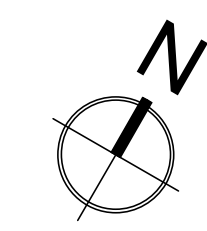


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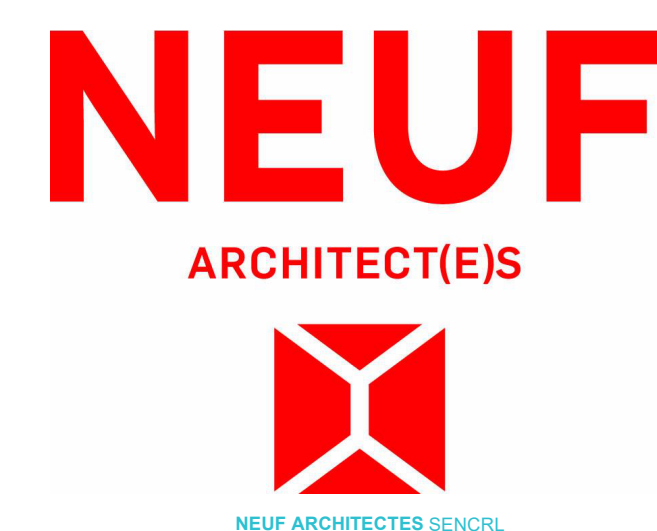
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OUVRAGE Project
381 KENT STREET

EMPLACEMENT Location NO PROJET No.
OTTAWA 12399

NO	REVISION	DATE (aa-mm-jj)
01	SITE PLAN CONTROL	23-02-20
02	SITE PLAN CONTROL	23-08-30
03	SITE PLAN CONTROL	24-02-12

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 CONSTRUCTION

DESSINÉ PAR Drawn by VERIFIÉ PAR Checked
MM HG
 DATE (aa-mm-jj) ECHELLE Scale
 24.02.12 1:200
 TITRE DU DESSIN Drawing Title

SITE PLAN (ROOF LEVEL)

REVISION Revision NO. DESSIN Dwg Number
SPA-02

LEGEND OF SYMBOLS

	PROPERTY LINE
	SET BACK LINE
	FENCE

PROJECT INFORMATION

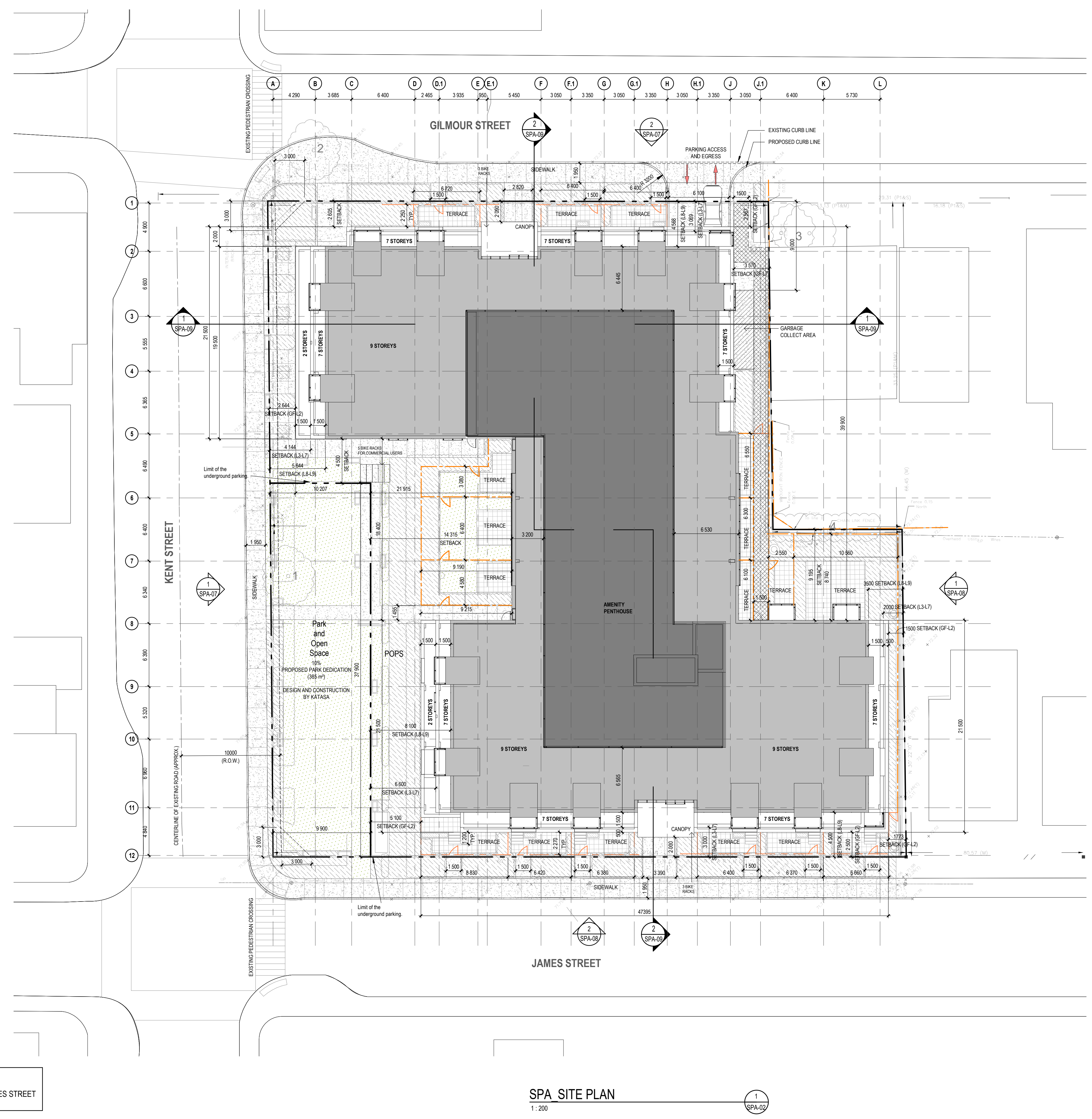
ZONING	Residential Fifth Density, Subzone Z (R5Z)	
LOT	32 TO 34 GILMOUR ST. & 32 TO 35 JAMES ST.	
LOT AREA	3 824 m ²	
FLOOR SPACE INDEX	5.16	
LOT COVERAGE	0.56	
	REQUIRED	PROVIDED
PARK (10%)	382,4 m ²	385 m ²
BUILDING FOOTPRINT	N/A	2 138 m ²
BUILDING HEIGHT	30 m	33 m
	REQUIRED	PROVIDED
MIN FRONT YARD SETBACK (Gilmour, north)	3m	2.6 m
MIN CORNER SIDE YARD SETBACK (Kent, west)	3m	2.6 m & 5.1 m
MIN REAR YARD SETBACK (James, south)	7.5	2.5 m
MIN INTERIOR YARD SETBACK (east)	R4: 7.5m, GM: 6m	1.5 m & 3.5 m

GROSS FLOOR AREA

LEVEL	GROSS FLOOR AREA (m ²)	UNIT STATISTICS
GROUND FLOOR	2 138 m ²	TOWNHOUSE (1 BR) 4
LEVEL 2	2 139 m ²	TOWNHOUSE (1 BR + DEN) 3
LEVEL 3	2 146 m ²	TOWNHOUSE (2 BR) 2
LEVEL 4	2 146 m ²	STUDIO 18
LEVEL 5	2 146 m ²	1 BR 94
LEVEL 6	2 146 m ²	1 BR + DEN 31
LEVEL 7	2 146 m ²	2 BR 56
LEVEL 8	1 983 m ²	3 BR 10
LEVEL 9	1 983 m ²	TOTAL 218
AMENITY LEVEL	756 m ²	
TOTAL	19 729 m²	Non-residential GFA 175 m²
BASEMENT LEVEL 1	3 377 m ²	Lot area - dedicated park 3439
BASEMENT LEVEL 2	3 377 m ²	Landscape area 1282
TOTAL	6 754 m²	Landscape to lot ratio 37%

PARKING

CAR PARKING	REQUIRED	PROVIDED	REQUIRED
RESIDENTIAL*	103	132	TOTAL AMENITY : 218 UNITS X 6m2 1308 m ²
COMMERCIAL	N/A	N/A	MIN. 50% COMMUNAL AREA 654 m ²
VISITOR	22 (0,1/u)	22	
TOTAL	125	154	
*Residential: 0.5 spaces per dwelling unit, less first 12			
			PROVIDED
			COMMUNAL AREA 667 m ²
			PRIVATE TERRACE (GF) 444 m ²
			PRIVATE BALCONY AND LOGGIA 793 m ²
			AMENITY (including basements) 1017 m ²
			ROOF TERRACE 484 m ²
			TOTAL 3 405 m²

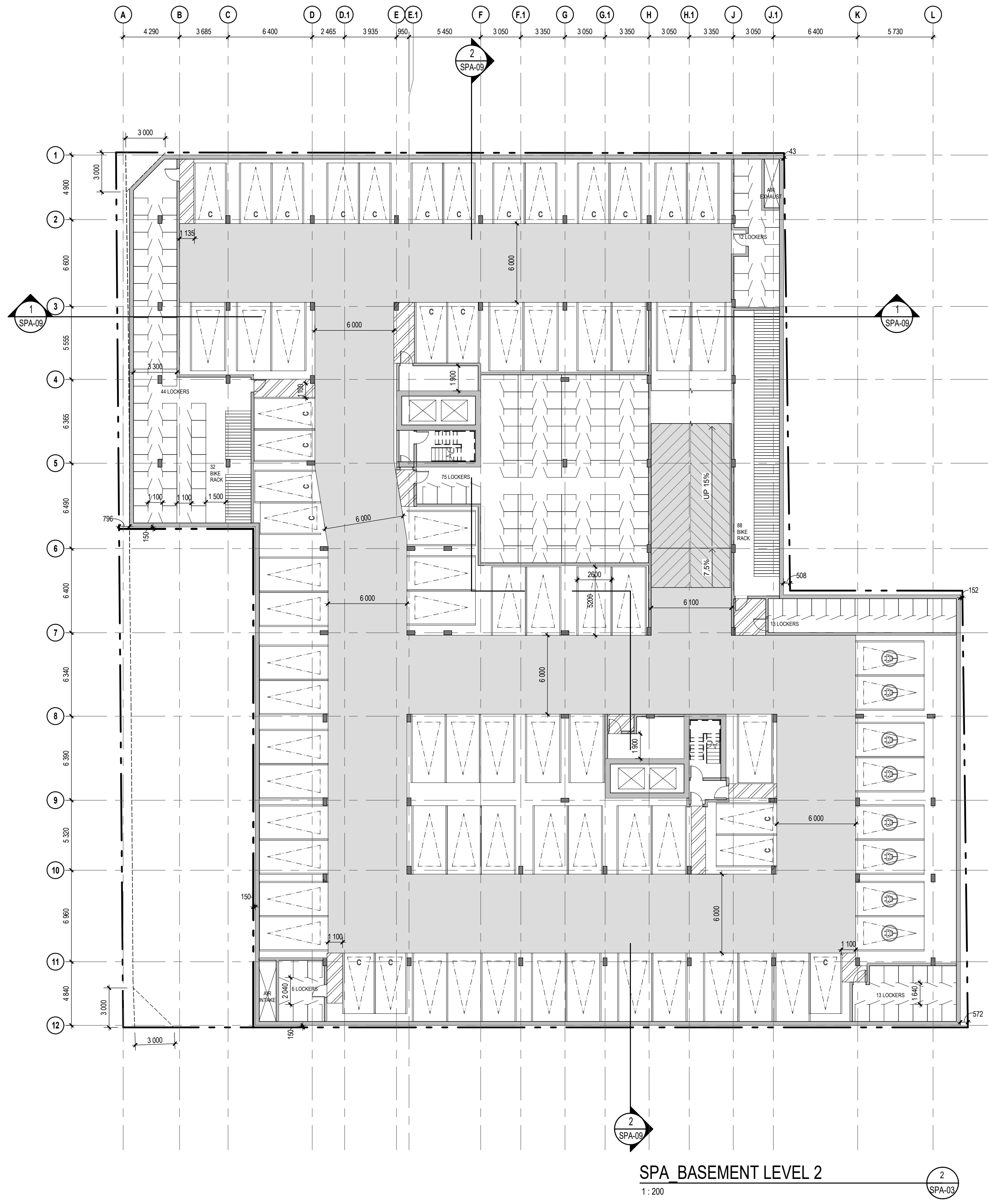
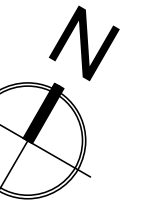


NOTE:
 PROPERTY BOUNDARY & TOPOGRAPHIC INFORMATION WAS DERIVED FROM:
 SURVEY PLAN OF LOTS 32, 33, 34 AND PART OF 35 SOUTH GILMOUR STREET AND LOTS 32, 33, 34 AND 35 NORTH JAMES STREET
 REGISTERED PLAN 30671 CITY OF OTTAWA, DATED OCTOBER 21, 2010, WAS PREPARED FOR GAZIT AMERICA INC.

SPA SITE PLAN
 1:200

C:\Fichiers Revit\Locaux\KENT_12399_ARC_INT_FR22_swilson2LCL2V.rvt

LEGEND OF PARKING SYMBOLS		PARKING SPACE		BICYCLE		LOCKERS	
	CAR ACCESS RAMP (LEVELS-PARKING)	TYPE	TOTAL	TYPE	TOTAL	TYPE	TOTAL
	COMPACT PARKING (2400mmx4600mm)	BASEMENT LEVEL 2		BASEMENT LEVEL 2		BASEMENT LEVEL 2	
	ACCESSIBLE PARKING TYPE A (3400mmx5200mm) TYPE B (2400mmx5200mm)	Compact Parking (2400mmx4600mm)	24	HORIZONTAL SPACE 1930Lx230W STACKED	120	DTL - 1100 x 1300	36
	ELECTRIC PARKING (2600mmx5200mm)	Electric Parking (2600mmx5200mm)	6	BASEMENT LEVEL 1		DTL - 1300 x 1100	127
	VISITOR PARKING (2600mmx5200mm)	Typical Parking (2600mmx5200mm)	49	HORIZONTAL SPACE 1930Lx230W STACKED	88	BASEMENT LEVEL 1	
		Grand total	81	GROUND FLOOR		DTL - 1100 x 1300	42
				HORIZONTAL SPACE 1900Lx600W	11	DTL - 1300 x 1100	13
				HORIZONTAL SPACE 1930Lx230W STACKED	16	Grand total	218
				Grand total	235		
				*REQUIRED BIKE SPACE: 0.3 PER UNIT * (2180.5) = 109			
				*REQUIRED PARKING SPACE: 0.5 PER UNIT * 0.1 PER UNIT FOR VISITORS = (2180.5) + (2180.5) = 151			



SPA BASEMENT LEVEL 2
1:200



SPA BASEMENT LEVEL 1
1:200

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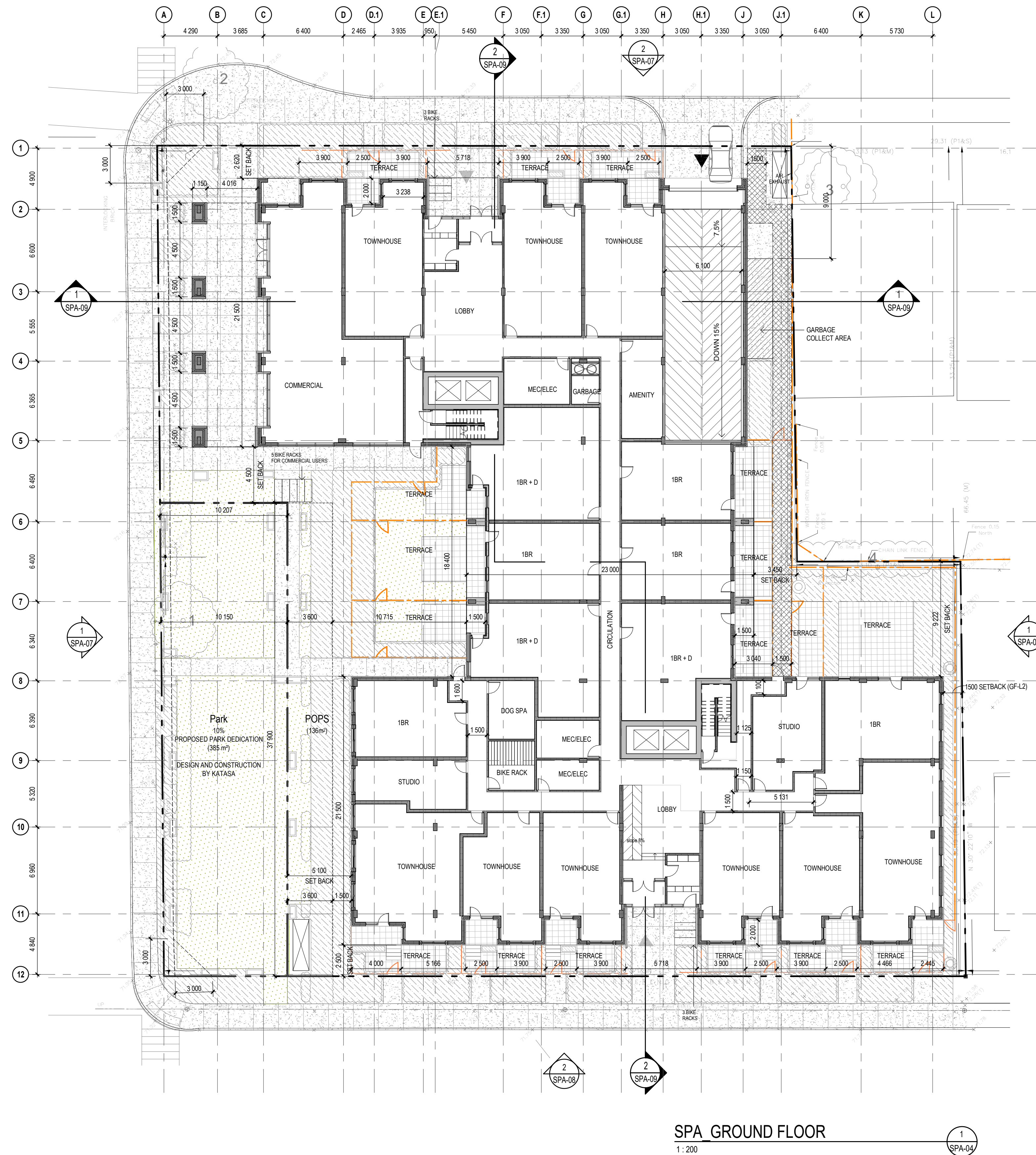
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MM HG
DATE (aa.mm.jj) 24.02.12 ÉCHELLE Scale
1:200
TITRE DU DESSIN Drawing Title

PARKING LEVEL 1 & 2

REVISION Revision NO. DESSIN Dwg Number
SPA-03

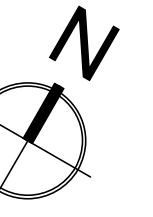
LEGEND OF SYMBOLS	
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SPA GROUND FLOOR
1:200

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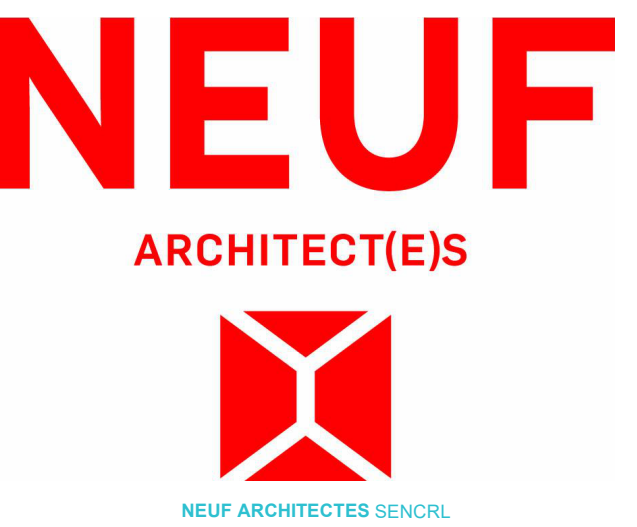
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EMPLACEMENT Location

OTTAWA

NO PROJET No.

12399

NO RÉVISION

01 SITE PLAN CONTROL

02 SITE PLAN CONTROL

03 SITE PLAN CONTROL

DATE (aa-mm-jj)

23-02-20

23-08-30

24-02-12

DESSINÉ PAR Drawn by

MM

24.02.12

TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked

HG

1:200

GROUND LEVEL

RÉVISION Revision

NO. DESSIN Dwg Number

SPA-04