

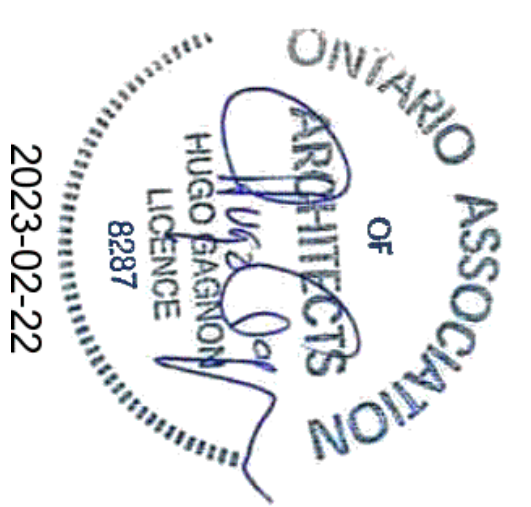


NEUF

ARCHITECT(E)S

SPLIST OF DRAWINGS	
SHEET NUMBER	SHEET NAME

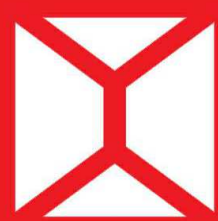
SPA-01	COVER PAGE
SPA-02	SITE PLAN (ROOF LEVEL)
SPA-03	PARKING LEVEL 1 & 2
SPA-04	GROUND LEVEL
SPA-05	ELEVATIONS
SPA-06	ELEVATIONS



381 KENT STREET

OTTAWA
CLIENT : KATASA

NEUF
ARCHITECT(E)S



- SITE PLAN CONTROL
- COORDINATION Coordination
- PERMIS Permit
- SOUSSION Tender
- RÉVISION GÉNÉRALE General revision
- CONSTRUCTION Construction
- FIN DES TRAVAUX Record Drawings

LEGEND OF SYMBOLS

	PROPERTY LINE
	SET BACK LINE
	FENCE

PROJECT INFORMATIONS

ZONING	
ZONING	RAUD(479)
LOT	32 TO 34 GILMORE ST. & 32 TO 35 JAMES ST.
LOT AREA	3 822 m ²

REQUIRED	
PARK (10%)	382.4 m ²
BUILDING FOOTPRINT	N/A
FOOTPRINT SPACE INDEX	N/A
MAXIMUM BUILDING HEIGHT	30m

PROVIDED	
PARK	385 m ²
BUILDING FOOTPRINT	2 520 m ²
FOOTPRINT SPACE INDEX	0.52
MAXIMUM BUILDING HEIGHT	32.5m

SETBACKS

REQUIRED	
MINIMUM FRONT YARD SETBACK (Gilmour, north)	1.5 m
MINIMUM CORNER SIDE YARD SETBACK (Kent, west)	1.5 m
MINIMUM INTERIOR SIDE YARD SETBACK (James, south)	1.5 m
MINIMUM REAR YARD SETBACK (east)	1.5 m

PROVIDED	
MINIMUM FRONT YARD SETBACK (Gilmour, north)	2.5m
MINIMUM CORNER SIDE YARD SETBACK (Kent, west)	2.6 & 5.1 m
MINIMUM INTERIOR SIDE YARD SETBACK (James, south)	1.4, 1.6 and 3.0-3.4m
MINIMUM REAR YARD SETBACK (east)	1.4, 1.6 and 3.0-3.4m

AREA SUMMARY

LOT AREA:	3 822 m ²
GROUND FLOOR AREA:	2 520 m ²
BUILDING GFA:	20 869 m ²
PARK (10%):	385 m ²
P.O.P.S.:	136 m ²

LOT AREA	GROSS AREA
3 822 m ²	20 869 m ²

COS = 5,6

LOT AREA	SURFACE BRUTE - GROUND FLOOR
3 822 m ²	2 520 m ²

CES = 0,52

UNIT STATISTICS

UNIT TYPE	QUANTITY	AREA
1BR	55	5 715 m ²
1BR + D	31	2 520 m ²
2BR	56	4 729 m ²
3BR	10	1 250 m ²
STUDIO	18	862 m ²
TOWNHOUSE(1BD)	4	253 m ²
TOWNHOUSE(1BD+DEN)	3	234 m ²
TOWNHOUSE(2BD)	2	197 m ²

TOTAL QUANTITIES	TOTAL AREA
219	15 760 m ²

AMENITY

REQUIRED	
TOTAL AMENITY : 218 UNITS X 6m ²	1 308 m ²
MIN. 50% COMMUNAL AREA	654 m ²

PROVIDED	
AMENITY	995 m ²
BALCONY AND LOGGIA	809 m ²
COMMUNAL AREA	669 m ²
TERACCE	508 m ²
	2 980 m ²

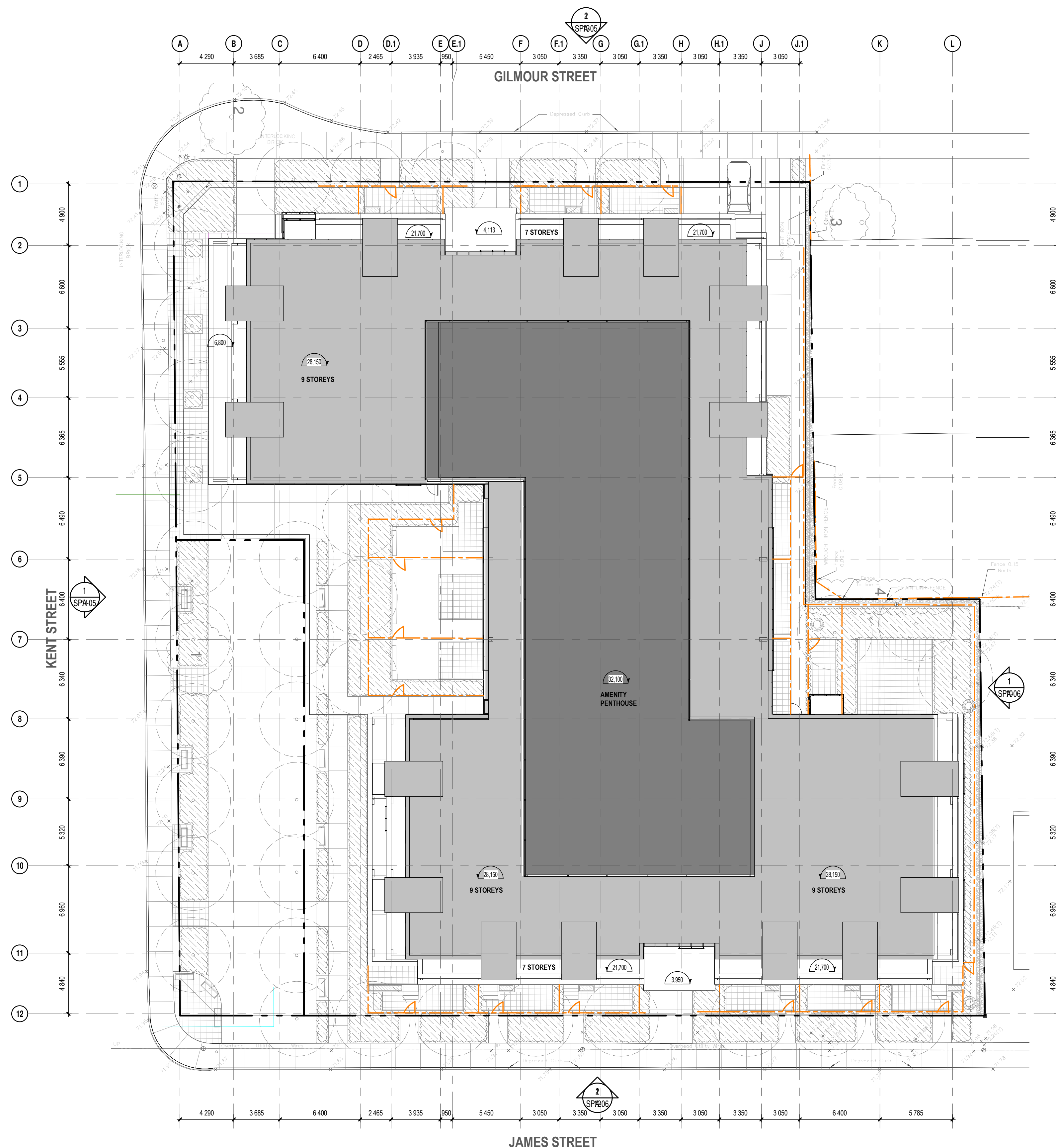
GROSS FLOOR AREA

RENTAL AREA	AREA
GROUND FLOOR	1 314 m ²
2ND FLOOR	1 831 m ²
3RD FLOOR	1 841 m ²
4TH FLOOR	1 841 m ²
5TH FLOOR	1 841 m ²
6TH FLOOR	1 841 m ²
7TH FLOOR	1 841 m ²
8TH FLOOR	1 706 m ²
9TH FLOOR	1 706 m ²
TOTAL AREA	15 760 m ²

CATEGORIES OF SPACES	AREA
AMENITY	257 m ²
BALCONY AND LOGGIA	809 m ²
CIRCULATION	2 316 m ²
COMMERCIAL	171 m ²
COMMUNAL AREA	669 m ²
TECHNICAL SPACE	379 m ²
TERACCE	508 m ²
TOTAL AREA	20 869 m ²

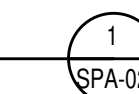
BASEMENT

CATEGORIES OF SPACES	AREA
Not Placed	0 m ²
RENTAL AREA	0 m ²
BASEMENT LEVEL 2	
AMENITY	488 m ²
CIRCULATION	111 m ²
PARKING	2 783 m ²
TECHNICAL SPACE	16 m ²
BASEMENT LEVEL 1	
AMENITY	270 m ²
CIRCULATION	109 m ²
PARKING	2 833 m ²
TECHNICAL SPACE	365 m ²
Grand total: 34	6 756 m ²



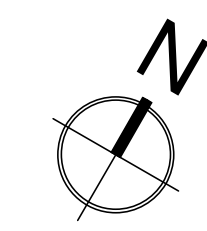
SITE PLAN

1:200



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PLANNING RATIONALE

Fotenn

613 730 5709 black@fotenn.com

ARCHITECTURE DE PAYSAGE / Landscape Architect

GJALA

613 286 5130 gjo@gjala.com

CIVIL / Civil

McIntosh Perry

613 714 6174 r.froel@mcintoshperry.com

ARCHITECTES / Architects

NEUF architect(e)s SENCRL

630, St-Jacques, Montréal, QC H2B 1S6

T 514 847 1117 NEUFarchitectes.com

613 286 5130 gjo@gjala.com

613 714 6174 r.froel@mcintoshperry.com

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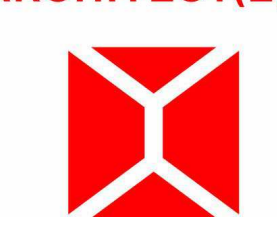
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2023-02-22

NEUF

ARCHITECT(E)S



CLIENT / Client

KATASA

69 rue Jean-Proton, unit 301

Gatineau (Québec) J8Z 1W2

OUVRAGE / Project

381 KENT STREET

EMPLACEMENT / Location

OTTAWA

NO. PROJET / No.

12399

NO. RÉVISION / DATE (aa-mm-jj)

01 SITE PLAN CONTROL 23-02-20

*Préliminaire
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CONSTRUCTION*

DESSINÉ PAR / Drawn by

MM

VÉRIFIÉ PAR / Checked

HG

DATE (aa-mm-jj)

23.02.20

ÉCHELLE / Scale

As indicated

TITRE DU DESSIN / Drawing Title

SITE PLAN (ROOF LEVEL)

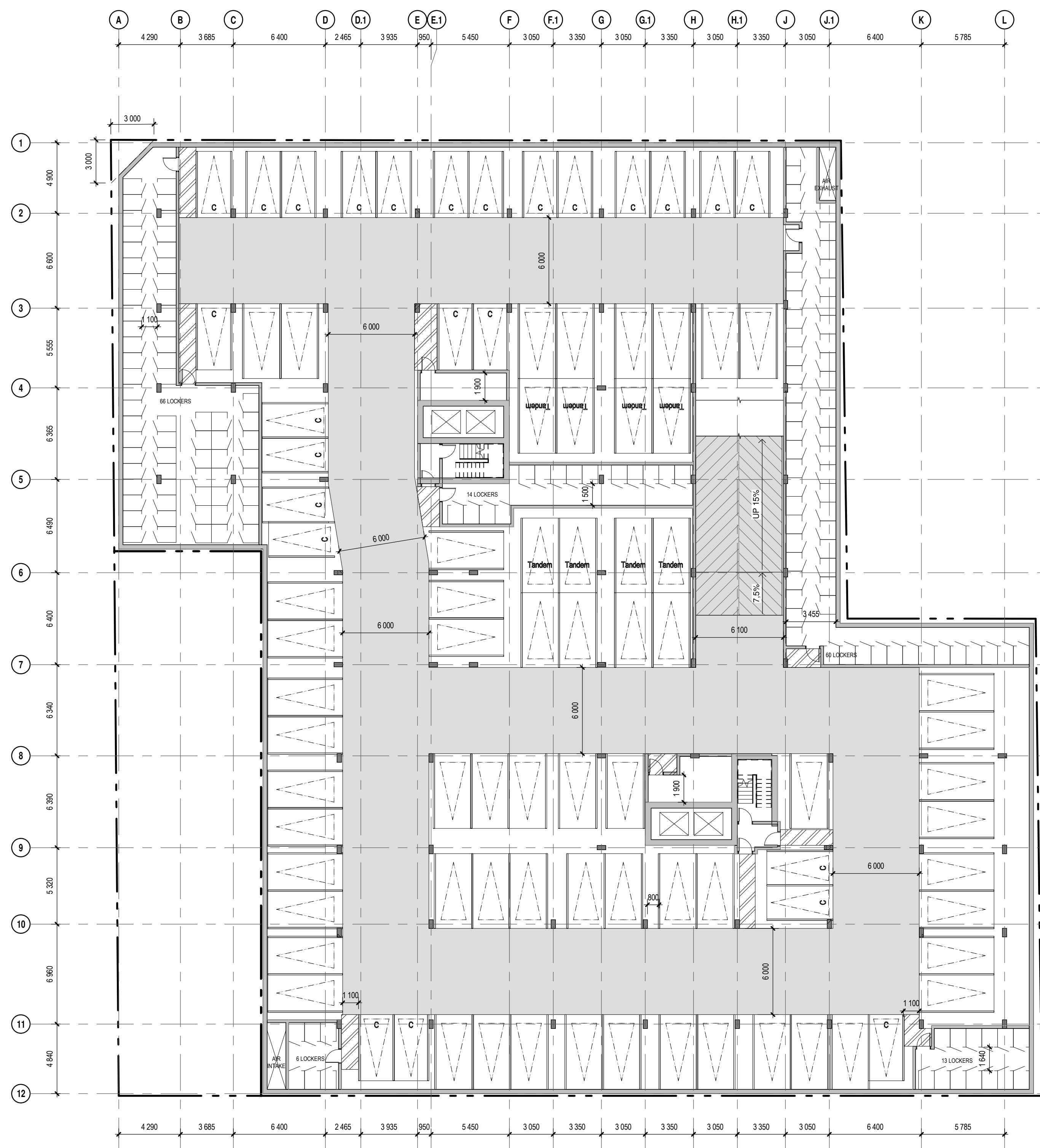
RÉVISION / Revision

NO. DESSIN / Dwg Number

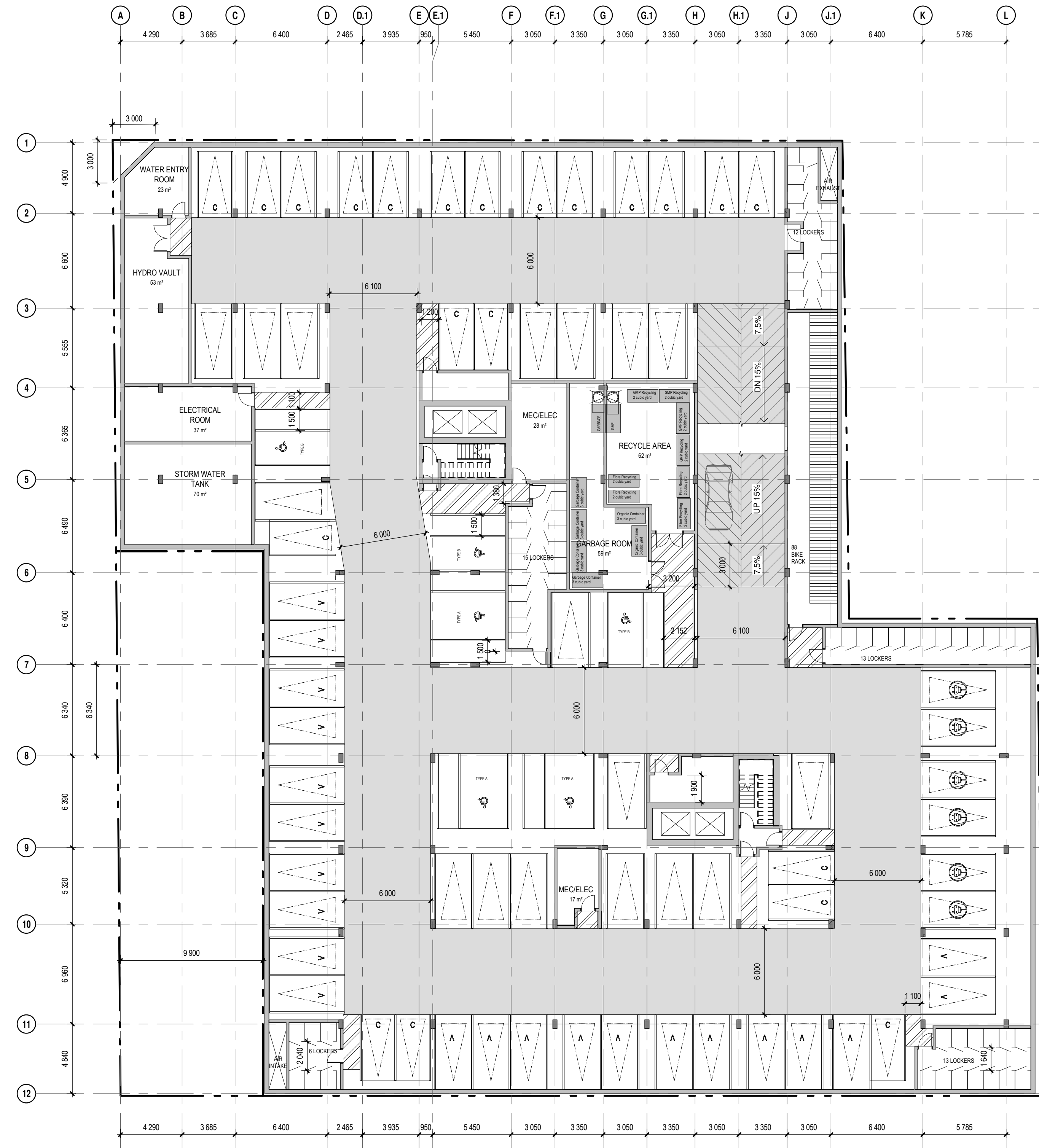
SPA-02

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LEGEND OF PARKING SYMBOLS		PARKING SPACE		BICYCLE		LOCKERS	
	CAR ACCESS RAMP (LEVELS-PARKING)	TYPE	TOTAL	TYPE	TOTAL	TYPE	TOTAL
	COMPACT PARKING (2400mmx4600mm)	BASEMENT LEVEL 2		BASEMENT LEVEL 1		BASEMENT LEVEL 2	
	ACCESSIBLE PARKING TYPE A (3400mmx5200mm) TYPE B (2400mmx5200mm)	Compact Parking (2400mmx4600mm)	25	HORIZONTAL SPACE 1930Lx230W STACKED	88	DTL - 1100 x 1300	90
	ELECTRIC PARKING (2600mmx5200mm)	Tandem Parking (2600mmx5200mm)	6	GROUND FLOOR		DTL - 1300 x 1100	69
	VISITOR PARKING (2600mmx5200mm)	Typical Parking (2600mmx5200mm)	56	HORIZONTAL SPACE 1800Lx600W	6	BASEMENT LEVEL 1	
		Electric Parking (2600mmx5200mm)	6	HORIZONTAL SPACE 1930Lx230W STACKED	16	DTL - 1100 x 1300	46
		Typical Parking (2600mmx5200mm)	17	Grand total: 110		DTL - 1300 x 1100	13
		Visitor Parking (2600mmx5200mm)	22	*REQUIRED BIKE SPACE: 0.5 PER UNIT + (2100x5) + 100		Grand total: 218	59
		Grand total: 161	161				218
		*REQUIRED PARKING SPACE: 0.5 PER UNIT + 0.1 PER UNIT FOR VISITORS + (2100x5) + (2100x1) + 101					



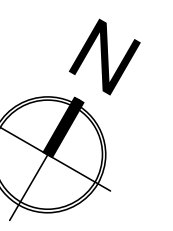
BASEMENT LEVEL 2
1 : 200
2
SPA-02



BASEMENT LEVEL 1
1 : 200
1
SPA-03

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Fotenn
613 730 5709 black@fotenn.com

ARCHITECTURE DE PAYSAGE Landscape Architect
GJALA
613 286 5130 gjo@gjala.com

CIVIL Civil
McIntosh Perry
613 714 6174 r.fro@mcintoshpercy.com

ARCHITECTES Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 52e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



2023-02-22



CLIENT Client
KATASA
69 rue Jean-Proton, unit 301
Gatineau (Québec) J8Z 1W2

OUVRAGE Project
381 KENT STREET

EMPLACEMENT Location NO PROJET No.
OTTAWA 12399

NO RÉVISION DATE (aa-mm-jj)
01 SITE PLAN CONTROL 23-02-20

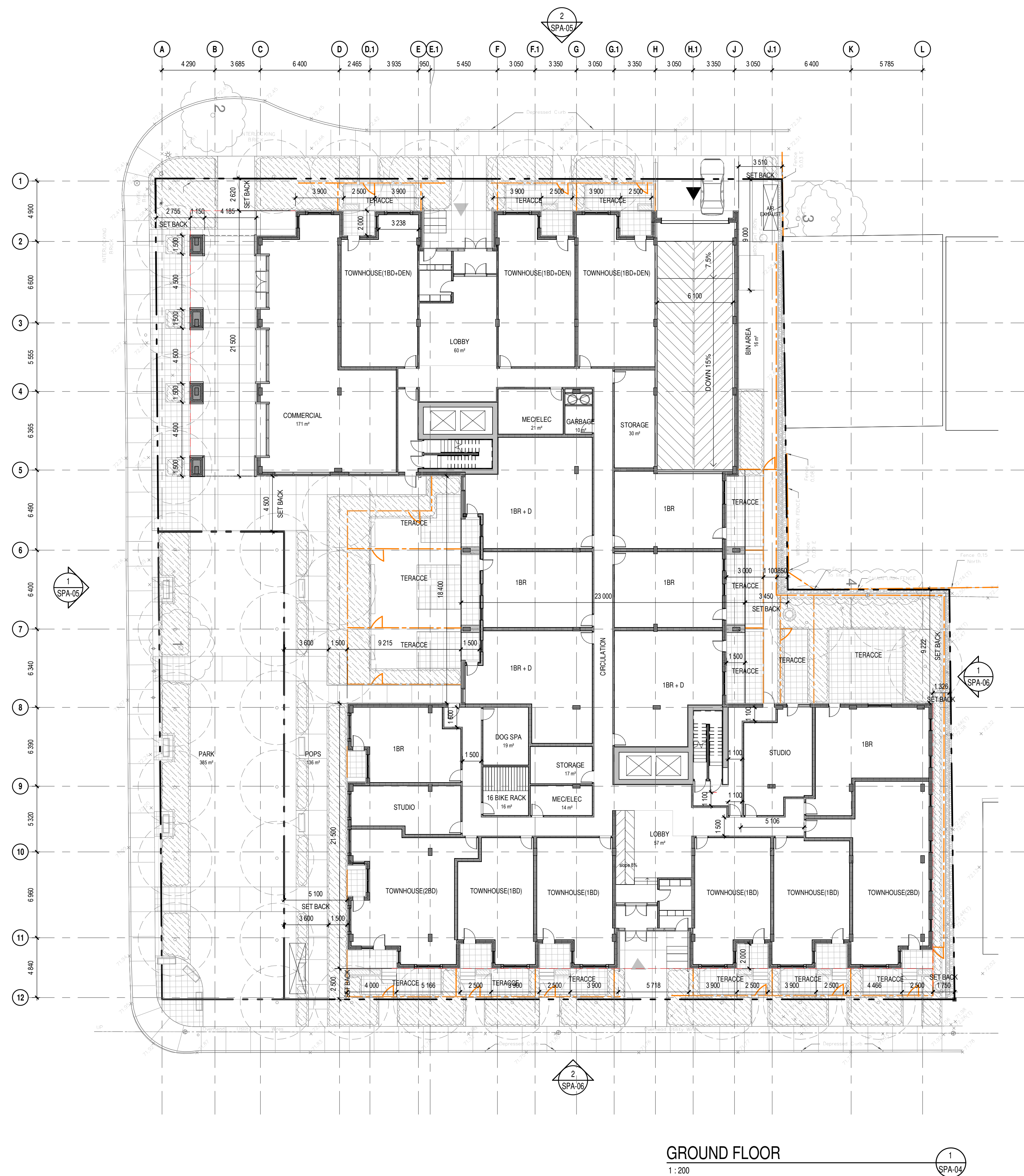
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MM HG
DATE (aa.mm.jj) 23.02.20 ÉCHELLE Scale
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TITRE DU DESSIN Drawing Title

PARKING LEVEL 1 & 2

RÉVISION Revision NO. DESSIN Dwg Number
SPA-03

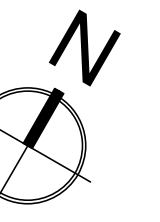
LEGEND OF SYMBOLS	
	PROPERTY LINE
	SET BACK LINE
	FENCE



GROUND FLOOR
1:200

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GJALA
613 286 5130 gjo@gjala.com

Civil Civil
McIntosh Perry
613 714 6174 r.froil@mcintoshperry.com

ARCHITECTES Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 50e étage, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

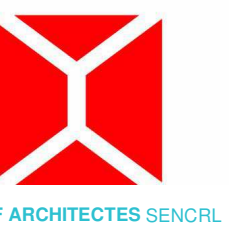
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NEUF

ARCHITECT(E)S



CLIENT / Client

KATASA
69 rue Jean-Proulx, unit 301
Gatineau (Québec) J8Z 1W2

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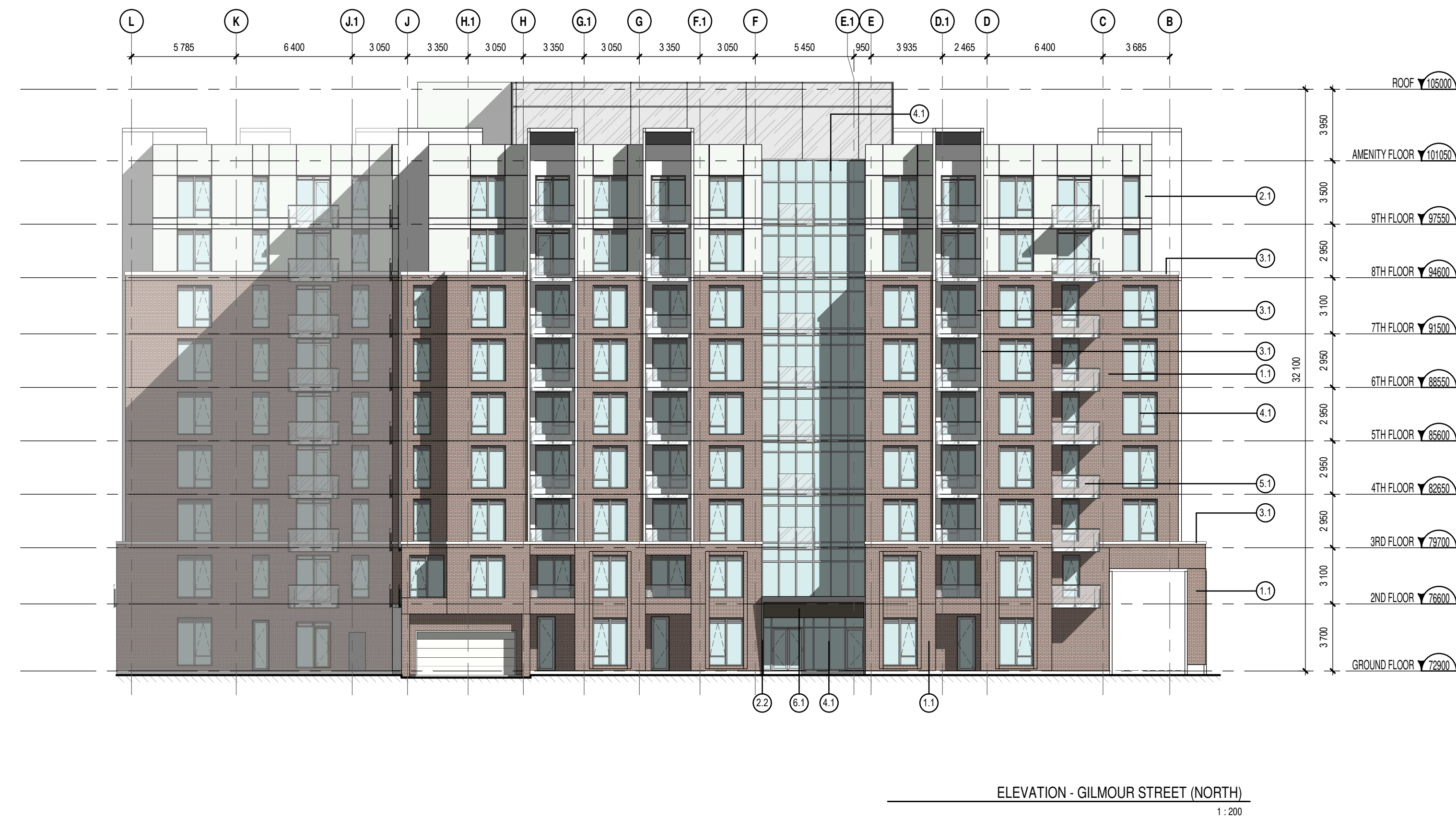
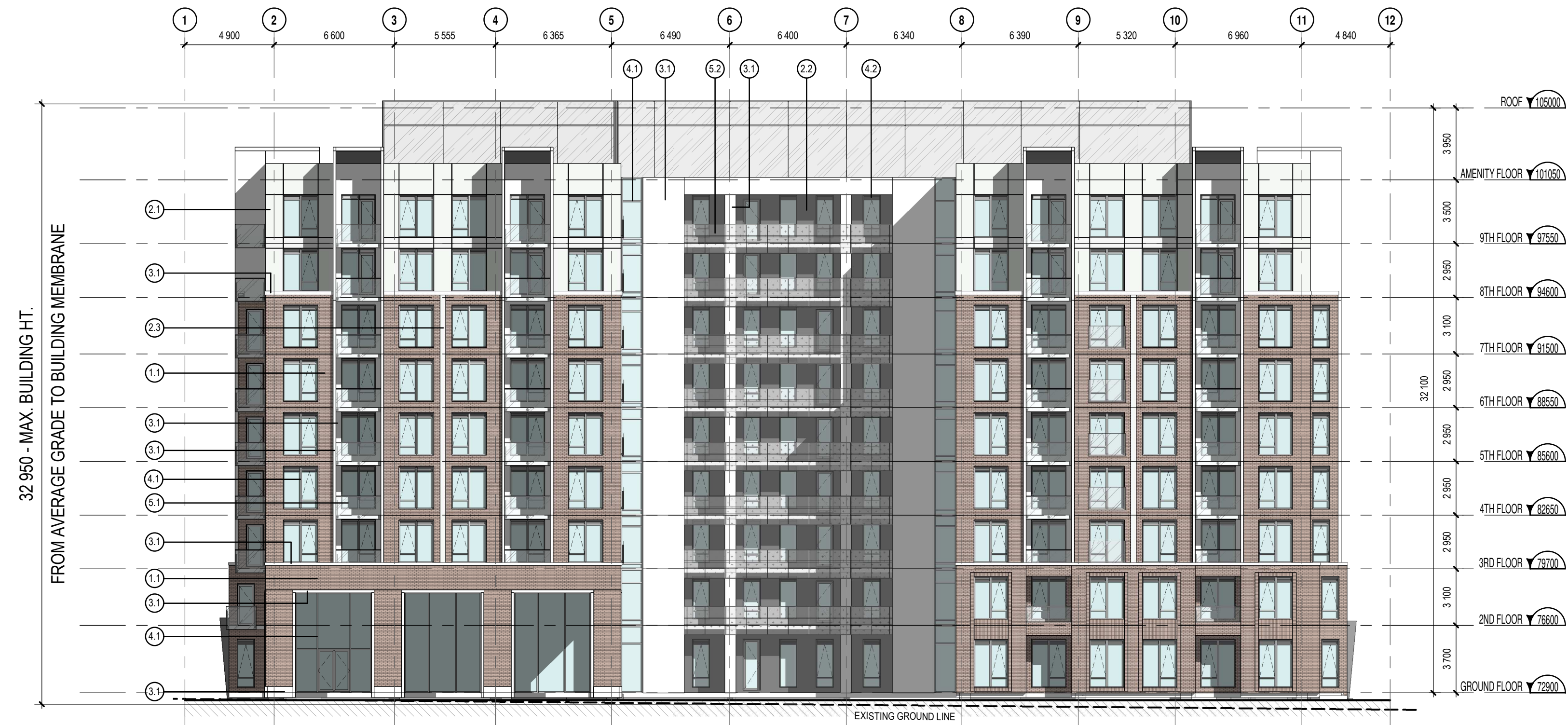
GROUND LEVEL

RÉVISION / Revision
SPA-04

NO. DESSIN / Dwg Number
SPA-04

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EXTERIOR FINISHES LEGEND	
1. MASONRY	
1.1	BRICK PRODUCT TO BE CONFIRMED
2. METAL CLADDING	
2.1	PRE-PANDED ALUMINUM PANEL FINISH: WHITE (COLOR CODE TBC)
2.2	PRE-PANDED ALUMINUM PANEL FINISH: CHARCOAL (COLOR CODE TBC)
2.3	PAINTED STEEL "C" CHANNEL MOLDING FINISH: WHITE
3. CONCRETE	
3.1	PRECAST CONCRETE PANEL FINISH: WHITE
3.2	PAVING ON FOUNDATION FINISH: NATURAL
4. WINDOW, DOORS AND CURTAINS	
4.1	ALUMINUM FRAME FOR WINDOWS, DOORS AND CURTAIN WALLS FINISH: NEUTRAL CLEAR ANODIZED
4.2	ALUMINUM FRAME FOR WINDOWS, DOORS AND CURTAIN WALLS FINISH: CHARCOAL (COLOR CODE TBC)
4.3	GLASS SPANDREL PANEL FINISH: LIGHT GREY
4.4	PAINTED STEEL FRAME AND DOOR FINISH: TO MATCH THE NEUTRAL CLEAR ANODIZED ALUMINIUM
5. RAILINGS AND SCREENS	
5.1	BALCONY RAILING, TYPE 1 FINISH: NEUTRAL CLEAR ANODIZED ALUMINUM FRAME AND PATTERNED GLASS
5.2	BALCONY RAILING, TYPE 2 FINISH: PRE-PANDED WHITE ALUMINUM FRAME AND PATTERNED GLASS
6. WOOD PANEL	
6.1	WOOD PANEL, TYPE 1 FINISH: WHITE BIRCH
6.2	WOOD PANEL, TYPE 2 FINISH: DARK WALNUT



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Fotenn

613 730 5709 black@fotenn.com

ARCHITECTURE DE PAYSAGE Landscape Architect

GJALA

613 286 5130 gino@gjala.com

CIVIL Civil

McIntosh Perry

613 714 6174 r.finn@mcintoshperry.com

ARCHITECTES Architect

NEUF architecte(s) SENCRL

630, boul. René-Lévesque O. 52e étage, Montréal QC H3B 1S6

T 514 847 1117 NEUFarchitectes.com

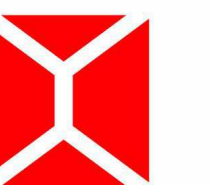
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2023-02-22

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NEUF ARCHITECTES SENCRL

CLIENT Client

KATASA

69 rue Jean-Proulx, unit 301

Gatineau (Québec) J8Z 1W2

OUVRAGE Project

381 KENT STREET

EMPLACEMENT Location

OTTAWA

NO PROJET No.

12399

NO RÉVISION

01 SITE PLAN CONTROL

DATE (aa-mm-jj)

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23.02.20

TITRE DU DESSIN Drawing Title

ELEVATIONS

VÉRIFIÉ PAR Checked

HG

ÉCHELLE Scale

As indicated

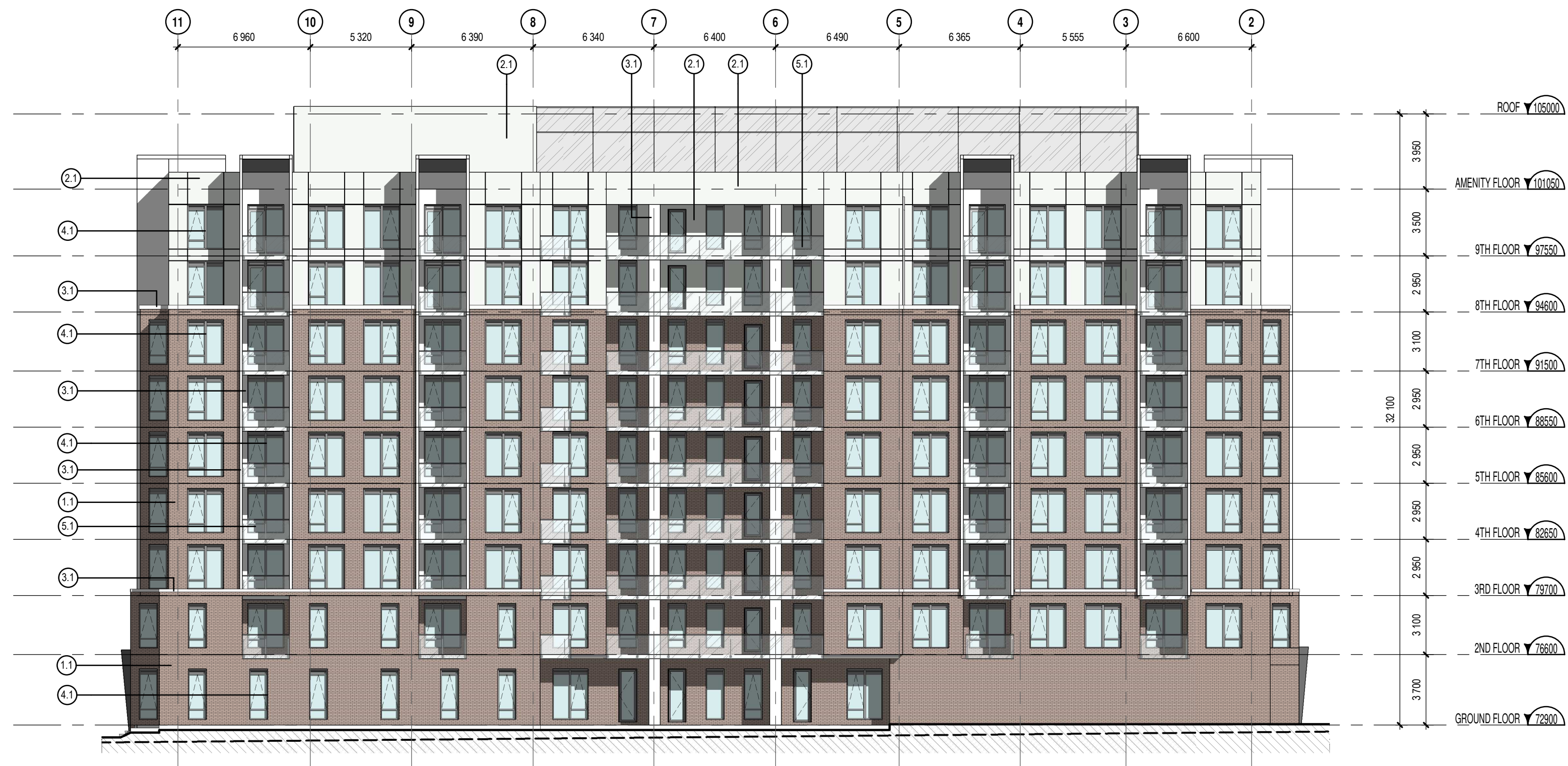
RÉVISION Revision

NO. DESSIN Dwg Number

SPA-05

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EXTERIOR FINISHES LEGEND	
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ELEVATION (EAST)
1 : 200



ELEVATION - JAMES STREET (SOUTH)
1 : 200

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Fotenn

613 730 5709 - fbac@fotenn.com

ARCHITECTURE DE PAYSAGE / Landscape Architect

GJALA

613 286 5130 - gino@gjala.com

CIVIL / Civil

McIntosh Perry

613 714 6174 - r.finn@mcintoshperry.com

ARCHITECTES / Architect

NEUF architecte(s) SENCRL

630, St-J. René-Lévesque O. 500 Étages, Montréal QC H3B 1S6

T 514 847 1117 - NEUFarchitectes.com

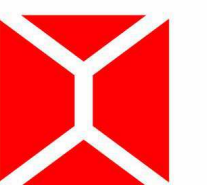
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NEUF ARCHITECTES SENCRL

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KATASA

69 rue Jean-Proulx, unit 301

Caumont (Québec) J3Z 1W2

OUVRAGE / Project

381 KENT STREET

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OTTAWA

NO PROJET / No.

12399

NO RÉVISION

01 SITE PLAN CONTROL

DATE (aa-mm-ii)

23-02-20

DESSINÉ PAR / Drawn by

MM

VÉRIFIÉ PAR / Checked

HG

DATE (aa.mm.ii)

23.02.20

ÉCHELLE / Scale

As indicated

TITRE DU DESSIN / Drawing Title

ELEVATIONS

RÉVISION / Revision

NO. DESSIN / Dwg Number

SPA-06