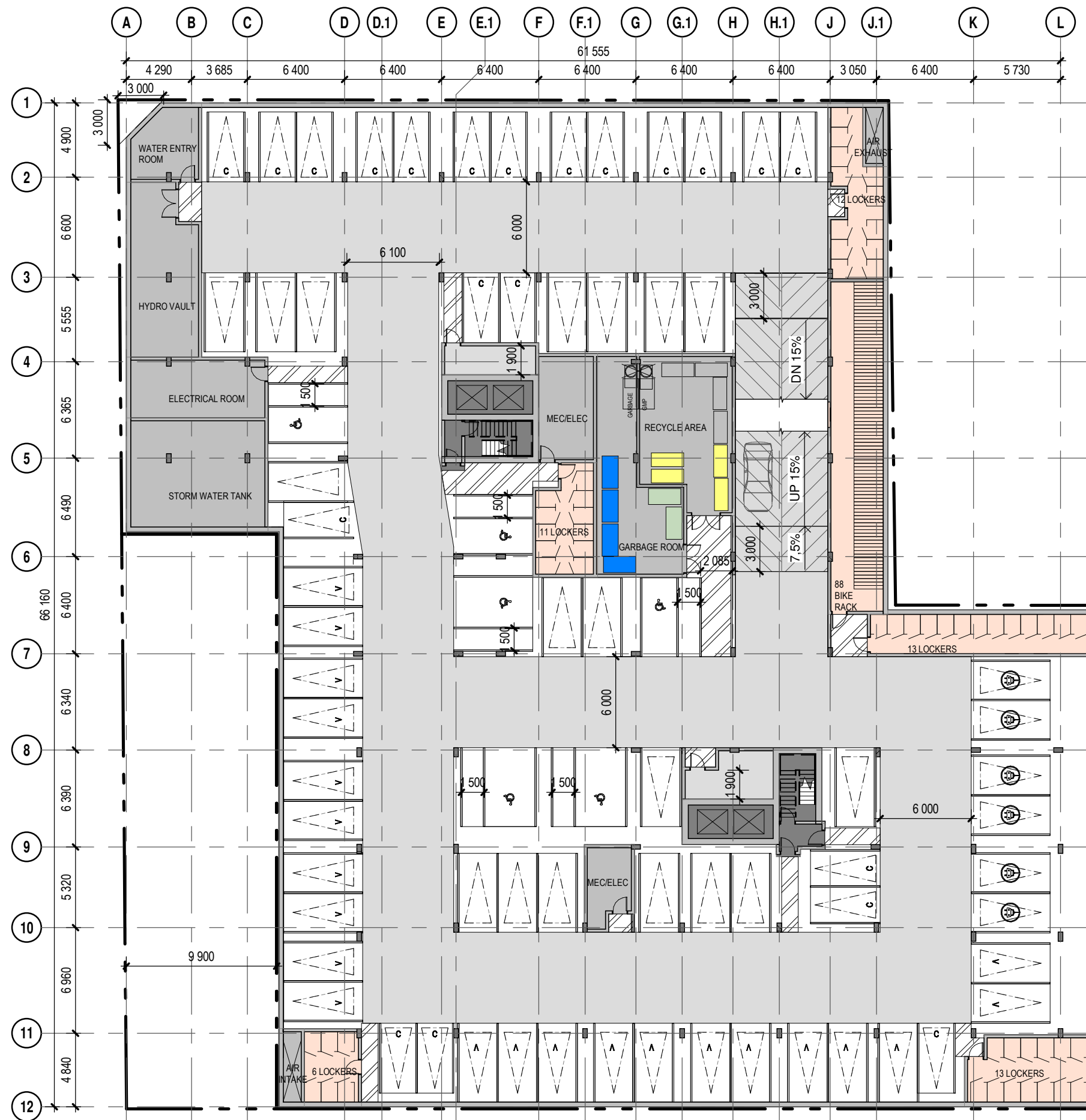
	GF	B 1	B 2	TOTAL
PARKING	-	73	81	154
LOCKER	-	55	163	218
BIKE RACK	27	88	120	235

REQUIRED PARKING : 131
 REQUIRED BIKE RACK : 109

BASEMENT LEVEL 1 = 73 PARKING SPACES
 Accessible Parking_TYPE A = 3
 Accessible Parking_TYPE B = 3
 Compact Parking = 21
 Electric Parking = 6
 Typical Parking = 18
 Visitor Parking = 22

BASEMENT LEVEL 2 = 81 PARKING SPACES
 Compact Parking = 24
 Tandem Parking = 8
 Typical Parking = 49

Grand total: 154



- STUDIO
- 1 BEDROOM
- 1 BEDROOM+DEN
- 2 BEDROOMS
- 3 BEDROOMS
- TOWNHOUSE
- AMENITIES
- COMMERCIAL
- SERVICES
- CIRCULATION
- VERTICAL CIRCULATION

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- STUDIO
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- 1 BEDROOM+DEN
- 2 BEDROOMS
- 3 BEDROOMS
- TOWNHOUSE
- AMENITIES
- COMMERCIAL
- SERVICES
- CIRCULATION
- VERTICAL CIRCULATION

RESIDENTIAL UNITS	
GROUND FLOOR	
STUDIO	2
1 BEDROOM	5
1 BEDROOM + DEN	3
2 BEDROOM	0
3 BEDROOM	0
TOWNHOUSE	9
TOTAL	19



- STUDIO
- 1 BEDROOM
- 1 BEDROOM+DEN
- 2 BEDROOMS
- 3 BEDROOMS
- TOWNHOUSE
- AMENITIES
- COMMERCIAL
- SERVICES
- CIRCULATION
- VERTICAL CIRCULATION

RESIDENTIAL UNITS	
2nd FLOOR	
STUDIO	2
1 BEDROOM	15
1 BEDROOM + DEN	4
2 BEDROOM	5
3 BEDROOM	0
TOTAL	26

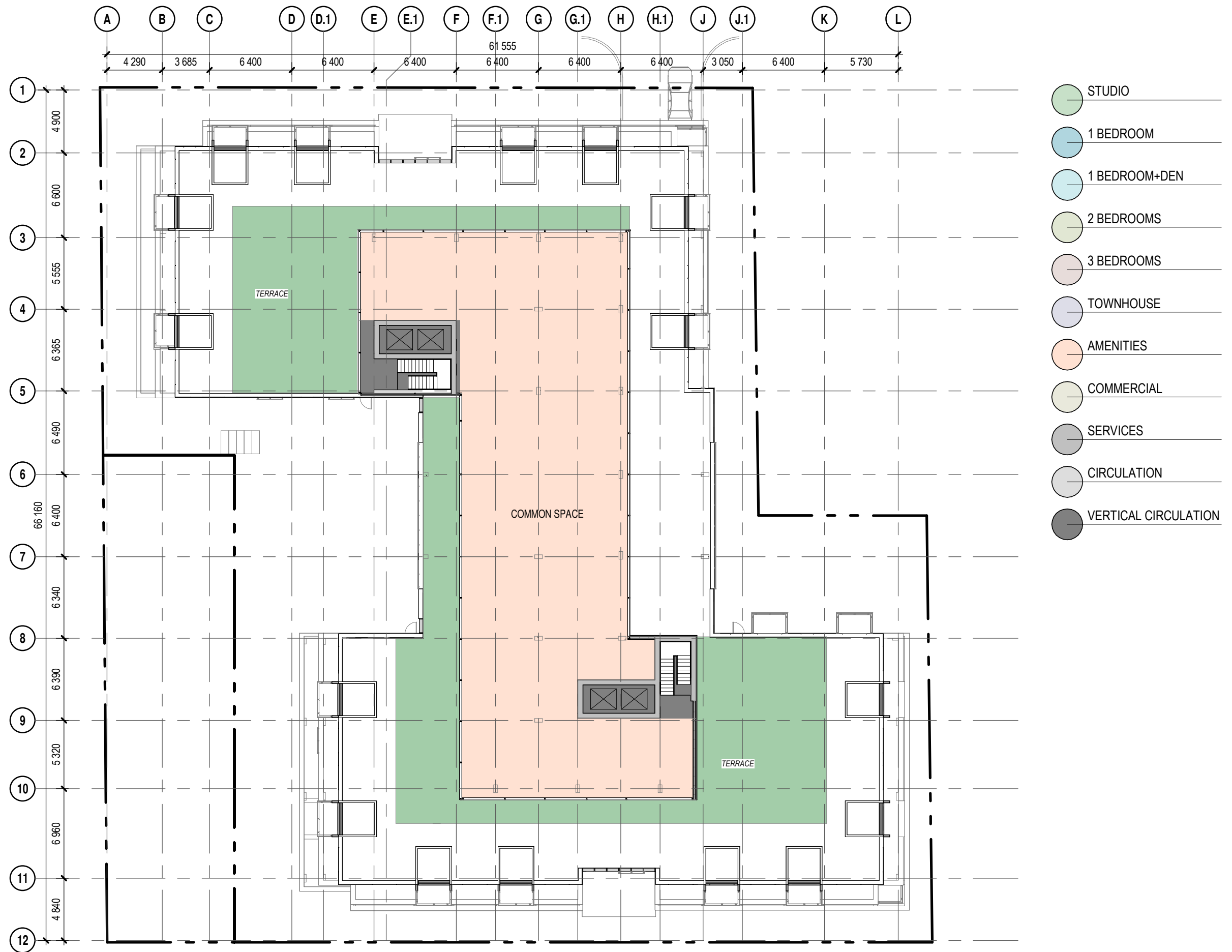


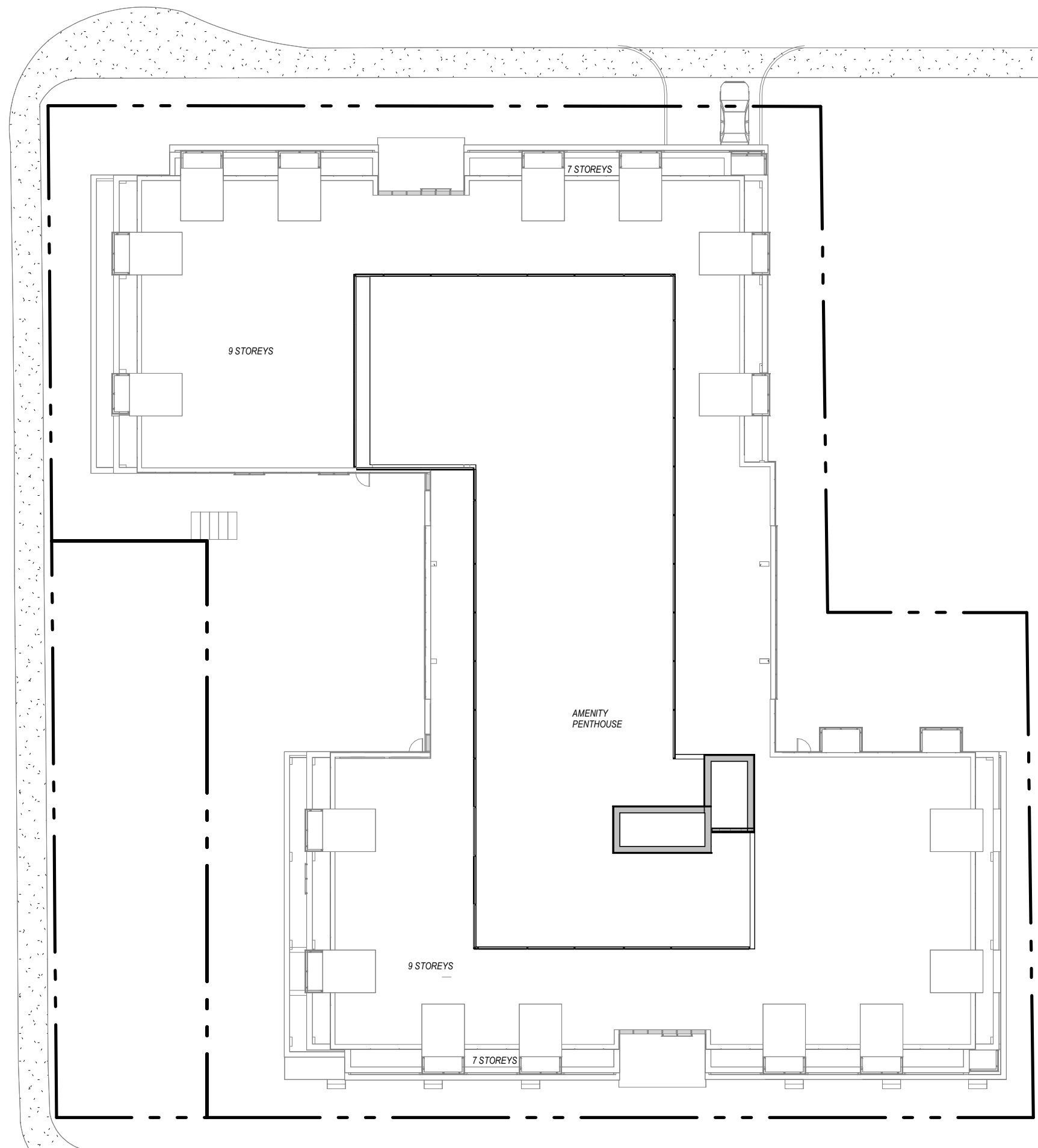


- STUDIO
- 1 BEDROOM
- 1 BEDROOM+DEN
- 2 BEDROOMS
- 3 BEDROOMS
- TOWNHOUSE
- AMENITIES
- COMMERCIAL
- SERVICES
- CIRCULATION
- VERTICAL CIRCULATION

RESIDENTIAL UNITS	
3rd to 7th FLOOR	
STUDIO	2
1 BEDROOM	14
1 BEDROOM + DEN	4
2 BEDROOM	7
3 BEDROOM	0
TOTAL	27









GILMOUR ST.

JAMES ST.



KENT ST.

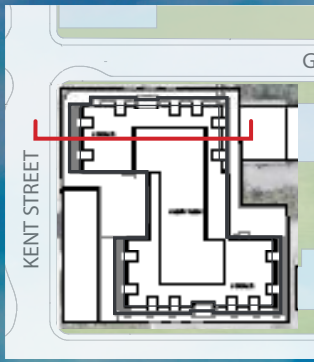


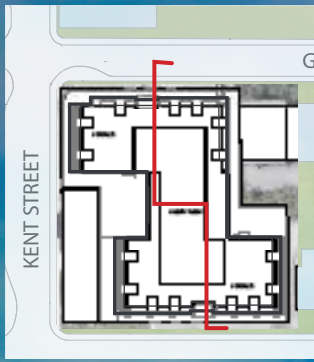
KENT ST.



JAMES ST.

GILMOUR ST.





**ADDITIONAL
DOCUMENTS**



GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 9H

1 : 1000



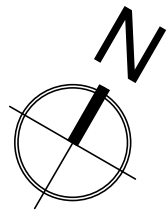
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 10H

1 : 1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 11H

1 : 1000



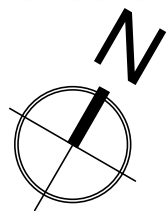
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 12H

1 : 1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 13H

1:1000



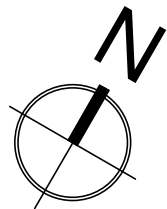
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 14H

1:1000





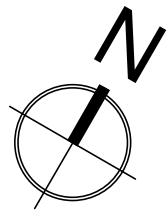
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE WINTER 15H

1:1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 8H

1:1000



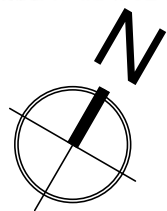
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 9H

1:1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 10H

1 : 1000



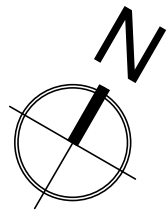
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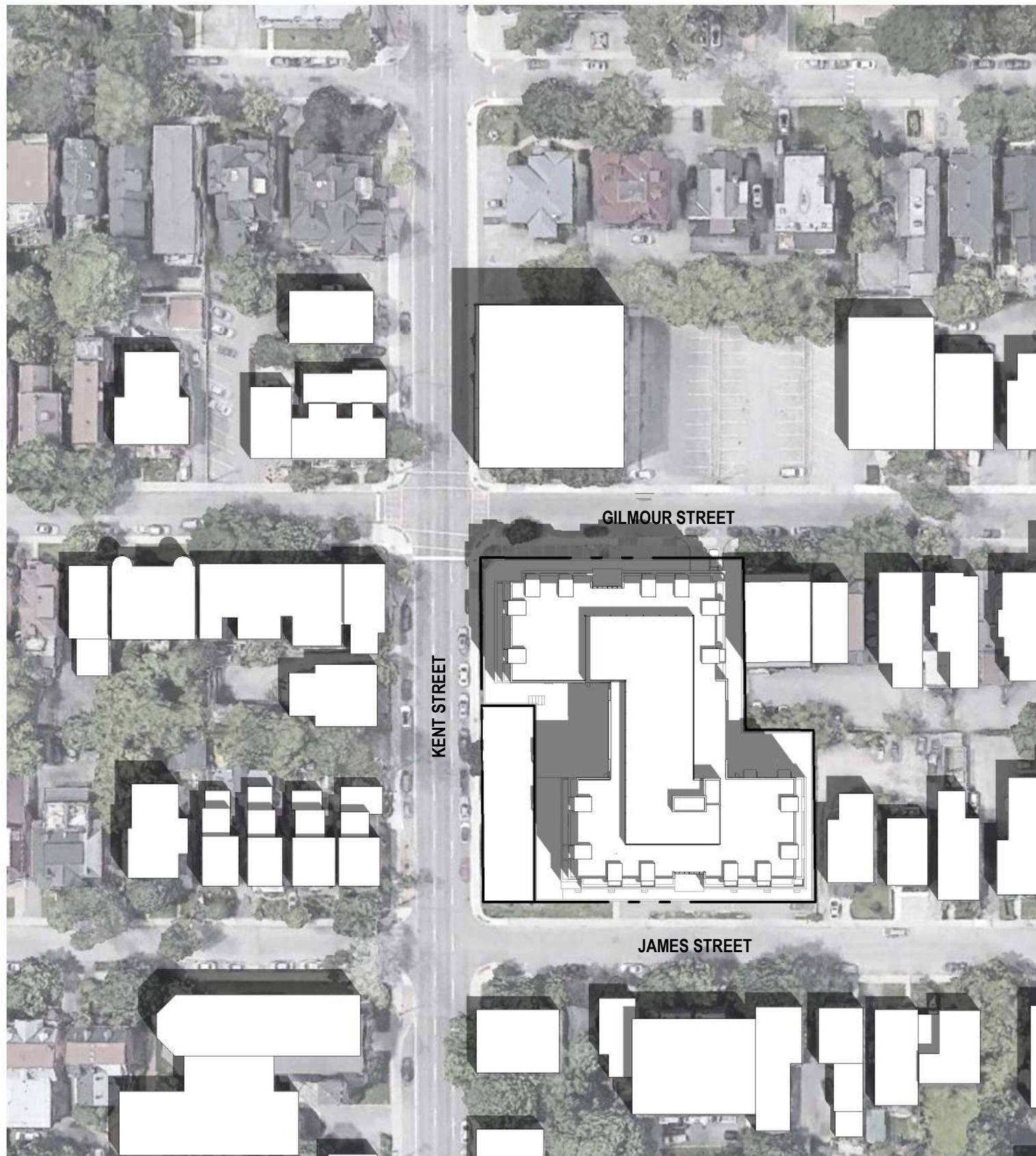
KENT STREET

JAMES STREET

SOLSTICE SUMMER 11H

1 : 1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 12H

1:1000



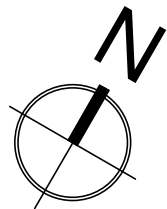
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 13H

1:1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 14H

1:1000



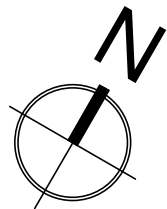
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 15H

1:1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 16H

1:1000



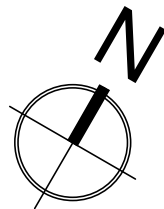
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 17H

1:1000





GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 18H

1 : 1000



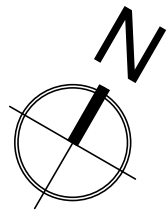
GILMOUR STREET

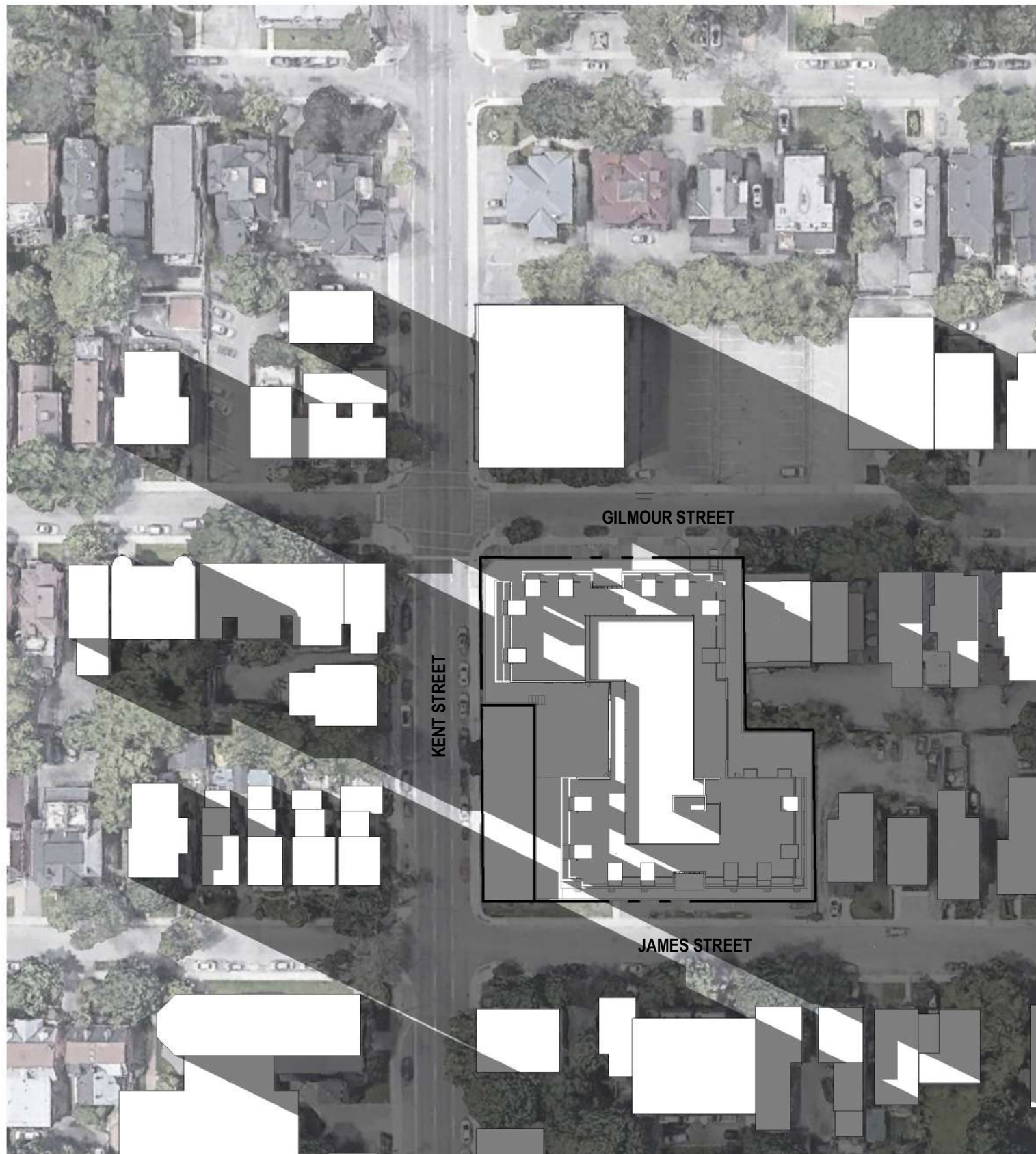
KENT STREET

JAMES STREET

SOLSTICE SUMMER 19H

1 : 1000





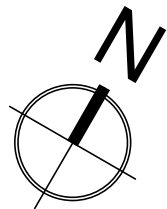
GILMOUR STREET

KENT STREET

JAMES STREET

SOLSTICE SUMMER 20H

1:1000





GILMOUR STREET

KENT STREET

JAMES STREET

EQUINOX AUTOMNE 8H

1 : 1000



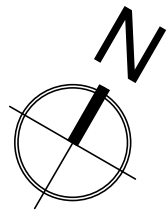
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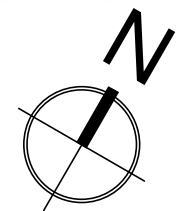
KENT STREET

JAMES STREET

EQUINOX AUTOMNE 9H

1 : 1000





EQUINOX AUTOMNE 10H

1 : 1000



EQUINOX AUTOMNE 11H

1 : 1000



GILMOUR STREET

KENT STREET

JAMES STREET

EQUINOX AUTOMNE 12H

1 : 1000



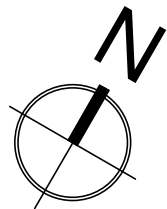
GILMOUR STREET

KENT STREET

JAMES STREET

EQUINOX AUTOMNE 13H

1 : 1000





GILMOUR STREET

KENT STREET

JAMES STREET

EQUINOX AUTOMNE 14H

1:1000



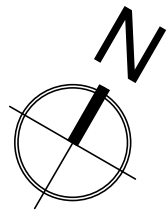
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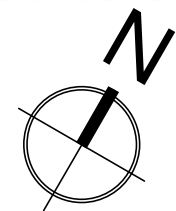
KENT STREET

JAMES STREET

EQUINOX AUTOMNE 15H

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EQUINOX AUTOMNE 16H

1 : 1000



EQUINOX AUTOMNE 17H

1 : 1000



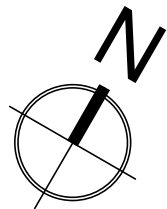
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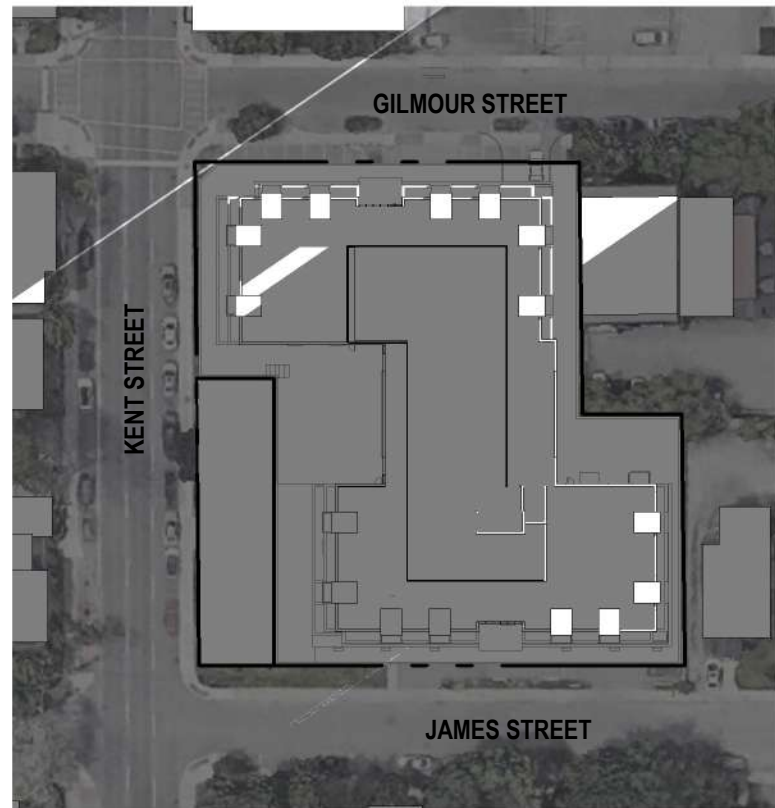
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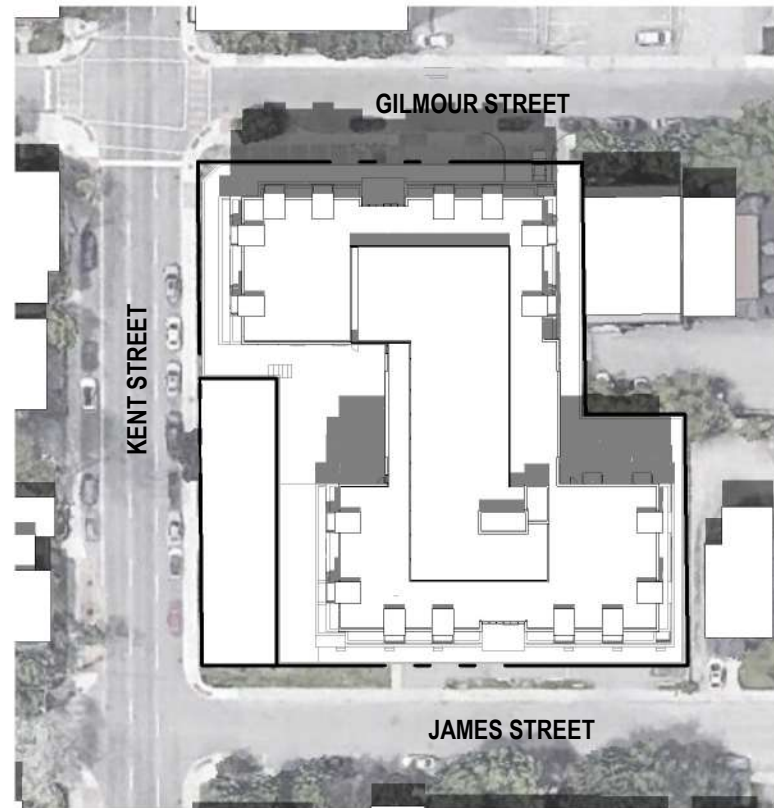
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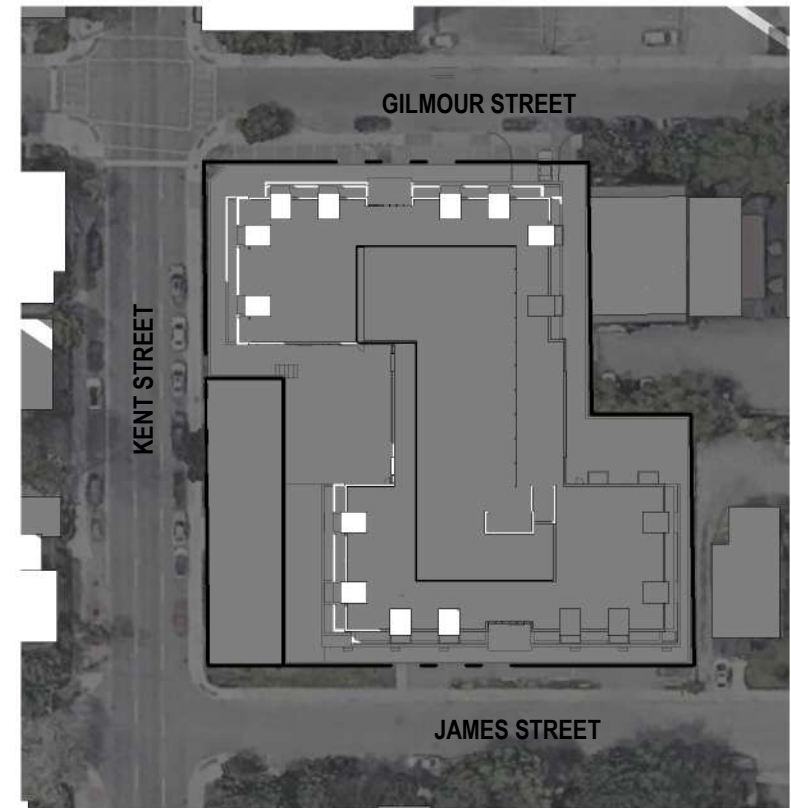




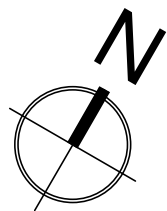
21 JUNE-SUN RISE
1:1000



21 JUNE-SOLAR NOON
1:1000

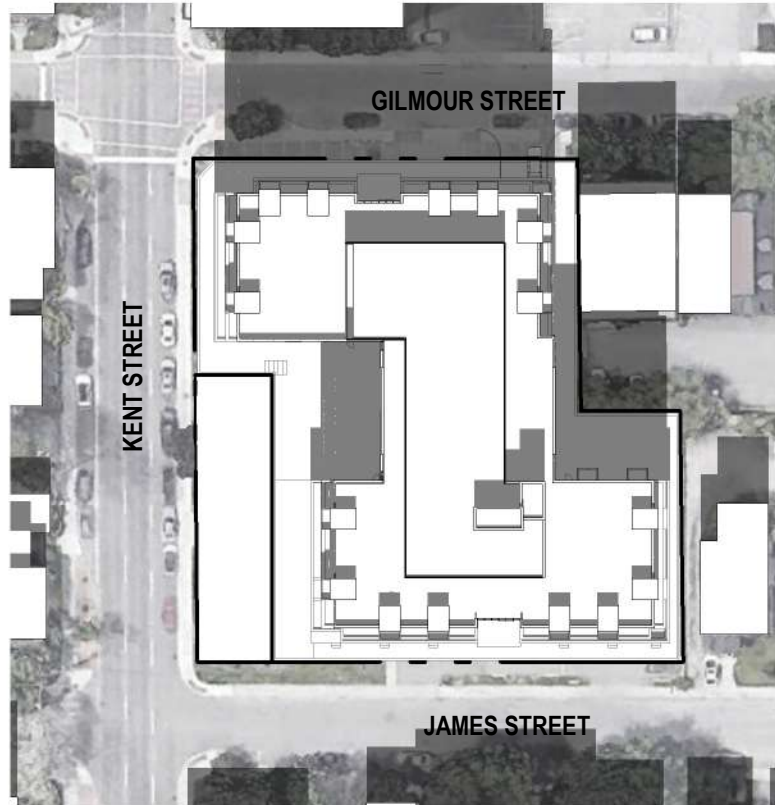


21 JUNE-SUN SET
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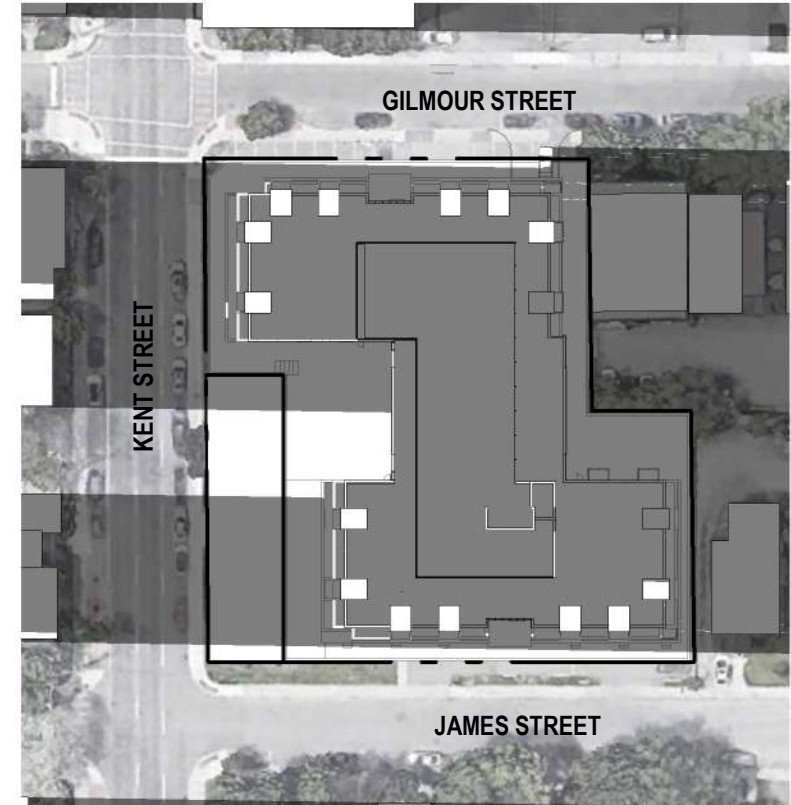




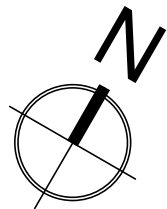
21 SEPTEMBER-SUN RISE
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21 SEPTEMBER-SOLAR NOON
1 : 1000



21 SEPTEMBER-SUN SET
1 : 1000





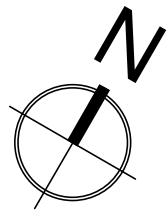
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21 DECEMBER-SOLAR NOON
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21 DECEMBER-SUN SET
1:1000



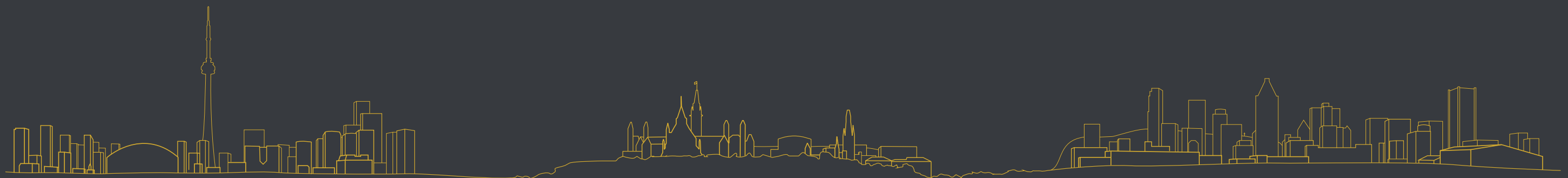


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