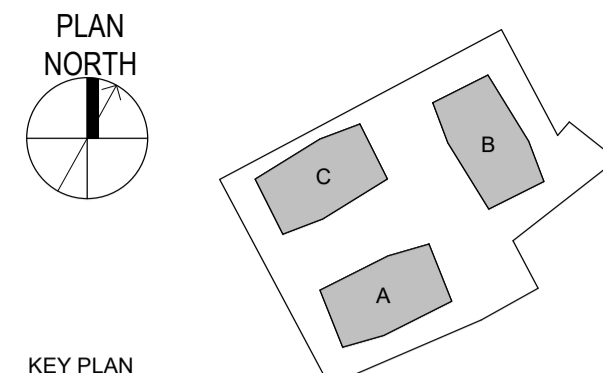
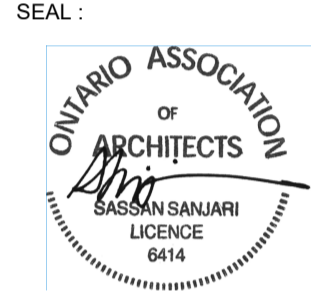


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A003	SURVEY PLAN
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REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

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PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
 COVER PAGE

PROJECT NUMBER :
2211080
 DRAWING SCALE :

DRAWN BY : CA	CHECKED BY : SS	DATE: 02/13/23
SHEET NO : A000	REV : 2	

265 CENTRUM BOULEVARD SITE PLAN AGREEMENT

265 CENTRUM BOULEVARD
 OTTAWA, ON
 K1E 3X7

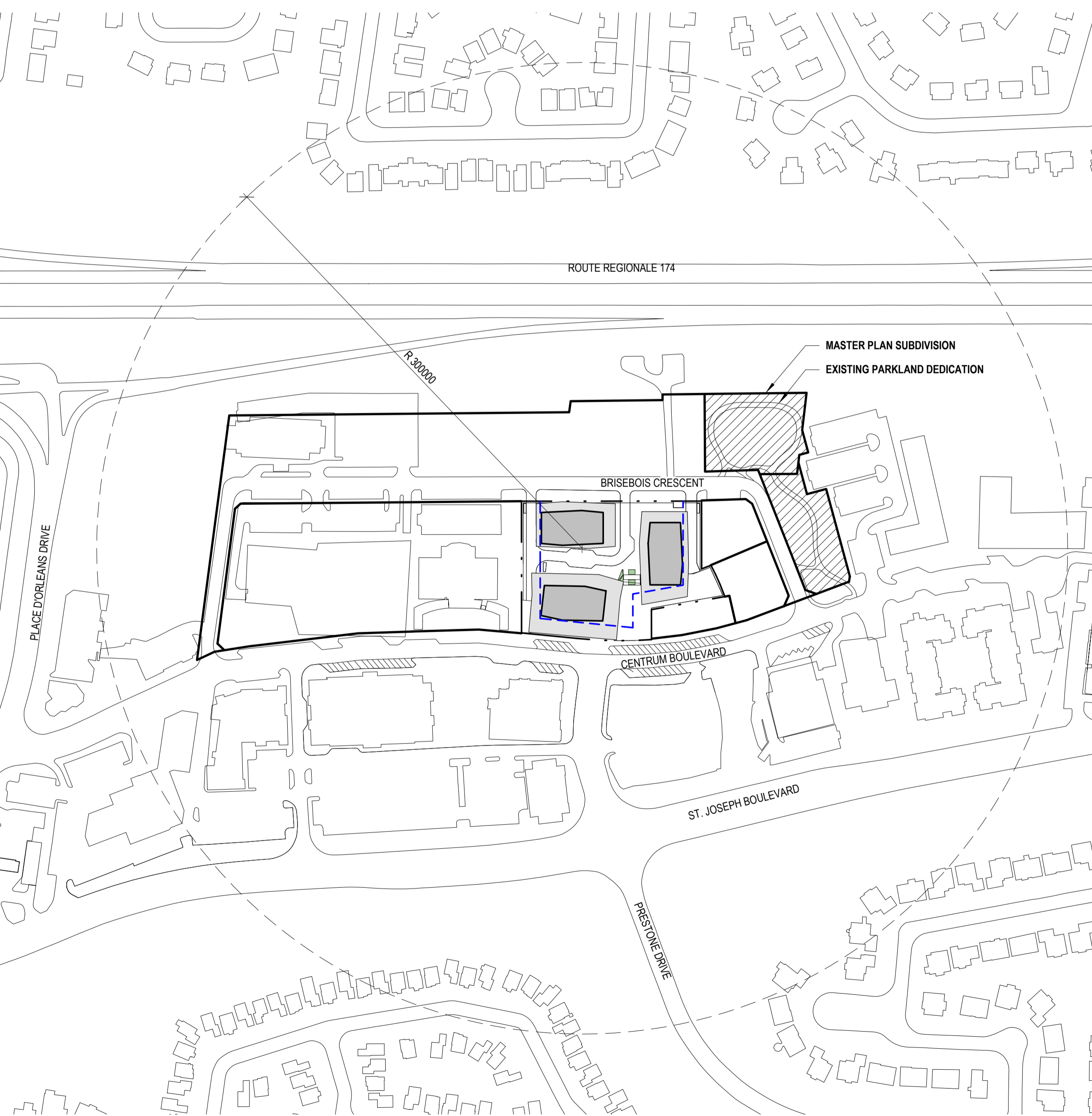
ISSUED FOR: SPA REVISION #1

DATE: MAY 2024

UNIT BREAKDOWN					
	TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	TOTAL	PERCENTAGE
1 BEDROOM	45	43	54	142	13%
1 BED + DEN	172	160	206	538	48%
2 BEDROOM	56	53	72	181	16%
2 BED + DEN	66	54	74	194	17%
3 BEDROOM	21	14	20	55	5%
TOWNHOUSE (3B)	3	5	9	17	2%
TOTAL	363	329	435	1127	100%

UNIT SIZE INFROMATION							
	1 BEDROOM	1 BED + DEN	2 BEDROOM	2 BED + DEN	3 BEDROOM	TOWNHOUSE (3B)	TOTAL
MINIMUM SIZE	37 m ²	40 m ²	54 m ²	60 m ²	89 m ²	80 m ²	37 m ²
MAXIMUM SIZE	45 m ²	72 m ²	60 m ²	115 m ²	130 m ²	177 m ²	177 m ²
AVERAGE SIZE	43 m ²	49 m ²	58 m ²	69 m ²	96 m ²	117 m ²	72 m ²
TOTAL AREA	6050 m ²	26472 m ²	10560 m ²	12414 m ²	5258 m ²	1991 m ²	62745 m ² *

*UNIT AREA IS MEASURED TO CENTRELINE OF INTERIOR WALLS



1 CONTEXT PLAN
1 : 2000

265 CENTRUM BLVD PROJECT STATISTICS - SITE PLAN AGREEMENT

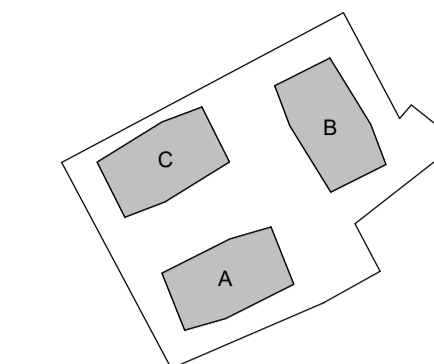
SITE AREA	8995 m ²						
FLOOR SPACE INDEX	7.55		NO MAXIMUM REQUIRED				
MIN LOT AREA/WIDTH	REQUIRED	NO MINIMUM					
	PROPOSED COVERAGE	4065 m ²	45%				
PROGRAM	PROPOSED RESIDENTIAL PROPOSED COMMERCIAL - RETAIL PROPOSED COMMERCIAL - OFFICE						
GROSS FLOOR AREA (SEE NOTE 1)		TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)			TOTAL
	RESIDENTIAL	20303 m ²	18739 m ²	25072 m ²			64114 m ²
	RETAIL	833 m ²	0 m ²	0 m ²			833 m ²
	OFFICE	2933 m ²	0 m ²	0 m ²			2933 m ²
	TOTAL	21136 m ²	18739 m ²	25072 m ²			67880 m ²
GROSS CONSTRUCTION AREA		TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	PARKING	TOTAL	
	FLOOR PLATE SIZE	33314 m ²	24707 m ²	31875 m ²	19481 m ²	109378 m ²	
	TYPICAL TOWER LEVEL	771 m ²	787 m ²	771 m ²			
NO. OF DWELLING UNITS		1 BEDROOM	1 BED + DEN	2 BEDROOM	2 BED + DEN	3 BEDROOM	TOWNHOUSE (3B) TOTAL
	# OF UNITS	142	538	181	194	55	17 1127
	% OF TOTAL	13%	48%	16%	17%	5%	2% 100%
	AVG UNIT SIZE	43 m ²	49 m ²	58 m ²	69 m ²	96 m ²	117 m ² 72 m ²
MAX. BUILDING HEIGHT *Measured from Lower Grade at Brisebois		TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)			
	STOREYS	35	30	40			
	HEIGHT	119.0 m	104.0 m	134.0 m			
SETBACKS		TOWERS				PODIUM	
		NORTH	EAST	SOUTH	WEST	FRONT/CORNER	INTERIOR SIDE REAR YARD
LANDSCAPE AREA	REQUIRED	0.0 m	11.5 m	0.0 m	11.5 m	0.0 m	0.0 m
	PROVIDED	4.0 m	11.5 m	10.0 m	11.5 m	0.0 m	5.0 m 0.0 m
RESIDENTIAL AMENITY SPACE (INTERIOR & EXTERIOR)	RATE/UNIT			TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	SHARED SITE TOTAL
	6 m ²	# OF UNITS		363	329	435	
	REQUIRED			2178 m ²	1974 m ²	2610 m ²	6762 m ²
	BALCONY (MAX 50% OF REQ'D)			1089 m ²	987 m ²	1305 m ²	3381 m ²
	COMMUNAL			1089 m ²	987 m ²	1305 m ²	3381 m ²
	PROVIDED						26208 m ²
	BALCONY			5828 m ²	5204 m ²	6929 m ²	17961 m ²
INTERIOR COMMUNAL			793 m ²	351 m ²	620 m ²	1764 m ²	
EXTERIOR COMMUNAL			749 m ²	451 m ²	654 m ²	505 m ² 2360 m ²	
TOTAL COMMUNAL			1542 m ²	803 m ²	1274 m ²	505 m ² 4124 m ²	
OFF-STREET LOADING		2		1	1	4	
BICYCLE PARKING	USE	RATE/UNIT	TOWER A (CENTRUM)	TOWER B (PARK)	TOWER C (BRISEBOIS)	TOTAL	
	RESIDENT	1	363	329	435	1127	
	RES VISITOR	5% OF RES	18	16	22	56	
	COMMERCIAL	1/250m ²	15	0	0	15	
	TOTAL REQUIRED					1198	
	RESIDENT (INTERIOR - SECURE)					1184	
COMMERCIAL/VISITOR (EXTERIOR)					72		
TOTAL PROVIDED					1256		
VEHICULAR PARKING *Within the area shown as Area Z on Schedule 1A, no off-street motor vehicle parking is required to be provided under this section. (By-law 2016-249)		RATE/UNIT	UNITS	REQUIRED	PROVIDED		
	RETAIL	0 /100m ²	833 m ²	0	0		
	OFFICE	2.3 /100m ²	3033 m ²	70	70		
	RESIDENTIAL	0 /UNIT	1127 UNITS	0	356		
	VISITOR	30 /BLDG	3 BLDGS	90	90		
	TOTAL			160	516		
ACCESSIBLE PARKING (SEE NOTE 2)		RATE	TOTAL SPACES REQUIRED		PROVIDED		
	RESIDENTIAL	1%	356	4	20		
	NON-RESIDENTIAL	1%	160	2	2		
	TOTAL	11+1%		16	22		

NOTE 1: GFA DEFINITION
Gross floor area means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:
1. floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326)
2. common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings; (By-law 2008-326) (By-law 2017-302)
3. bicycle parking; motor vehicle parking or loading facilities;
4. common laundry, storage and washroom facilities that serve the building or tenants;
5. common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
6. common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
7. living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

GLA DEFINITION:
Gross leasable floor area means the total floor area designed for tenant occupancy and exclusive use, measured from the interiors of outside walls excluding floor area occupied by party walls and excluding:
1. floor area occupied by mechanical, service and electrical equipment that serve the building;
2. hallways, corridors, stairwells, elevator shafts and other voids; steps and landings;
3. pedestrian malls serving as a common area between stores;
4. administration or management offices;
5. bicycle parking; motor vehicle parking or loading facilities;
6. common washroom facilities that serve the building or tenants;
7. storage areas that are accessory to the principal use of the building; and
8. living quarters for a caretaker of the building. (superficie brute de location)

NOTE 2: NO ZONING BYLAW REQUIREMENT AT OTTAWA, RATE SHOWN BASED ON REQUIREMENT IN MISSISSAUGA, AND IS A PLACEHOLDER FOR FURTHER CONFIRMATION

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
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2	24-05-28	ISSUED FOR SPA REVISIONS

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OWNER:

BAYVIEW GROUP

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T/(416)-597-6368

PROJECT:

CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS:

**CONTEXT PLAN & SITE
STATISTICS**

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 2000

DRAWN BY: **Author** CHECKED BY: **Checker** DATE: **02/16/23**

SHEET NO: **A001** REV: **2**

GROSS CONSTRUCTION AREA

*GROSS CONSTRUCTION AREA DEFINITION:
MEASURED TO EXTERIOR FACE OF BUILDINGS, INCLUDING ALL VERTICAL SHAFTS, CIRCULATION, AND MULTI-STOREY SPACES.

A0_GCA_PARKING	
D	Area
LEVEL P3	5557.14 m ²
LEVEL P2	5557.14 m ²
LEVEL P1	8367.14 m ²
Grand total: 3	19481.43 m ²

TOWER A (Gross Construction Area)	
Level	Area

LEVEL 02 A	823.76 m ²
LEVEL 03 A	1782.63 m ²
LEVEL 04 A	1785.67 m ²
LEVEL 05A	1785.87 m ²
LEVEL 06 A	773.83 m ²
LEVEL 07 A	1031.70 m ²
LEVEL 08 A	771.23 m ²
LEVEL 09 A	771.23 m ²
LEVEL 10 A	771.23 m ²
LEVEL 11 A	771.23 m ²
LEVEL 12 A	771.23 m ²
LEVEL 13 A	771.23 m ²
LEVEL 14 A	771.23 m ²
LEVEL 15 A	771.23 m ²
LEVEL 16 A	771.23 m ²
LEVEL 17 A	771.23 m ²
LEVEL 18 A	771.23 m ²
LEVEL 19 A	771.23 m ²
LEVEL 20 A	771.23 m ²
LEVEL 21 A	771.23 m ²
LEVEL 22 A	771.23 m ²
LEVEL 23 A	771.23 m ²
LEVEL 24 A	771.23 m ²
LEVEL 25 A	771.23 m ²
LEVEL 26 A	771.23 m ²
LEVEL 27 A	726.01 m ²
LEVEL 28 A	726.01 m ²
LEVEL 29 A	771.23 m ²
LEVEL 30 A	771.23 m ²
LEVEL 31 A	771.23 m ²
LEVEL 32 A	771.23 m ²
LEVEL 33 A	771.23 m ²
LEVEL 34 A	771.23 m ²
LEVEL 35 A	771.23 m ²
LEVEL MECH. A	358.85 m ²
LOWER GRADE AT BRISEBOIS	1860.82 m ²
TOWNHOUSE 2ND FL	1623.31 m ²
Grand total: 37	33330.32 m ²

TOWER B (Gross Construction Area)	
Level	Area

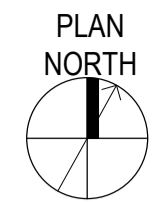
LEVEL 01 B	827.99 m ²
LEVEL 02 B	1225.15 m ²
LEVEL 03 B	1129.71 m ²
LEVEL 04 B	741.31 m ²
LEVEL 05 B	787.33 m ²
LEVEL 06 B	787.33 m ²
LEVEL 07 B	787.33 m ²
LEVEL 08 B	787.33 m ²
LEVEL 09 B	787.33 m ²
LEVEL 10 B	787.33 m ²
LEVEL 11 B	787.33 m ²
LEVEL 12 B	787.33 m ²
LEVEL 13 B	787.33 m ²
LEVEL 14 B	787.33 m ²
LEVEL 15 B	787.33 m ²
LEVEL 16 B	787.33 m ²
LEVEL 17 B	787.33 m ²
LEVEL 18 B	787.33 m ²
LEVEL 19 B	787.33 m ²
LEVEL 20 B	787.33 m ²
LEVEL 21 B	741.31 m ²
LEVEL 22 B	741.31 m ²
LEVEL 23 B	787.33 m ²
LEVEL 24 B	787.33 m ²
LEVEL 25 B	787.33 m ²
LEVEL 26 B	787.33 m ²
LEVEL 27 B	787.33 m ²
LEVEL 28 B	787.33 m ²
LEVEL 29 B	787.33 m ²
LEVEL 30 B	787.33 m ²
LEVEL MECH. B	400.44 m ²
Grand total: 31	24703.13 m ²

TOWER C (Gross Construction Area)	
Level	Area

LEVEL 01 C	1126.63 m ²
LEVEL 02 C	863.96 m ²
LEVEL 03 C	1126.63 m ²
LEVEL 04 C	726.66 m ²
LEVEL 05 C	771.04 m ²
LEVEL 06 C	771.04 m ²
LEVEL 07 C	771.04 m ²
LEVEL 08 C	771.04 m ²
LEVEL 09 C	771.04 m ²
LEVEL 10 C	771.04 m ²
LEVEL 11 C	771.04 m ²
LEVEL 12 C	771.04 m ²
LEVEL 13 C	771.04 m ²
LEVEL 14 C	771.04 m ²
LEVEL 15 C	726.66 m ²
LEVEL 16 C	726.66 m ²
LEVEL 17 C	771.04 m ²
LEVEL 18 C	771.04 m ²
LEVEL 19 C	771.04 m ²
LEVEL 20 C	771.04 m ²
LEVEL 21 C	771.04 m ²
LEVEL 22 C	771.04 m ²
LEVEL 23 C	771.04 m ²
LEVEL 24 C	771.04 m ²
LEVEL 25 C	771.04 m ²
LEVEL 26 C	771.04 m ²
LEVEL 27 C	771.04 m ²
LEVEL 28 C	771.04 m ²
LEVEL 29 C	771.04 m ²
LEVEL 30 C	771.04 m ²
LEVEL 31 C	771.04 m ²
LEVEL 32 C	771.04 m ²
LEVEL 33 C	771.04 m ²
LEVEL 34 C	771.04 m ²
LEVEL 35 C	771.04 m ²
LEVEL 36 C	771.04 m ²
LEVEL 37 C	771.04 m ²
LEVEL 38 C	771.04 m ²
LEVEL 39 C	771.04 m ²
LEVEL 40 C	771.04 m ²
LEVEL MECH. C	362.46 m ²
Grand total: 41	31875.18 m ²

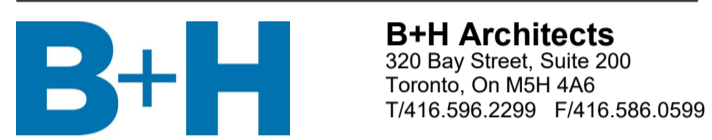
265 CENTRUM BLVD ROOF AREAS								
SITE AREA		8995 m ²						
GFA		67880 m ²						
ROOF AREAS		CENTRUM		PARK		BRISEBOIS		TOTAL
	TRADITIONAL ROOF	TOWER A	PODIUM A	TOWER B	PODIUM B	TOWER C	PODIUM C	
	GREEN ROOF	1368 m ²	174 m ²	1365 m ²	52 m ²	1343 m ²	0 m ²	4301 m ²
	OUTDOOR AMENITY SPACE	0 m ²	134 m ²	0 m ²	394 m ²	0 m ²	0 m ²	528 m ²
	COMMUNAL ROOF AREA	0 m ²	749 m ²	0 m ²	509 m ²	0 m ²	627 m ²	1885 m ²
RESIDENTIAL PRIVATE TERRACES	2425 m ²		2320 m ²		1970 m ²		6715 m ²	
COVERAGE OF AVAILABLE ROOF SURFACE (m ²)	5840 m ²		5202 m ²		6761 m ²		11963 m ²	
COVERAGE OF AVAILABLE ROOF SURFACE (%)	134 m ²		394 m ²		0 m ²		528 m ²	
	5.53%		16.98%		0.00%		7.86%	

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CENTRUM

265 CENTRUM BLVD
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SHEET CONTENTS :
SITE STATISTICS

PROJECT NUMBER :
2211080
DRAWING SCALE :

DRAWN BY :
Author

CHECKED BY :
Checker

DATE:
03/09/23

SHEET NO :
A002

REV :
2

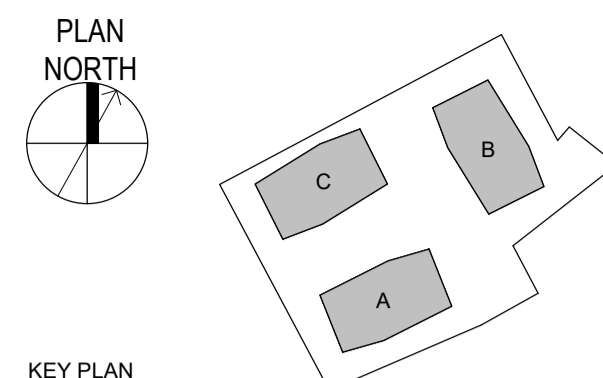
LOADING REQUIREMENTS			
USE	AREA	REQUIRED	PROVIDED
NON-RESIDENTIAL	833 m ²	1	1
RESIDENTIAL	UNITS	REQUIRED	PROVIDED
TOWER A (CENTRUM)	798	1	1
TOWER B (PARK)	#REF!	1	1
TOWER C (BRISEBOIS)		1	1
TOTAL		4	4

GARBAGE REQUIREMENTS					
	# OF UNITS	SIZE OF BIN	REQUIRED	RECOMMENDED	PROVIDED
TOWER A (CENTRUM)	363		-	-	159 m ²
GARBAGE		3y ³	-	-	4
PAPER/CARDBOARD RECYCLING		3y ³	-	-	3
CANS/BOTTLES RECYCLING		3y ³	-	-	2
ORGANICS		64 gallon	-	-	6
TOWER 1 ADDITIONAL * TH ADDITIONAL *	3		-	-	24 m ² 12 m ²
TOWER B (PARK)	329		-	-	112 m ²
GARBAGE		3y ³	-	-	3
PAPER/CARDBOARD RECYCLING		3y ³	-	-	2
CANS/BOTTLES RECYCLING		3y ³	-	-	1
ORGANICS		64 gallon	-	-	6
TOWER 2 ADDITIONAL * TH ADDITIONAL *	5		-	-	25 m ² 12 m ²
TOWER C (BRISEBOIS)	435		-	-	112 m ²
GARBAGE		3y ³	-	-	4
PAPER/CARDBOARD RECYCLING		3y ³	-	-	3
CANS/BOTTLES RECYCLING		3y ³	-	-	2
ORGANICS		64 gallon	-	-	7
TOWER 2 ADDITIONAL * TH ADDITIONAL *	9		-	-	25 m ² 12 m ²
COMMERICAL	1		-	-	
GARBAGE		3y ³	-	-	
PAPER/CARDBOARD RECYCLING		3y ³	-	-	
CANS/BOTTLES RECYCLING		3y ³	-	-	
ORGANICS		64 gallon	-	-	
ADDITIONAL**			-	-	

*MANDATORY ADDITIONAL SPACE REQUIRED IN GARBAGE ROOM FOR OVERSIZED FURNITURE, LARGE STANDARD GARBAGE/RECYCLING THAT DOESN'T FIT DOWN CHUTES, BATTERIES, ELECTRONIC WASTE, AND TEXTILES. RECOMMENDED TO HAVE ADDITIONAL SPACE TO ACCOMMODATE FLOURESCENT LAMPS.

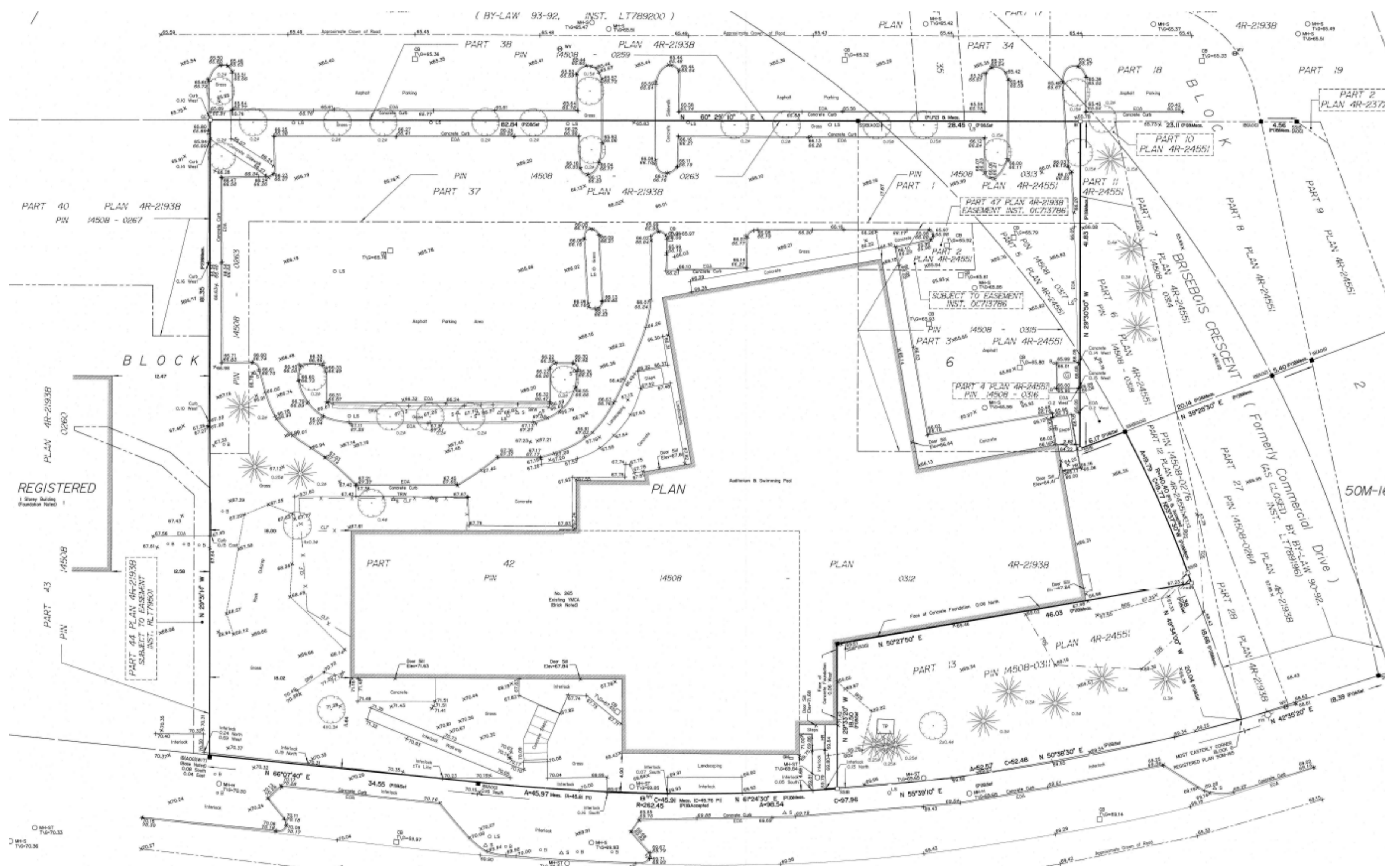
**MANDATORY ADDITIONAL SPACE REQUIRED IN GARBAGE ROOM FOR COOKING OIL IN CASE TENANT IS RESTAURANT USE OR CHANGES TO RESTAURANT USE IN THE FUTURE. RECOMMENDED TO HAVE ADDITIONAL SPACE TO ACCOMMODATE FLOURESCENT LAMPS, BATTERIES AND ELECTRONIC WASTE.

***RETAIL GARBAGE ROOM IS TO BE DESIGNED BY TENANT AND LOCATED WITHIN RETAIL LEASING SPACE



KEY PLAN

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2	24-05-28	ISSUED FOR SPA REVISIONS



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- This survey and plan are correct and in accordance with the Survey Act and the Surveyors Act and the regulations made under them.
- The survey was completed on the 26th day of November, 2021.

Date: Nov 27/21
T. Hartwick
Ontario Land Surveyor

Notes & Legend

- Survey Monument Planted
- Survey Monument Found
- Standard Iron Bar
- Short Standard Iron Bar
- Short Standard Iron Bar (0.30 Long)
- Iron Bar
- Witness
- Measured
- Archie O'Sullivan, Volunteer Ltd
- Plan AR-24551
- Plan AR-21938
- Deciduous Tree
- Coniferous Tree
- Fire Hydrant
- Water Valve
- Water Stand Post
- Maintenance Hole (Storm Sewer)
- Maintenance Hole (Sanitary)
- Maintenance Hole (Hydro)
- Maintenance Hole (Underdrift)
- Valve Chamber (Watermain)
- Catch Basin
- Hydro Transformer on Concrete Pad
- Bottom of Slope
- Top of Slope
- Chain Link Fence
- Handrail
- Chimney
- Location of Elevations
- Top of Concrete Curb/Wall Elevation
- Stone Retaining Wall
- Trench Retaining Wall
- Centreline
- Property Line
- Light Standard
- Sign
- Edge of Asphalt
- Top of Grate
- Ballast Container
- Stolard

SITE AREA = 8995 m²

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99996.

Bearings are grid, derived from Can-Nat 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919600104 and 019196434751, MTM Zone 9 (78°30' West Longitude) NAD-83 (original).

ELEVATION NOTES

- Elevations shown are geoidic and are referred to the CGVD2013 geoidic datum and are derived from City of Ottawa Monument 001196530205 having a published elevation of 60.38 metres.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.



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OWNER:
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Toronto, M5G 1R3
T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS:
SURVEY PLAN

PROJECT NUMBER:
2211080

DRAWING SCALE:

DRAWN BY: Author	CHECKED BY: Checker	DATE: 02/16/23
SHEET NO: A003	REV: 2	



ARTISTS RENDERING - PARKLAND FROM CENTRUM



ARTISTS RENDERING - ALONG BRISEBOIS



ARTISTS RENDERING - COURTYARD ENTRANCE OFF BRISEBOIS



ARTISTS RENDERING - TOWER A PODIUM FROM CENTRUM



ARTISTS RENDERING - OVERALL VIEW EAST ALONG CENTRUM



KEY PLAN

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PROJECT :
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :
RENDERINGS

PROJECT NUMBER :
2211080

DRAWING SCALE :

DRAWN BY : Author CHECKED BY : Checker DATE: 03/20/23

SHEET NO : **A005** REV : **2**



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
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ARTISTS IMPRESSION - AERIAL VIEW

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PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
 3D VIEWS

PROJECT NUMBER :
2211080

DRAWING SCALE :

DRAWN BY : Author CHECKED BY : Checker DATE: 03/30/23

SHEET NO :

A006

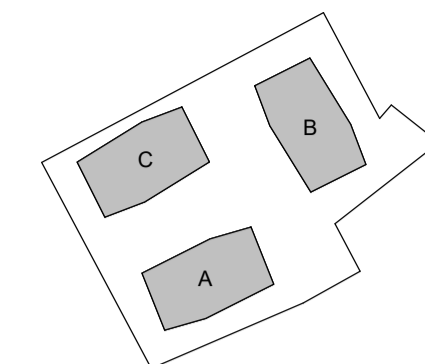
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PART OF BLOCK 6 AND PART OF COMMERCIAL DRIVE
(As Closed by By-Law 90-92, Inst. L7789196) REGISTERED
PLAN 50M-165
CITY OF OTTAWA

NOTES

- TO BE READ IN CONJUNCTION WITH DRAWINGS PREPARED BY SITE SERVING ENGINEER AND LANDSCAPE ARCHITECT. REFER TO SITE SERVICES/GRADING DRAWINGS FOR GRADING INFORMATION AND DRAINAGE.
- FIRE ROUTES SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE OBC REQUIREMENTS; MIN. WIDTH 6m AND MIN. TURNING RADIUS OF 12m; INTERIOR TURNING RADI OF 9m AND OUTSIDE TURNING RADI OF 15m.
- FIRE ROUTES OVER PARKING GARAGE SHALL BE DESIGNED TO SUPPORT THE 500 KPA LOADING REQUIREMENT IDENTIFIED IN NFPA 1901.
- FIRE ROUTES SHALL BE DESIGNED TO SUPPORT EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND MEET THE REQUIREMENTS OF THE CANADIAN HIGHWAY BRIDGE CODE, AND SHALL BE SURFACED IN ORDER TO BE ACCESSIBLE UNDER ALL CLIMATIC CONDITIONS.



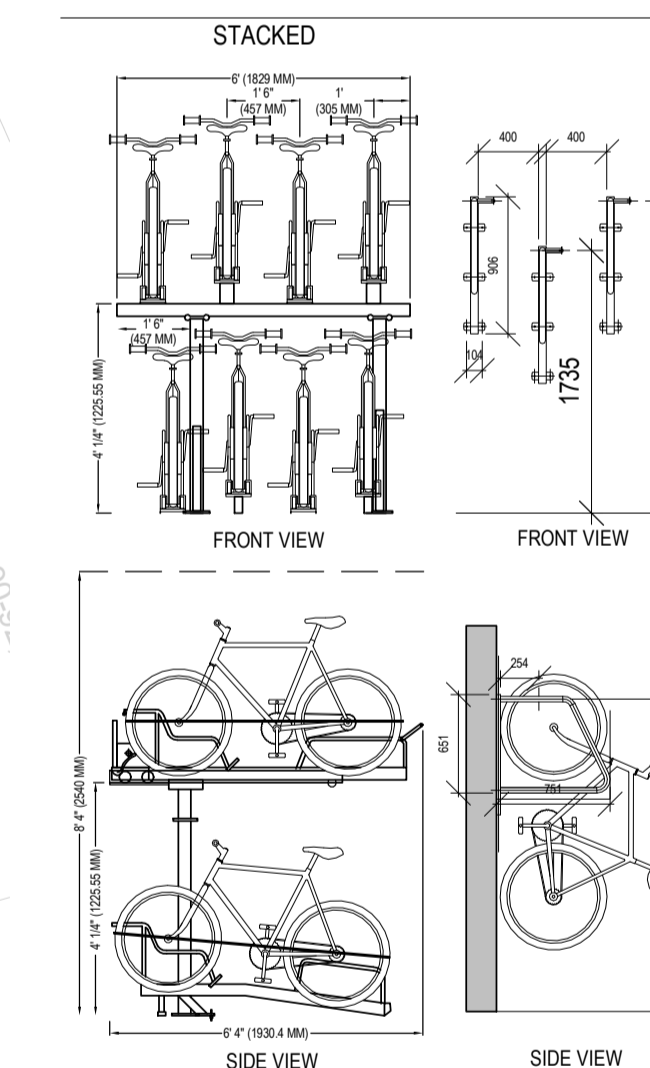
KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
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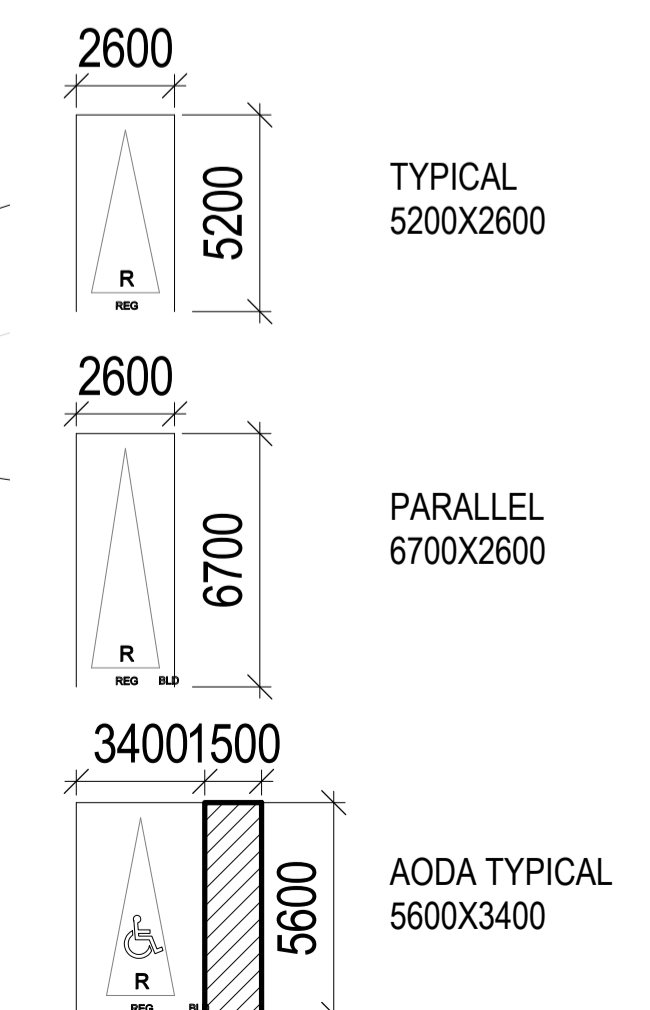
LEGEND

- MAIN PEDESTRIAN ENTRY
- PEDESTRIAN ENTRY
- PEDESTRIAN EGRESS
- VEHICULAR ENTRY
- PROPOSED ELEVATION
- SIAMESE CONNECTION
- FIRE HYDRANT
- LIGHT POST
- CATCH BASIN / MAN-HOLE COVER
- FIRE ACCESS ROUTE
- OUTLINE OF UPPER TOWER FACADE
- OUTLINE OF LOWER TOWER FACADE
- OUTLINE OF PODIUM FACADE

BIKE PARKING DIAGRAMS



PARKING SPACE LEGEND



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PROJECT:

CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS:

SITE PLAN

PROJECT NUMBER:

2211080

DRAWING SCALE:

As indicated

DRAWN BY:

Author

CHECKED BY:

Checker

DATE:

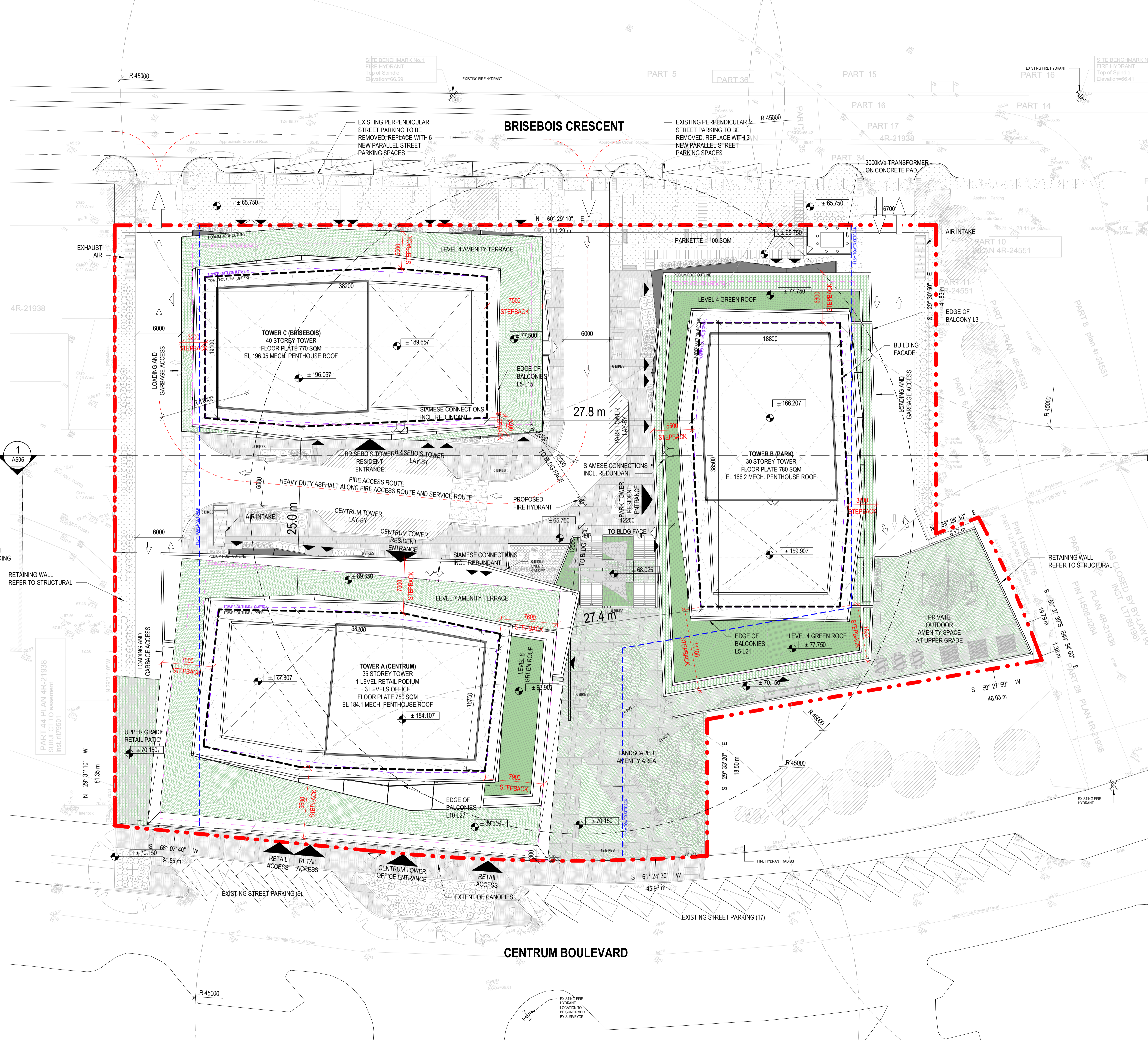
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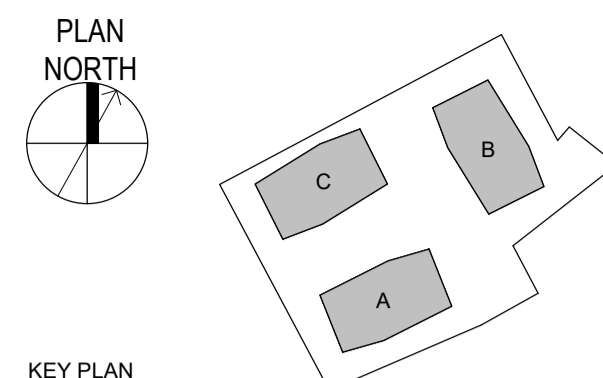
A010

REV:

2



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SITE PLAN
PART 44 PLAN 4R-21938
SUBJECT TO ESCHEAT
INST. M79501



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PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
SHADOW STUDIES - SUMMER

PROJECT NUMBER :
2211080

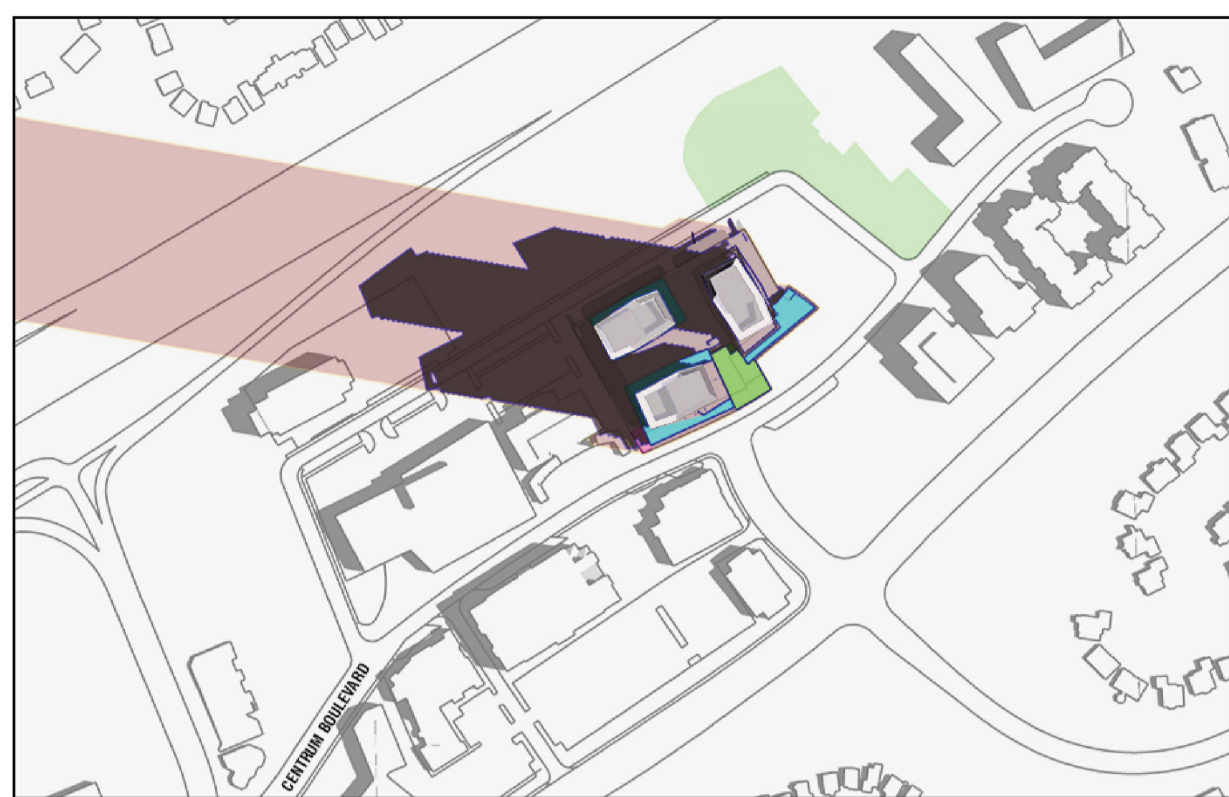
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DRAWN BY : Author
CHECKED BY : Checker
DATE : 02/14/23

SHEET NO : A011
REV : 2



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JUNE 21 9 AM



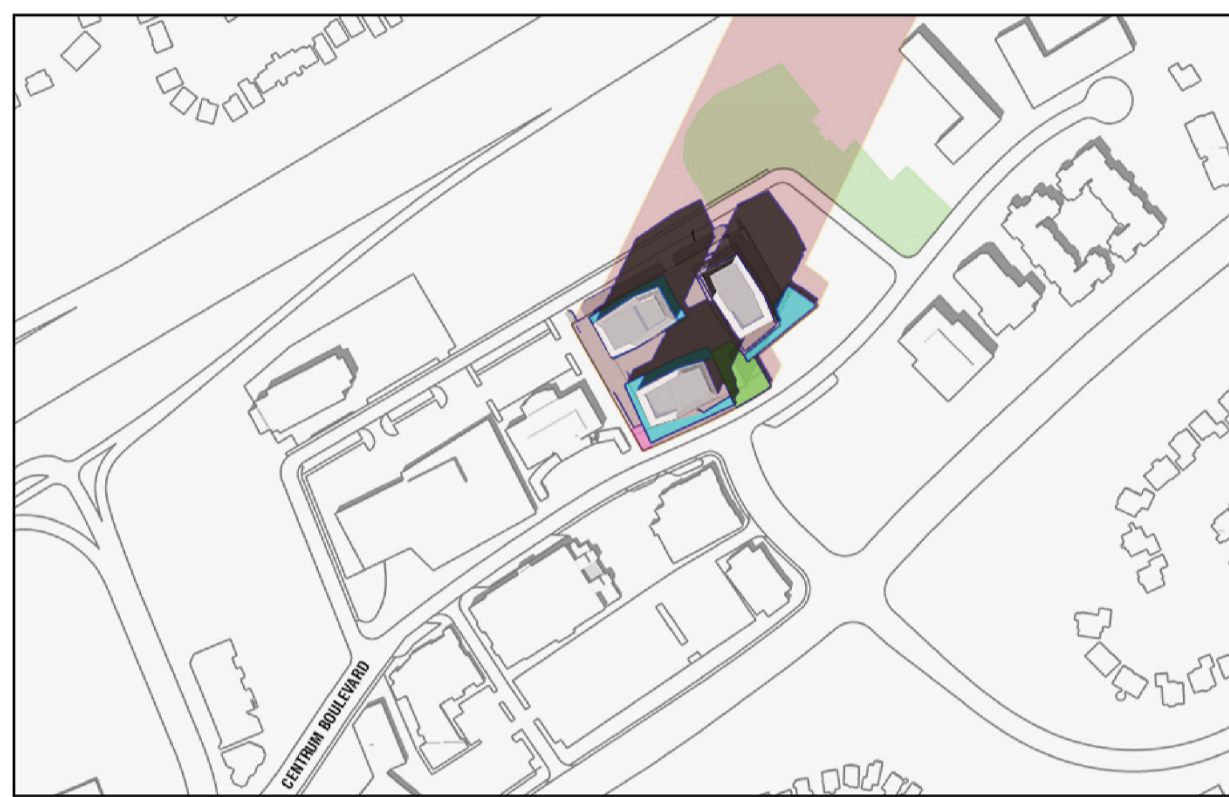
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JUNE 21 11 AM



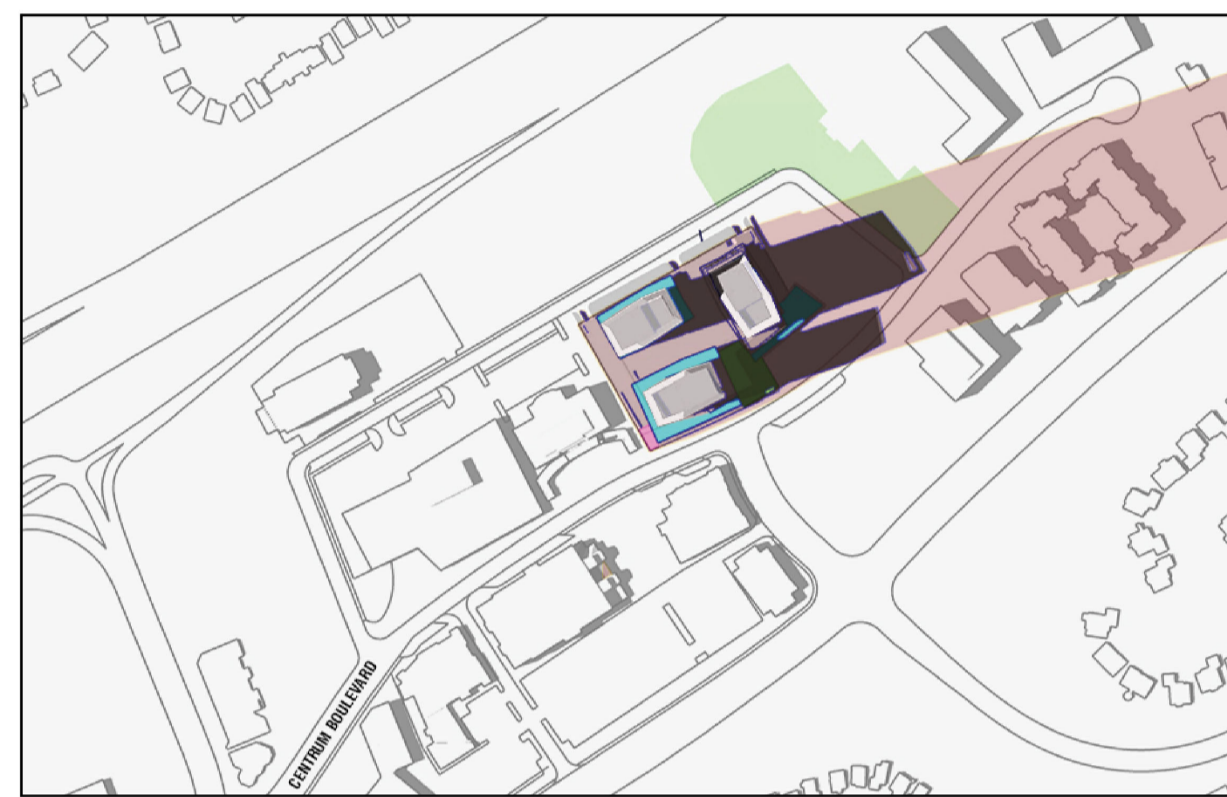
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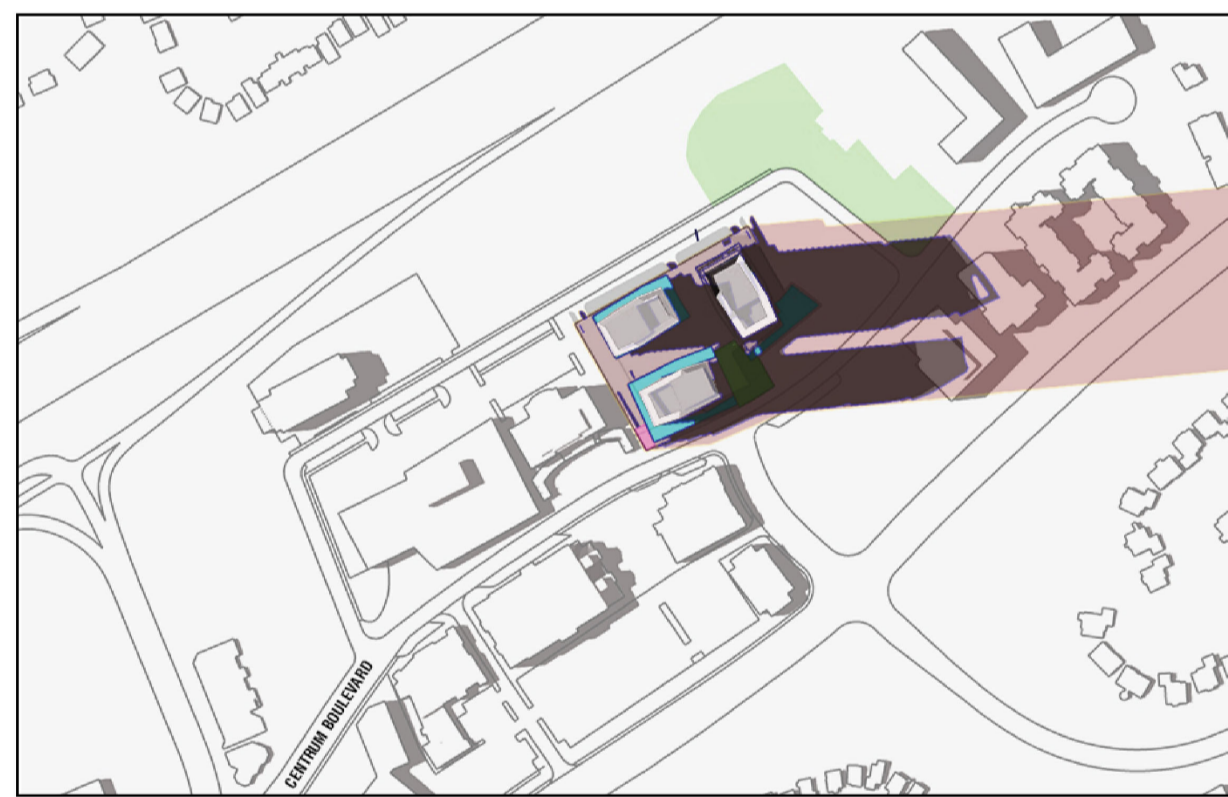
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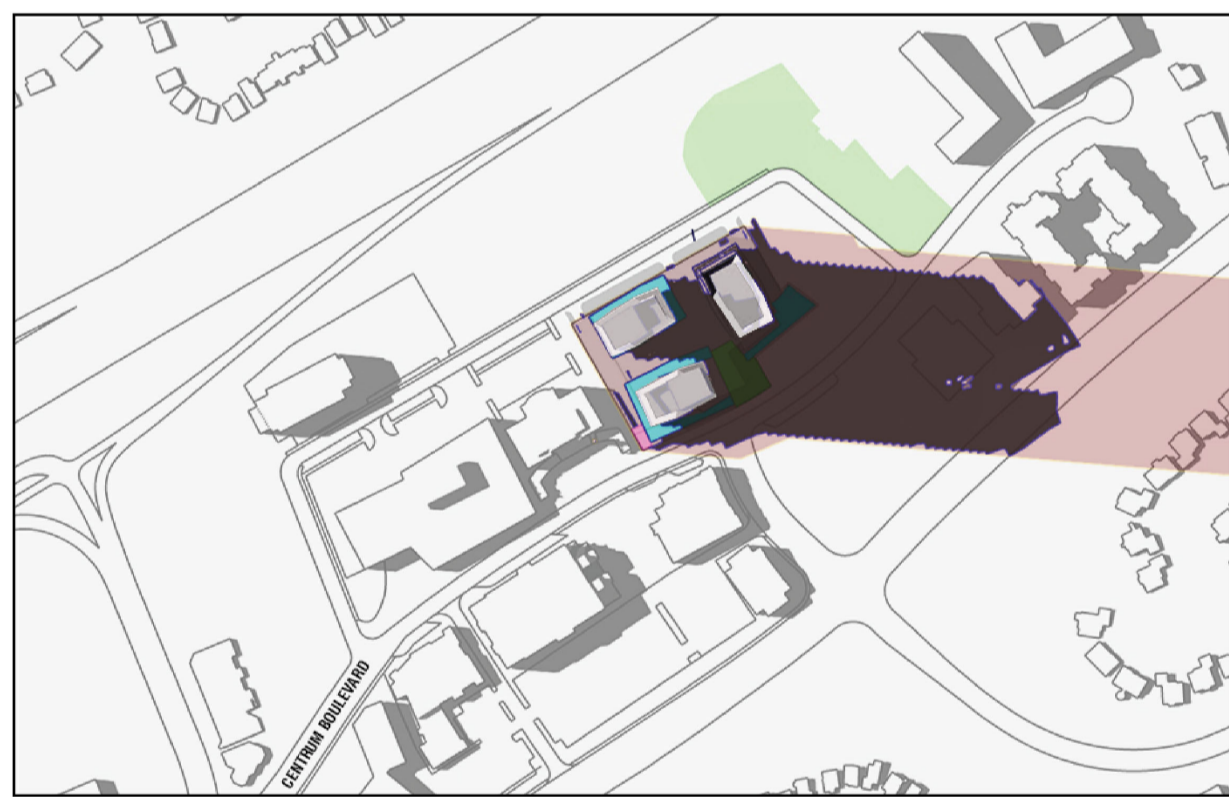
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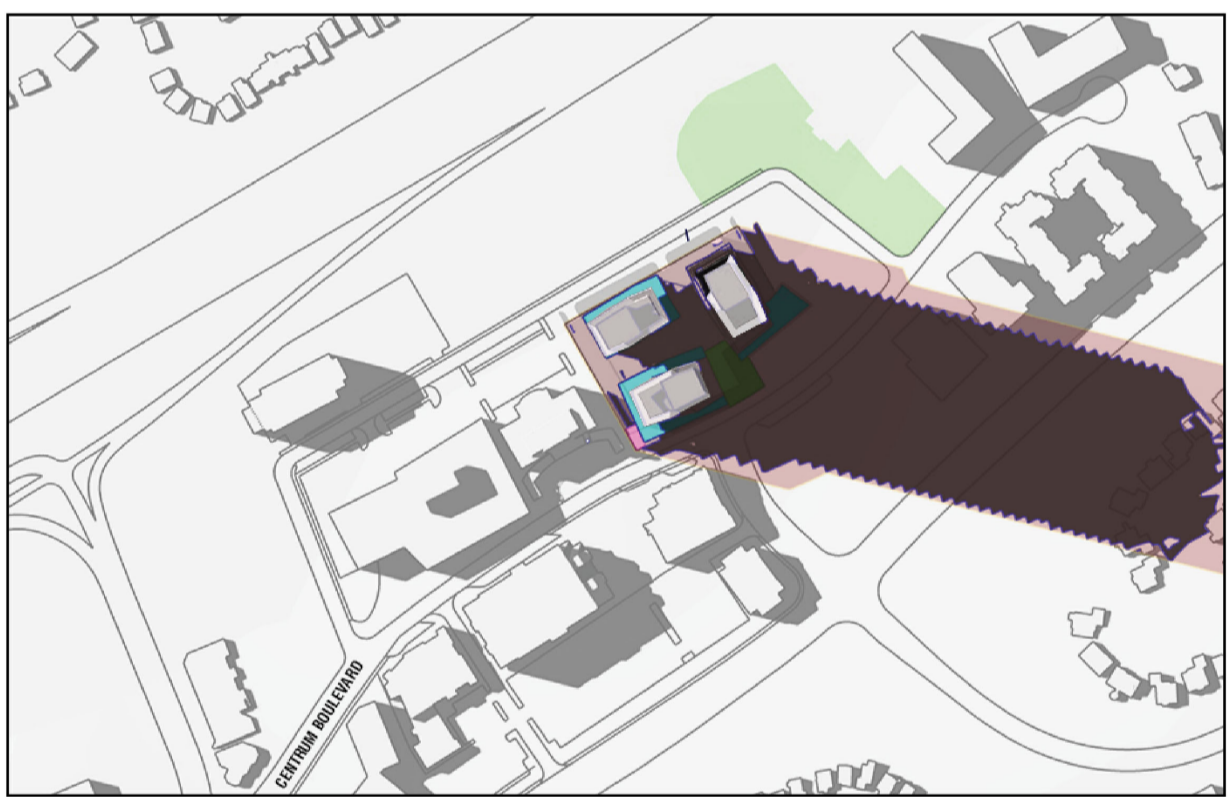
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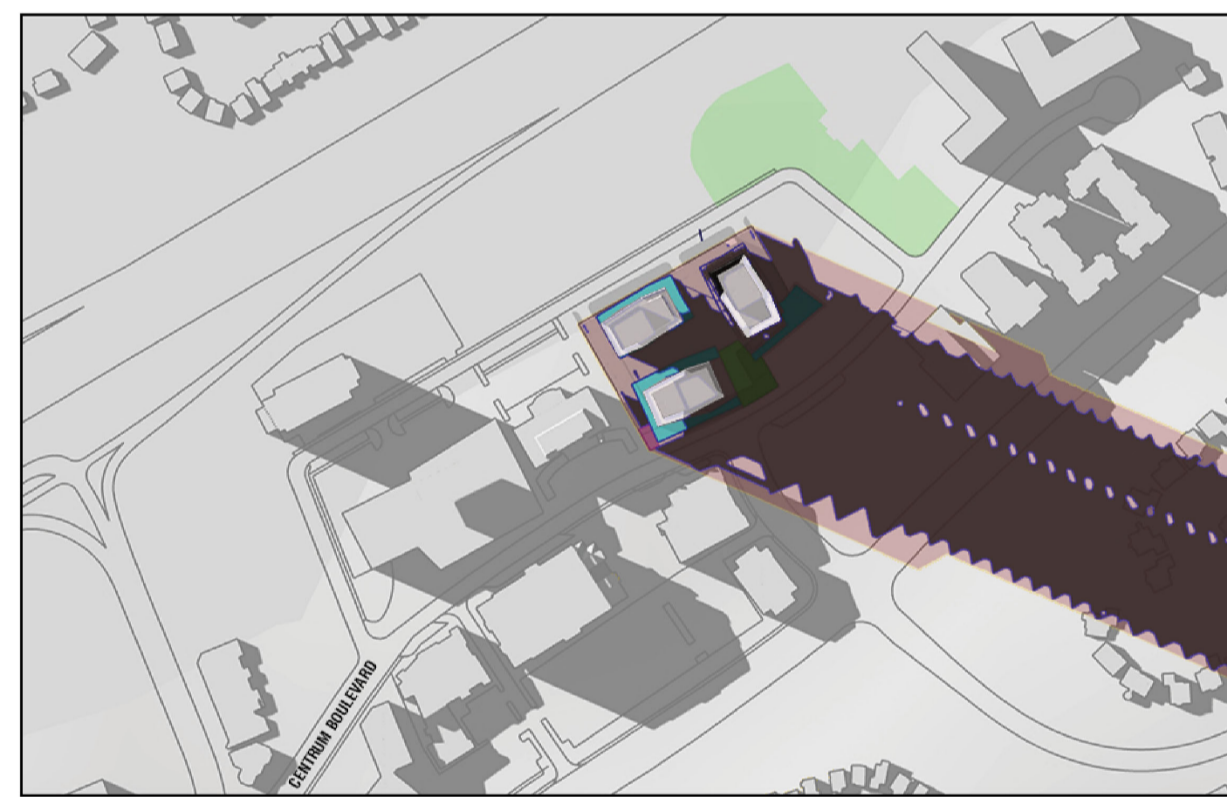
JUNE 21 4 PM



JUNE 21 5 PM



JUNE 21 6 PM



JUNE 21 7 PM



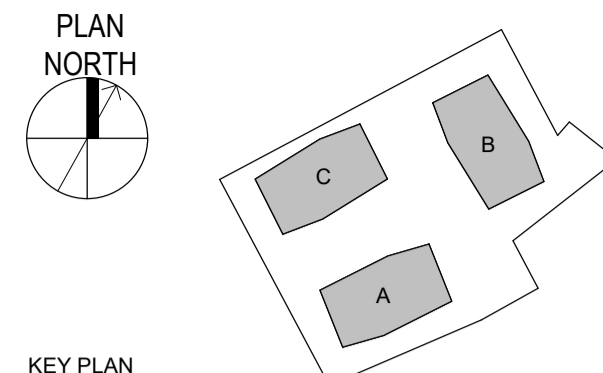
JUNE 21 8 PM

SUN STUDY LEGEND

- EXTRUSION SHADOW FOOTPRINT
- PROPOSED SHADOW FOOTPRINT
- RETAIL PATIO
- PRIVATE COMMUNAL OUTDOOR AMENITY
- PUBLIC PARK (ON SITE)
- PUBLIC PARK



LATITUDE = 45.4812, LONGITUDE = -75.5091



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

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PROJECT :
CENTRUM

265 CENTRUM BLVD
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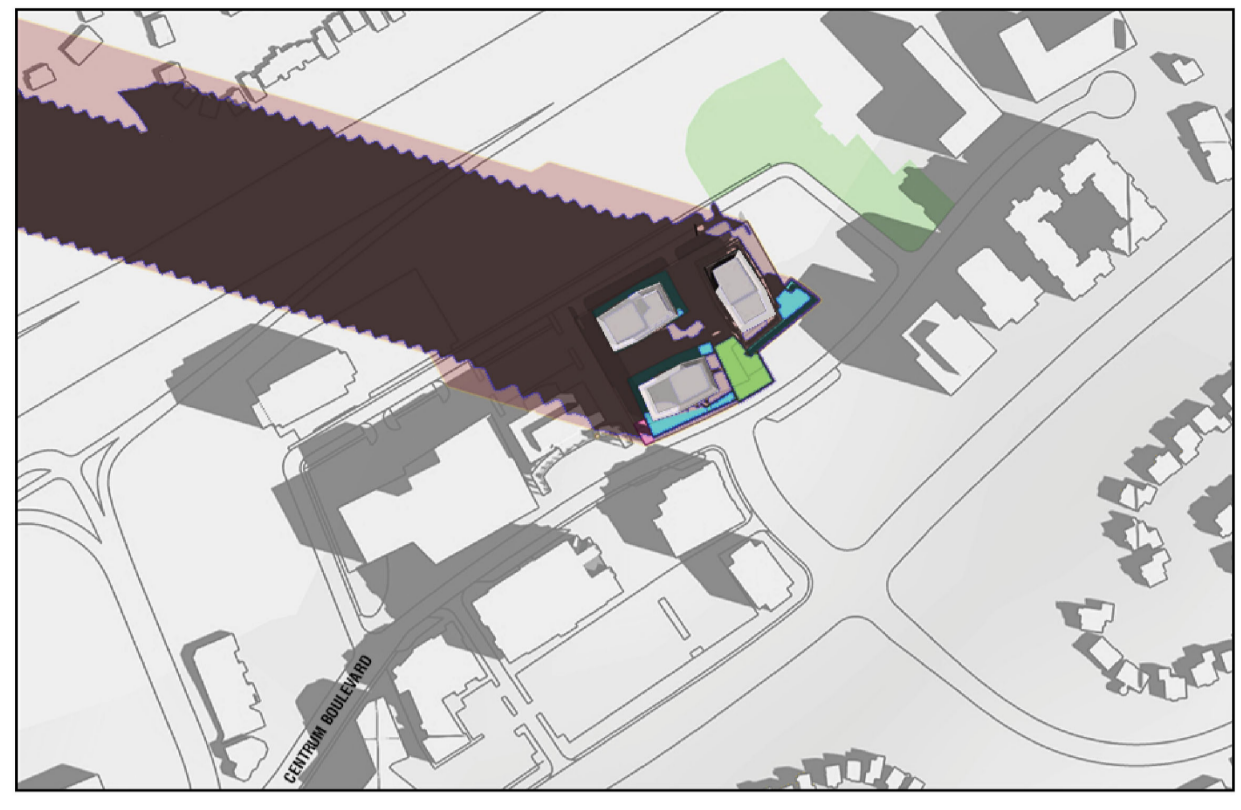
SHEET CONTENTS :
SHADOW STUDIES - EQUINOX

PROJECT NUMBER :
2211080

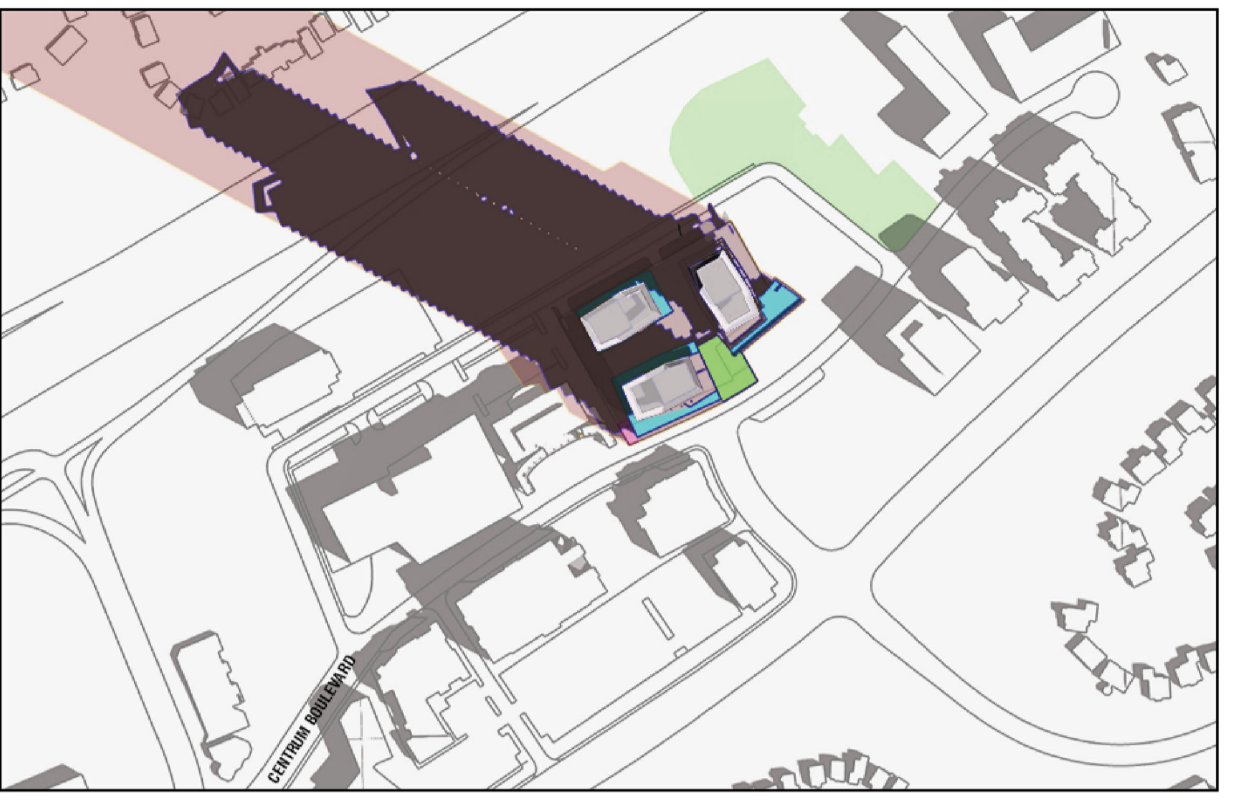
DRAWING SCALE :
As indicated

DRAWN BY : **Author** CHECKED BY : **Checker** DATE : **02/14/23**

SHEET NO : **A012** REV : **2**



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SEPT 21 / MARCH 20 9 AM



SEPT 21 / MARCH 20 10 AM



SEPT 21 / MARCH 20 11 AM



SEPT 21 / MARCH 20 12 PM



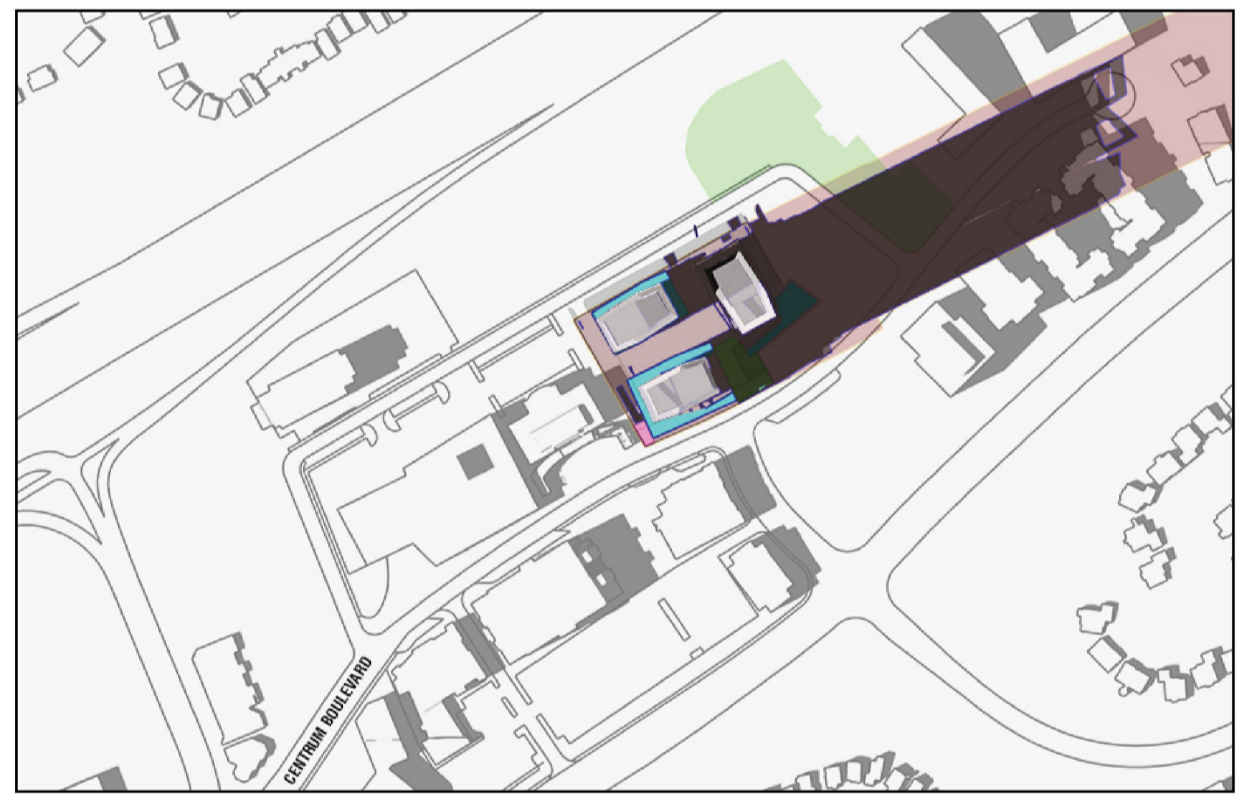
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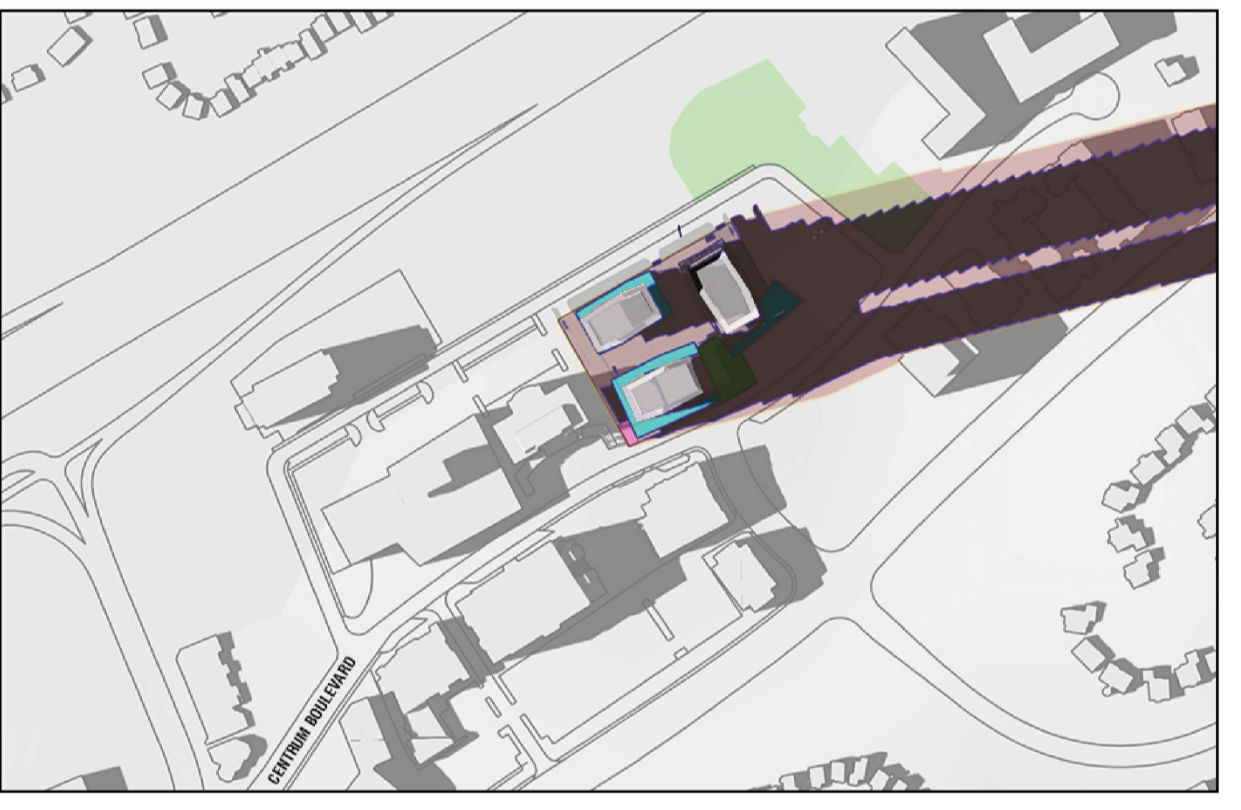
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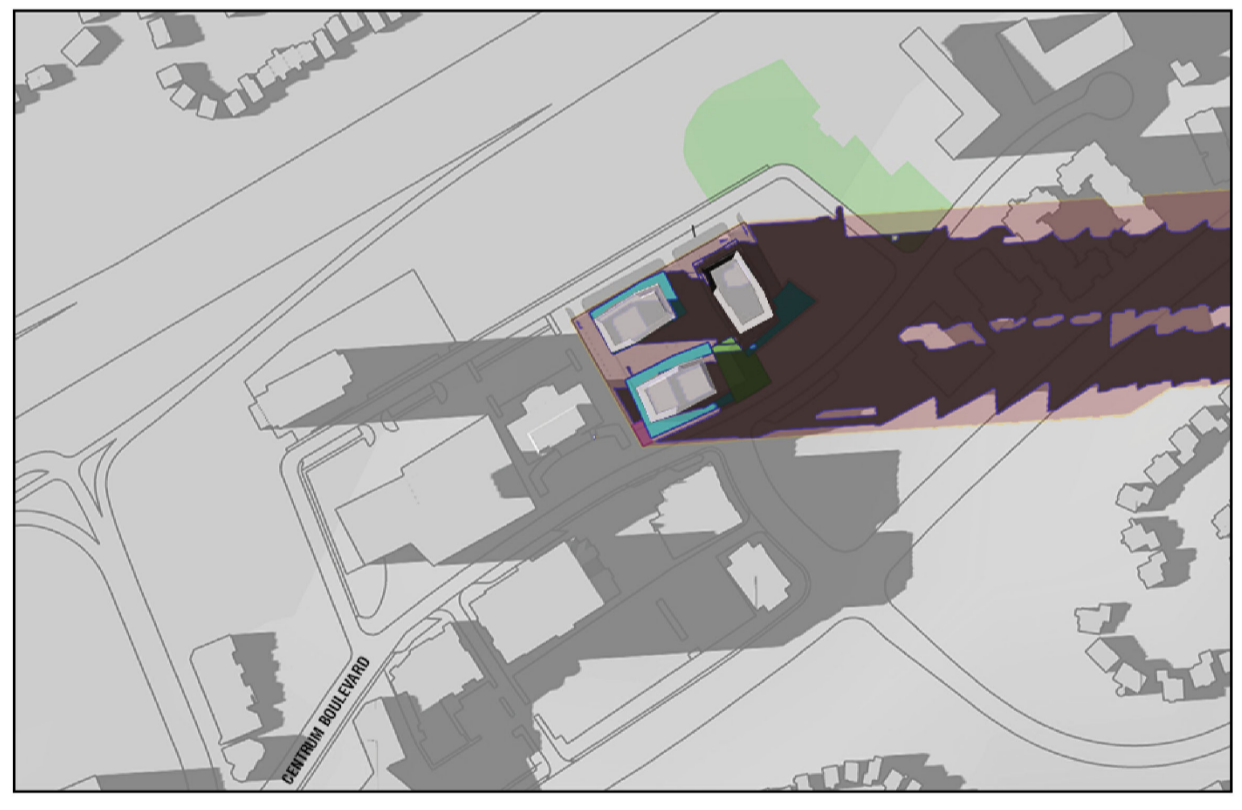
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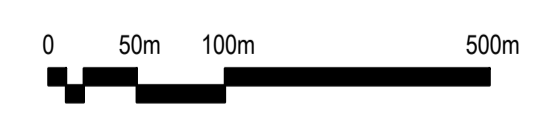
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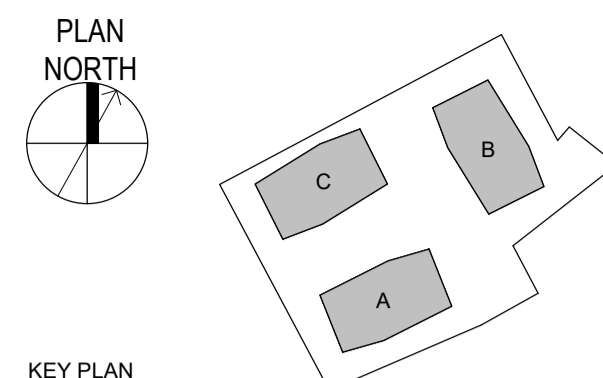
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SUN STUDY LEGEND

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- PROPOSED SHADOW FOOTPRINT
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- PUBLIC PARK

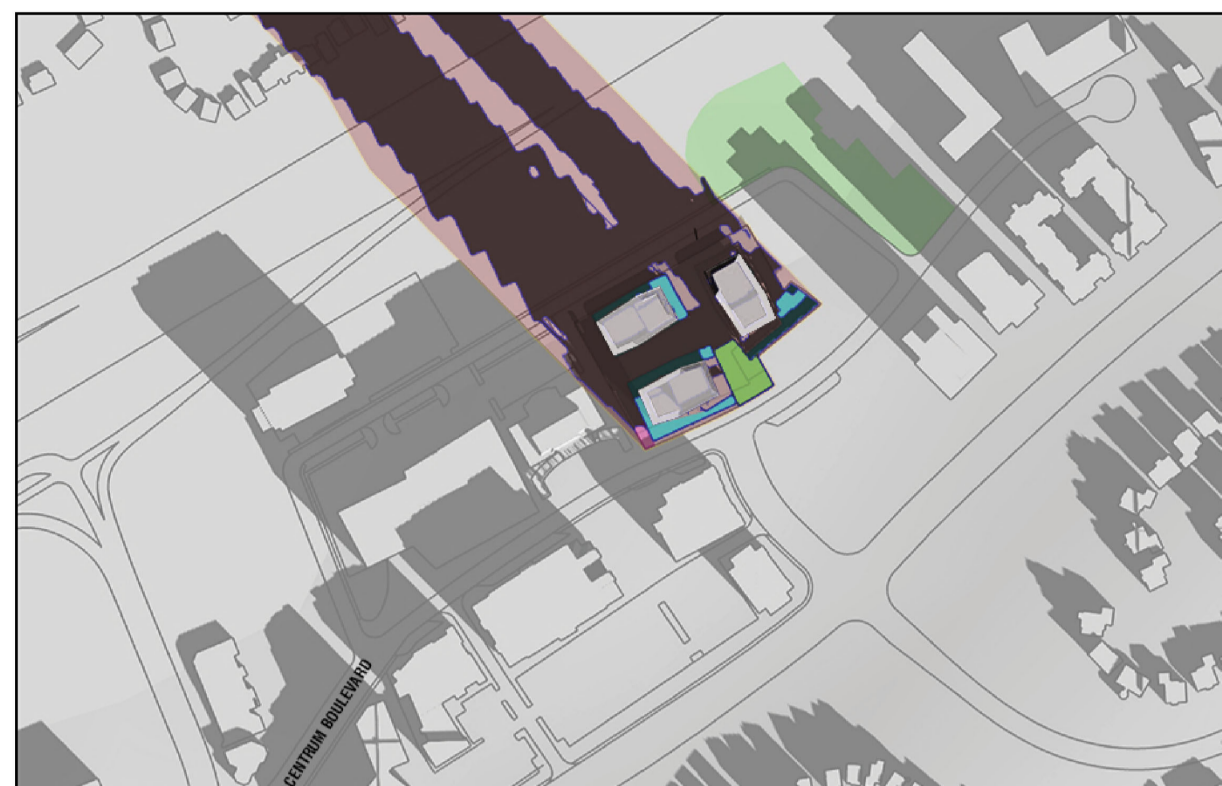


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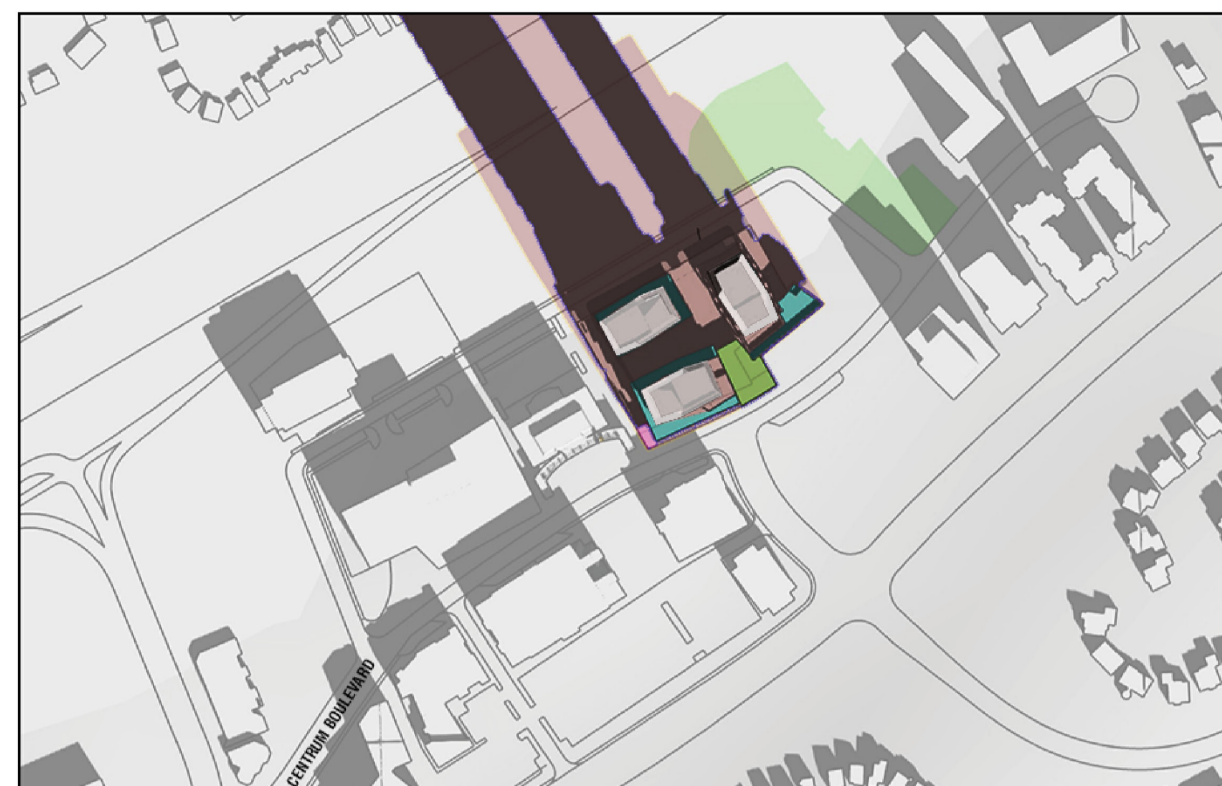


KEY PLAN

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NO.	DATE	DESCRIPTION
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DEC 21 8 AM



DEC 21 9 AM



DEC 21 10 AM



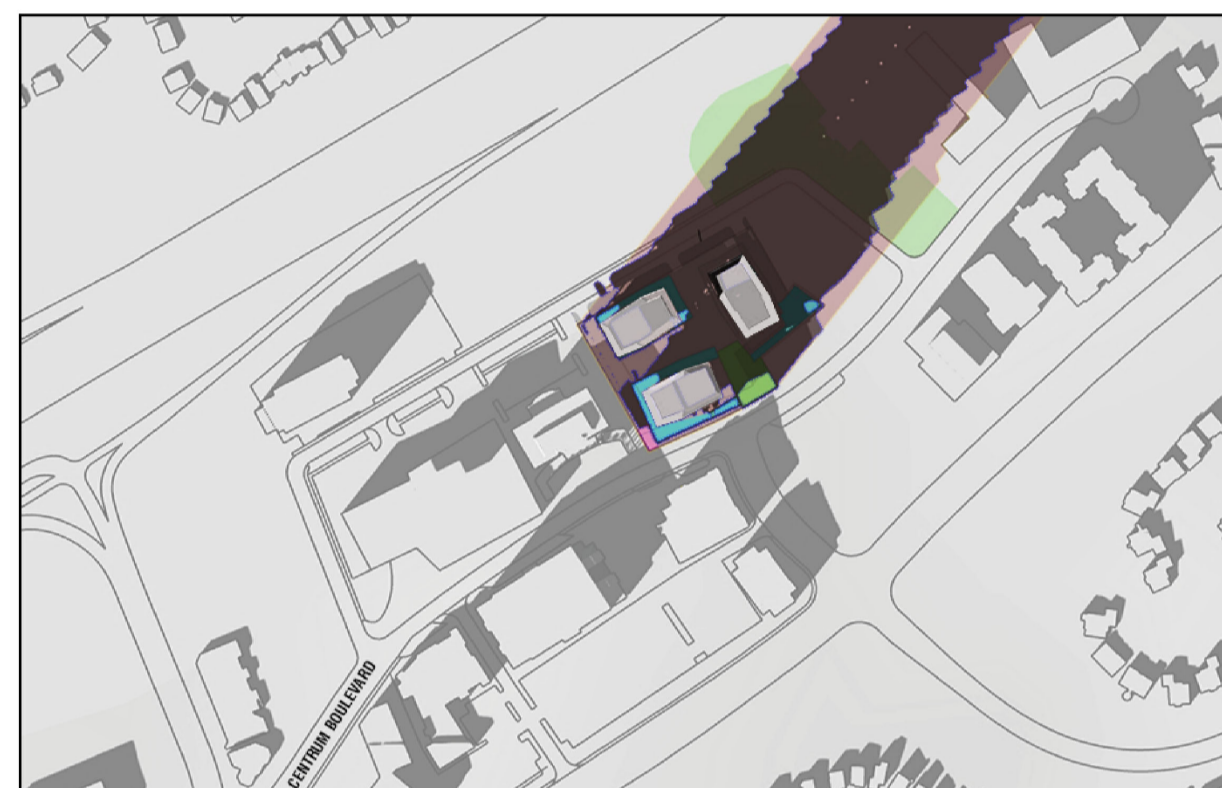
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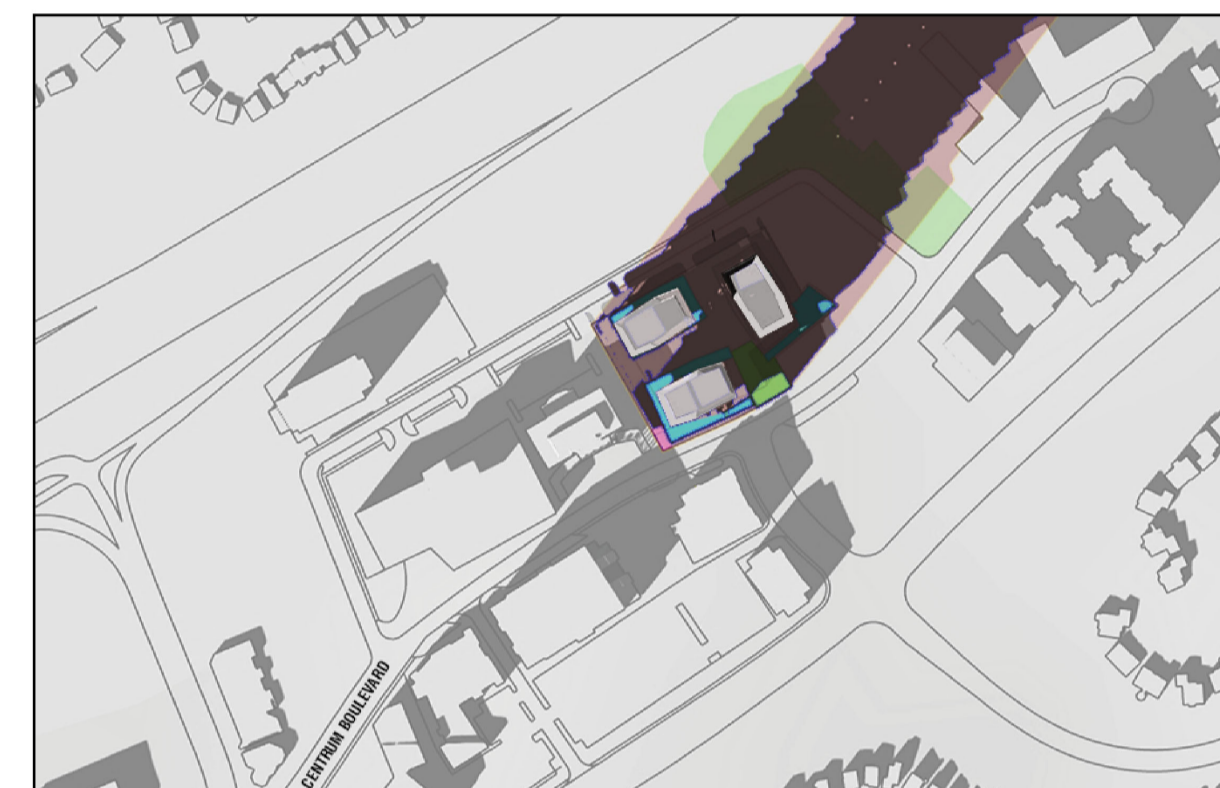
DEC 21 12 PM



DEC 21 1 PM



DEC 21 2 PM



DEC 21 3 PM

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 Nepean K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :
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 T/613-836-2184

PLANNING CONSULTANT :
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 T/613-730-5709

TRAFFIC CONSULTANT :
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 T/343-996-2623

OWNER :

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 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
SHADOW STUDIES - WINTER

PROJECT NUMBER :
2211080

DRAWING SCALE :
As indicated

DRAWN BY : **Author** CHECKED BY : **Checker** DATE : **02/14/23**

SHEET NO : **A013** REV : **2**

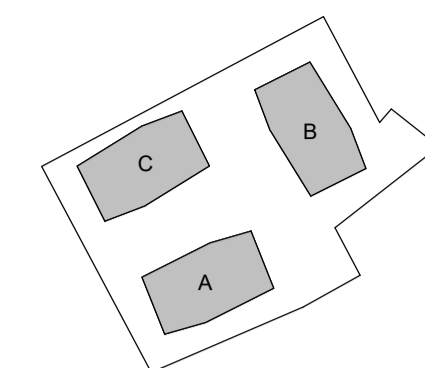
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- EXTRUSION SHADOW FOOTPRINT
- PROPOSED SHADOW FOOTPRINT
- RETAIL PATIO
- PRIVATE COMMUNAL OUTDOOR AMENITY
- PUBLIC PARK (ON SITE)
- PUBLIC PARK



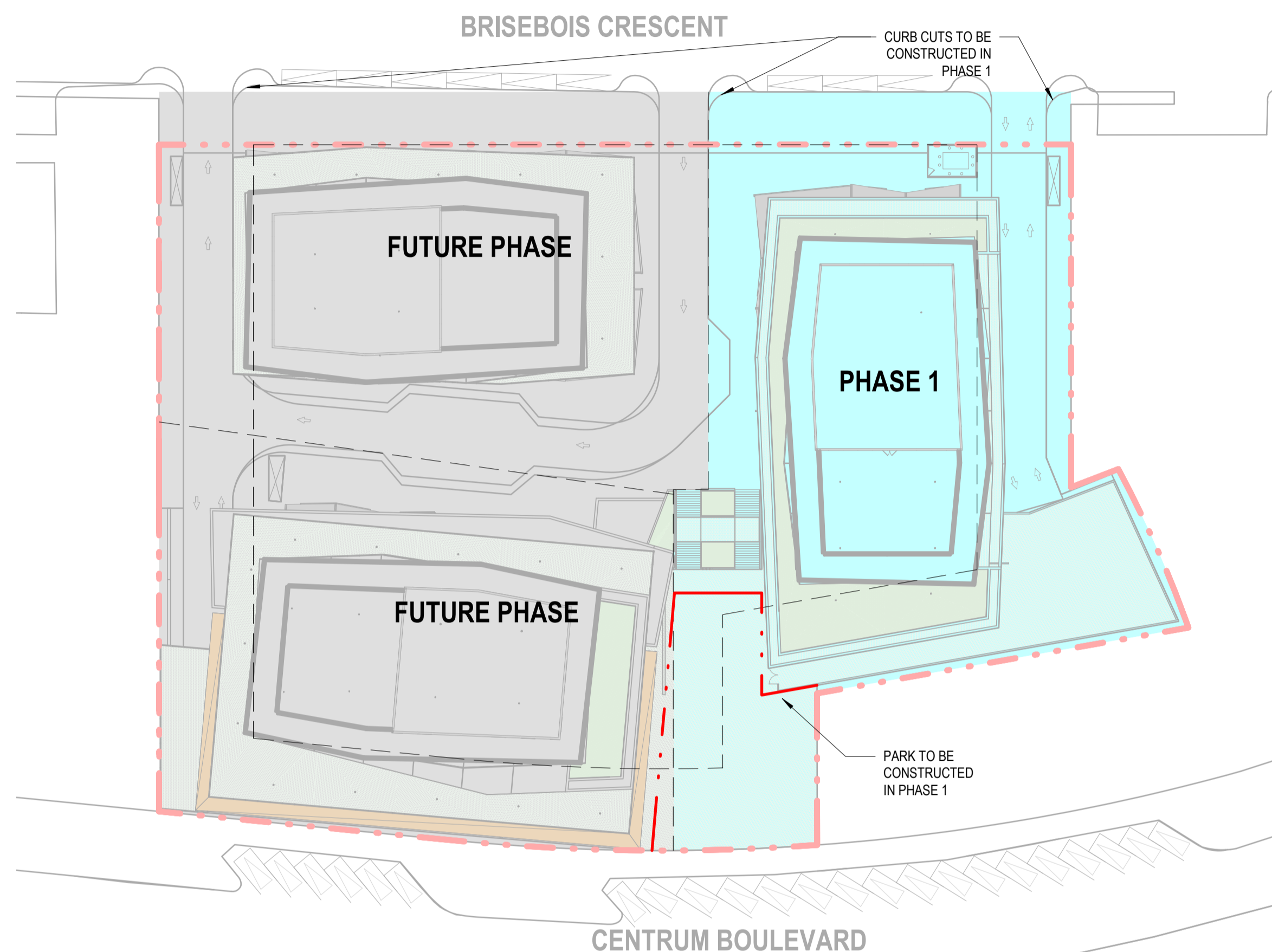
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LEGEND
 PHASE 1
 FUTURE PHASE

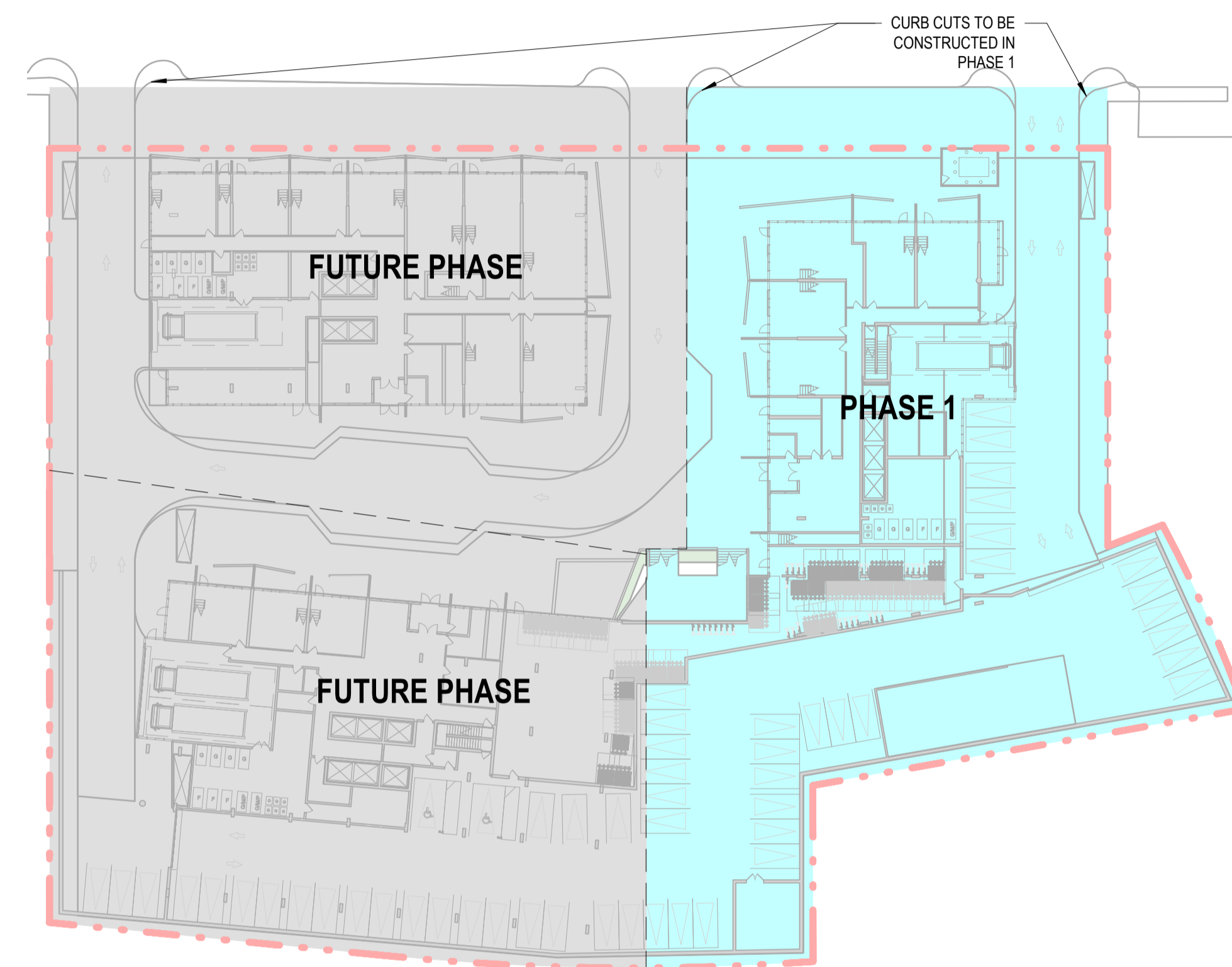


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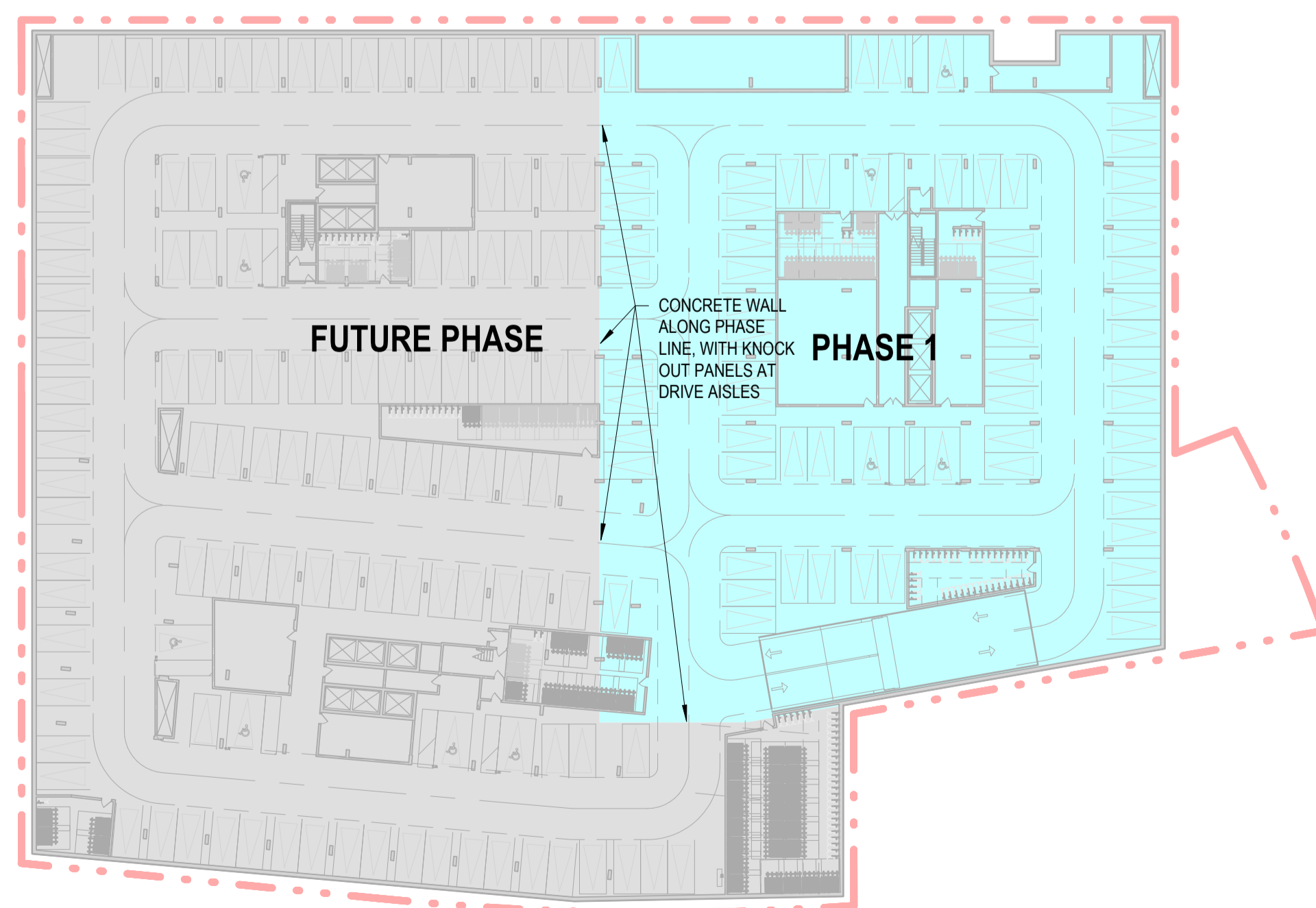
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NO.	DATE	DESCRIPTION
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2	24-05-28	ISSUED FOR SPA REVISIONS



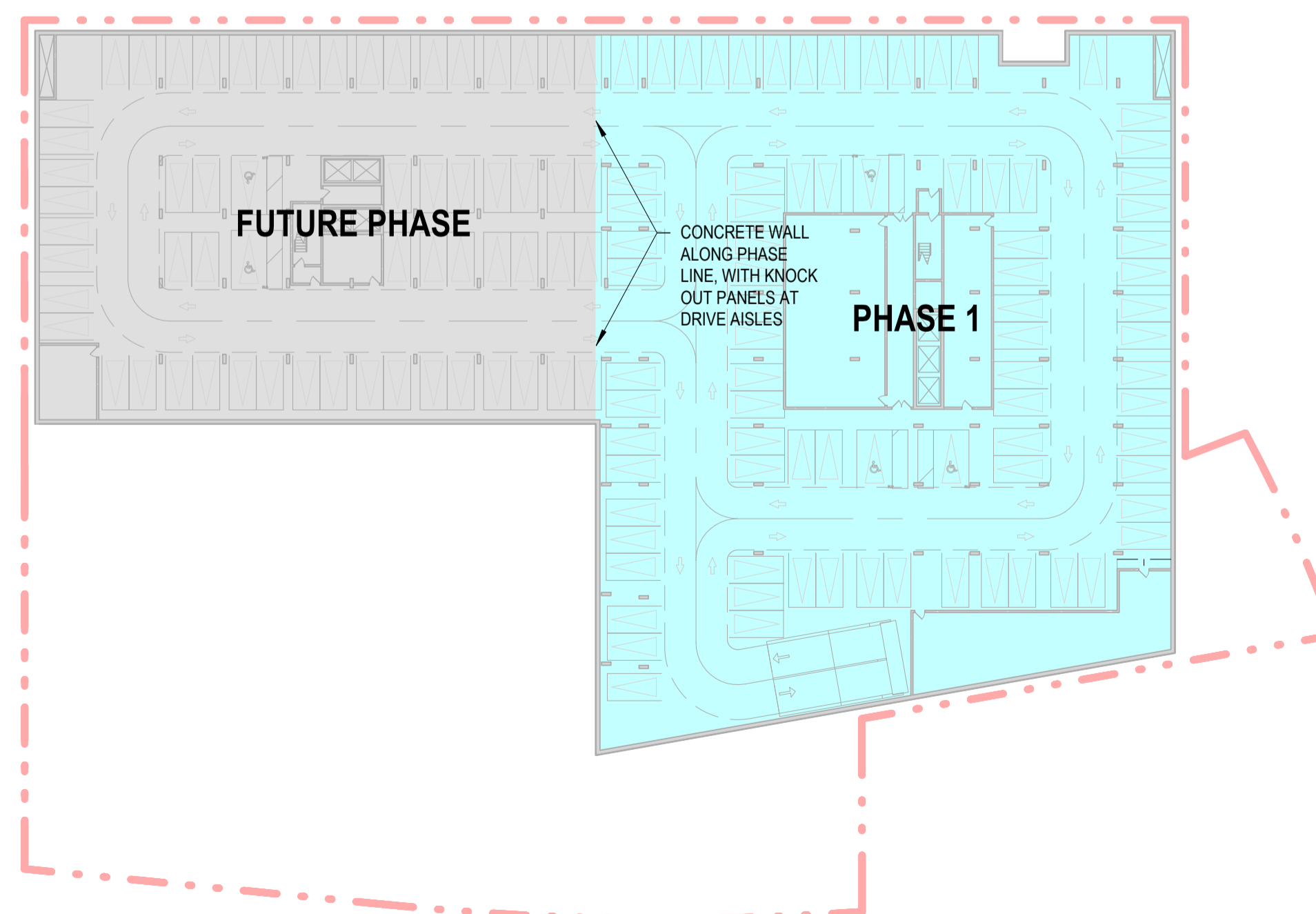
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1:500



2 PHASING PLAN LOWER GRADE FLOOR
1:500



3 PHASING PLAN - LEVEL P1
1:500



1 PHASING PLAN - LEVEL P3/P2
1:500

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LANDSCAPE ARCHITECT:
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PROJECT:
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265 CENTRUM BLVD
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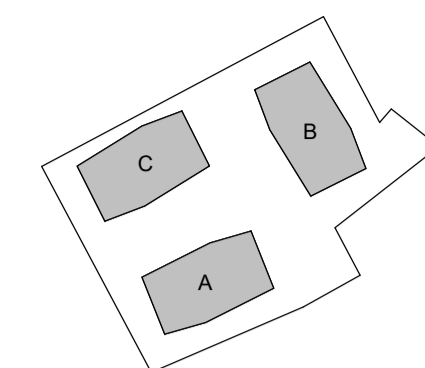
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PROJECT NUMBER:
2211080

DRAWING SCALE:
As indicated

DRAWN BY: Author CHECKED BY: Checker DATE: 03/02/23

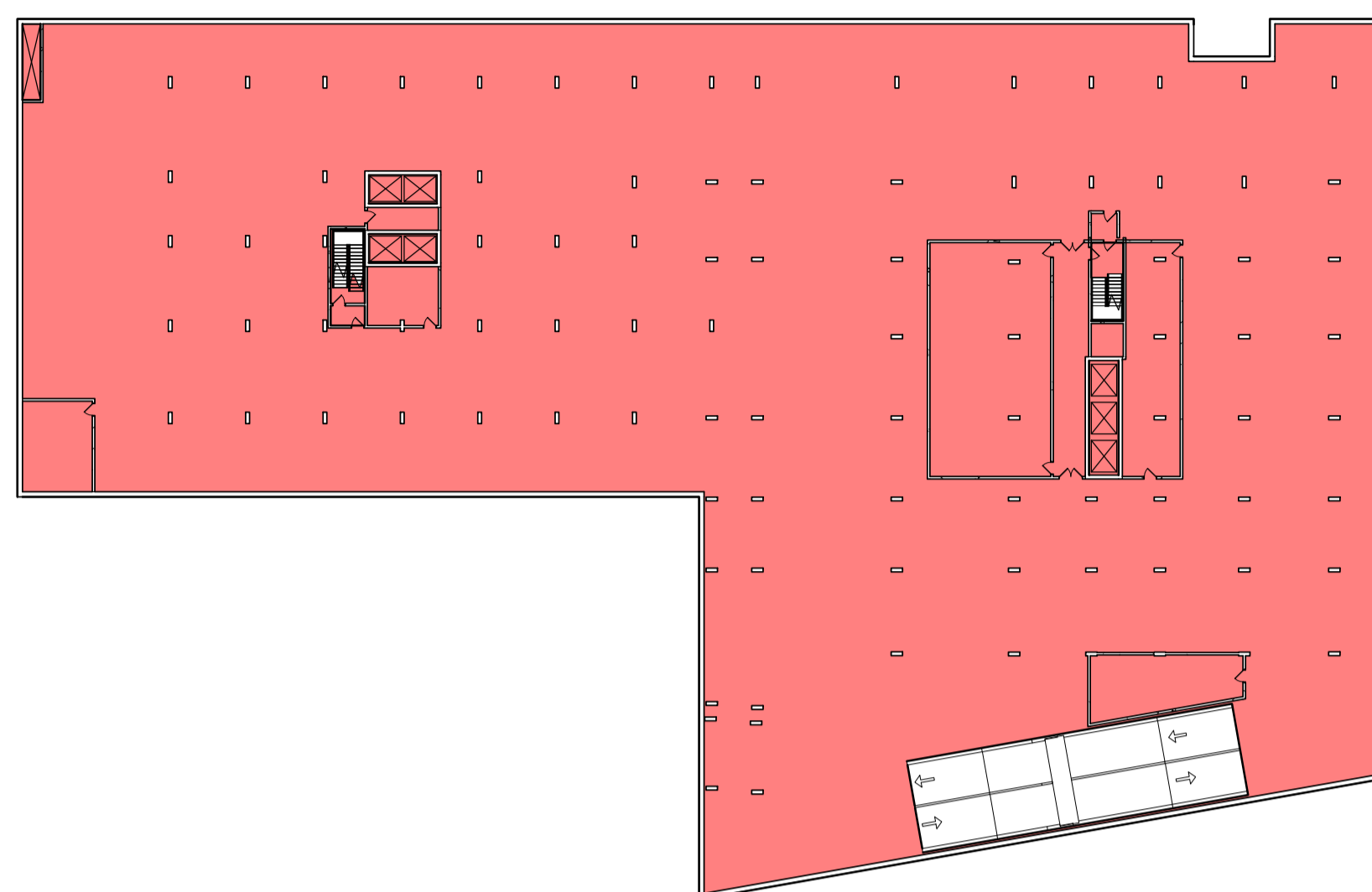
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KEY PLAN

GFA Legend
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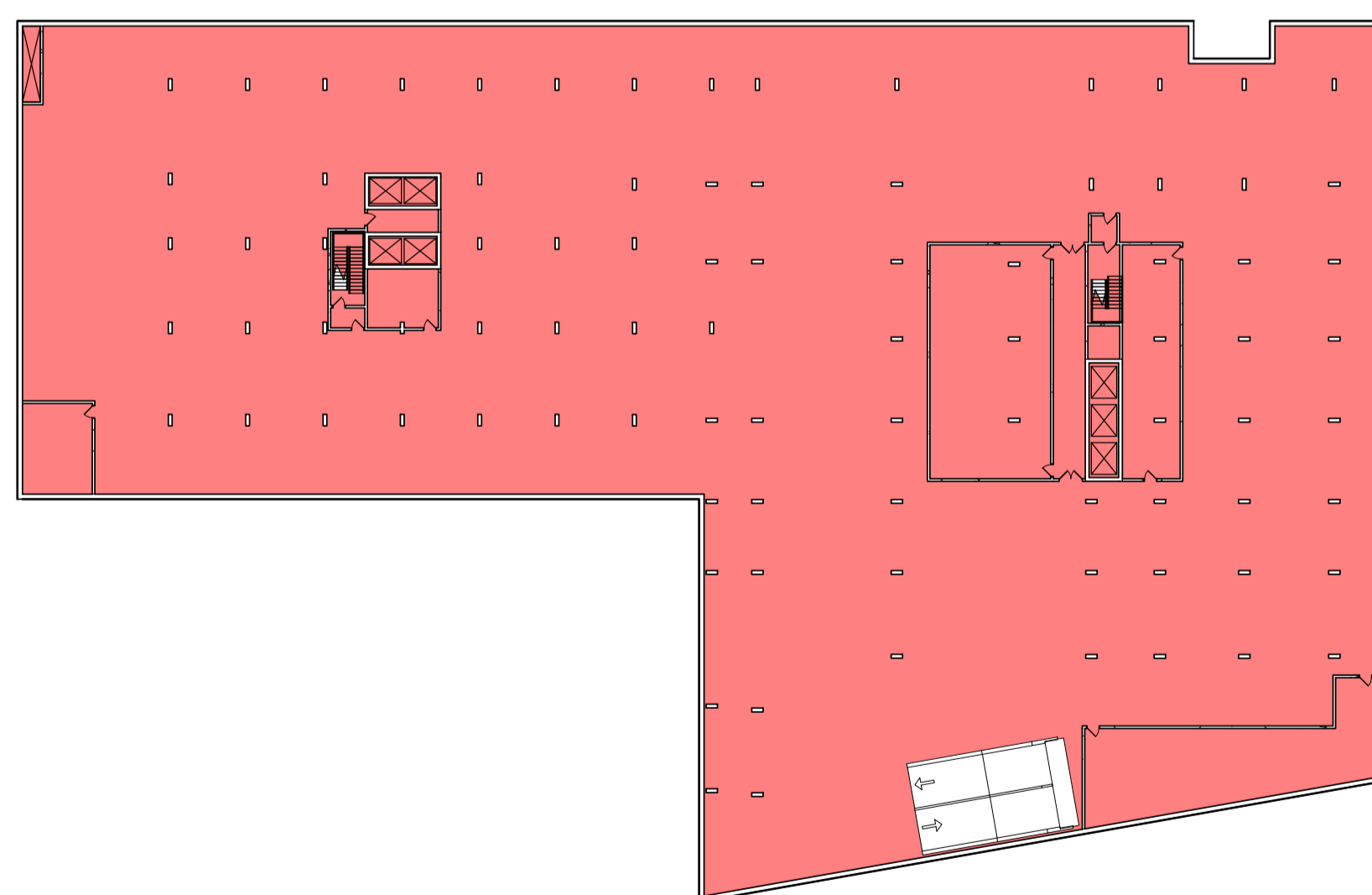
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS



2 LEVEL P2
1:500



1 LEVEL P1
1:500



3 LEVEL P3
1:500

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PROJECT :
CENTRUM

265 CENTRUM BLVD
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SHEET CONTENTS :
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PROJECT NUMBER :
2211080

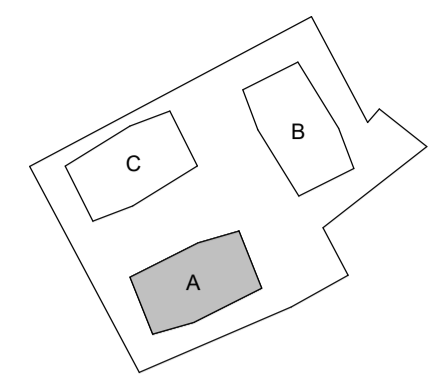
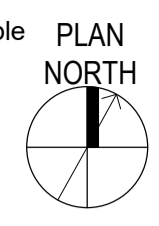
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DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **03/02/23**

SHEET NO : **A127** REV : **2**

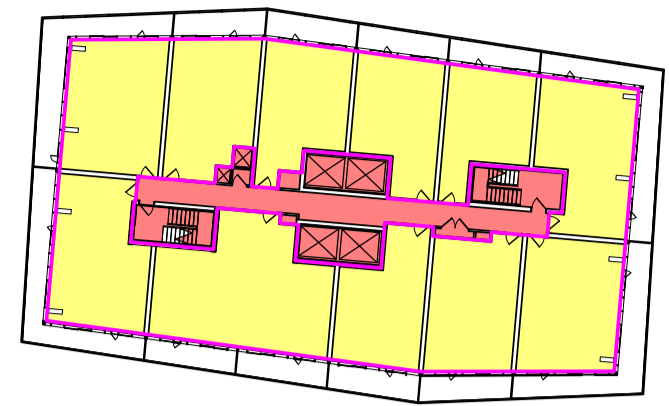
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GFA Legend
 GFA
 Deductible

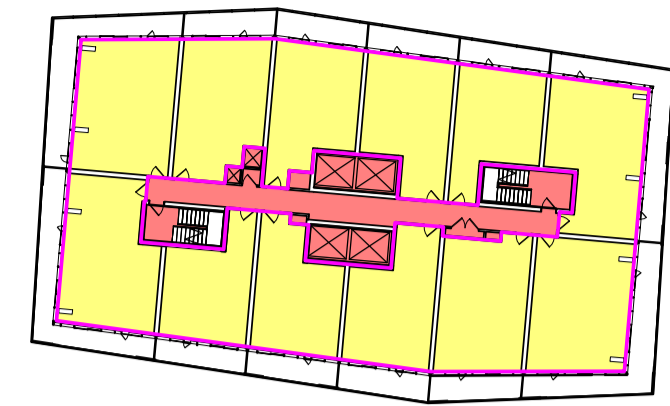


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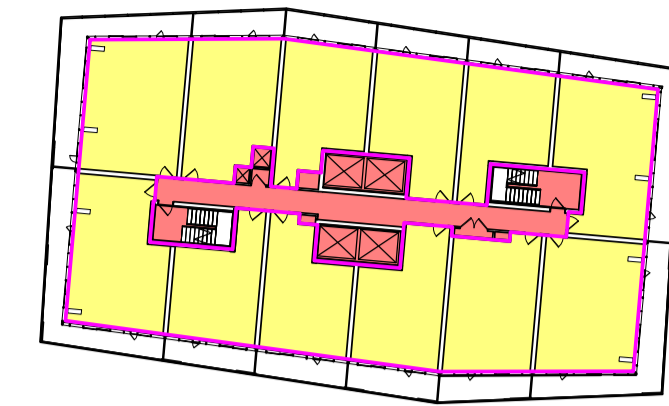
REVISION		
NO.	DATE	DESCRIPTION
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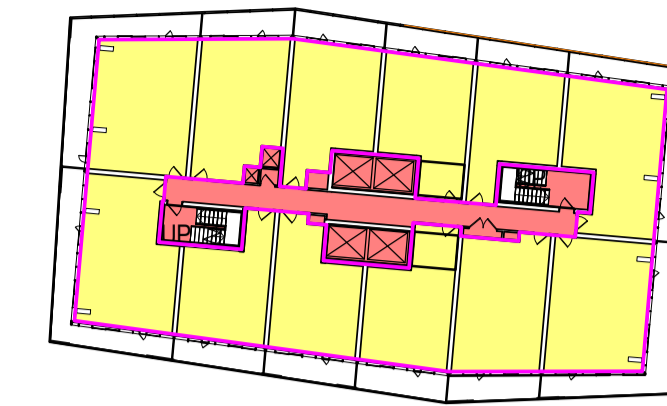
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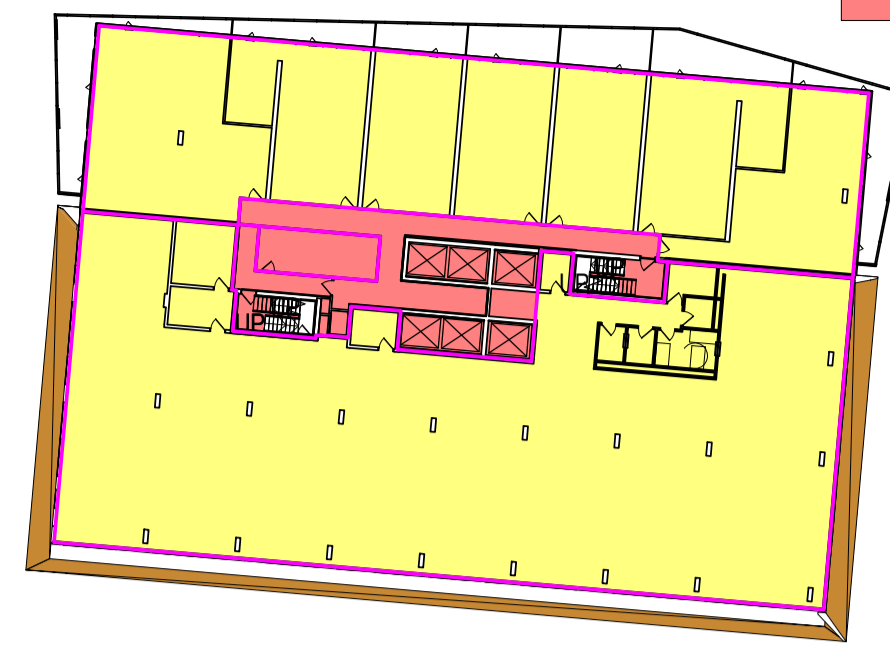
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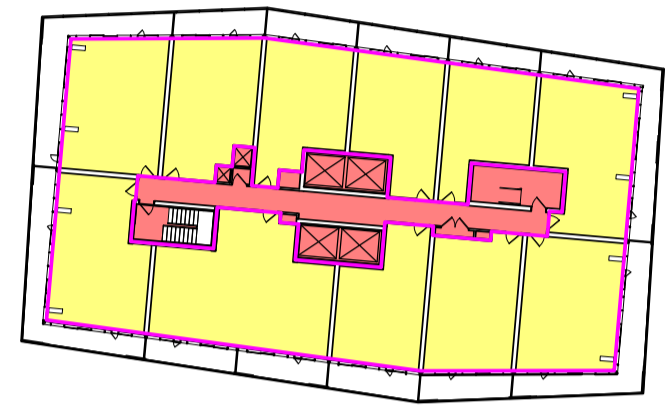
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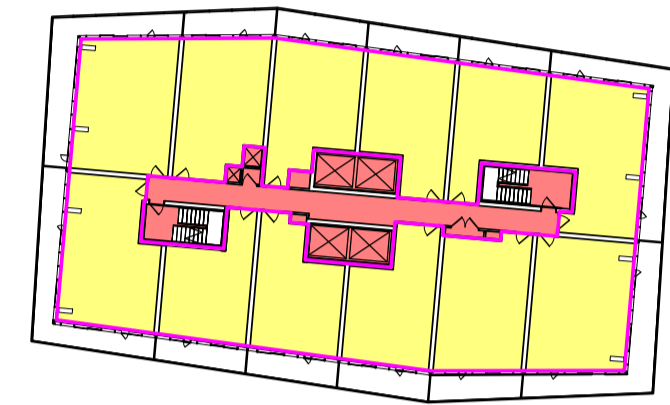
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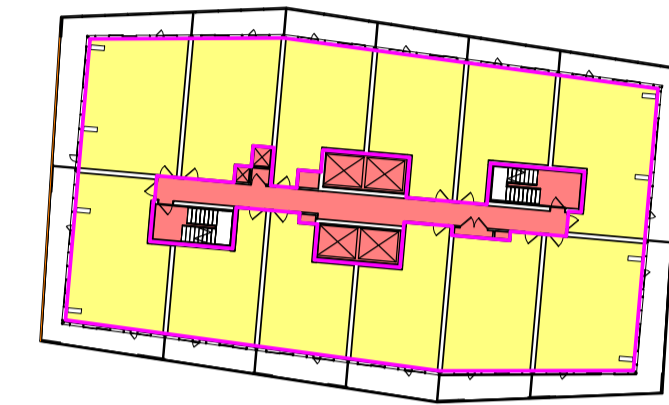
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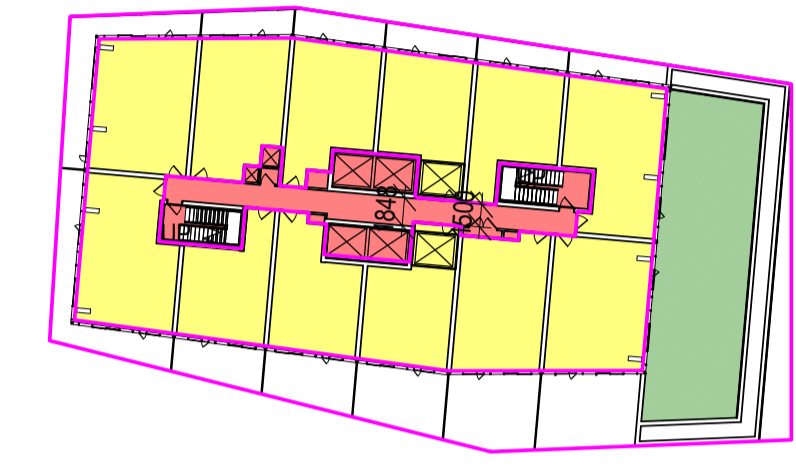
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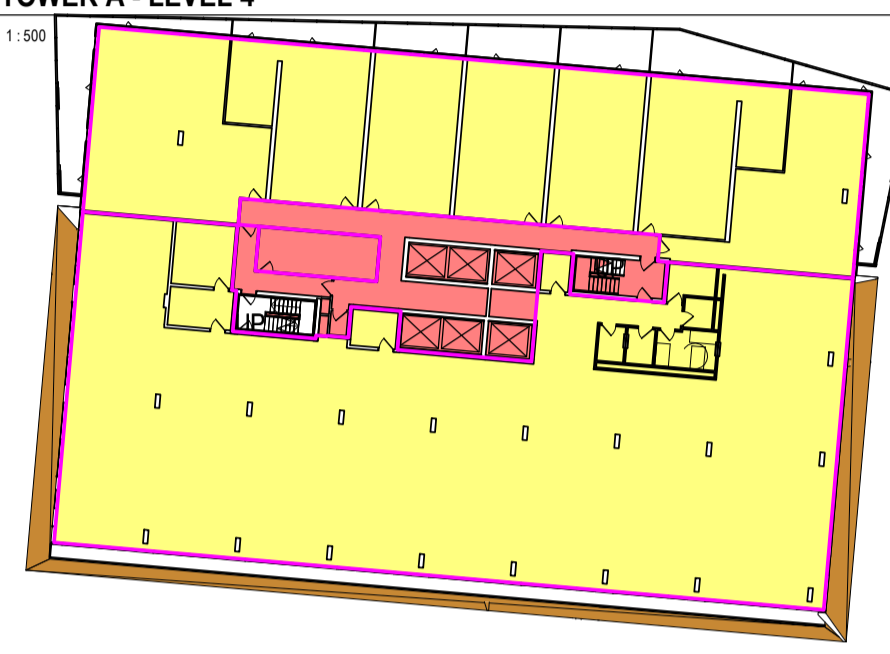
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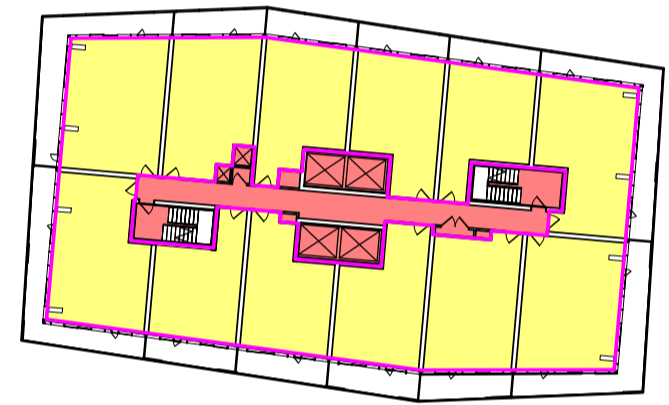
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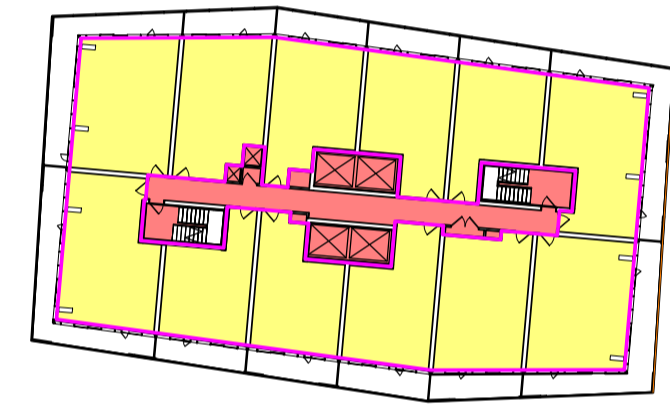
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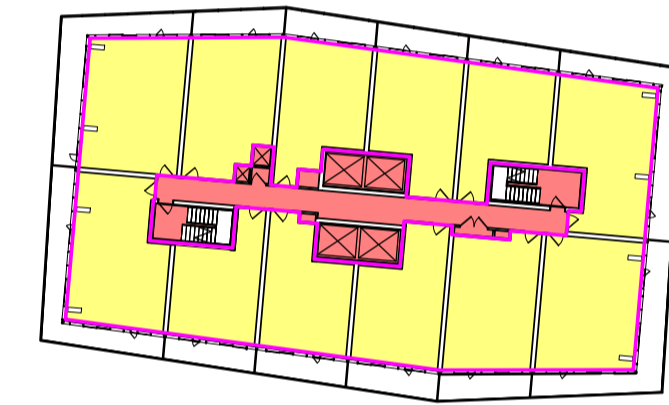
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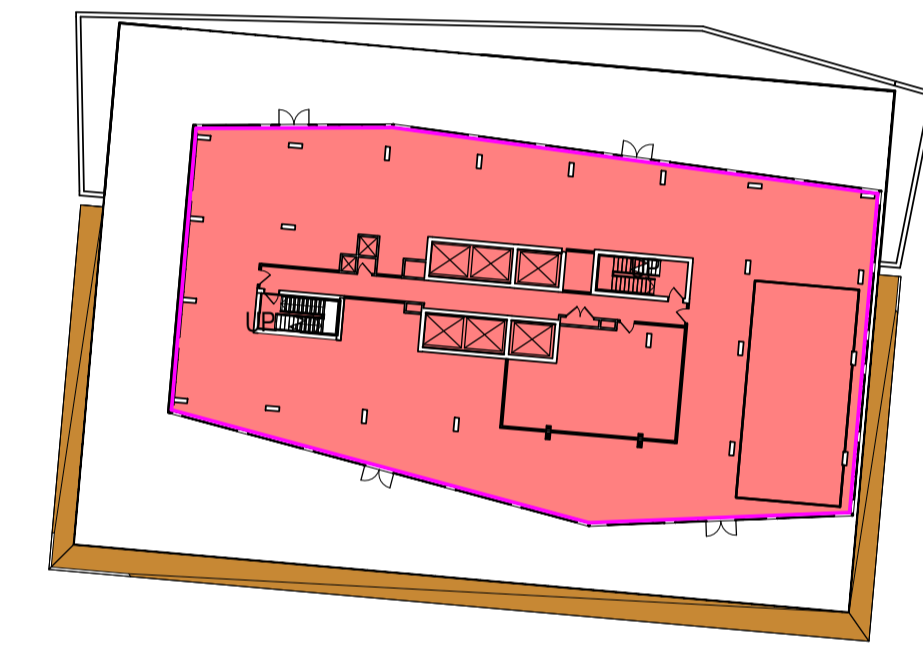
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18 TOWER A - LEVEL 17
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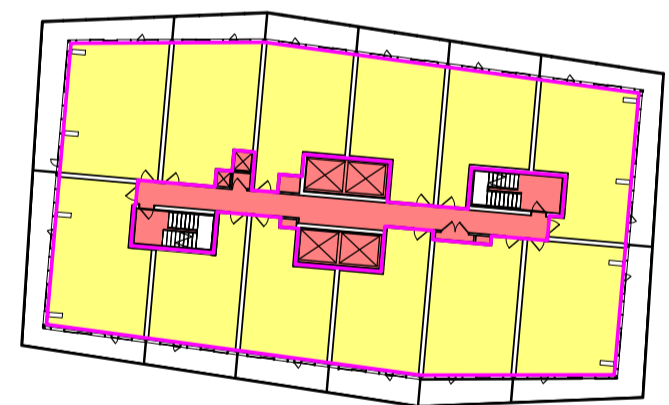
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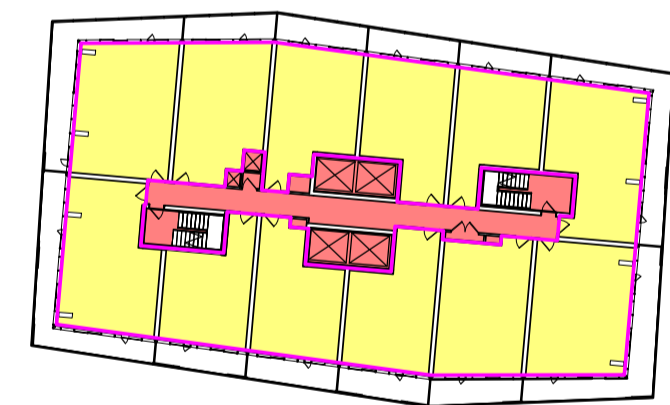
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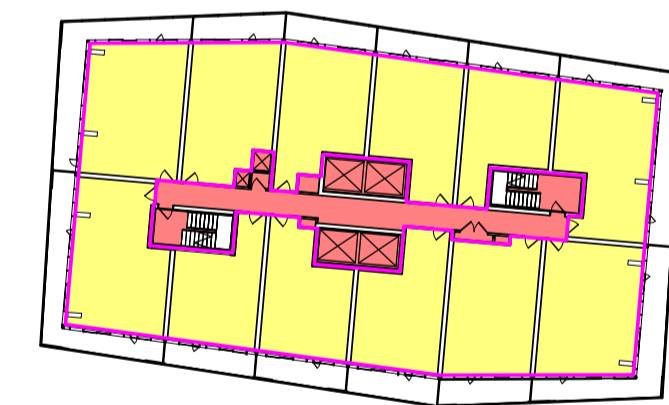
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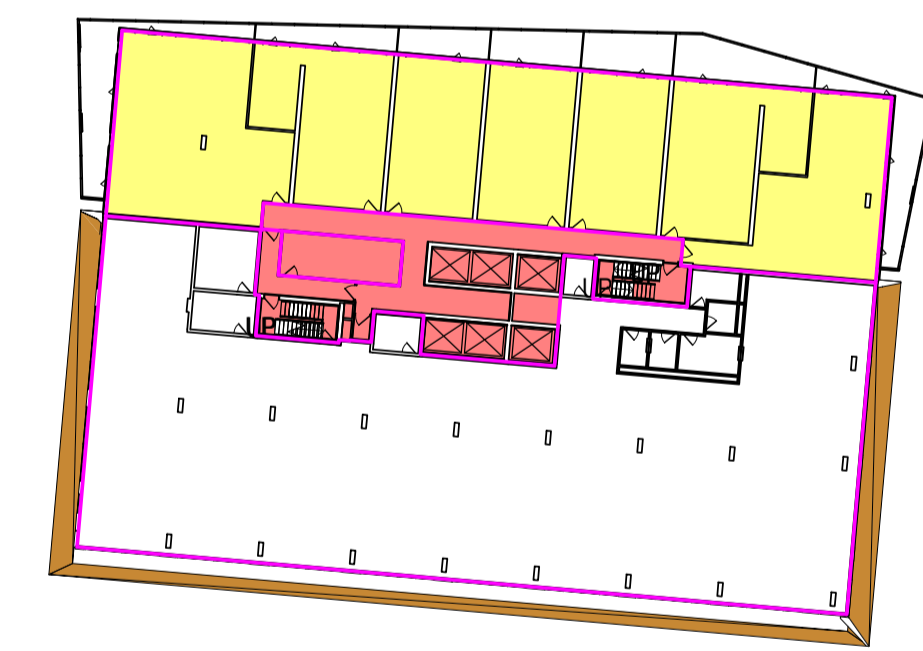
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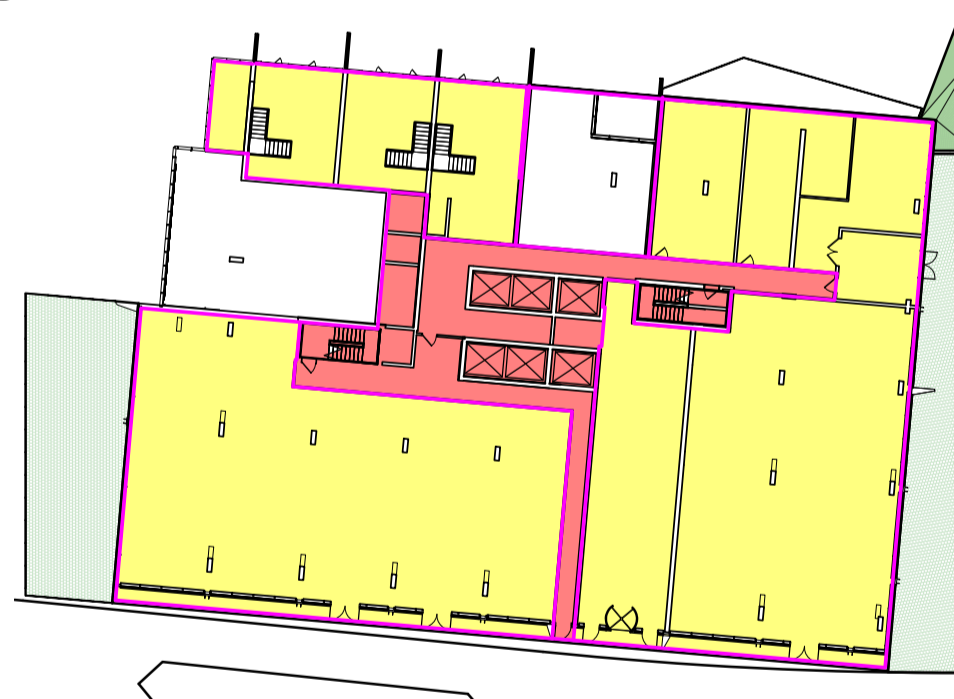
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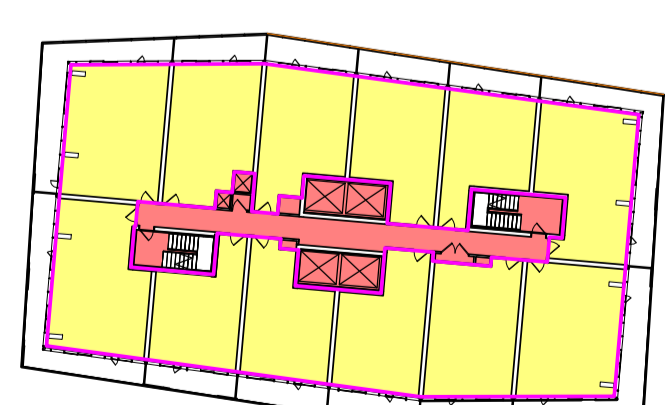
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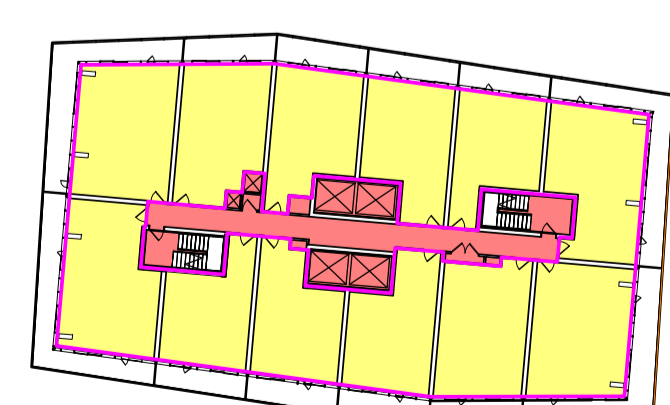
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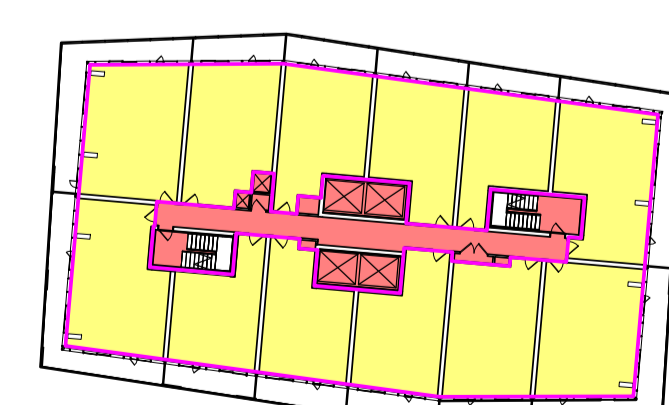
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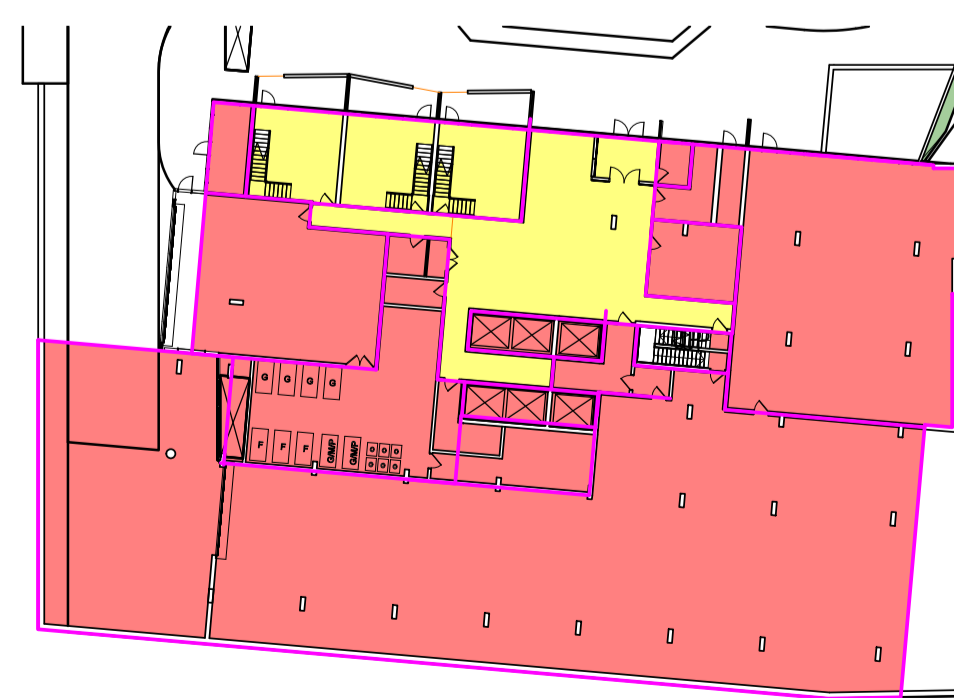
16 TOWER A - LEVEL 15
1:500



11 TOWER A - LEVEL 10
1:500



06 TOWER A - LEVEL 5
1:500



01 TOWER A - LOWER GRADE
1:500

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WIND + NOISE CONSULTANT:
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LANDSCAPE ARCHITECT:
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SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
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PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
GFA TOWER A L1-L24

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 500

DRAWN BY: Author
 CHECKED BY: Checker
 DATE: 01/23/23

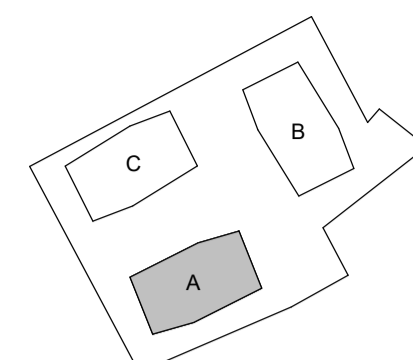
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A128

REV:
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 A128

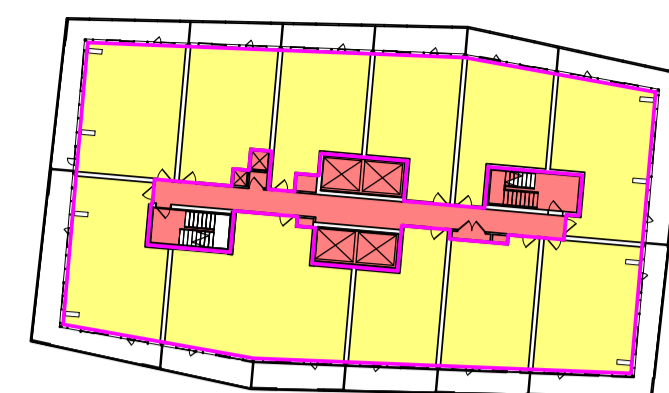
GFA Legend
 Yellow GFA
 Red Deductible

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL AUTHORIZED IN WRITING BY CONSULTANT.

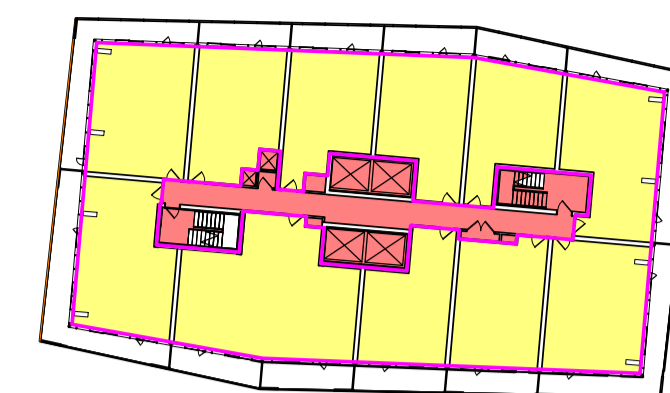


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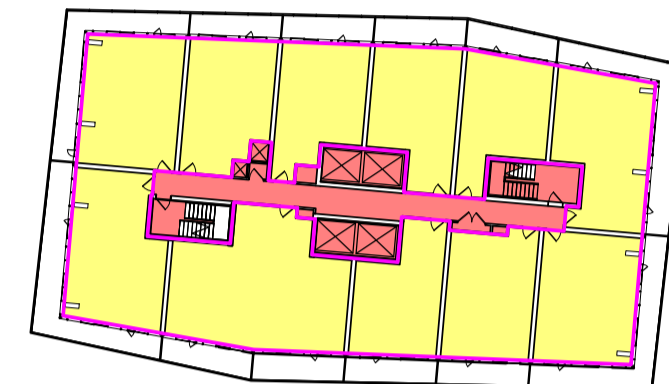
REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
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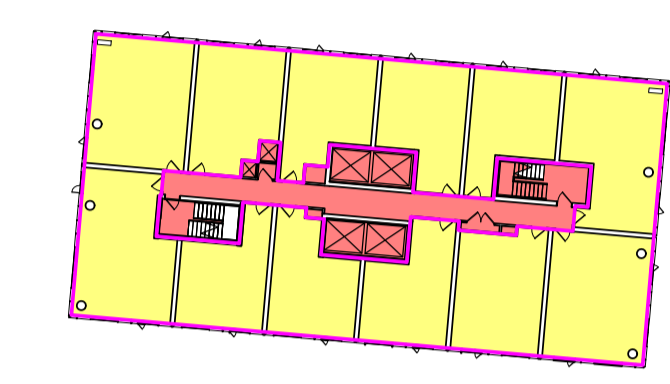
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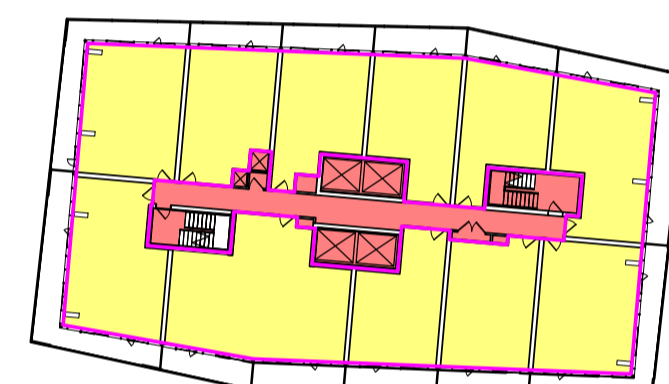
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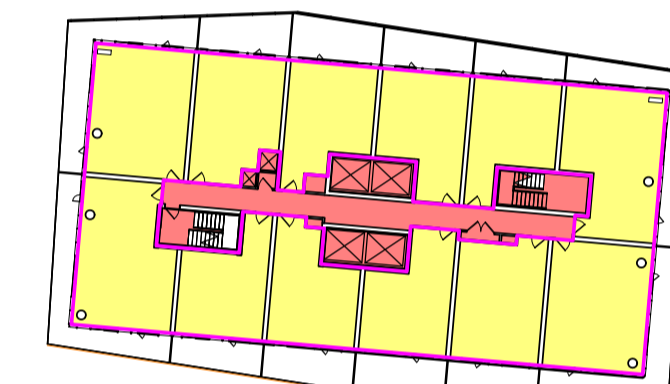
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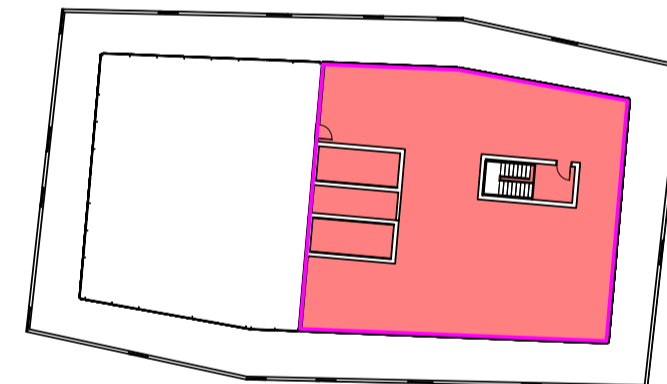
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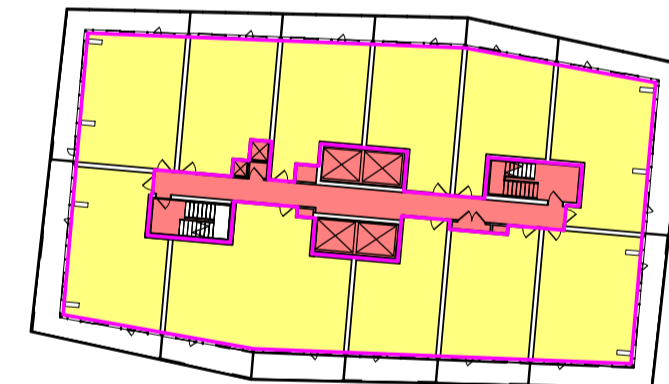
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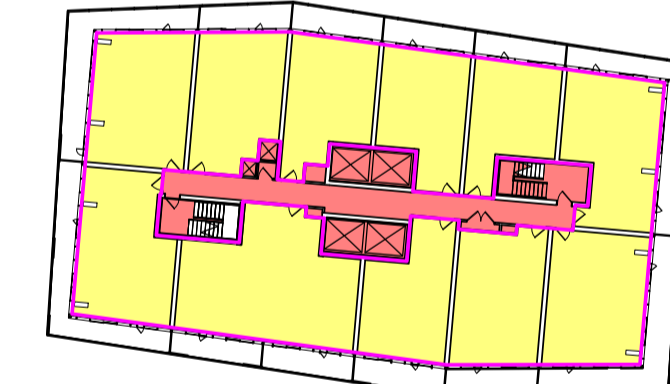
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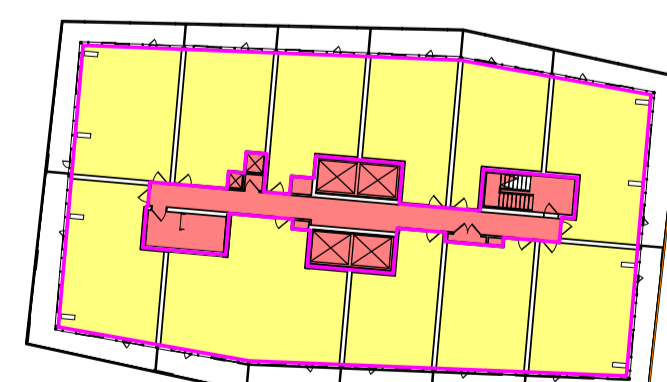
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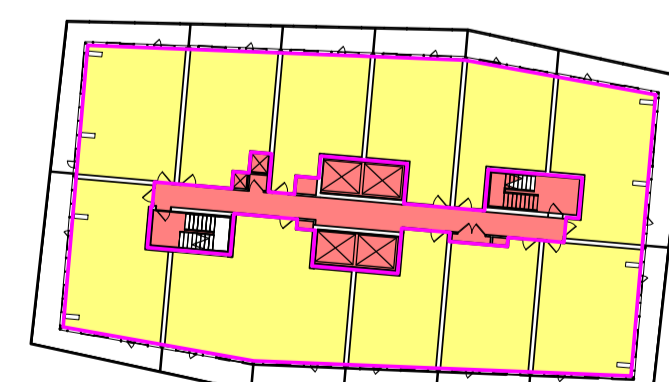
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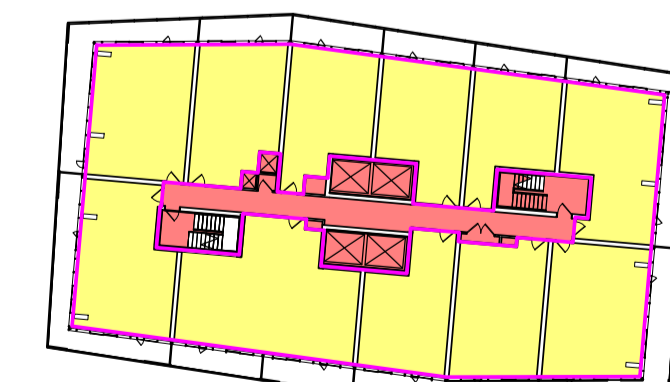
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11 TOWER A - LEVEL 35
1:500



06 TOWER A - LEVEL 30
1:500



01 TOWER A - LEVEL 25
1:500

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PROJECT :
CENTRUM

265 CENTRUM BLVD
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SHEET CONTENTS :
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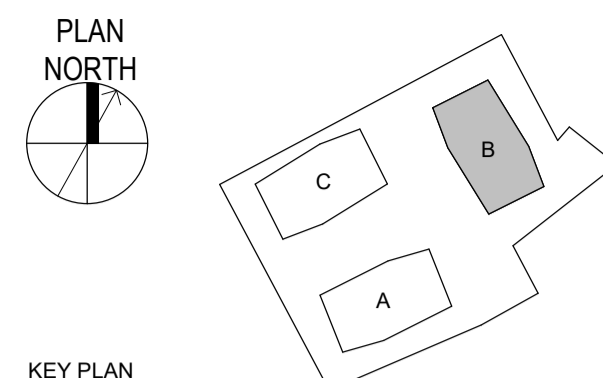
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2211080

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DRAWN BY : Author CHECKED BY : Checker DATE: 01/24/23

SHEET NO :
A129

REV :
2



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
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GFA Legend

- GFA
- Deductible

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 396 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709

TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

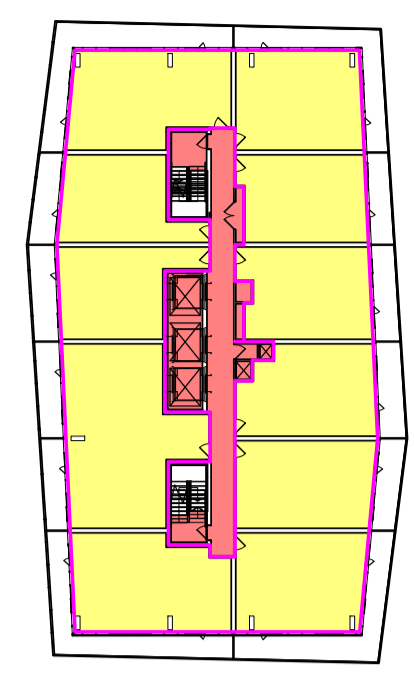
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PROJECT NUMBER:
2211080

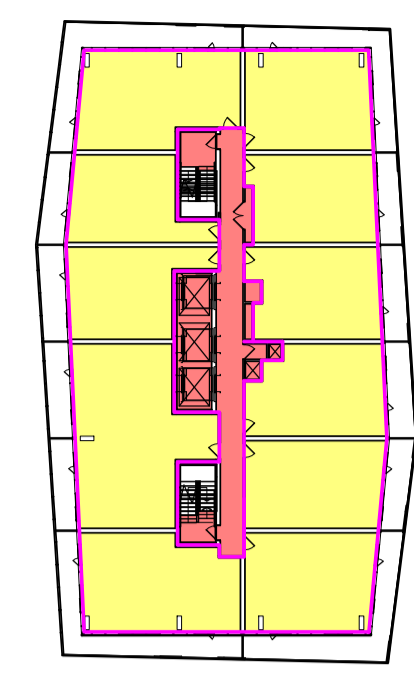
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DRAWN BY: Author
 CHECKED BY: Checker
 DATE: 01/23/23

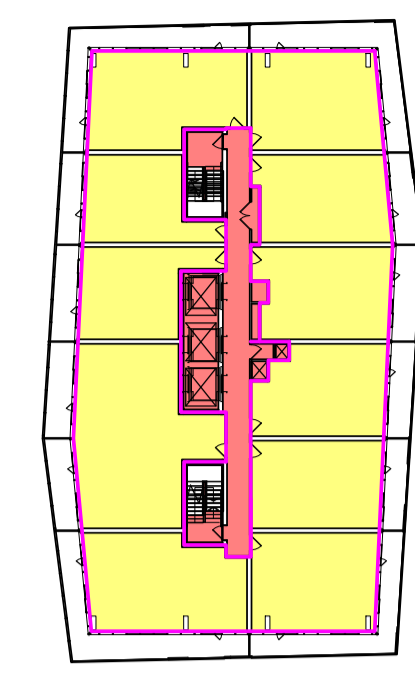
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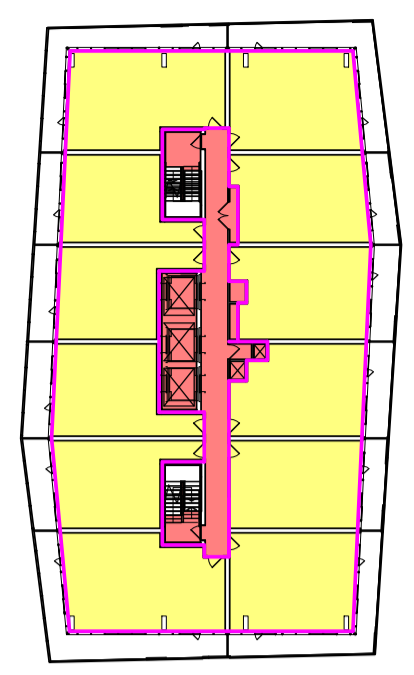
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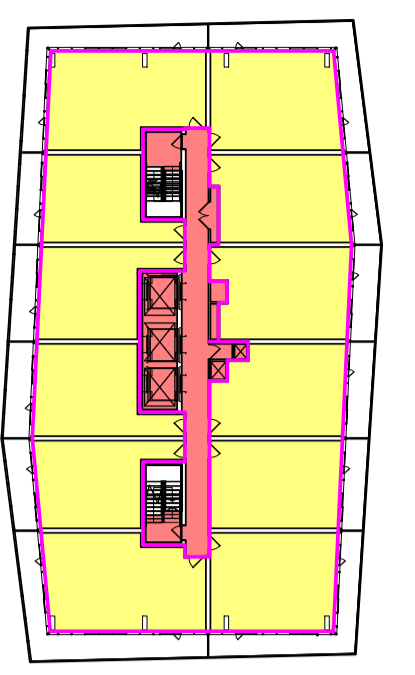
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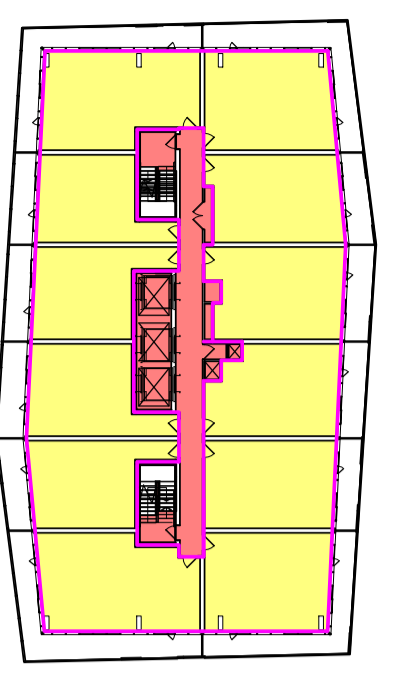
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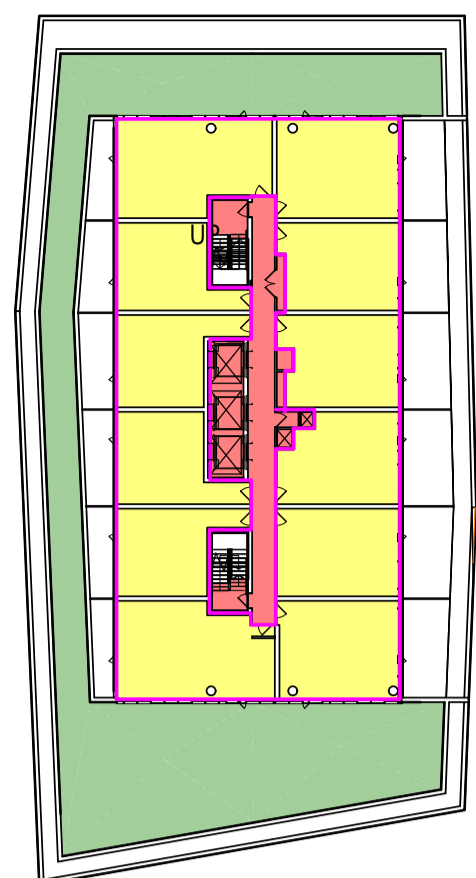
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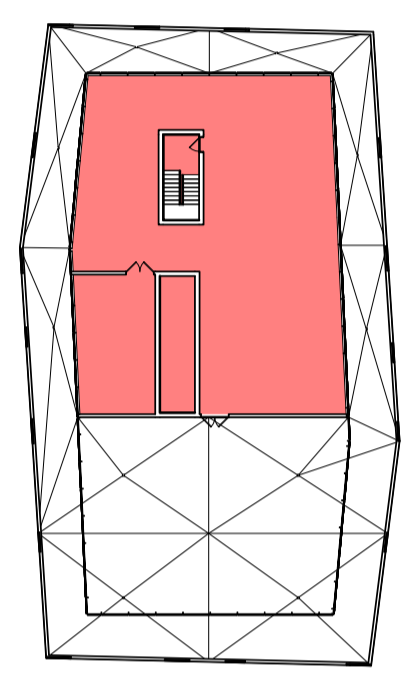
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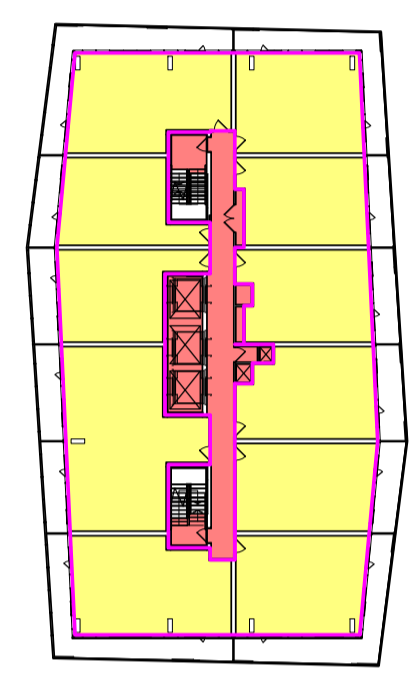
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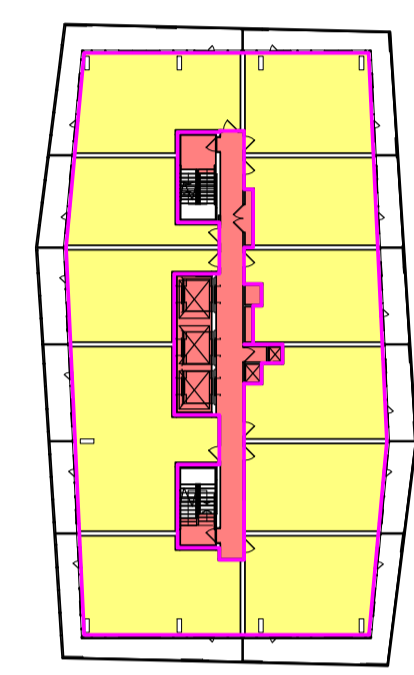
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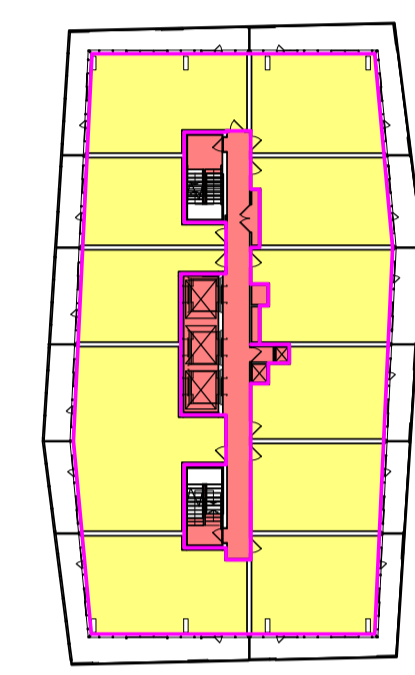
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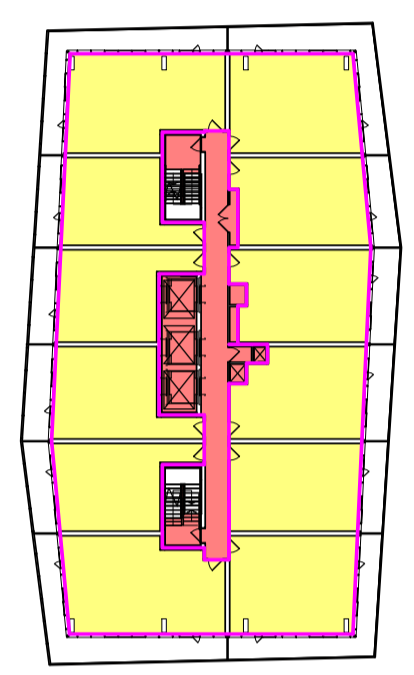
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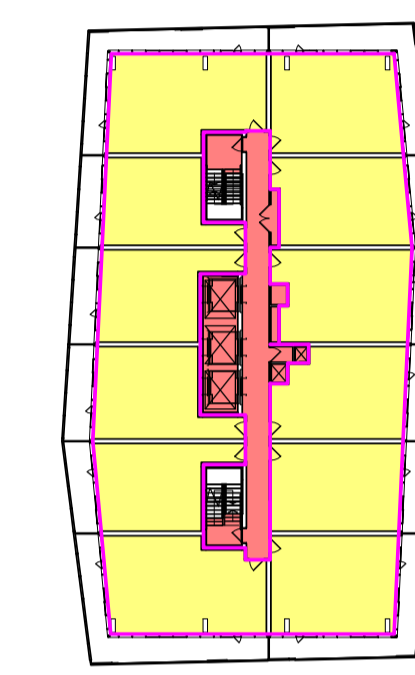
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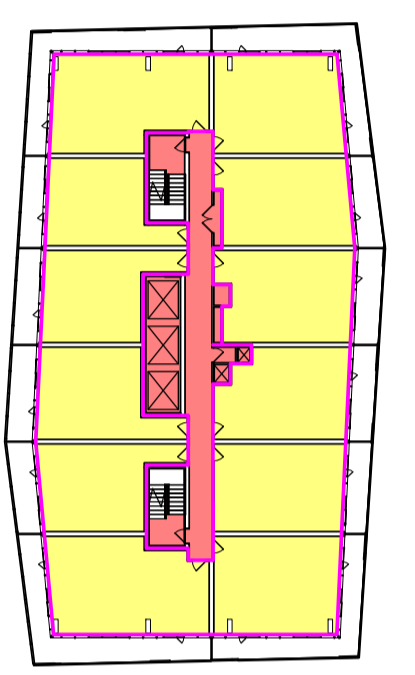
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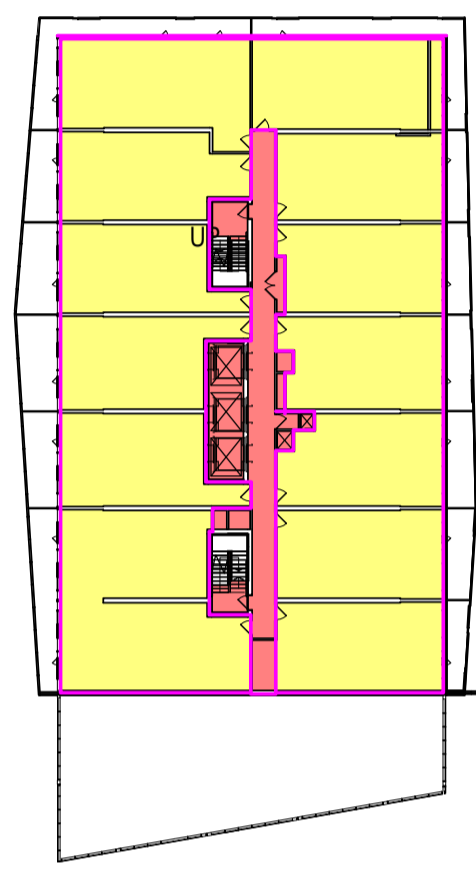
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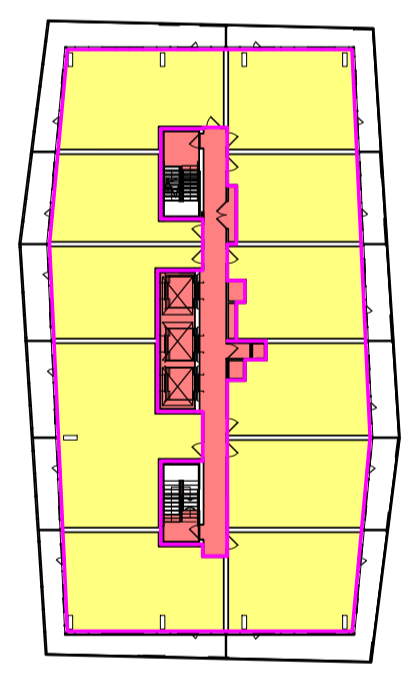
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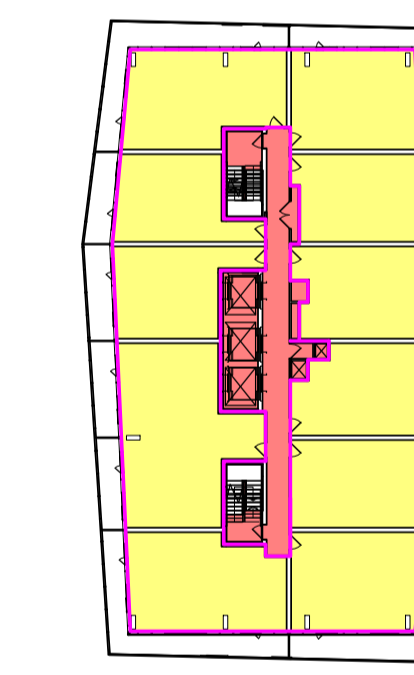
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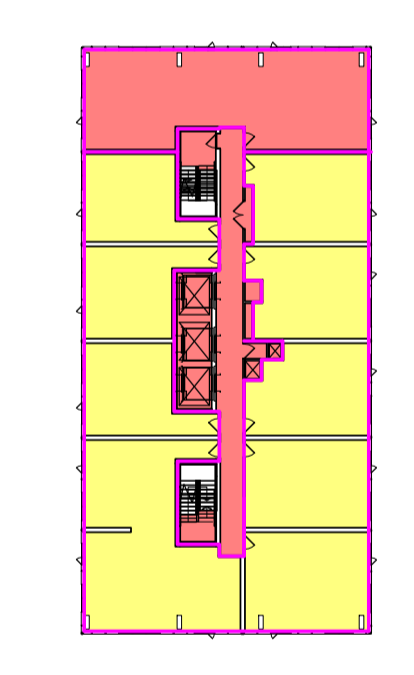
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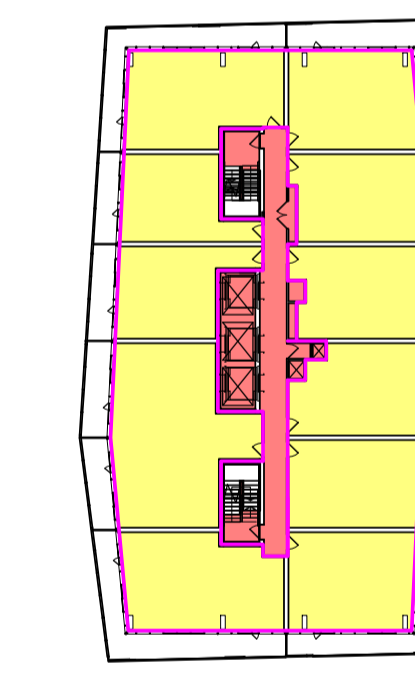
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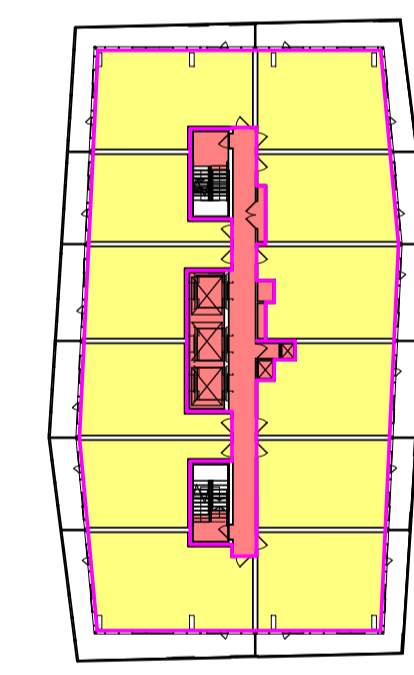
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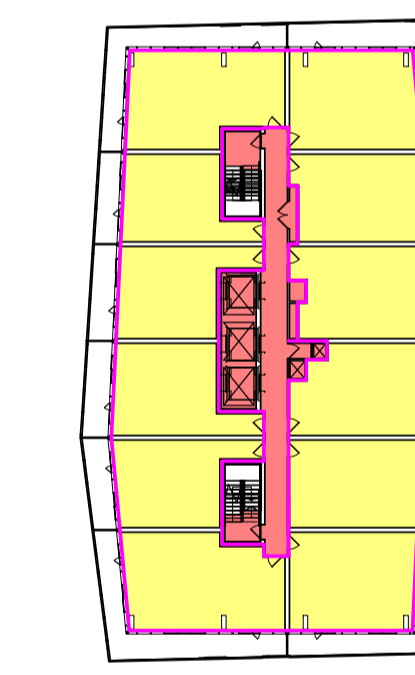
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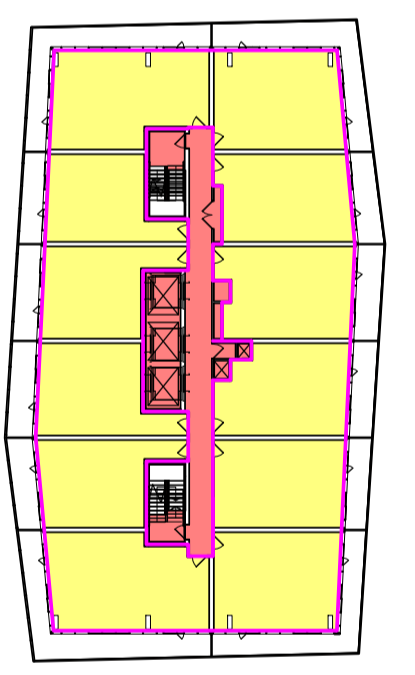
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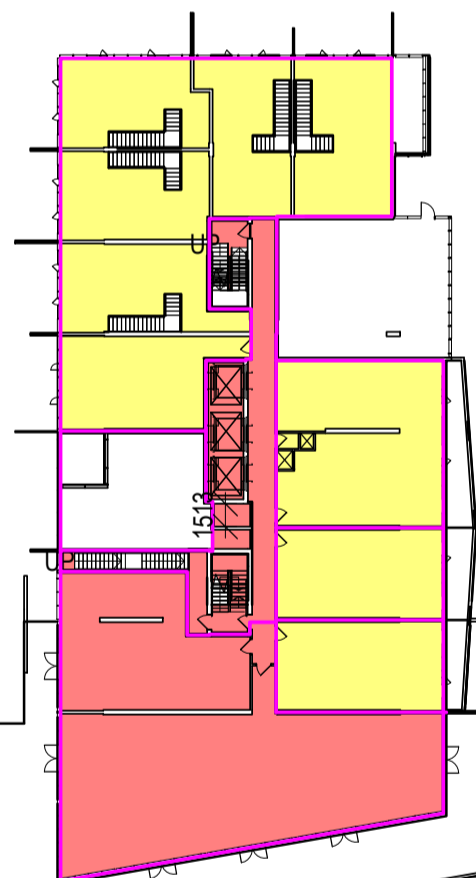
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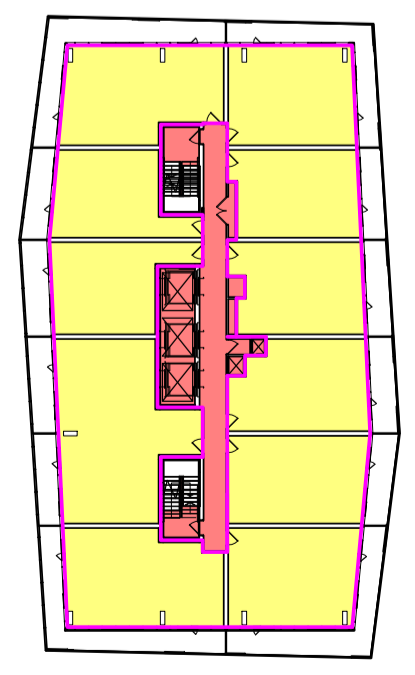
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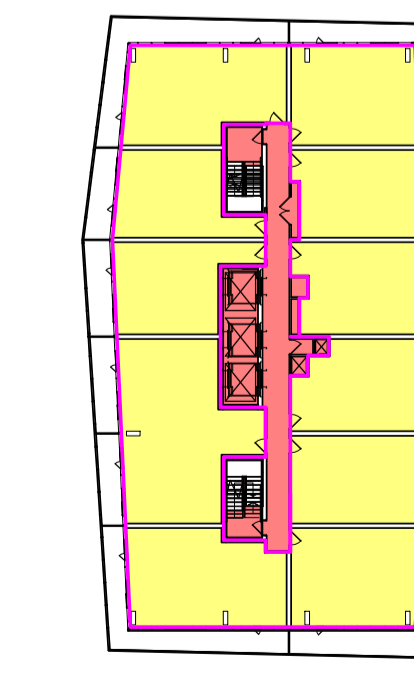
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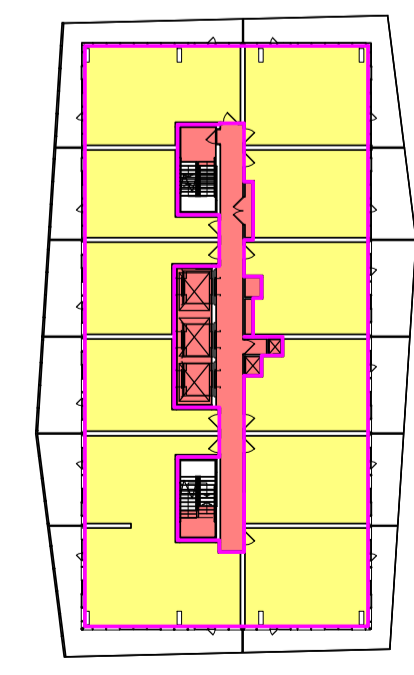
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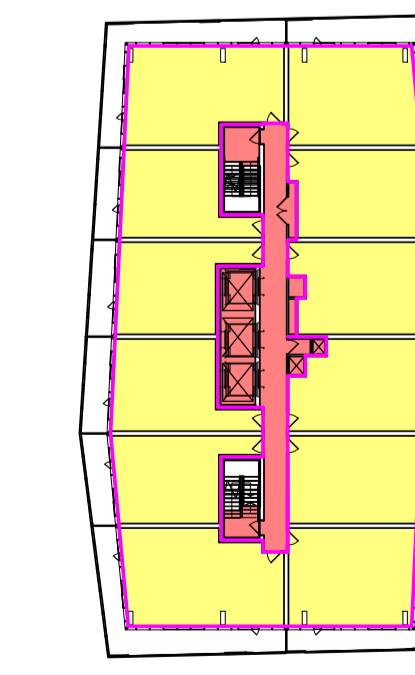
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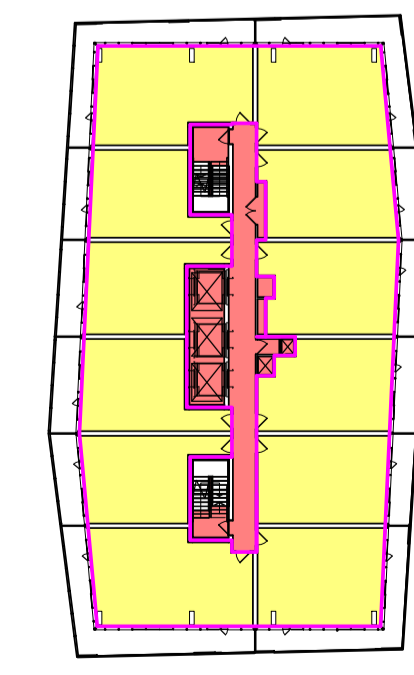
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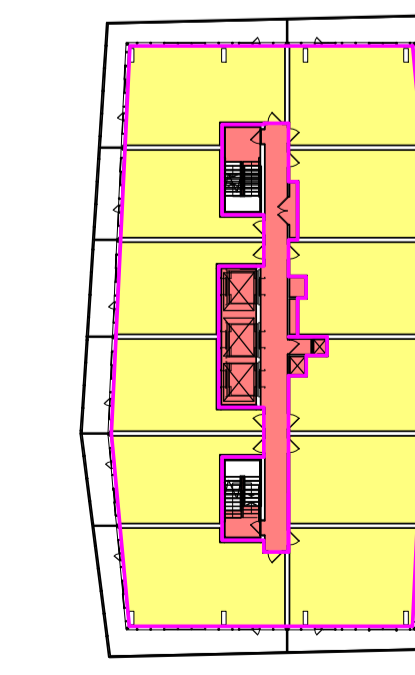
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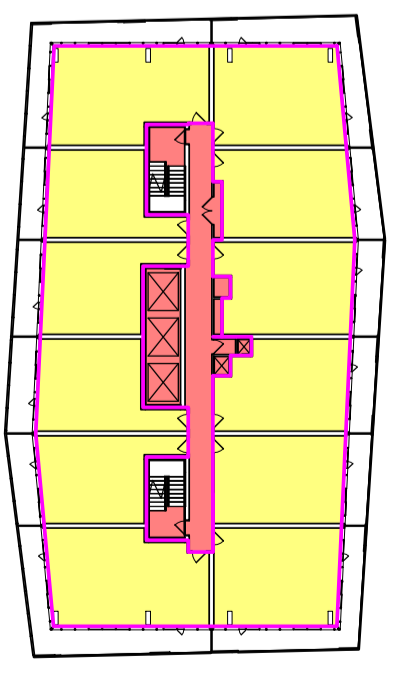
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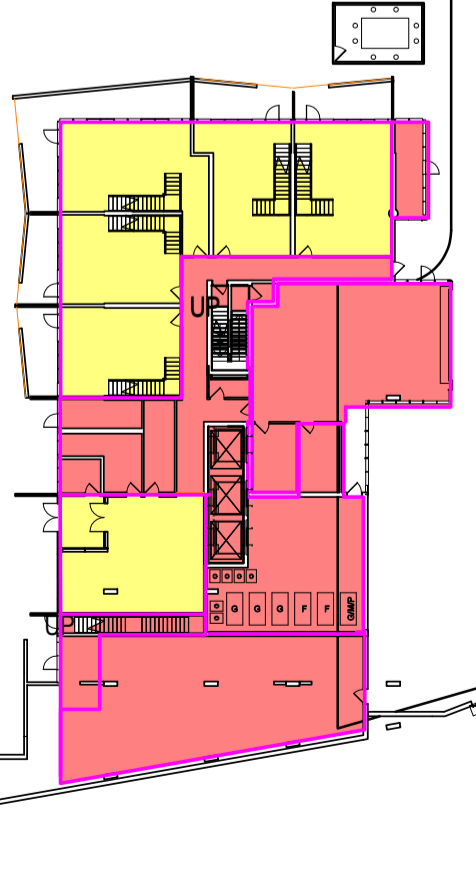
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1:500



9 TOWER B - LEVEL 9
1:500



5 TOWER B - LEVEL 5
1:500



1 TOWER B - LEVEL 11
1:500

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.

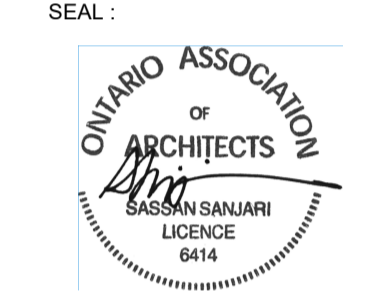
GFA Legend
 GFA
 Deductible

PLAN NORTH

KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
 320 Bay Street, Suite 200
 Toronto, ON M5H 4A6
 T/416.596.2299 F/416.586.0599



STRUCTURAL ENGINEER:
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632

MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx

ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
 115 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-2184

PLANNING CONSULTANT:
Fotenn
 396 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709

TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:
BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
GFA TOWER C L1-L36

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 500

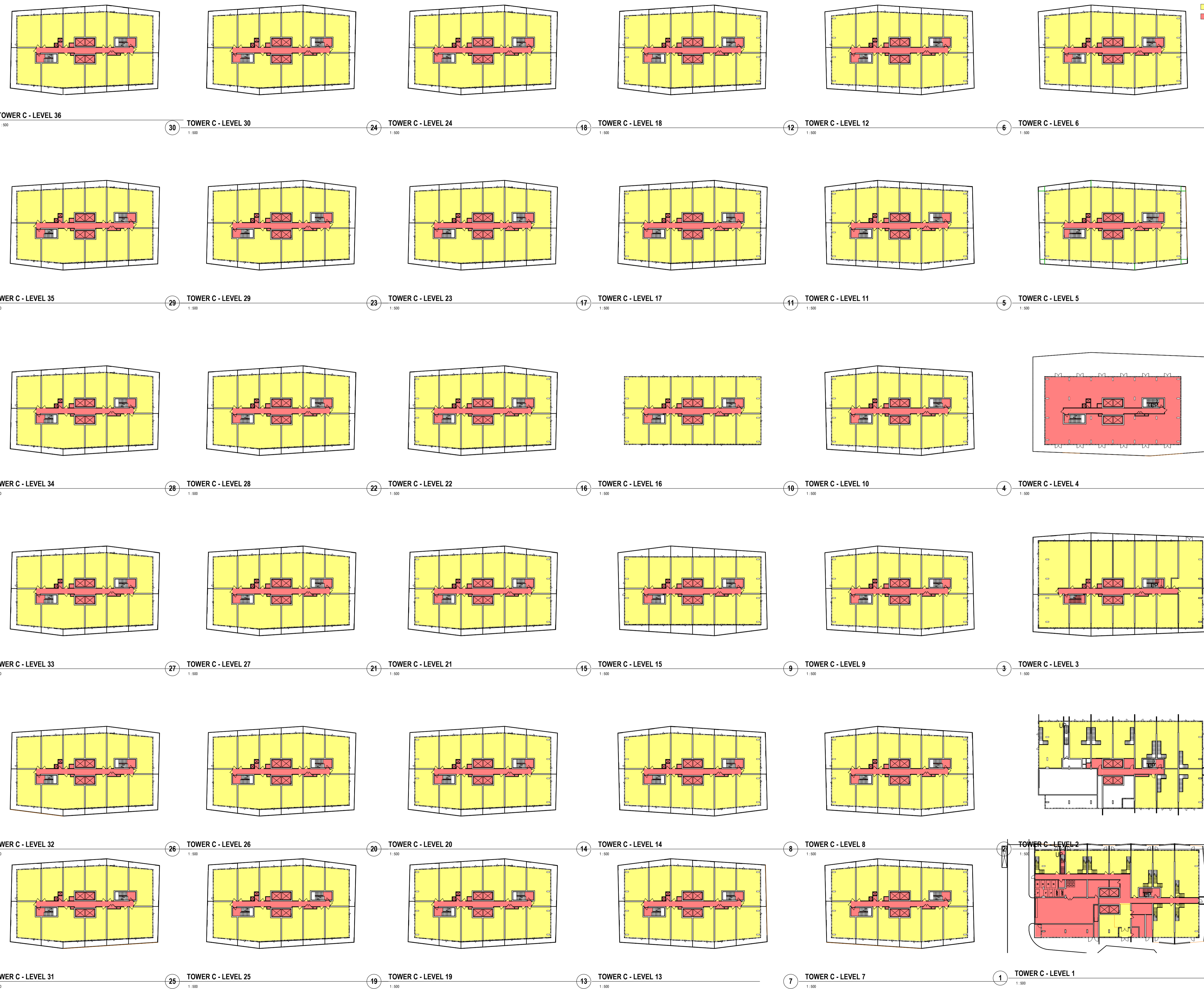
DRAWN BY:
Author

CHECKED BY:
Checker

DATE:
01/23/23

SHEET NO:
A131

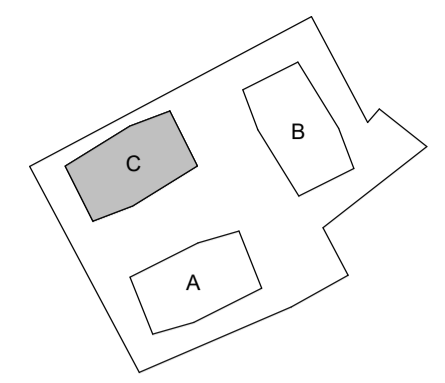
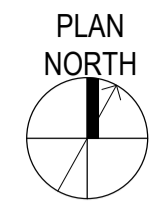
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 A131

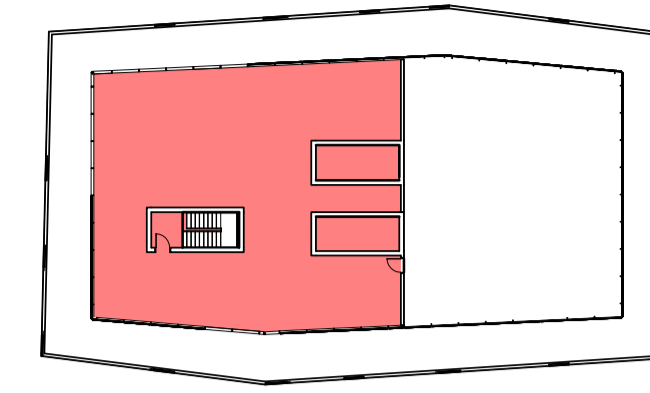
GFA Legend
 GFA
 Deductible

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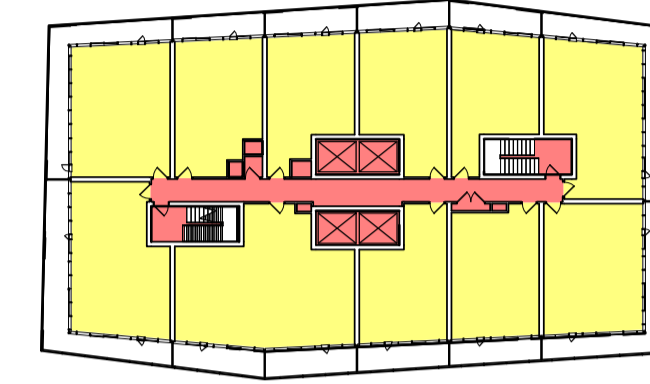


KEY PLAN

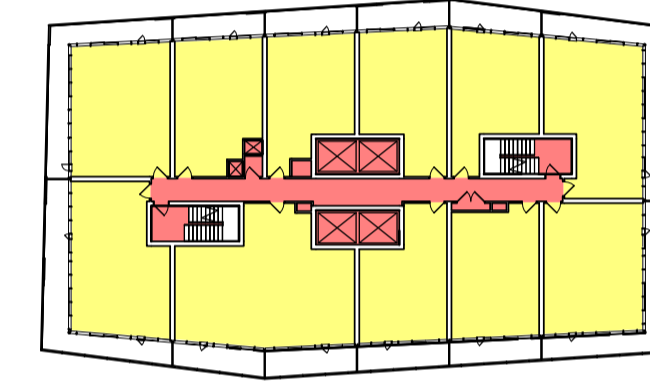
REVISION		
NO.	DATE	DESCRIPTION
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2	24-05-28	ISSUED FOR SPA REVISIONS



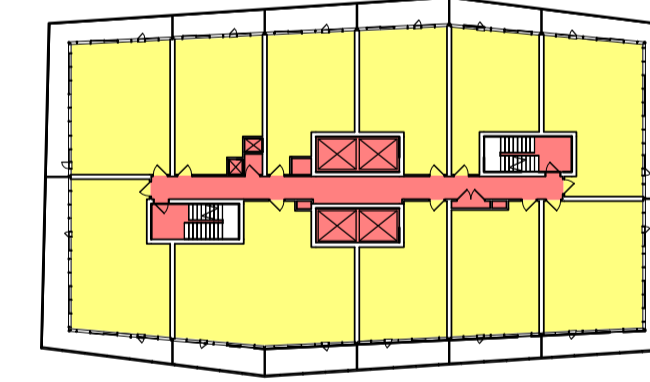
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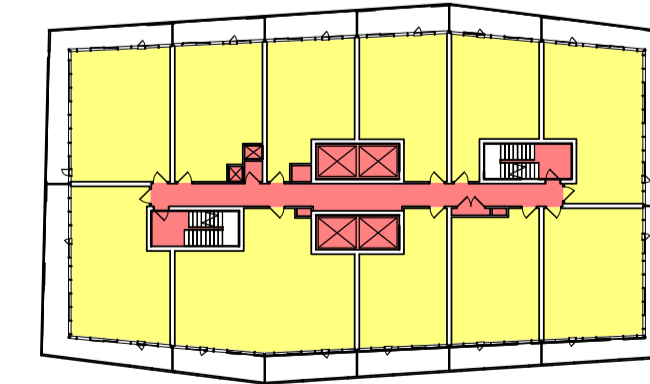
4 TOWER C - LEVEL 40
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3 TOWER C - LEVEL 39
1:500



2 LEVEL 38 C
1:500



1 TOWER C - LEVEL 37
1:500

B+H B+H Architects
 320 Bay Street, Suite 200
 Toronto, ON M5H 4A6
 T/416.596.2299 F/416.586.0599



STRUCTURAL ENGINEER :
Art Engineering
 171 Walgreen Rd
 Carp K0A 1L0
 T/613-836-0632

MECHANICAL ENGINEER :
Mechanical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxxx F/xxx.xxx.xxxx

ELECTRICAL ENGINEER :
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxxx F/xxx.xxx.xxxx

WIND + NOISE CONSULTANT :
Gradient Wind
 127 Walgreen Rd
 Carp K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT :
J. Lennox and Associates
 3332 Carling Ave
 Nepean K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER :
Mcintosh Perry
 115 Walgreen Rd
 Carp K0A 1L0
 T/613-836-2184

PLANNING CONSULTANT :
Fotenn
 396 Cooper St Suite 300
 Ottawa K2P 2H7
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TRAFFIC CONSULTANT :
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 13 Markham Ave
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OWNER :

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
GFA TOWER C L37-MPH

PROJECT NUMBER :
2211080

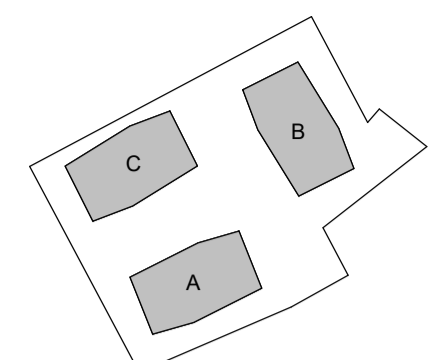
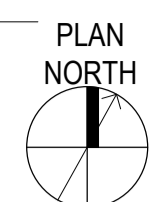
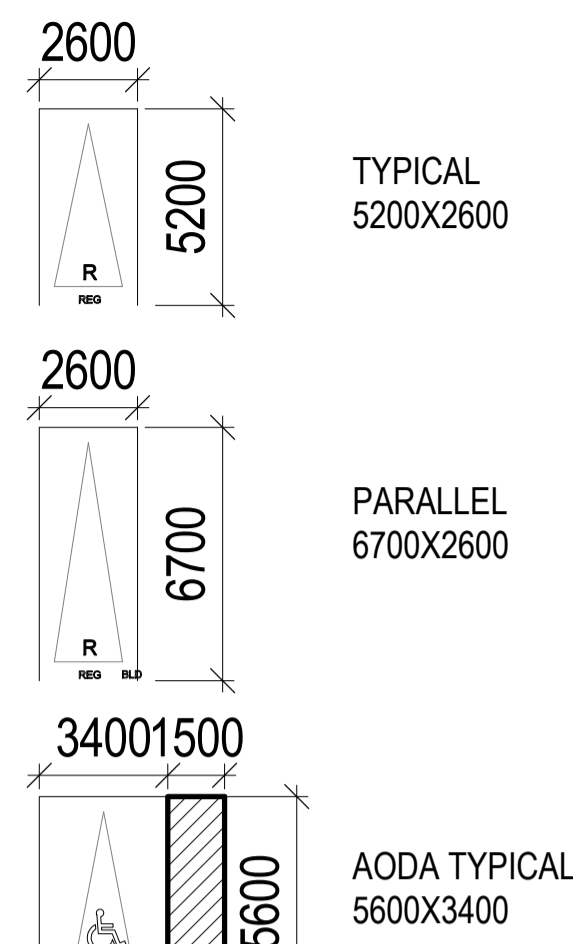
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DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **01/24/23**

SHEET NO : **A132** REV : **2**

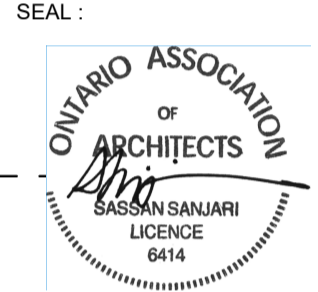
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.

PARKING SPACE LEGEND



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
 320 Bay Street, Suite 200
 Toronto, ON M5H 4A6
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- STRUCTURAL ENGINEER:**
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632
- MECHANICAL ENGINEER:**
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx
- ELECTRICAL ENGINEER:**
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxxx.xxx.xxx
- WIND + NOISE CONSULTANT:**
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934
- LANDSCAPE ARCHITECT:**
J. Lennox and Associates
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 Nepean K2H 5A8
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:**
McIntosh Perry
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 Carp, K0A 1L0
 T/613-836-2184
- PLANNING CONSULTANT:**
Fotenn
 396 Cooper St Suite 300
 Ottawa K2P 2H7
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- TRAFFIC CONSULTANT:**
CGH
 13 Markham Ave
 Nepean K2G 3Z1
 T/343-996-2623
- OWNER:**

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
P3 FLOOR PLAN

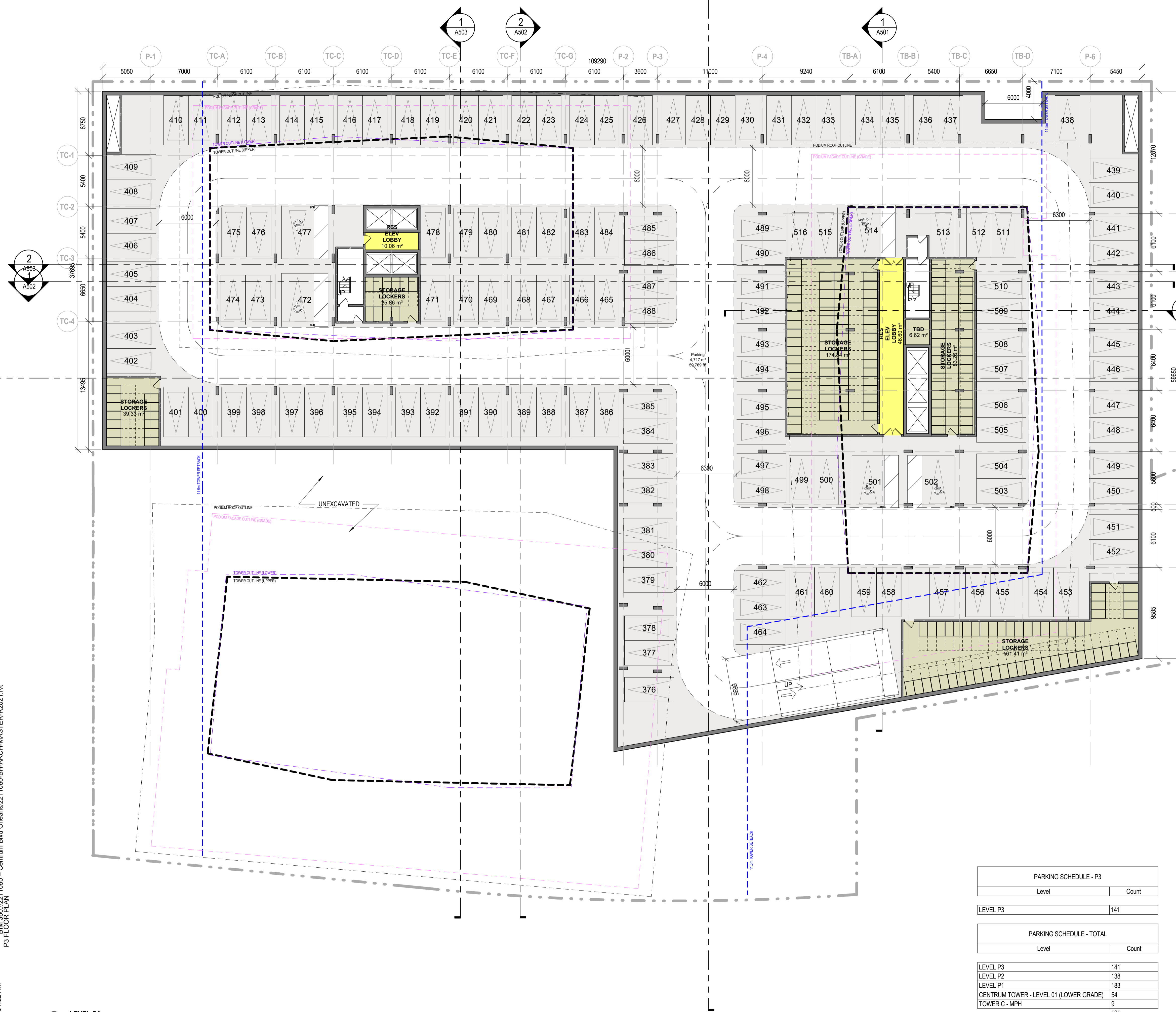
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DRAWING SCALE:
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DRAWN BY: Author **CHECKED BY:** Checker **DATE:** 02/16/23

SHEET NO: A200 **REV:** 2

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PARKING SCHEDULE - P3	
Level	Count
LEVEL P3	141

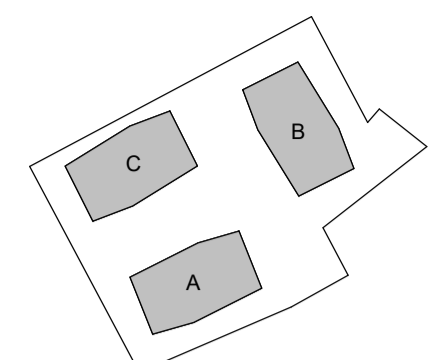
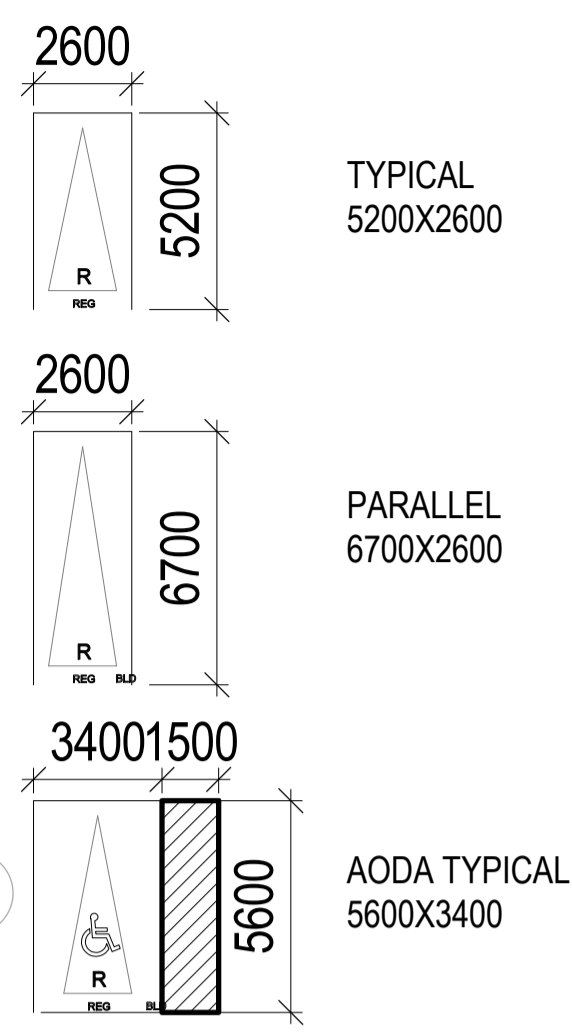
PARKING SCHEDULE - TOTAL	
Level	Count
LEVEL P3	141
LEVEL P2	138
LEVEL P1	183
CENTRUM TOWER - LEVEL 01 (LOWER GRADE)	54
TOWER C - MPH	9
	525

RESIDENTIAL LOCKER COUNT	
Level	Count
LEVEL P3	186
LEVEL P2	139
Grand total:	325

1 LEVEL P3
1:200

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PARKING SPACE LEGEND



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
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2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
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 Toronto, ON M5H 4A6
 T/416.596.2299 F/416.586.0599



- STRUCTURAL ENGINEER :
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 171 Walgreen Rd
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- MECHANICAL ENGINEER :
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx
- ELECTRICAL ENGINEER :
Electrical Consultant
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 City Post Code
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx
- WIND + NOISE CONSULTANT :
Gradient Wind
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CGH
 13 Markham Ave
 Nepean K2G 3Z1
 T/343-996-2623
- OWNER :

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
P2 FLOOR PLAN

PROJECT NUMBER :
2211080

DRAWING SCALE :
1 : 200

DRAWN BY :
Author

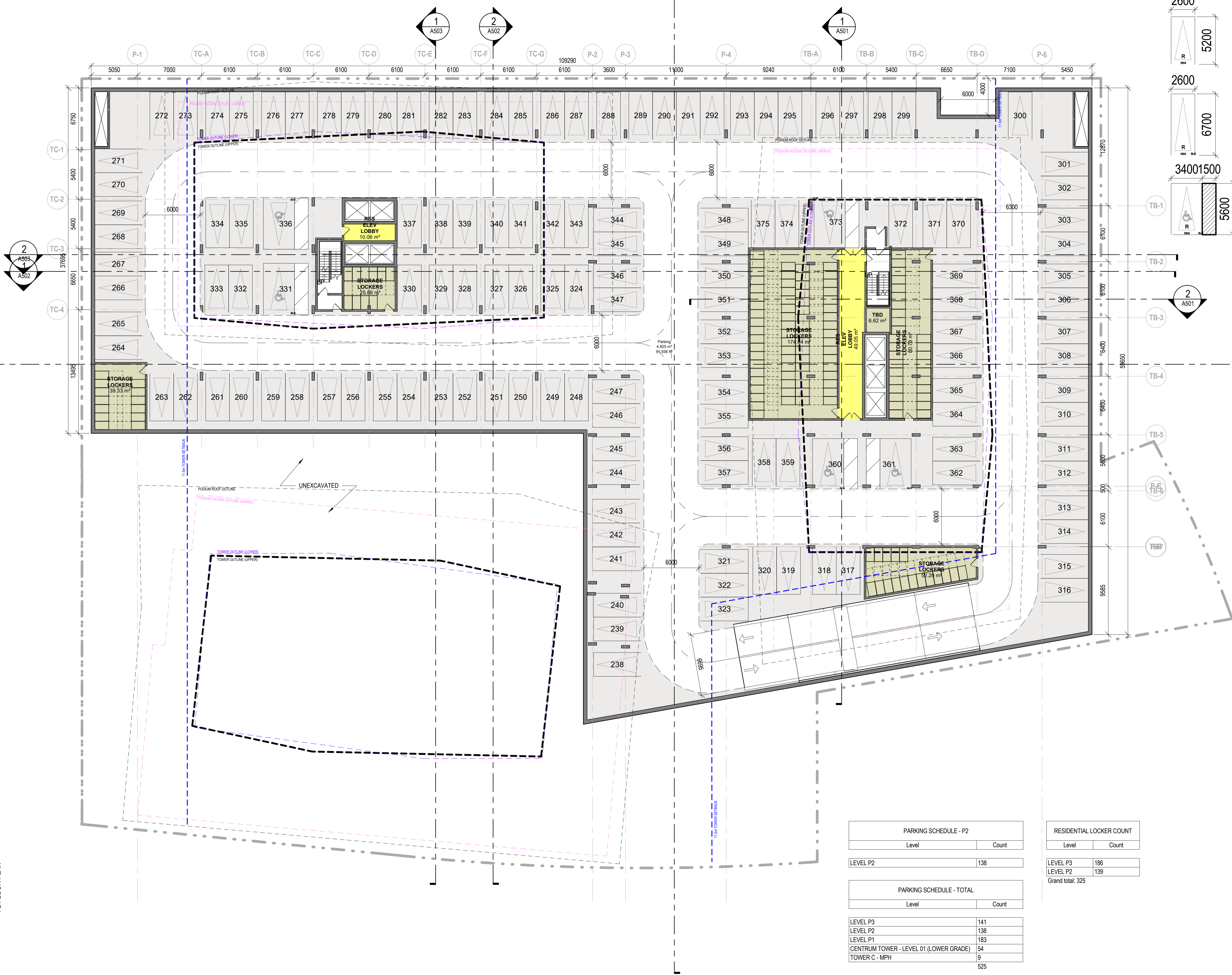
CHECKED BY :
Checker

DATE:
01/05/23

SHEET NO :
A201

REV :
2

BIM_360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-MASTER-R2021.rvt
 P2 FLOOR PLAN
 5/28/2024 9:35:01 AM
 A201



PARKING SCHEDULE - P2

Level	Count
LEVEL P2	138

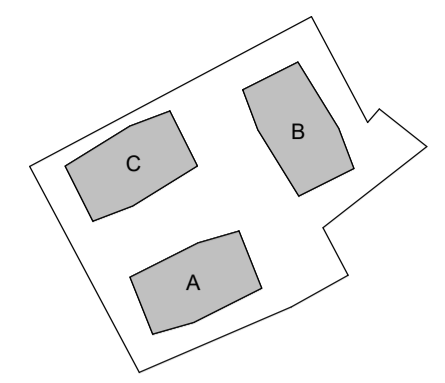
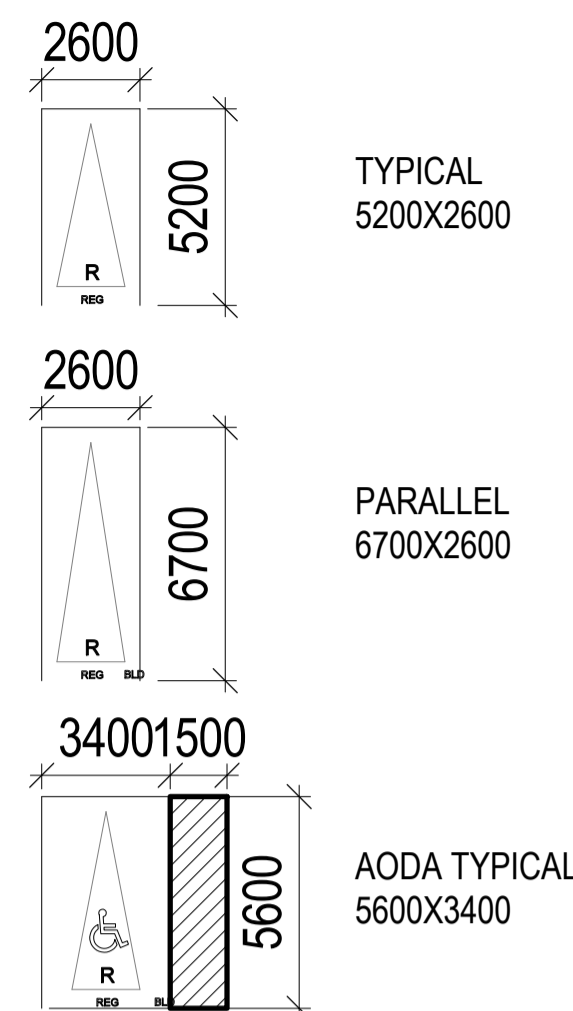
PARKING SCHEDULE - TOTAL

Level	Count
LEVEL P3	141
LEVEL P2	138
LEVEL P1	183
CENTRUM TOWER - LEVEL 01 (LOWER GRADE)	54
TOWER C - MPH	9
Total	525

RESIDENTIAL LOCKER COUNT

Level	Count
LEVEL P3	186
LEVEL P2	139
Grand total:	325

PARKING SPACE LEGEND



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
320 Bay Street, Suite 200
Toronto, ON M5H 4A6
T/416.596.2299 F/416.586.0599



STRUCTURAL ENGINEER:
Art Engineering
171 Walgreen Rd
Carp, K0A 1L0
T/613-836-0632

MECHANICAL ENGINEER:
Mechanical Consultant
Street Address
City Post Code
T/xxxx.xxx.xxx F/xxxx.xxx.xxx

ELECTRICAL ENGINEER:
Electrical Consultant
Street Address
City Post Code
T/xxxx.xxx.xxx F/xxxx.xxx.xxx

WIND + NOISE CONSULTANT:
Gradient Wind
127 Walgreen Rd
Carp, K0A 1L0
T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
3332 Caring Ave
Nepean, K2H 5A8
T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
115 Walgreen Rd
Carp, K0A 1L0
T/613-836-2184

PLANNING CONSULTANT:
Fotenn
396 Cooper St Suite 300
Ottawa, K2P 2H7
T/613-730-5709

TRAFFIC CONSULTANT:
CGH
13 Markham Ave
Nepean, K2G 3Z1
T/343-996-2623

OWNER:

BAYVIEW GROUP
108 Chestnut Street
Toronto M5G 1R3
T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS:
P1 FLOOR PLAN

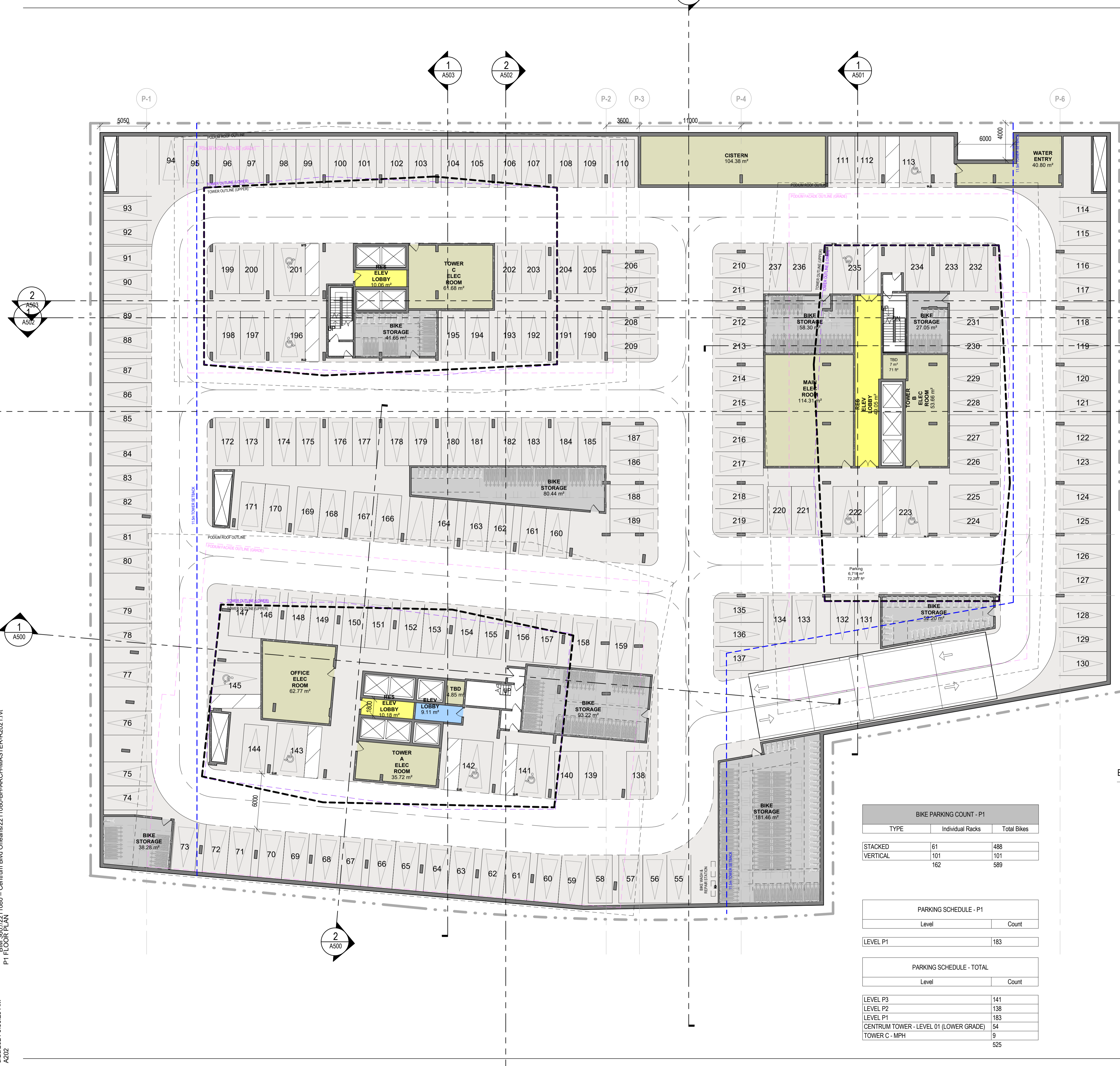
PROJECT NUMBER:
2211080

DRAWING SCALE:
As indicated

DRAWN BY: Author CHECKED BY: Checker DATE: 01/05/23

SHEET NO: **A202** REV: **2**

BIM 360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-MASTER-R2021.rvt
P1 FLOOR PLAN
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A202

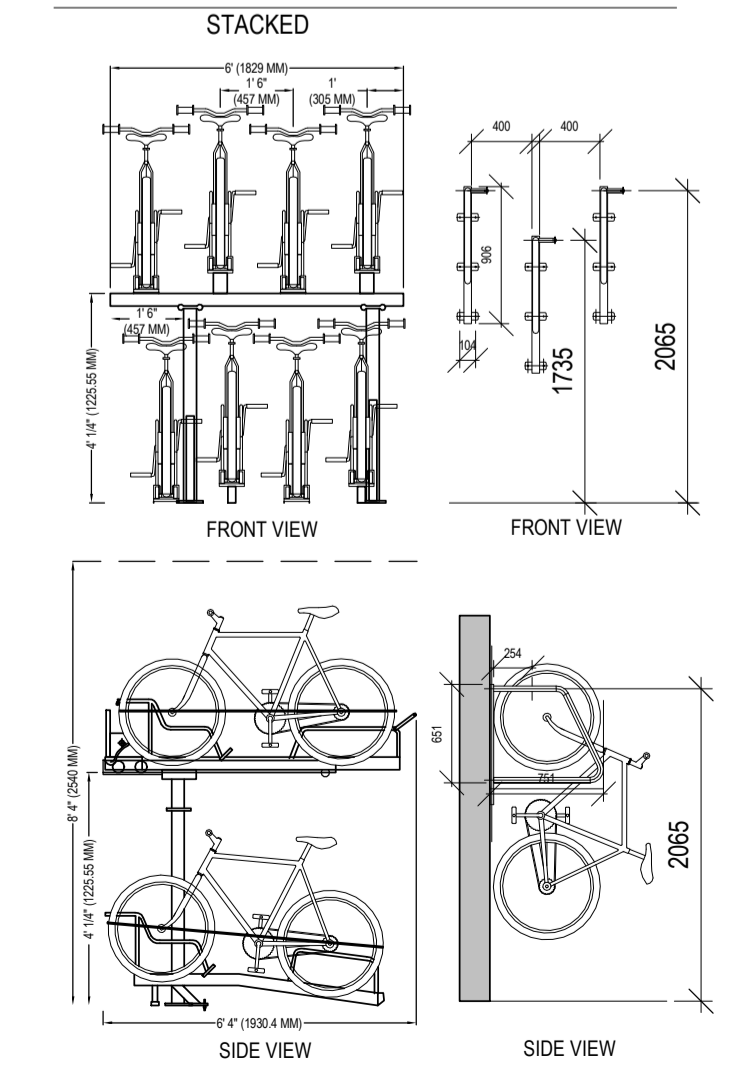


TYPE	Individual Racks	Total Bikes
STACKED	61	488
VERTICAL	101	101
	162	589

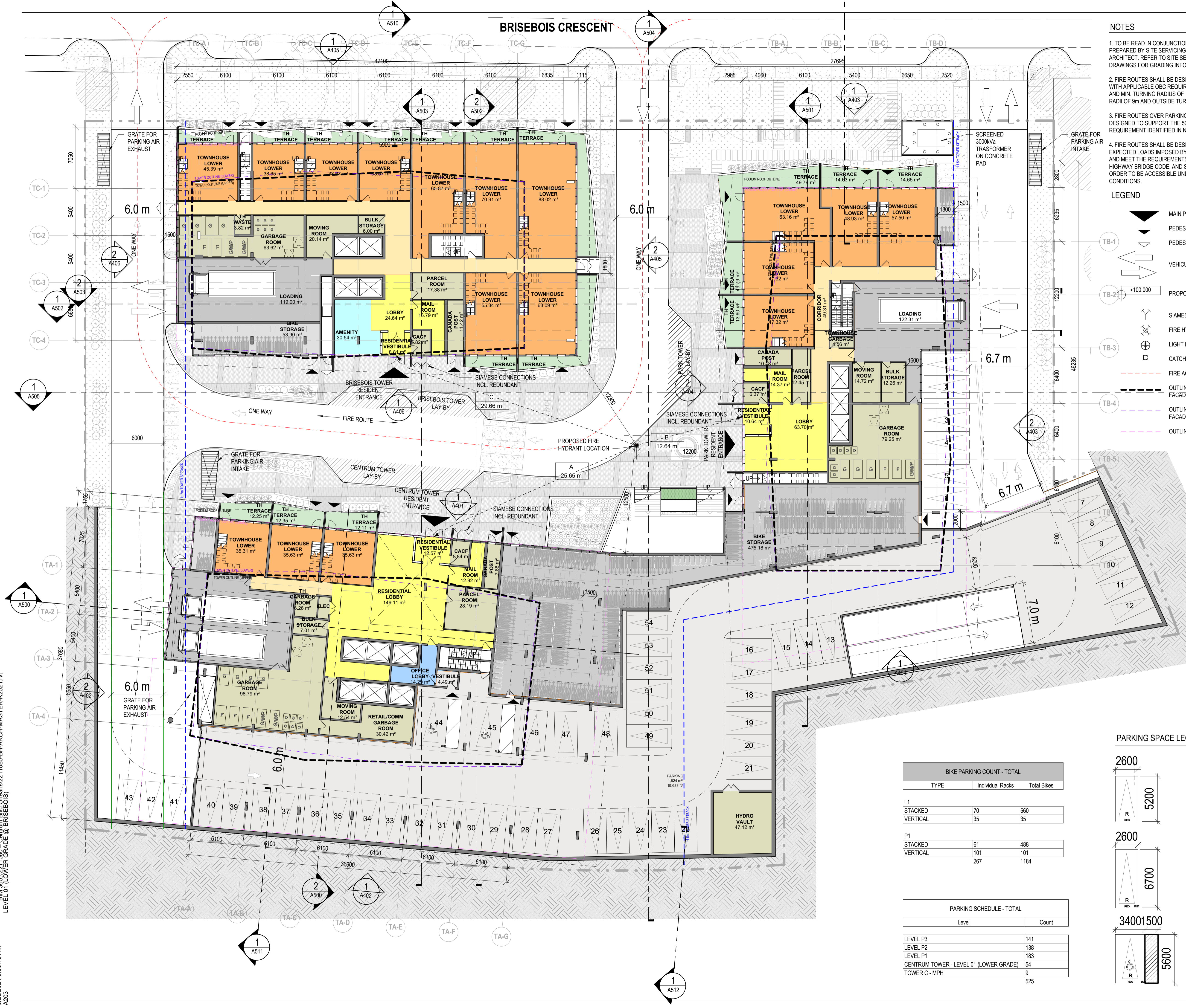
Level	Count
LEVEL P1	183

Level	Count
LEVEL P3	141
LEVEL P2	138
LEVEL P1	183
CENTRUM TOWER - LEVEL 01 (LOWER GRADE)	54
TOWER C - MPH	9
	525

BIKE PARKING DIAGRAMS



BRISEBOIS CRESCENT



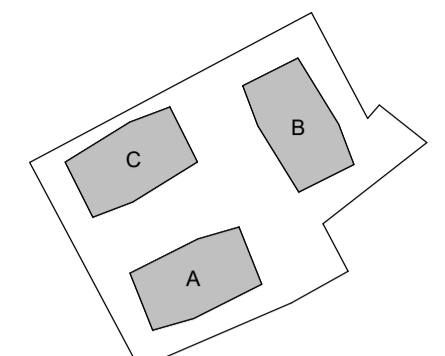
NOTES

- TO BE READ IN CONJUNCTION WITH DRAWINGS PREPARED BY SITE SERVICING ENGINEER AND LANDSCAPE ARCHITECT. REFER TO SITE SERVICES/GRADING DRAWINGS FOR GRADING INFORMATION AND DRAINAGE.
- FIRE ROUTES SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE OBC REQUIREMENTS; MIN. WIDTH 6m AND MIN. TURNING RADIUS OF 12m; INTERIOR TURNING RADIUS OF 9m AND OUTSIDE TURNING RADIUS OF 15m.
- FIRE ROUTES OVER PARKING GARAGE SHALL BE DESIGNED TO SUPPORT THE 500 KPA LOADING REQUIREMENT IDENTIFIED IN NFPA 1301.
- FIRE ROUTES SHALL BE DESIGNED TO SUPPORT EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND MEET THE REQUIREMENTS OF THE CANADIAN HIGHWAY BRIDGE CODE, AND SHALL BE SURFACED IN ORDER TO BE ACCESSIBLE UNDER ALL CLIMATIC CONDITIONS.

LEGEND

- MAIN PEDESTRIAN ENTRY
- PEDESTRIAN ENTRY
- PEDESTRIAN EGRESS
- VEHICULAR ENTRY
- PROPOSED ELEVATION +100.000
- SIAMESE CONNECTION
- FIRE HYDRANT
- LIGHT POST
- CATCH BASIN / MAN-HOLE COVER
- FIRE ACCESS ROUTE
- OUTLINE OF UPPER TOWER FACADE
- OUTLINE OF LOWER TOWER FACADE
- OUTLINE OF PODIUM FACADE

PLAN NORTH



KEY PLAN

REVISION

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2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
 320 Bay Street, Suite 200
 Toronto, ON M5H 4A6
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STRUCTURAL ENGINEER:
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632

MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxxx F/xxxx.xxxx

ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxxx.xxxx F/xxxx.xxxx

WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
 115 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-2184

PLANNING CONSULTANT:
Fotenn
 396 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709

TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:
BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM
 265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
LEVEL 01 (LOWER GRADE @ BRISEBOIS)

PROJECT NUMBER:
2211080
 DRAWING SCALE:
1 : 200
 DRAWN BY:
Author
 CHECKED BY:
Checker
 DATE:
02/13/23
 SHEET NO:
A203
 REV:
2

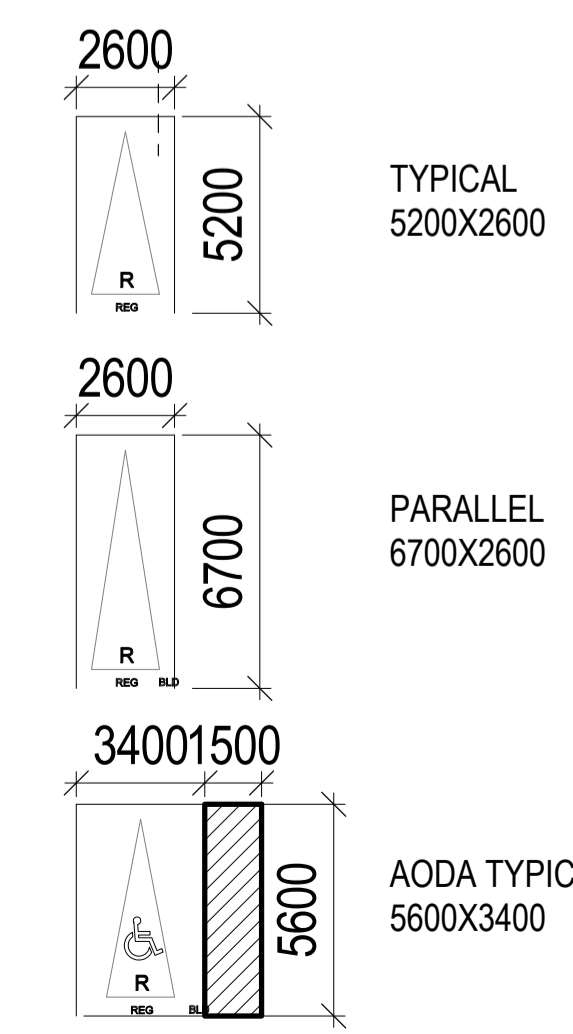
BIKE PARKING COUNT - TOTAL

TYPE	Individual Racks	Total Bikes
L1 STACKED VERTICAL	70	560
	35	35
P1 STACKED VERTICAL	61	488
	101	101
	267	1184

PARKING SCHEDULE - TOTAL

Level	Court
LEVEL P3	141
LEVEL P2	138
LEVEL P1	183
CENTRUM TOWER - LEVEL 01 (LOWER GRADE)	54
TOWER C - MPH	9
	525

PARKING SPACE LEGEND



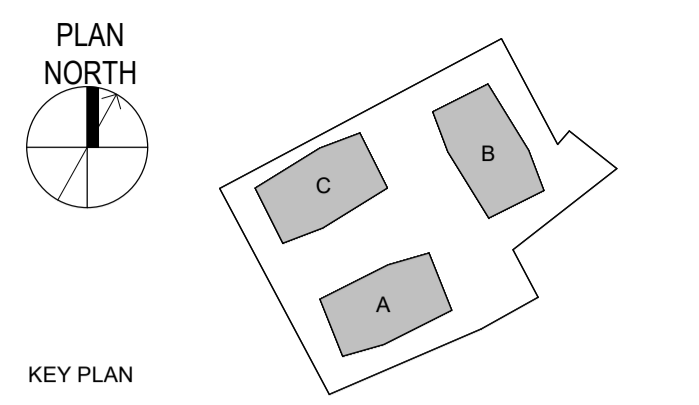
BIM_360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-MASTER-R2021.rvt
 LEVEL 02 (UPPER GRADE @ CENTRUM)
 5/28/2024 9:38:43 AM
 A204



BRISEBOIS CRESCENT

CENTRUM BOULEVARD

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
 B+H Architects
 320 Bay Street, Suite 200
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- STRUCTURAL ENGINEER:
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 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632
- MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx
- ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxxx.xxxx.xxx F/xxxx.xxxx.xxxx
- WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934
- LANDSCAPE ARCHITECT:
J. Lennox and Associates
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 T/613-722-5168
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 T/613-836-2184
- PLANNING CONSULTANT:
Fotenn
 396 Cooper St Suite 300
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 T/613-730-5709
- TRAFFIC CONSULTANT:
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 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623
- OWNER:

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
LEVEL 02 (UPPER GRADE @ CENTRUM)

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 200

DRAWN BY:
 Author

CHECKED BY:
 Checker

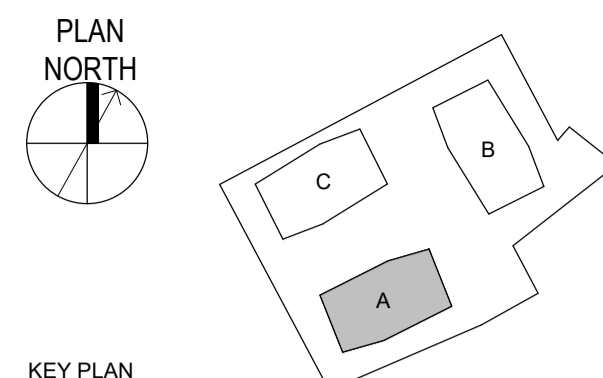
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 02/13/23

SHEET NO.:
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REV:
2

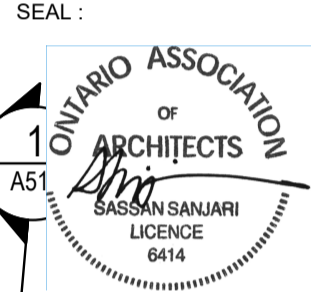
LEVEL 01, UPPER GRADE @ CENTRUM

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

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STRUCTURAL ENGINEER:
Art Engineering
 171 Walgreen Rd
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MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxxx F/xxxx.xxxx

ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxxx F/xxxx.xxxx

WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Caring Ave
 Nepean, K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
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 115 Walgreen Rd
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 T/613-836-2184

PLANNING CONSULTANT:
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 396 Cooper St Suite 300
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 T/613-730-5709

TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

CONTENTS:
TOWER A (CENTRUM) LEVELS 3-6

PROJECT NUMBER:
 2211080

DRAWING SCALE:
 1 : 200

DRAWN BY: Author
CHECKED BY: Checker
DATE: 02/13/23

SHEET NO.: A205
REV: 2



4 TOWER A (CENTRUM) LEVEL 6
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2 TOWER A (CENTRUM) LEVEL 4
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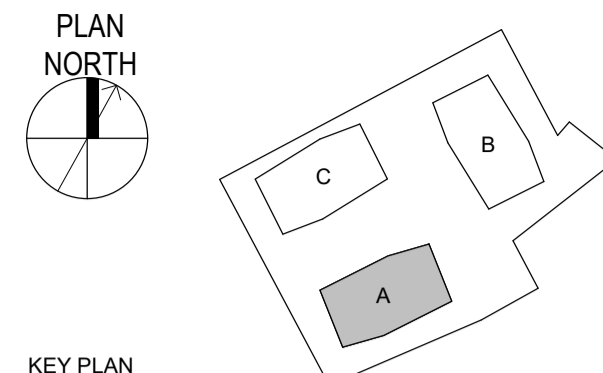


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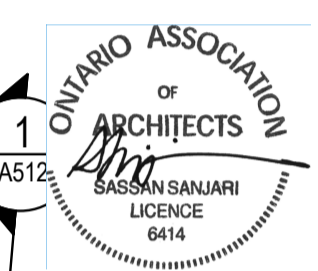
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 A205



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

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- STRUCTURAL ENGINEER:**
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632
- MECHANICAL ENGINEER:**
Mechanical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx
- ELECTRICAL ENGINEER:**
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx
- WIND + NOISE CONSULTANT:**
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934
- LANDSCAPE ARCHITECT:**
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:**
McIntosh Perry
 115 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-2184
- PLANNING CONSULTANT:**
Fotenn
 396 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709
- TRAFFIC CONSULTANT:**
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623
- OWNER:**

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

**265 CENTRUM BLVD
 ORLEANS, ON
 K3E 3X7**

SHEET CONTENTS:
**TOWER A (CENTRUM) LEVELS
 7-35**

PROJECT NUMBER:
 2211080

DRAWING SCALE:
 1 : 200

DRAWN BY: Author
CHECKED BY: Checker
DATE: 02/14/23

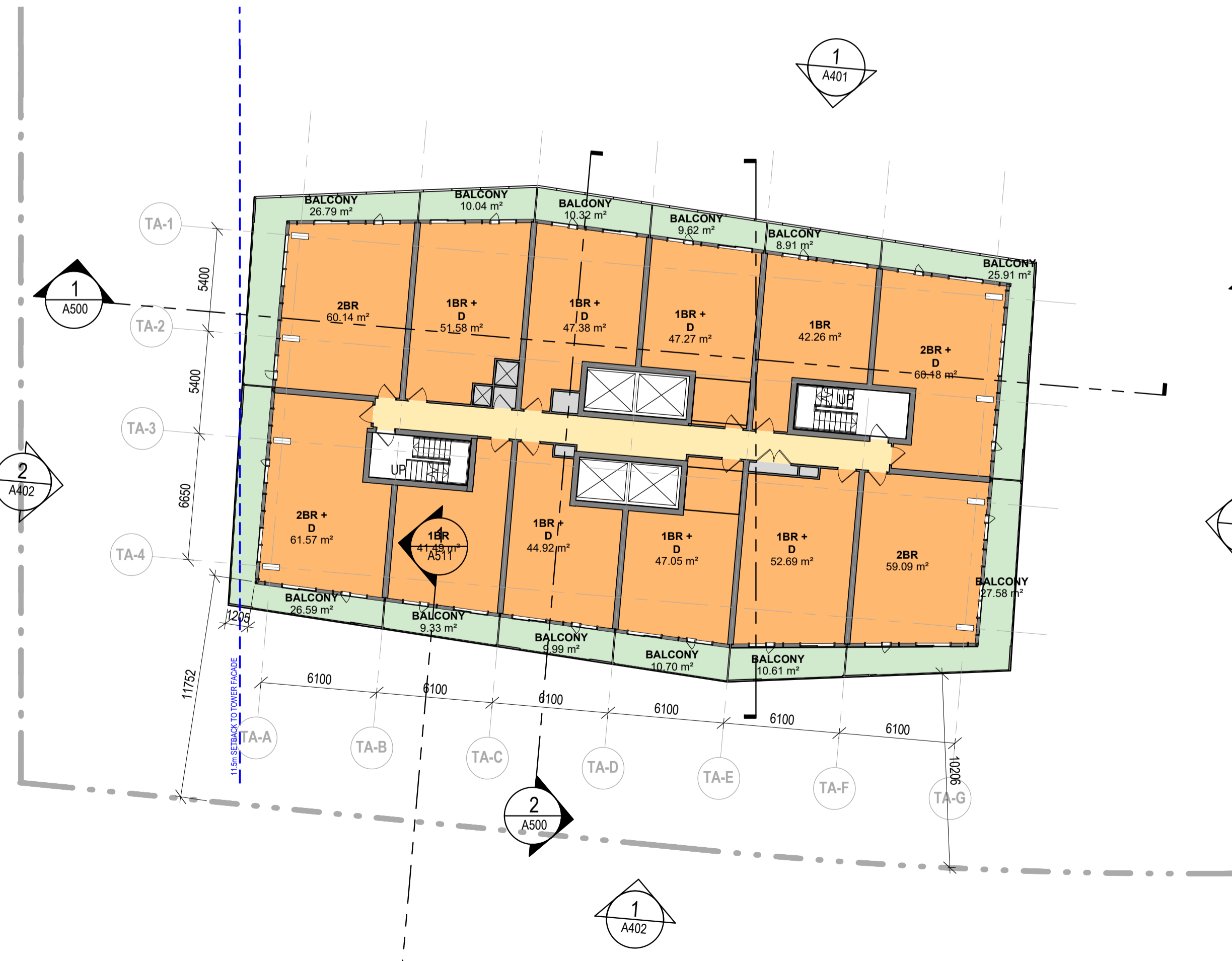
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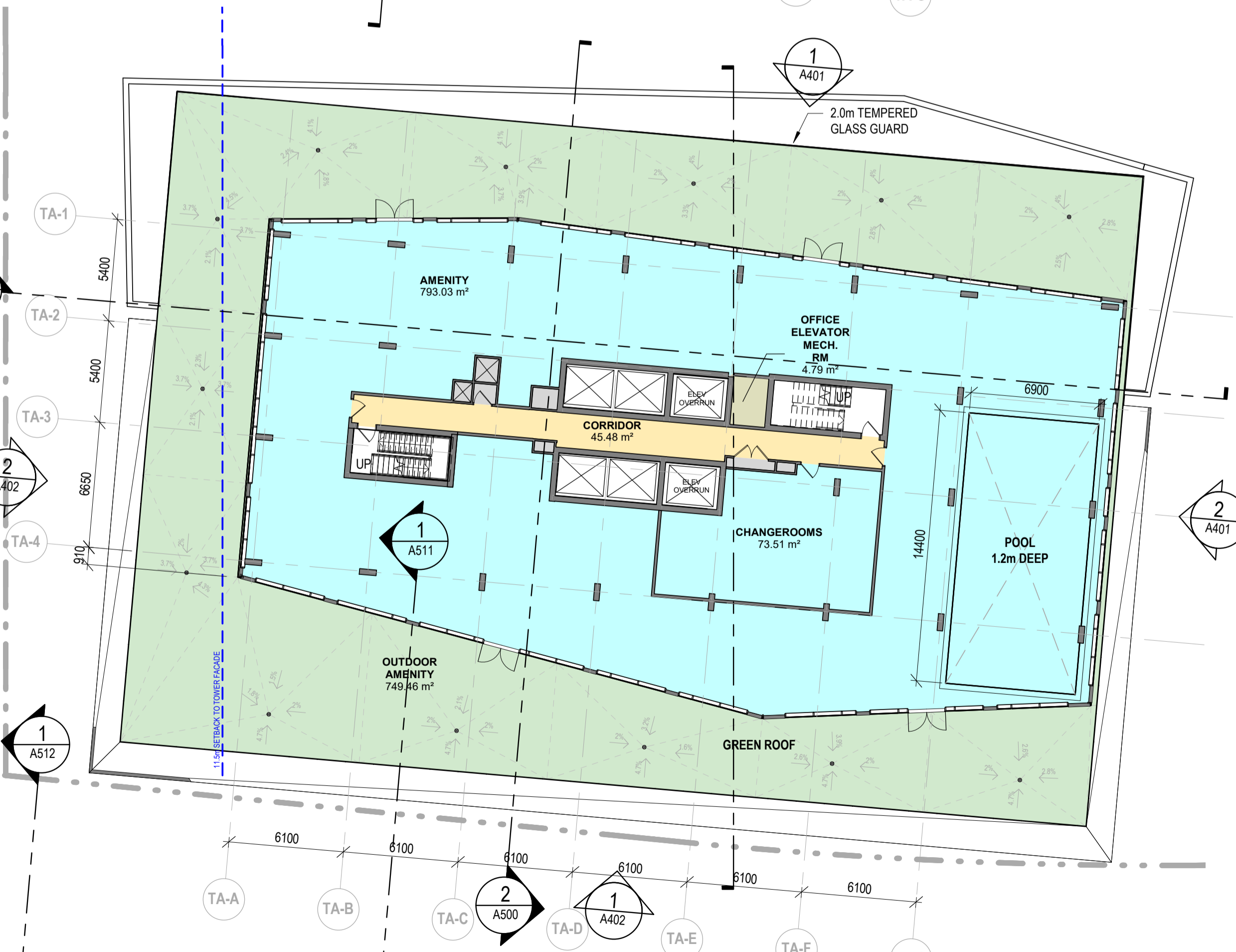
4 TOWER A (CENTRUM) LEVEL 23
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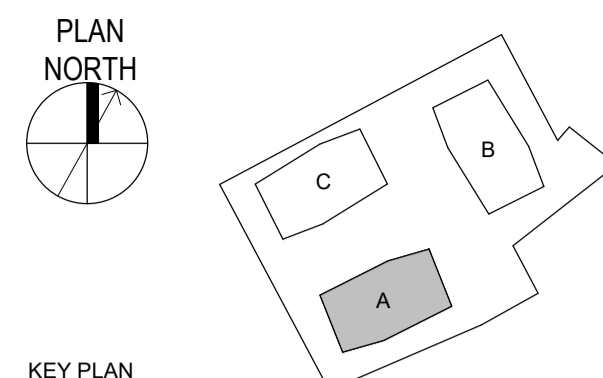
2 TOWER A (CENTRUM) LEVEL 8
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3 TOWER A (CENTRUM) LEVEL 9-22
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1 TOWER A (CENTRUM) LEVEL 7
 1:200



REVISION

NO.	DATE	DESCRIPTION
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2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
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- STRUCTURAL ENGINEER:
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 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632
- MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx
- ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx
- WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934
- LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
 115 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-2184
- PLANNING CONSULTANT:
Fotenn
 396 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709
- TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623
- OWNER:

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
**TOWER A (CENTRUM) LEVELS
 MECH. - ROOF**

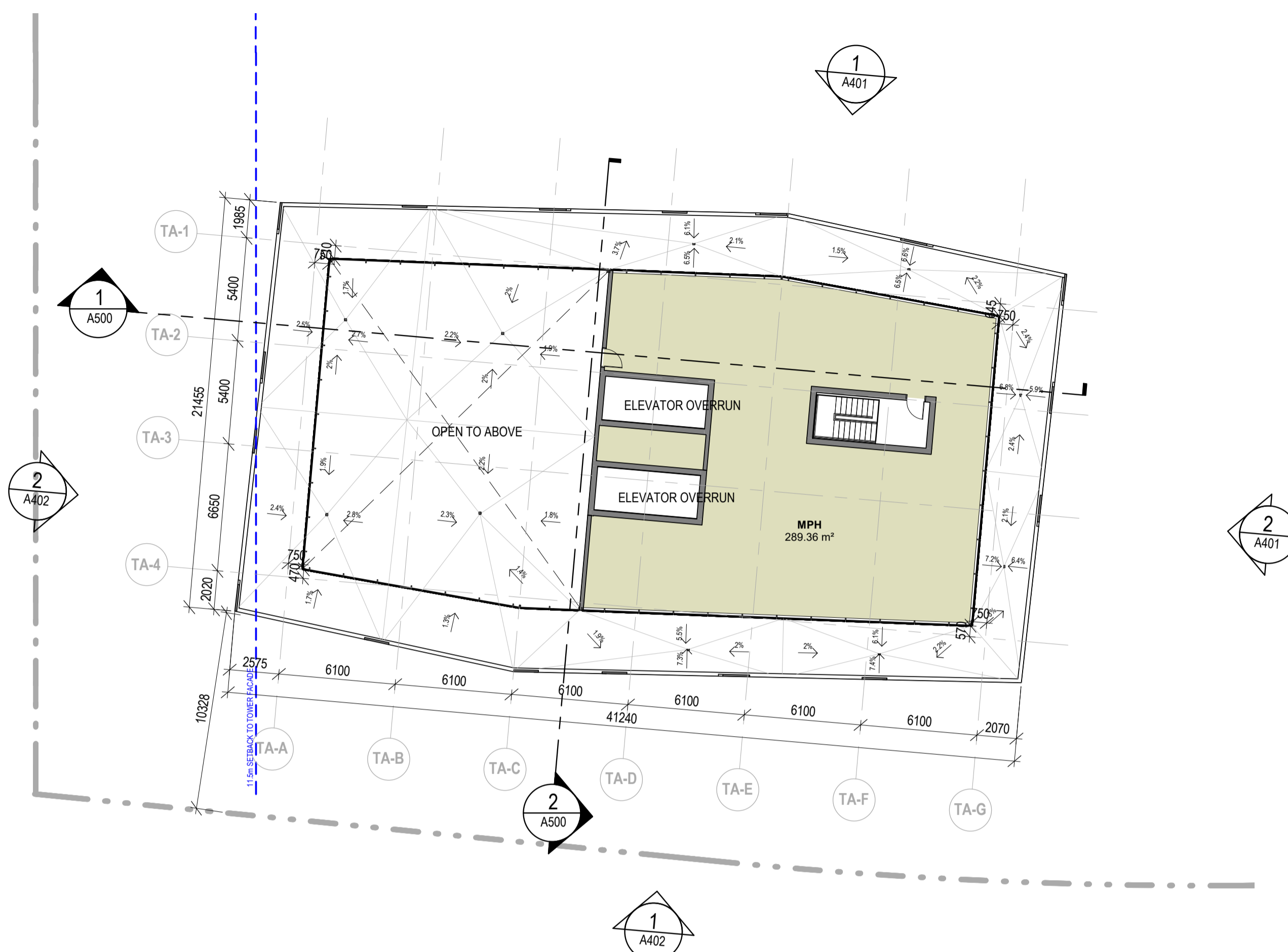
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2211080

DRAWING SCALE:
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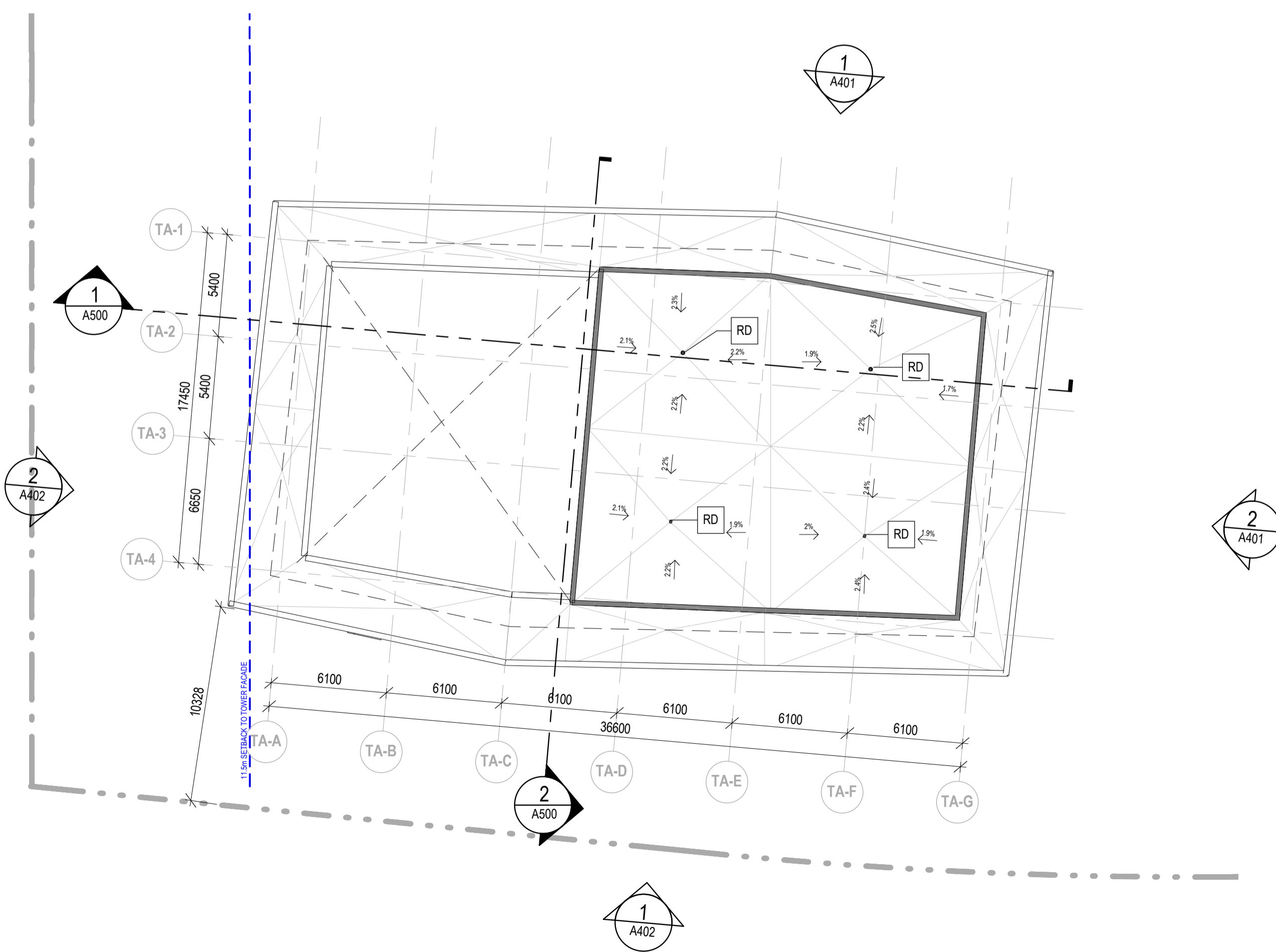
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 CHECKED BY: Checker
 DATE: 02/14/23

SHEET NO:
A207

REV: **2**



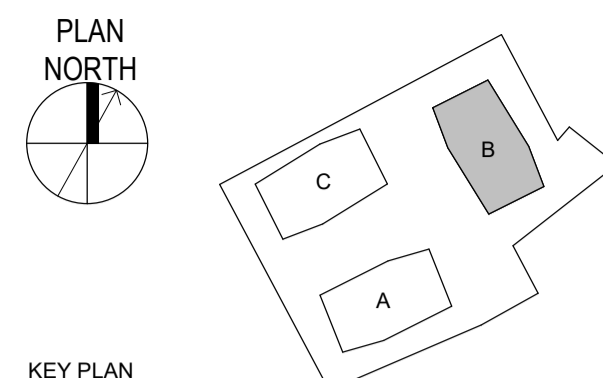
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TOWER A (CENTRUM) - MECH. PENTHOUSE



1:200
TOWER A (CENTRUM) - ROOF



1:200
TOWER A (CENTRUM) LEVEL 29-35



REVISION		
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B+H Architects
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STRUCTURAL ENGINEER:
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632

MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx

ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
 115 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-2184

PLANNING CONSULTANT:
Fotenn
 396 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709

TRAFFIC CONSULTANT:
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 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

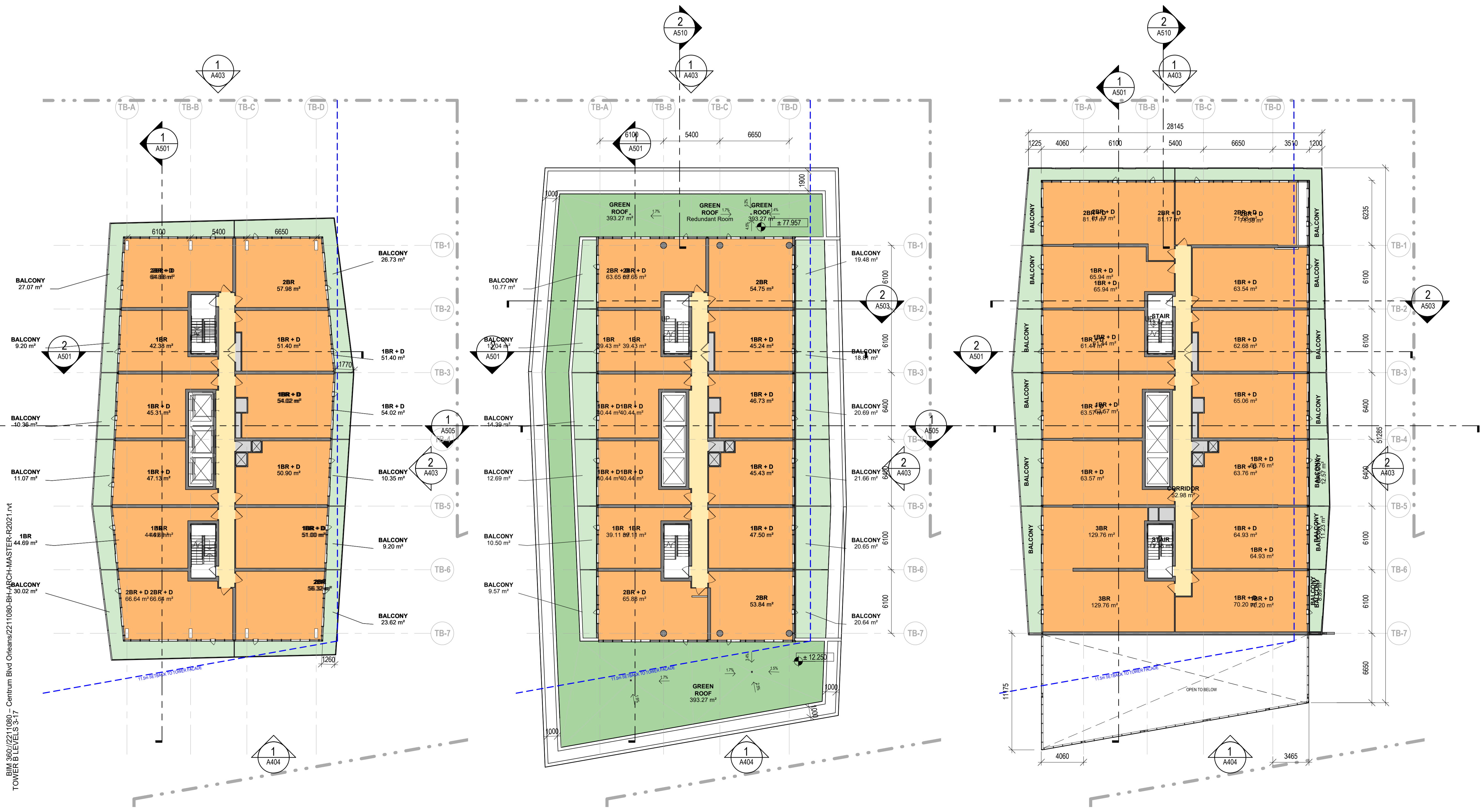
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TOWER B LEVELS 3-17

PROJECT NUMBER:
 2211080

DRAWING SCALE:
 1 : 200

DRAWN BY: Author
CHECKED BY: Checker
DATE: 02/14/23

SHEET NO.: A208
REV.: 2



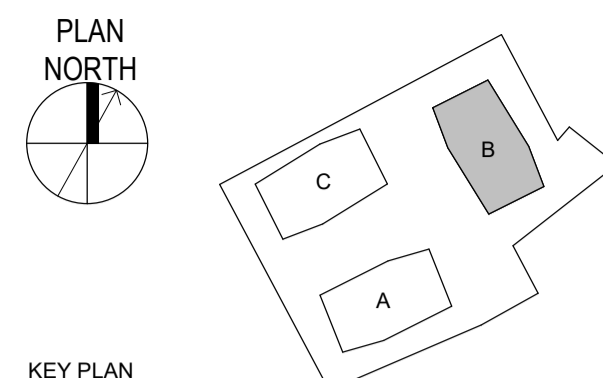
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 TOWER B LEVELS 3-17

5/28/2024 9:39:55 AM
 A208

3 TOWER B - LEVEL 5-17
 1:200

2 TOWER B - LEVEL 4
 1:200

1 TOWER B - LEVEL 3
 1:200



REVISION		
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B+H Architects
 320 Bay Street, Suite 200
 Toronto, ON M5H 4A5
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STRUCTURAL ENGINEER:
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 171 Walgreen Rd
 Carp, K0A 1L0
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MECHANICAL ENGINEER:
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 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
McIntosh Perry
 115 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-2184

PLANNING CONSULTANT:
Fotenn
 996 Cooper St Suite 300
 Ottawa, K2P 2H7
 T/613-730-5709

TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:
BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
TOWER B LEVEL 18-22

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 200

DRAWN BY:
Author

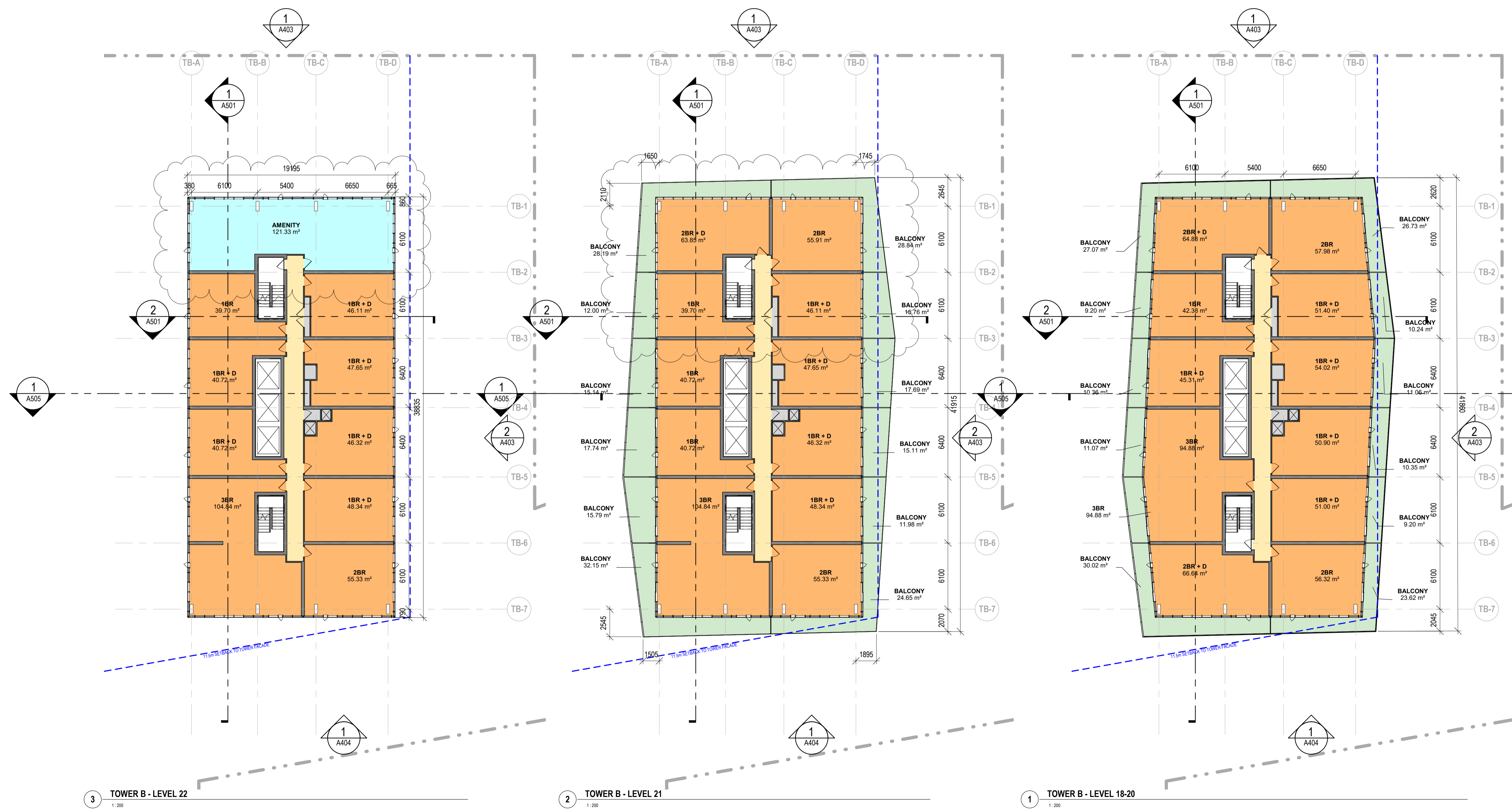
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Checker

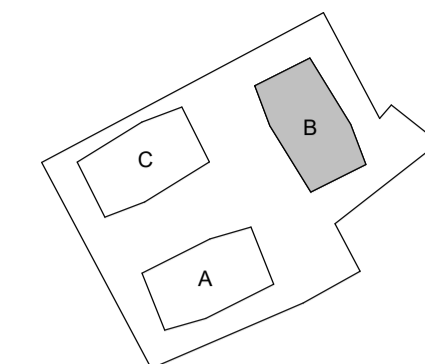
DATE:
02/14/23

SHEET NO:
A209

REV:
2

BIM 360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-MASTER-R2021.rvt
 TOWER B LEVEL 18-22
 5/28/2024 9:40:00 AM
 A209





KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H B+H Architects
 320 Bay Street, Suite 200
 Toronto, ON M5H 4A6
 T/416.596.2299 F/416.586.0599

SEAL:



STRUCTURAL ENGINEER:
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632

MECHANICAL ENGINEER:
Mechanical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx

ELECTRICAL ENGINEER:
Electrical Consultant
 Street Address
 City Post Code
 T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT:
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
 3332 Carling Ave
 Nepean, K2H 5A8
 T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
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 T/613-836-2184

PLANNING CONSULTANT:
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 Ottawa, K2P 2H7
 T/613-730-5709

TRAFFIC CONSULTANT:
CGH
 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623

OWNER:
BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
TOWER B LEVELS 23 - ROOF

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 200

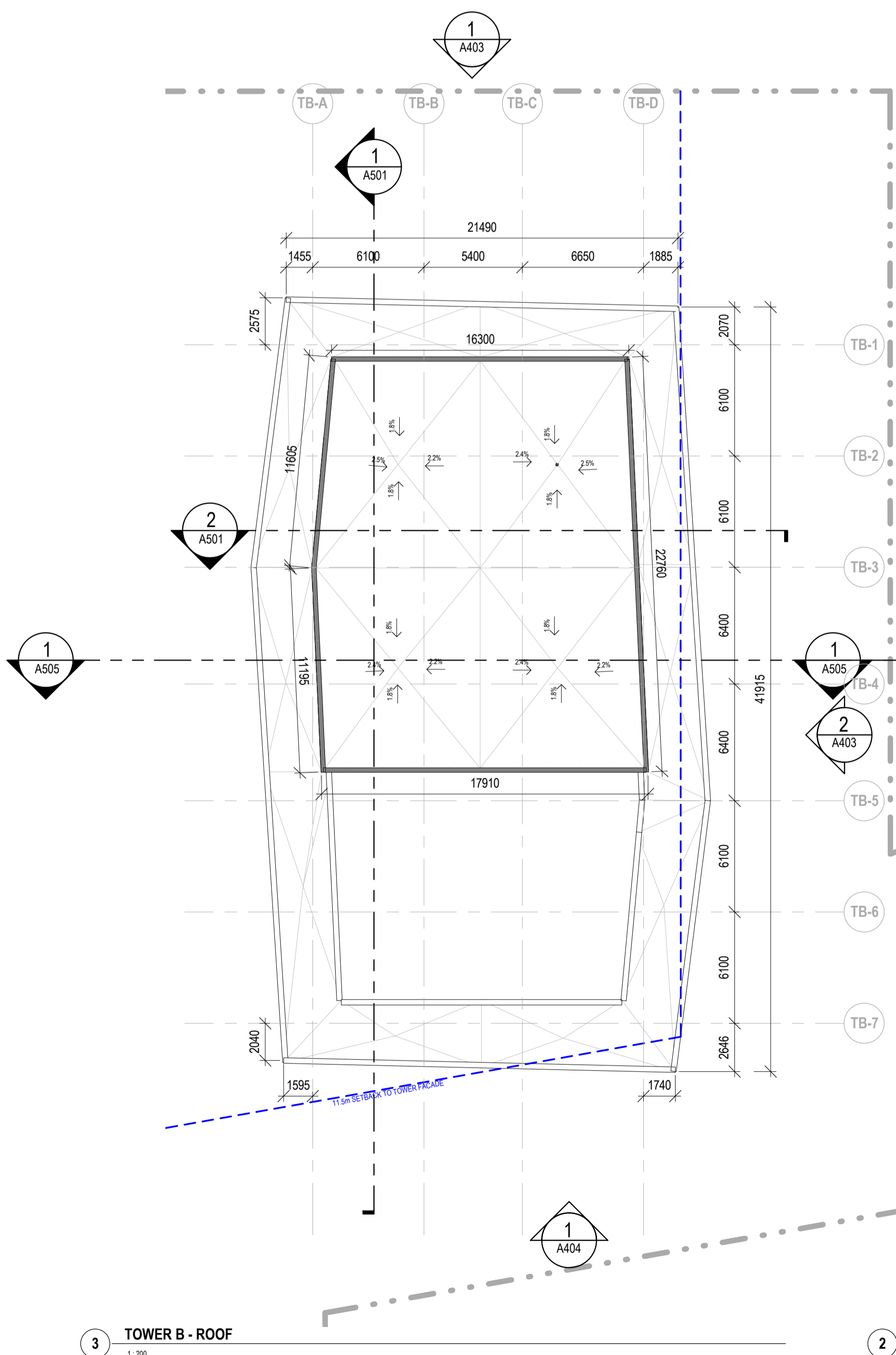
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Author

CHECKED BY:
Checker

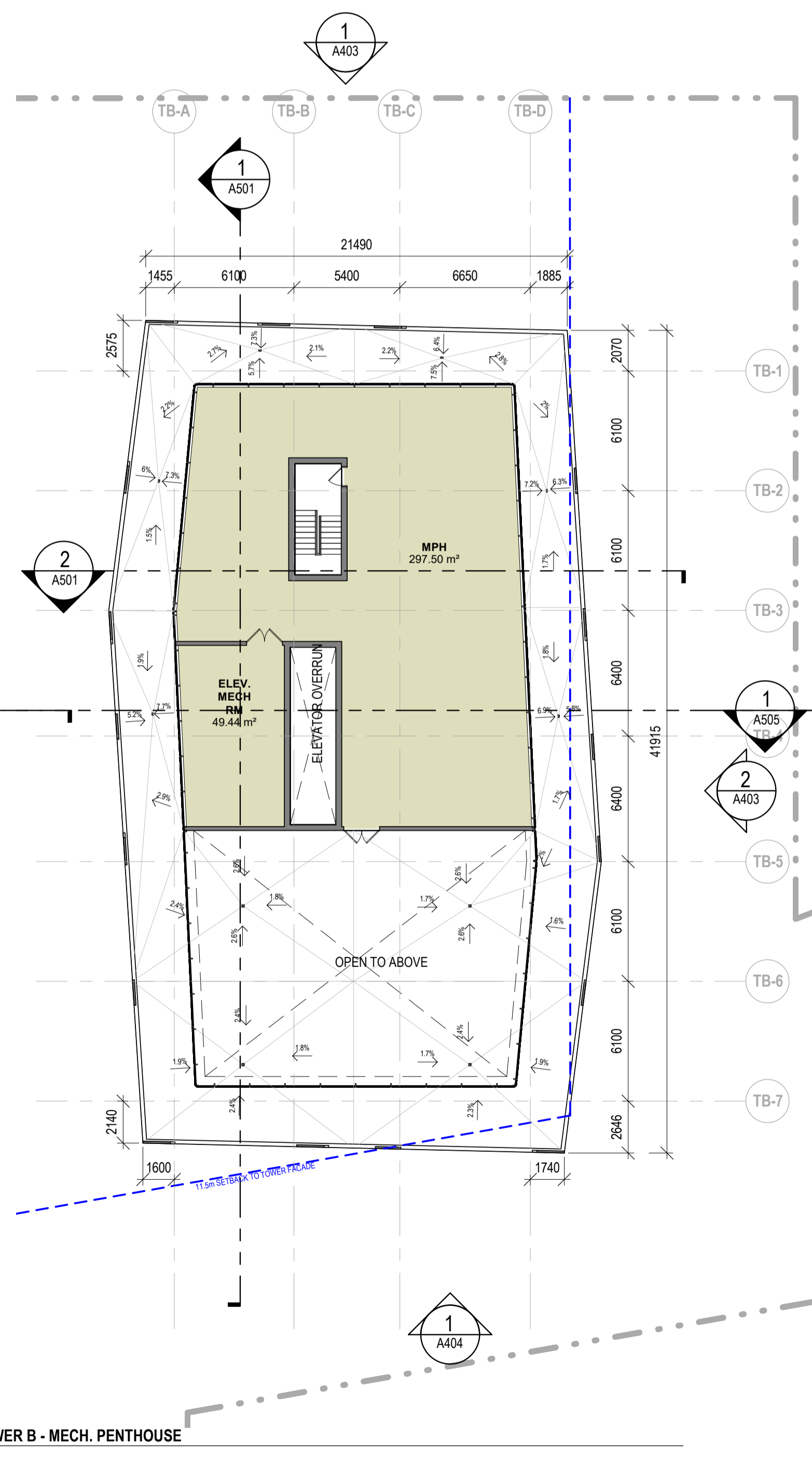
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02/14/23

SHEET NO:
A210

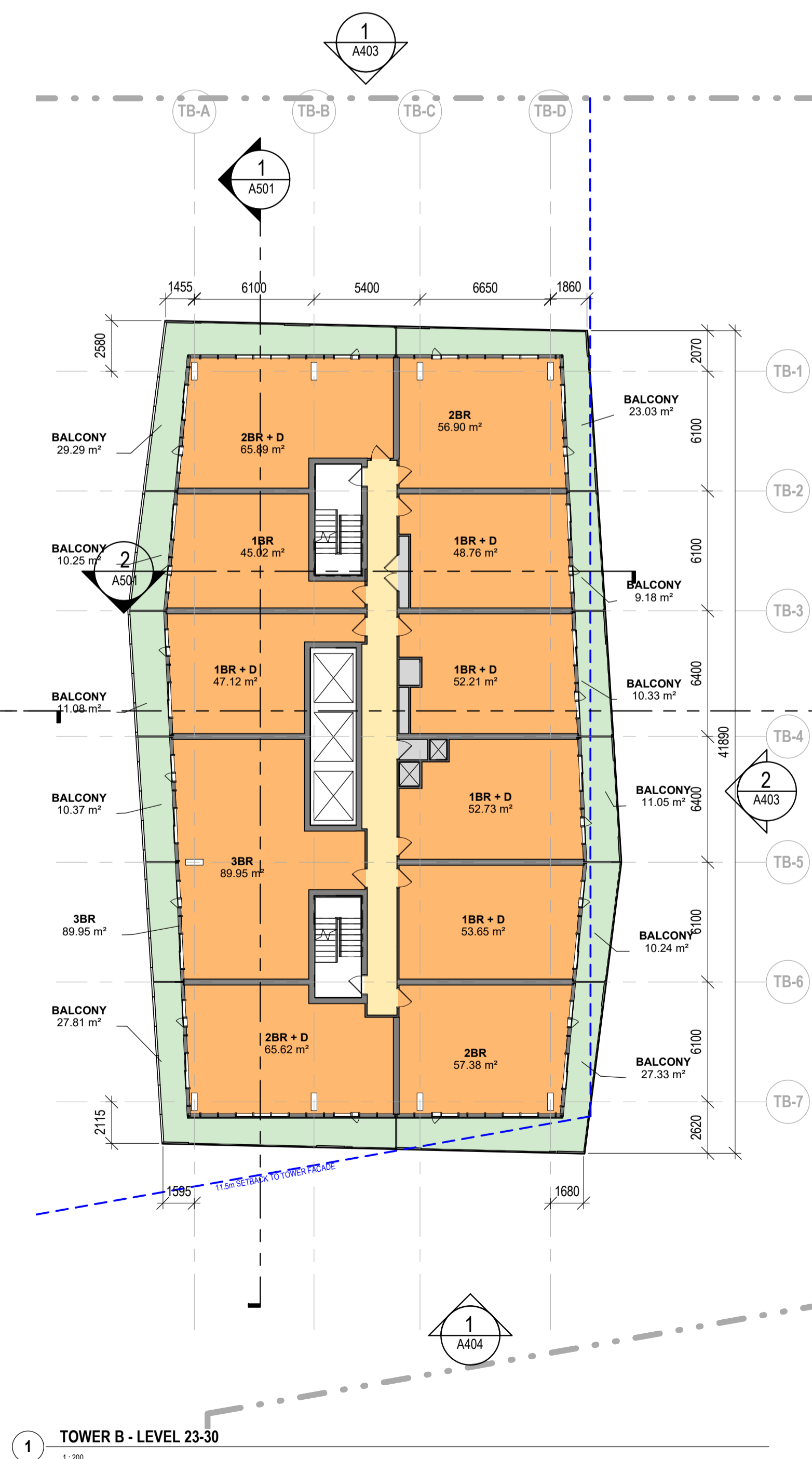
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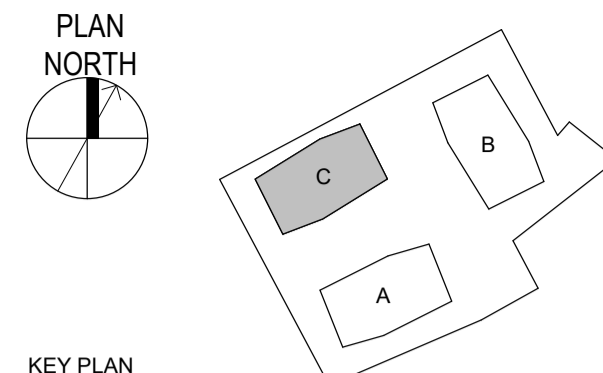
3 TOWER B - ROOF
1:200



2 TOWER B - MECH. PENTHOUSE
1:200



1 TOWER B - LEVEL 23-30
1:200



REVISION		
NO.	DATE	DESCRIPTION
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PROJECT:
CENTRUM

265 CENTRUM BLVD
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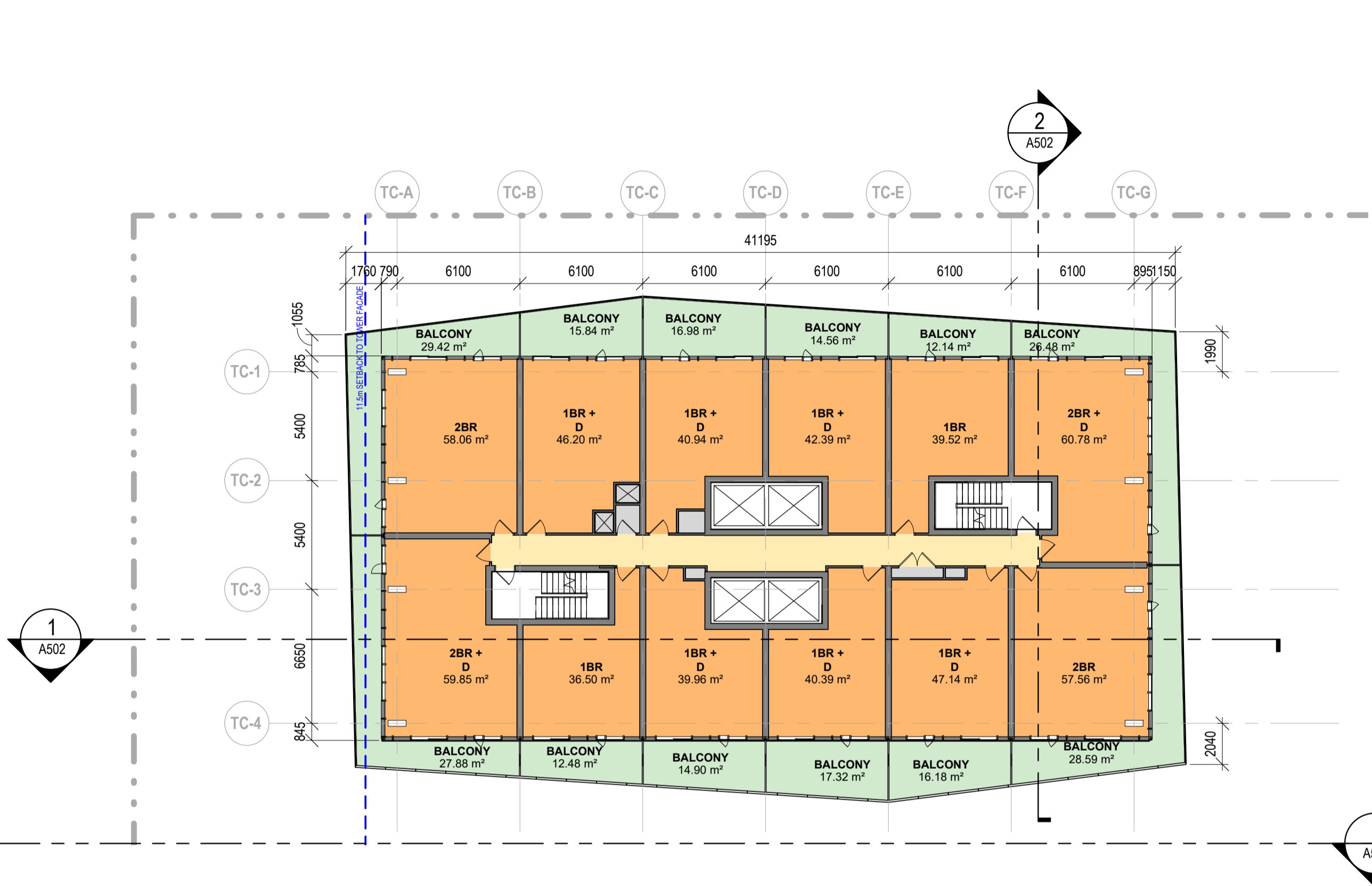
SHEET CONTENTS:
TOWER C LEVELS 3-15

PROJECT NUMBER:
2211080

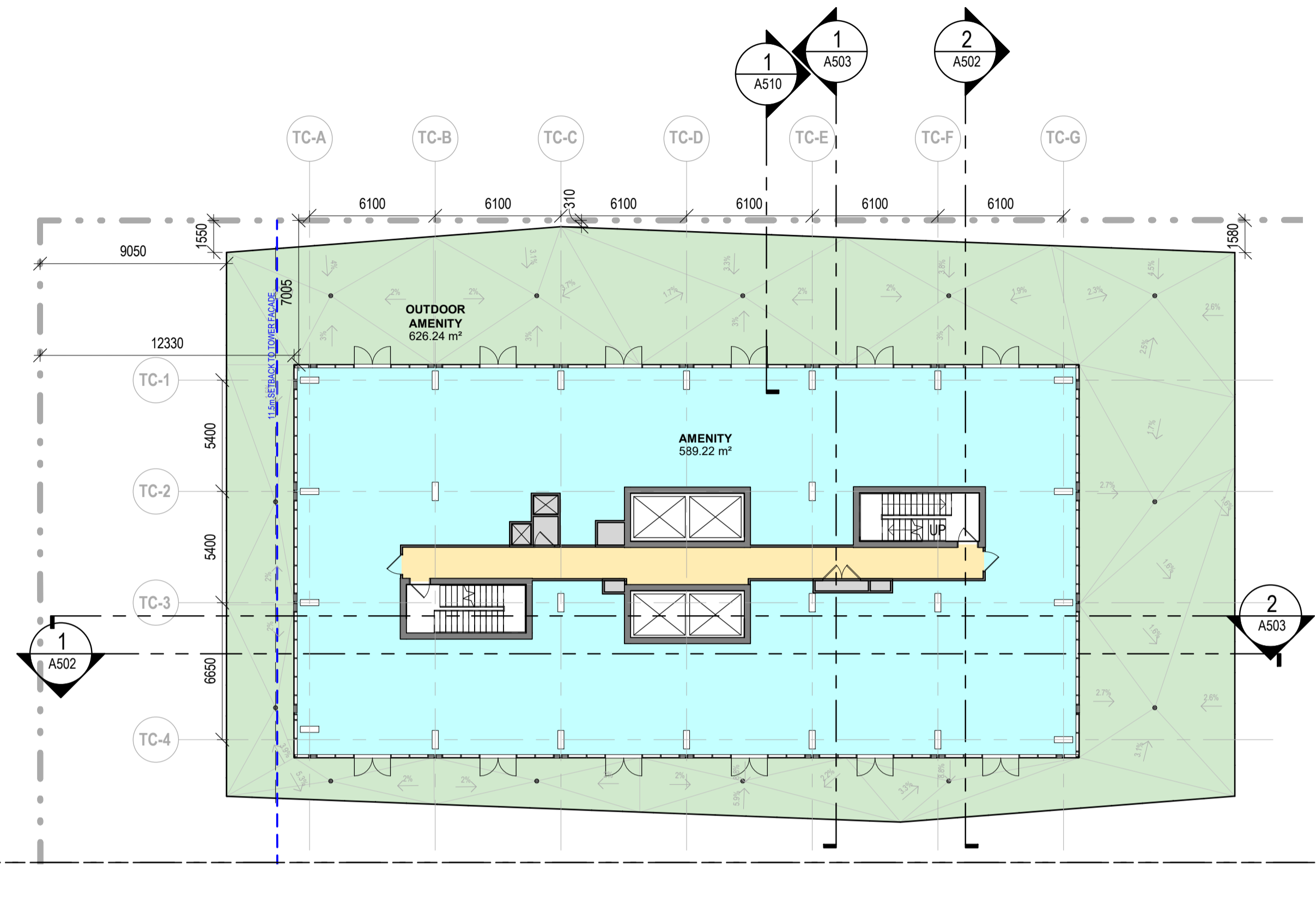
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DRAWN BY: Author **CHECKED BY:** Checker **DATE:** 02/14/23

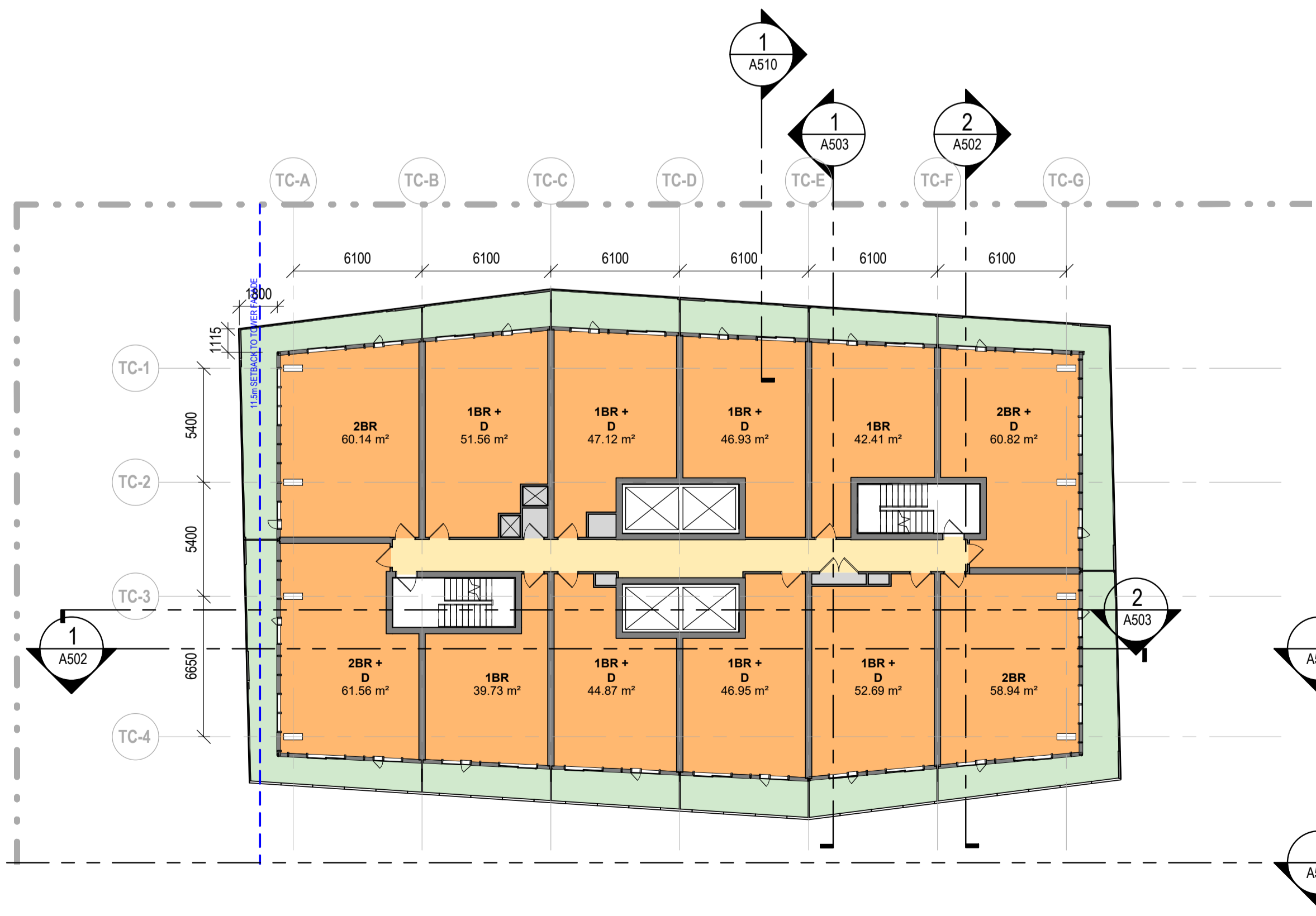
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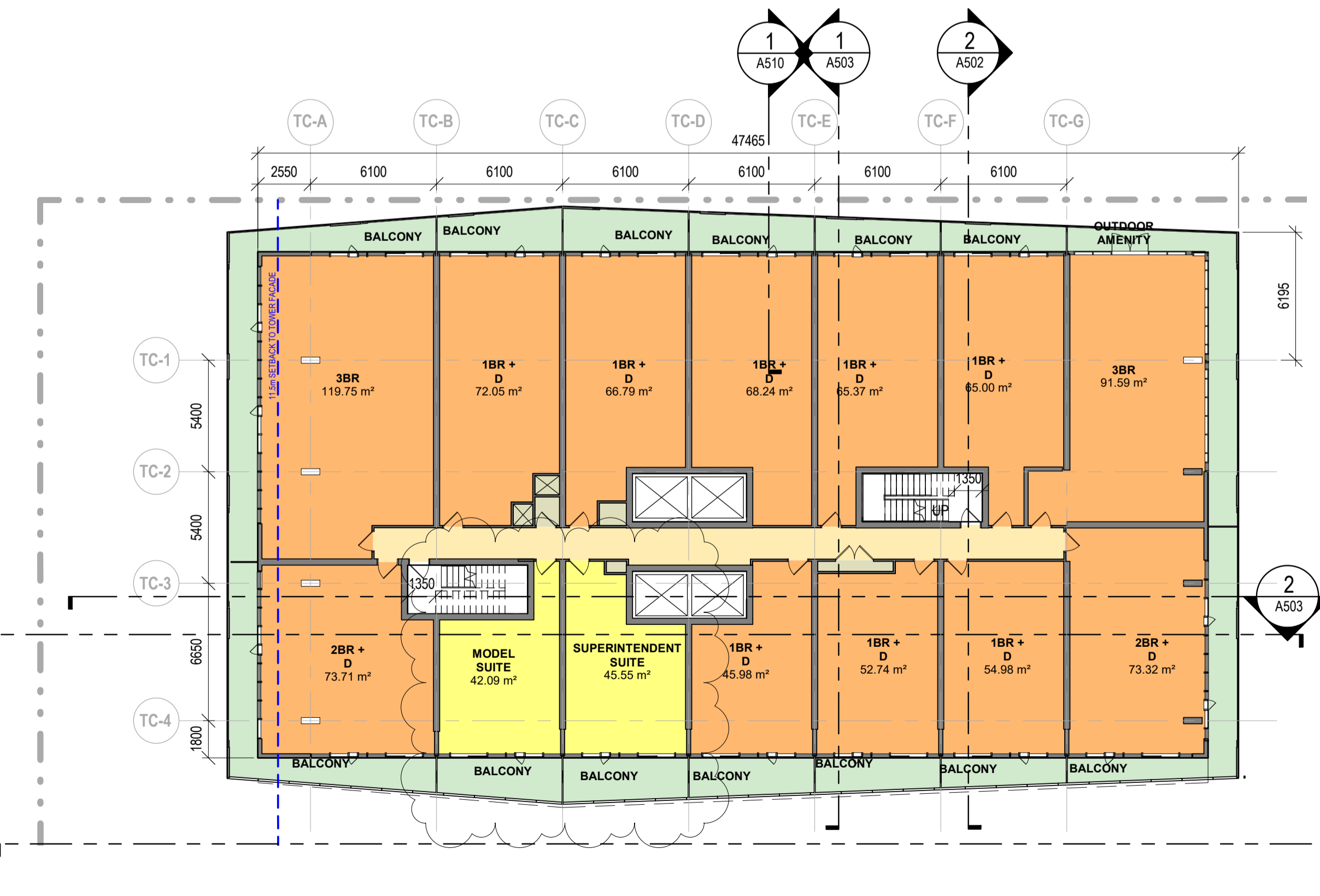
4 TOWER C (BRISEBOIS) - LEVEL 15
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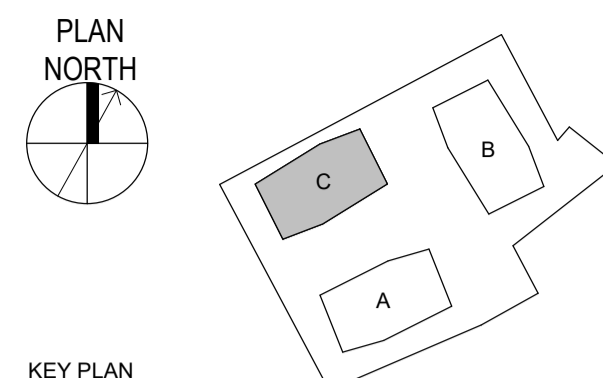
2 TOWER C (BRISEBOIS) - LEVEL 4
 1:200



3 TOWER C (BRISEBOIS) - LEVEL 5-14
 1:200



1 TOWER C (BRISEBOIS) - LEVEL 3
 1:200



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PROJECT :
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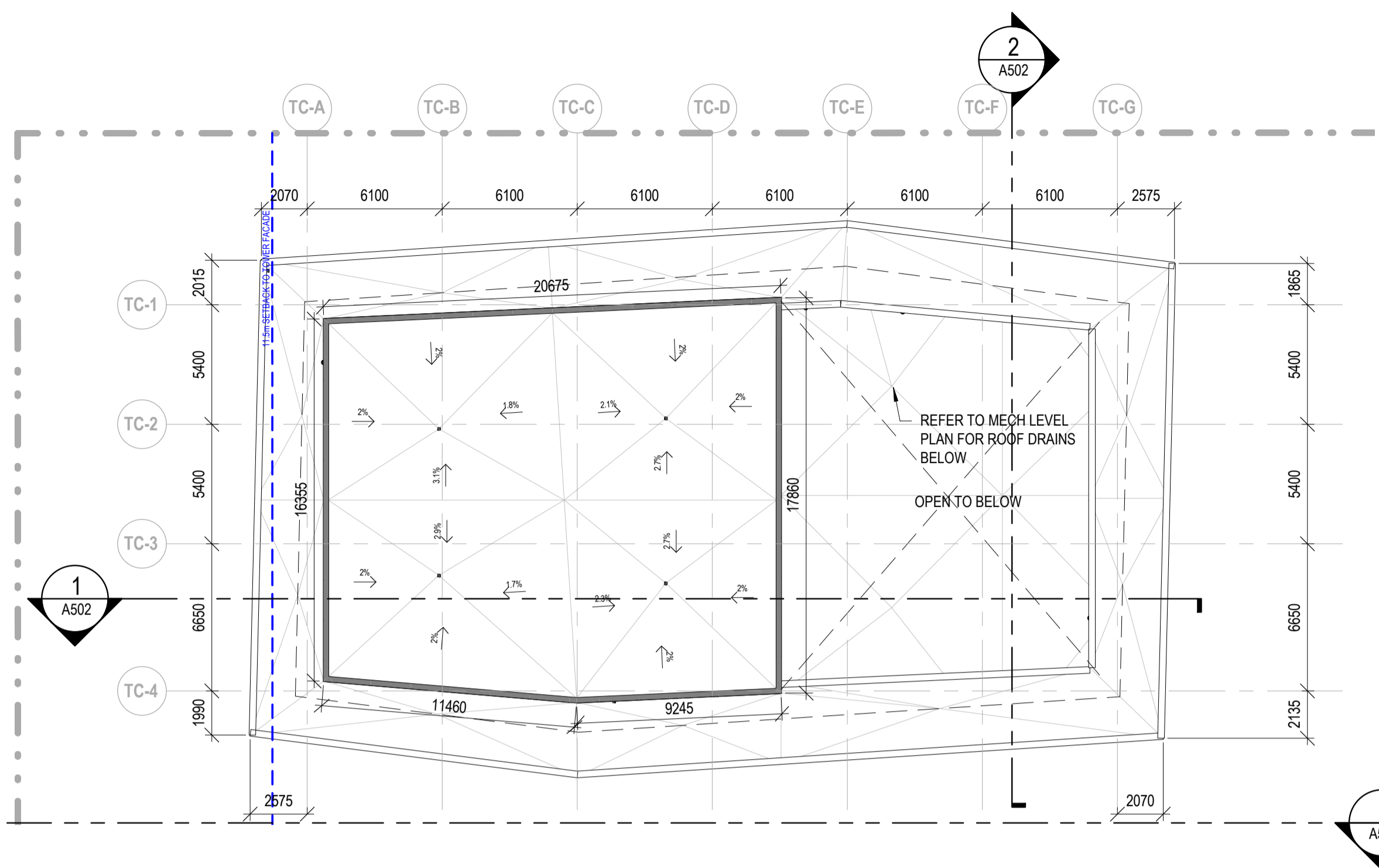
SHEET CONTENTS :
TOWER C LEVELS 16-ROOF

PROJECT NUMBER :
2211080

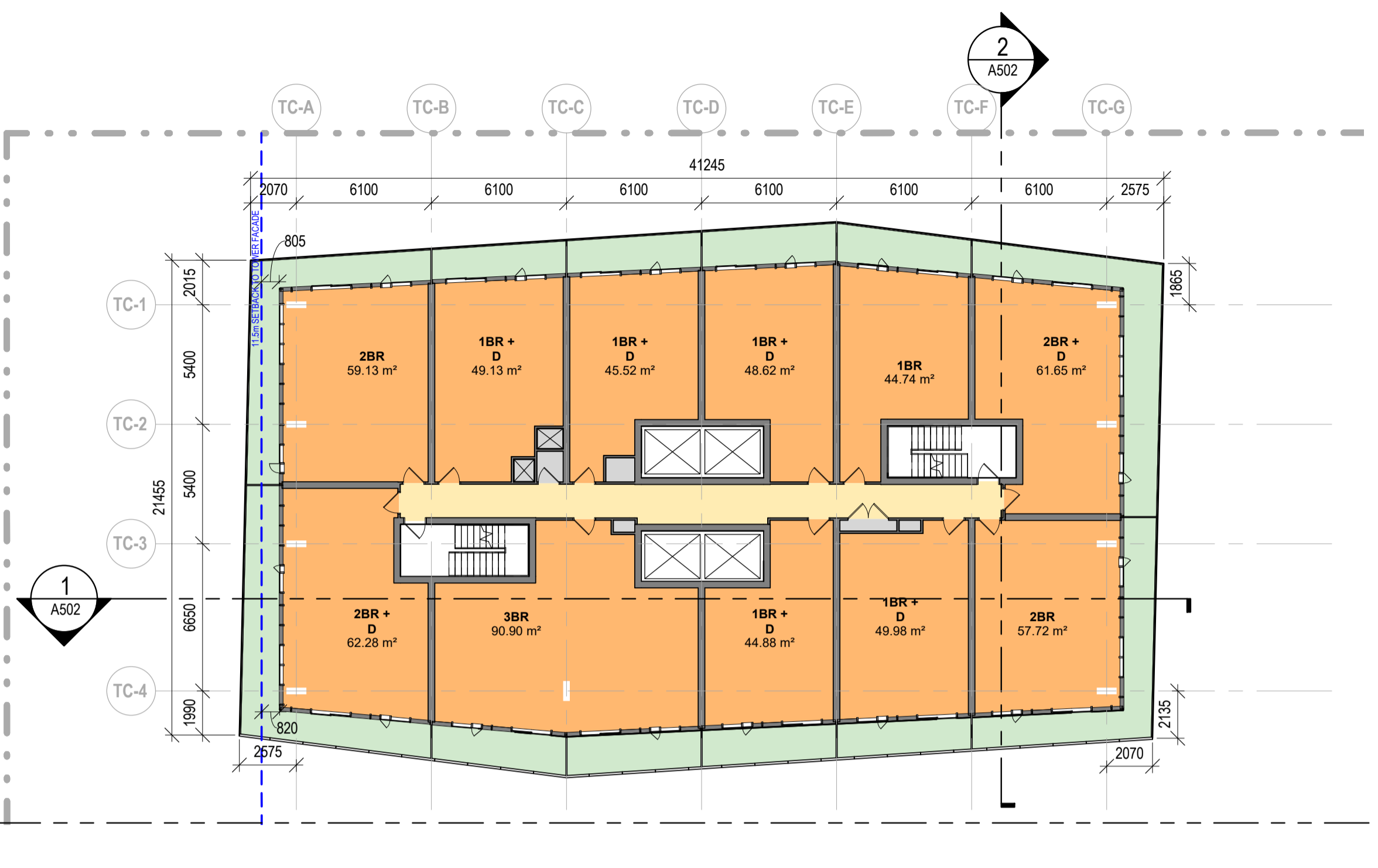
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DRAWN BY : Author
CHECKED BY : Checker
DATE: 02/14/23

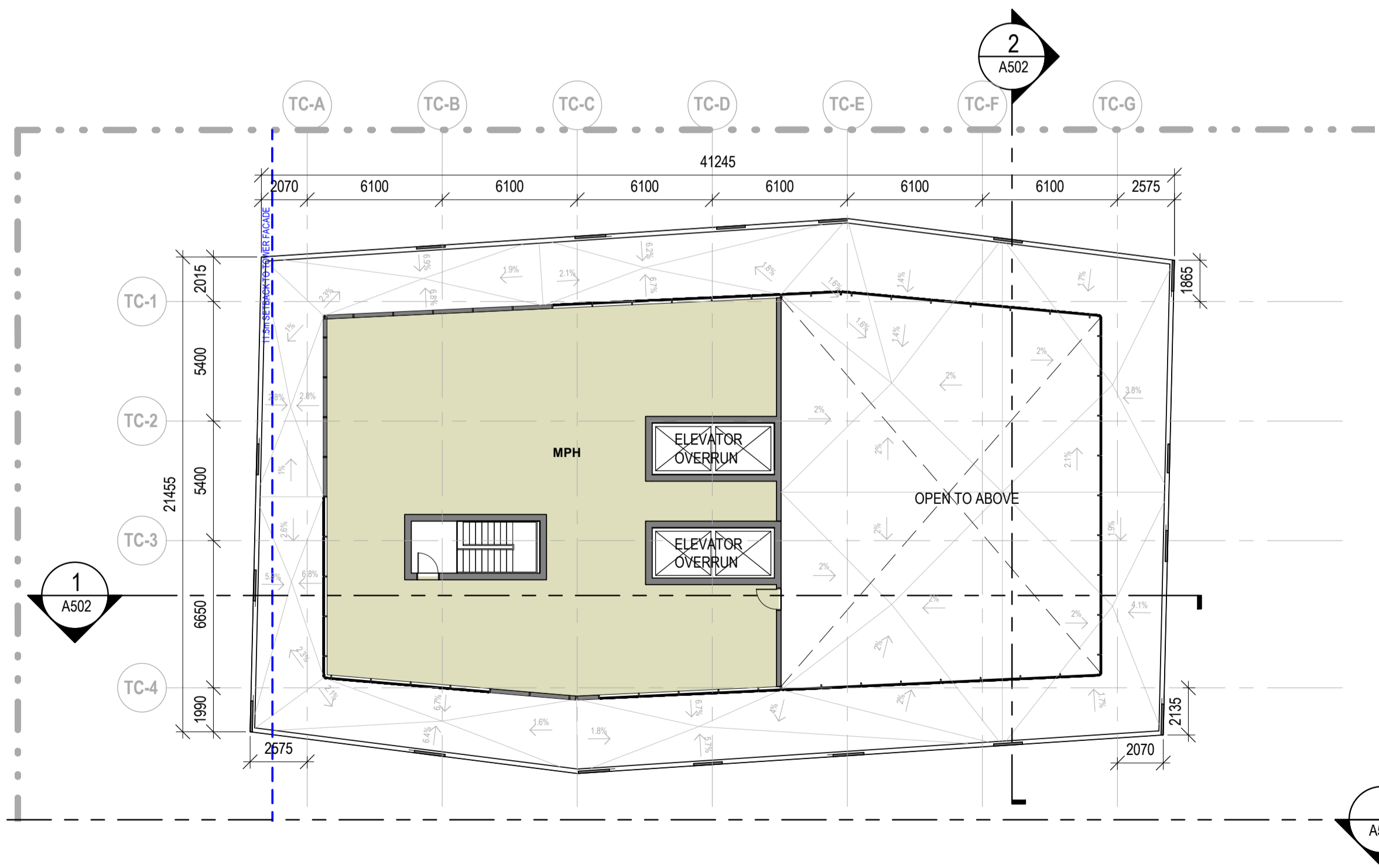
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REV.: 2



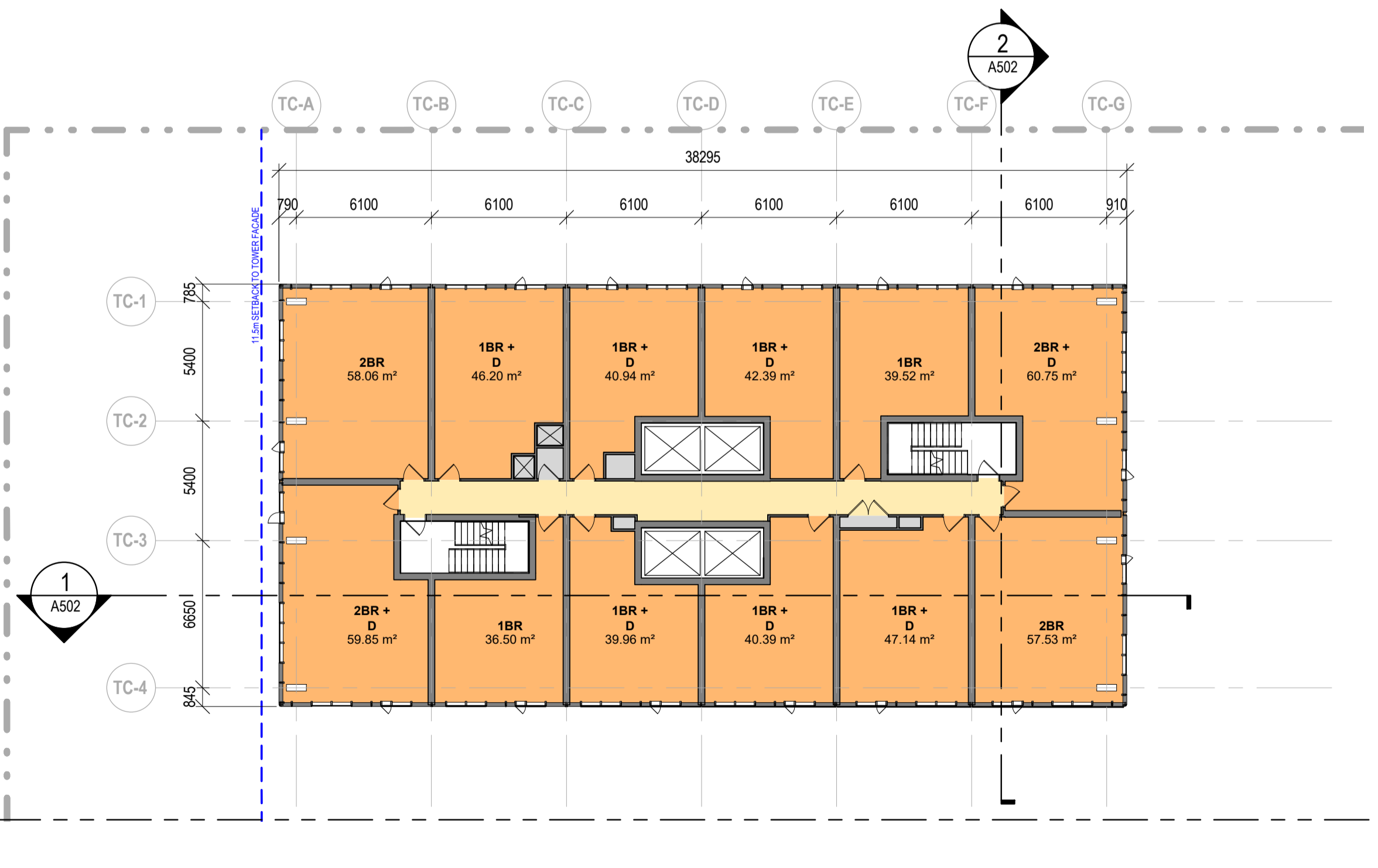
3 TOWER C (BRISEBOIS) - ROOF
 1:200



4 TOWER C (BRISEBOIS) - LEVEL 17 - 40
 1:200



2 TOWER C (BRISEBOIS) - MECH. PENTHOUSE
 1:200



1 TOWER C (BRISEBOIS) - LEVEL 16
 1:200

MATERIAL LEGEND

- VG-01A**
PODIUM VISION GLASS (BIRD FRIENDLY)- CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**
RES TOWER VISION GLASS - CLEAR IGU WITH LOWE E COATIN - SOLARBAN 67 ON ACUITY
- SG-02A**
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**
RES TOWER CLEAR TEMPERED GLASS GUARD

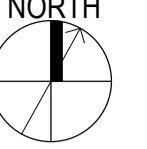
- WD-01**
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)

- MT-01**
FLAT METAL PANEL - DARK GREY
- MT-02**
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**
METAL PANEL PERFORATED- CLEAR ANODIZED
- MT-04**
METAL PANEL - BRONZE ANODIZED
- MT-05**
METAL GUARD (TYP)
- LV**
ARCHITECTURAL METAL LOUVRES

- STL-01**
CANOPY STEEL

- CP-01**
CAST-IN-PLACE CONCRETE

PLAN NORTH



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H **B+H Architects**
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SEAL :



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TRAFFIC CONSULTANT :
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 Nepean K2G 3Z1
 T/343-996-2623

OWNER :

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
MATERIAL BOARD

PROJECT NUMBER :
2211080

DRAWING SCALE :
1 : 250

DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **03/15/23**

SHEET NO : **A400** REV : **2**



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MATERIAL LEGEND

- VG-01A**
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**
RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATING - SOLARBAN 67 ON ACUITY
- SG-02A**
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**
RES TOWER CLEAR TEMPERED GLASS GUARD
- WD-01**
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
- MT-01**
FLAT METAL PANEL - DARK GREY
- MT-02**
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**
METAL PANEL PERFORATED - CLEAR ANODIZED
- MT-04**
METAL PANEL - BRONZE ANODIZED
- MT-05**
METAL GUARD (TYP)
- LV**
ARCHITECTURAL METAL LOUVRES
- STL-01**
CANOPY STEEL
- CP-01**
CAST-IN-PLACE CONCRETE

PLAN NORTH



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
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2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
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OWNER:

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T/416-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS:
TOWER A ELEVATIONS

PROJECT NUMBER:
2211080

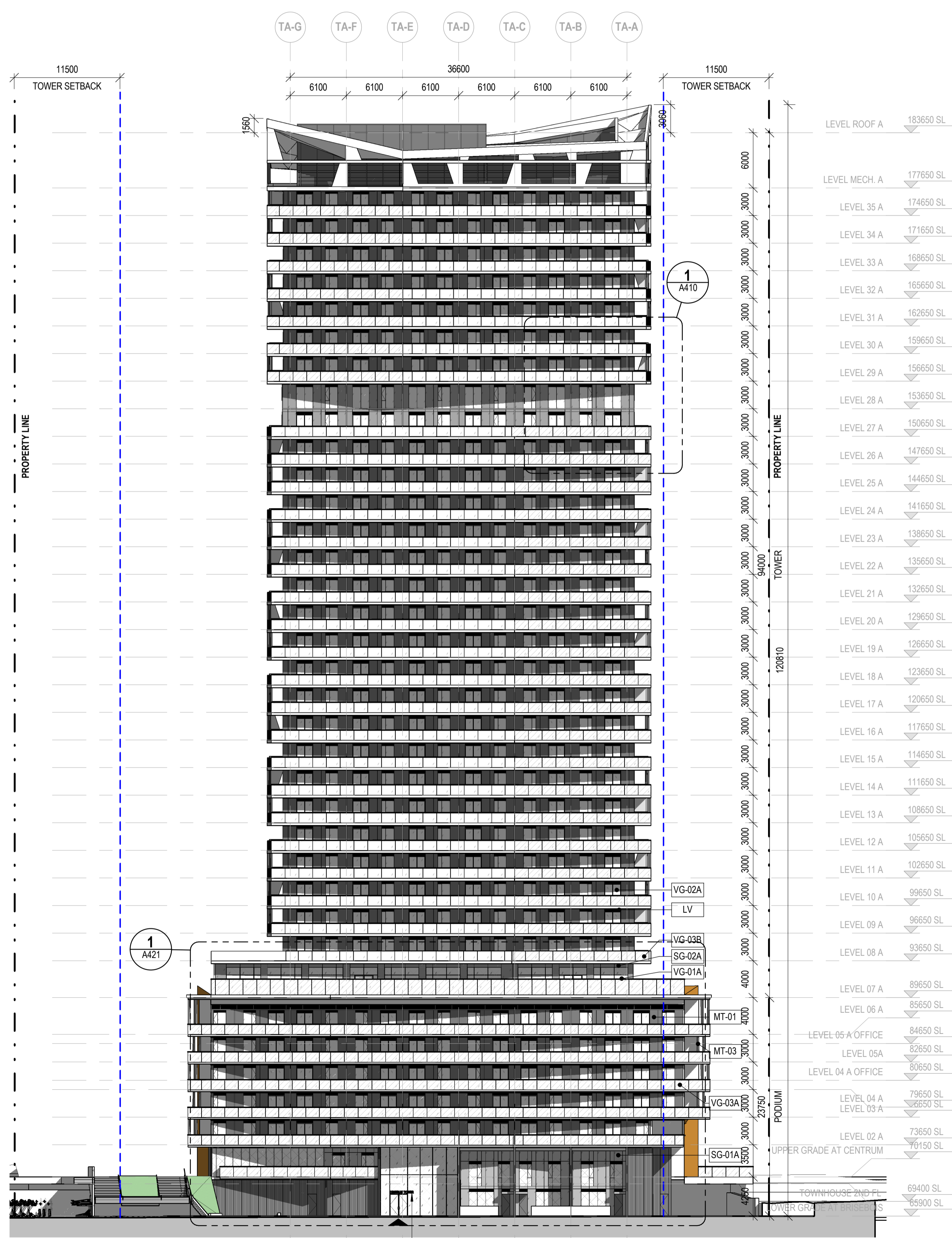
DRAWING SCALE:
As indicated

DRAWN BY: Author **CHECKED BY:** Checker **DATE:** 03/01/23

SHEET NO: A401 **REV:** 2



2 TOWER A EAST ELEVATION
1:300



1 TOWER A NORTH ELEVATION
1:300

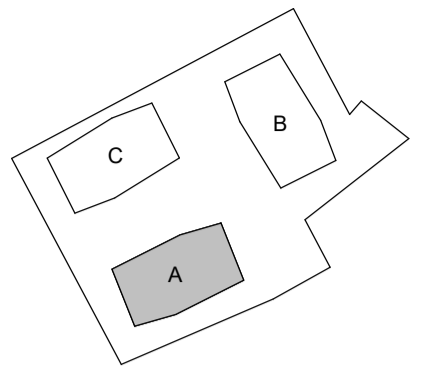
5/28/2024 9:45:22 AM BIM 360/2211080 - Centrum Blvd Orleans/2211080-BH-ARCH-MASTER-R2021.rvt TOWER A ELEVATIONS A401

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MATERIAL LEGEND

- VG-01A**
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**
RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATING - SOLARBAN 67 ON ACUITY
- SG-02A**
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**
RES TOWER CLEAR TEMPERED GLASS GUARD
- WD-01**
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)
- MT-01**
FLAT METAL PANEL - DARK GREY
- MT-02**
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**
METAL PANEL PERFORATED - CLEAR ANODIZED
- MT-04**
METAL PANEL - BRONZE ANODIZED
- MT-05**
METAL GUARD (TYP)
- LV**
ARCHITECTURAL METAL LOUVRES
- STL-01**
CANOPY STEEL
- CP-01**
CAST-IN-PLACE CONCRETE

PLAN NORTH



KEY PLAN

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PROJECT:
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
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SHEET CONTENTS:
TOWER A ELEVATIONS

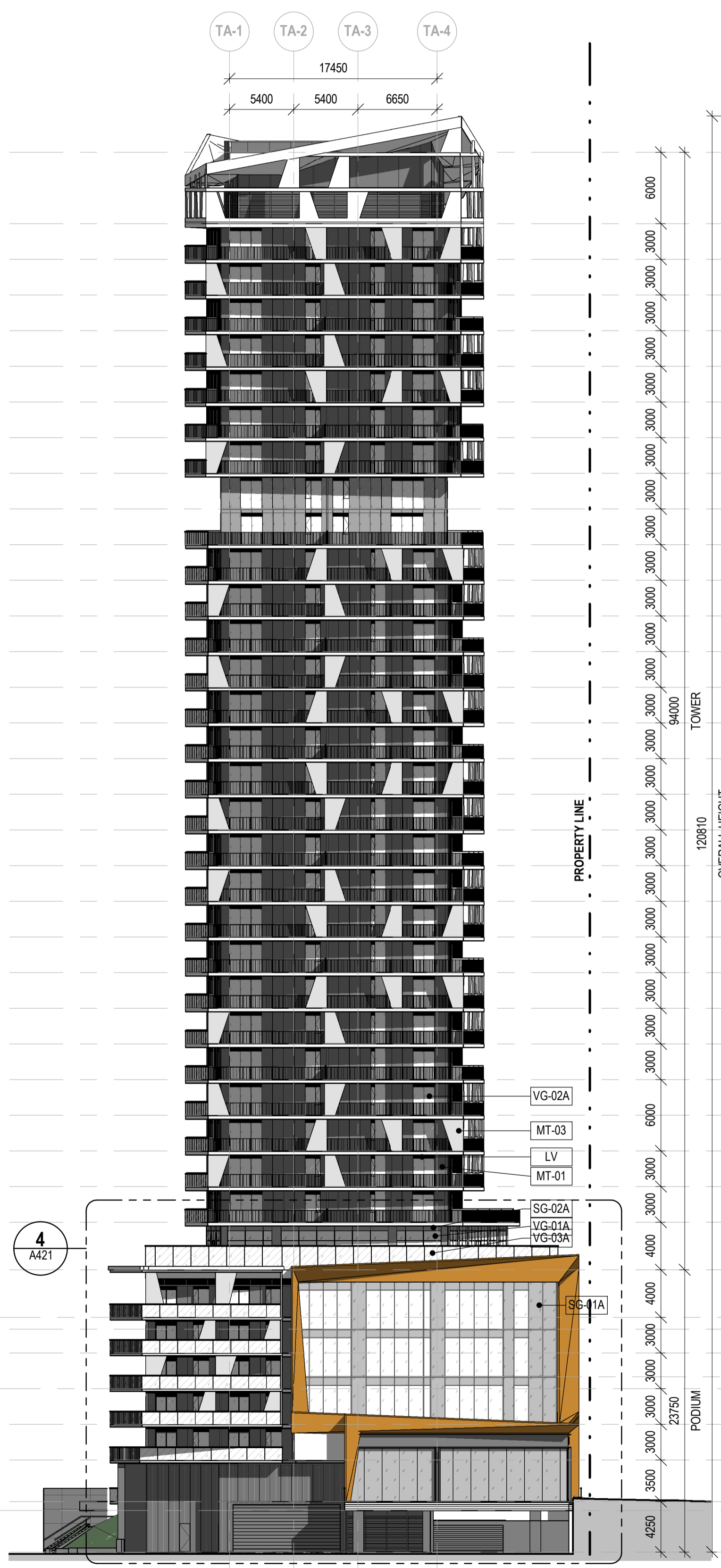
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2211080

DRAWING SCALE:
As indicated

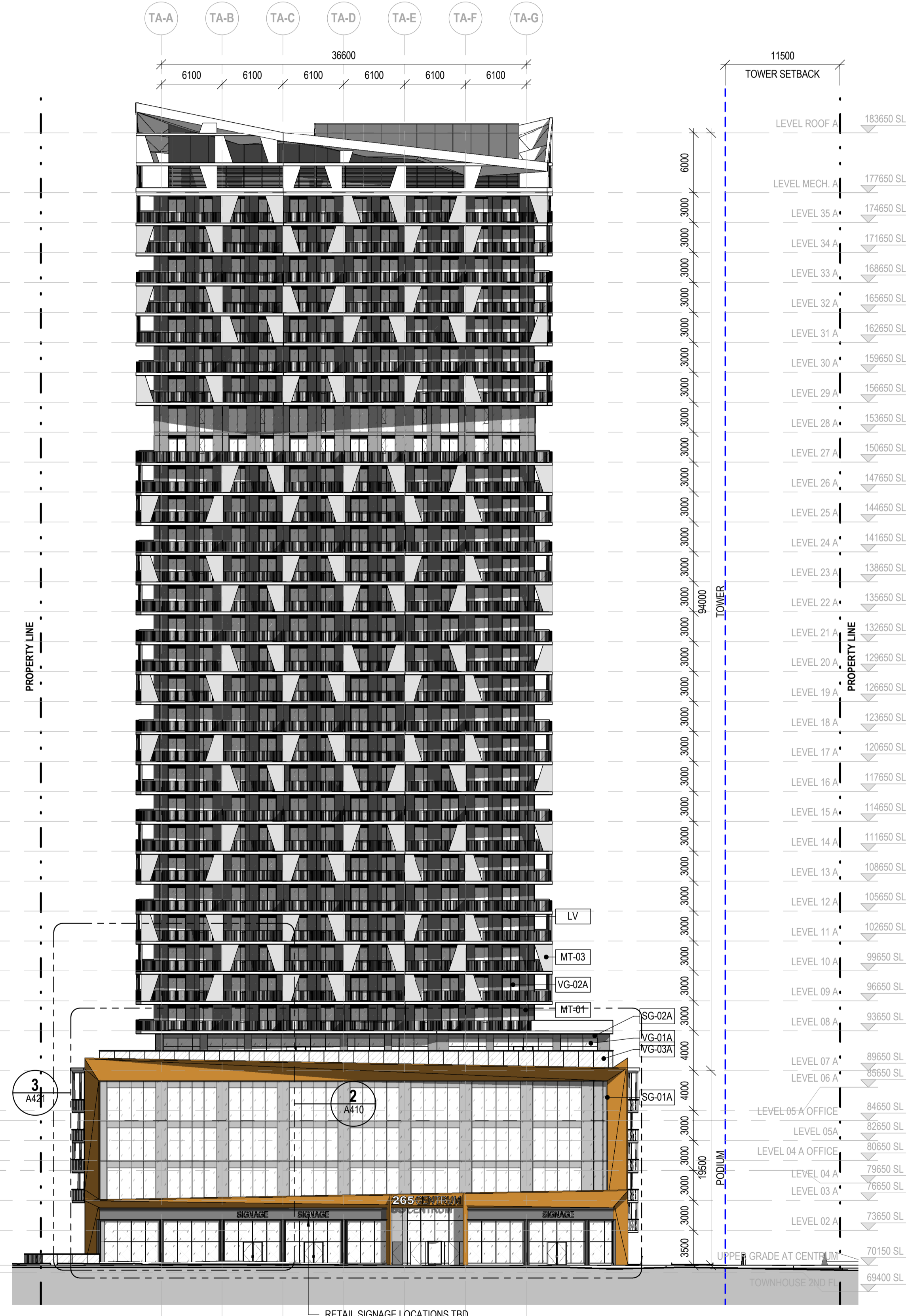
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DATE: 03/01/23

SHEET NO:
A402

REV: **2**



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1:300



1 TOWER A SOUTH ELEVATION
1:300

5/28/2024 9:49:19 AM
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TOWER A ELEVATIONS
A402

MATERIAL LEGEND

- VG-01A**
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
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- SG-02A**
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- VG-03A**
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- VG-03B**
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PROJECT :
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :
TOWER B ELEVATIONS

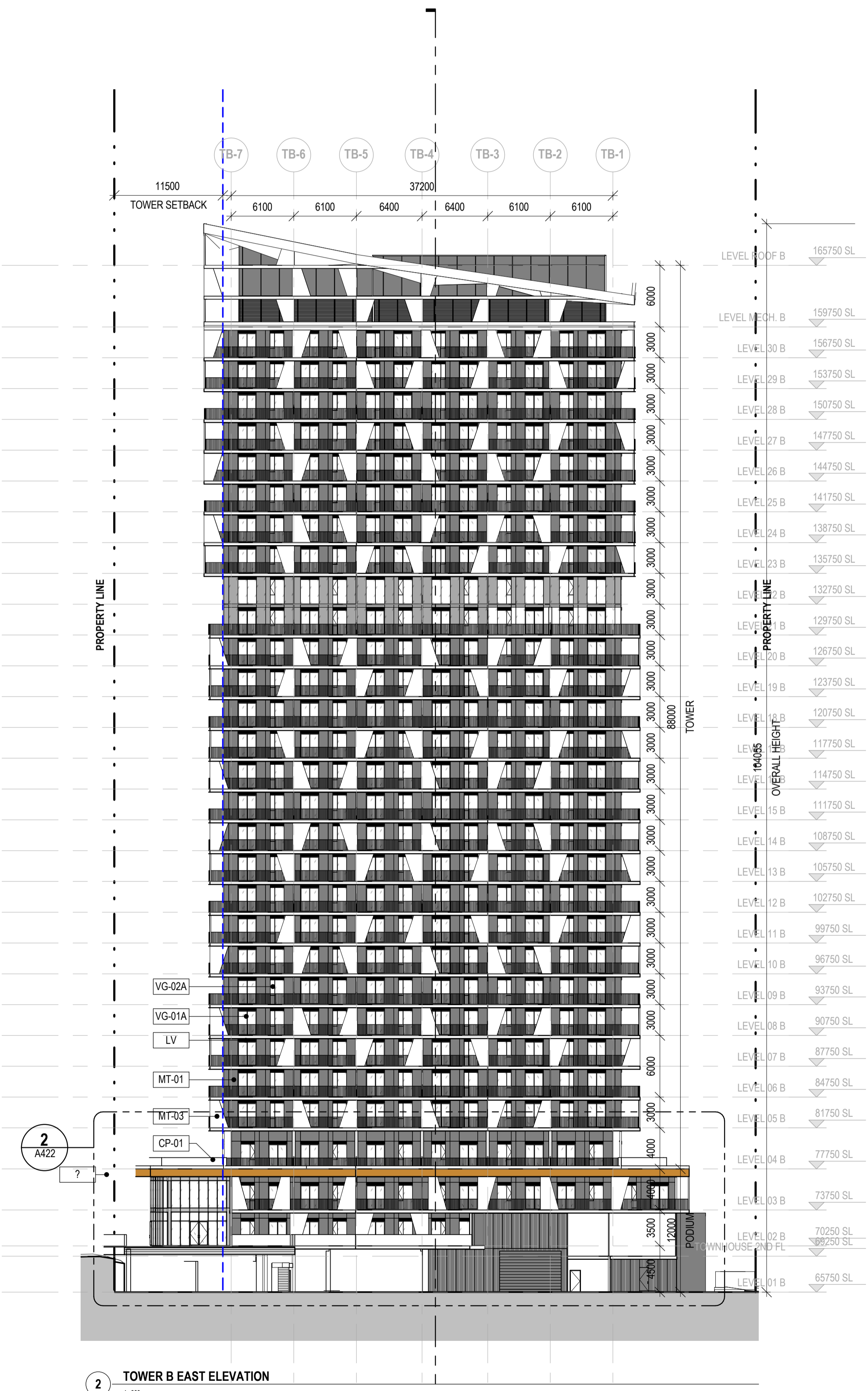
PROJECT NUMBER :
2211080

DRAWING SCALE :

As indicated

DRAWN BY : Author
CHECKED BY : Checker
DATE : 3/1/2023

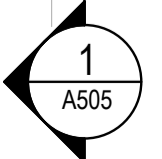
SHEET NO : A403
REV : 2



2 TOWER B EAST ELEVATION
1-300



1 TOWER B NORTH ELEVATION
1-300



MATERIAL LEGEND

- VG-01A**
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
- VG-02A**
RES TOWER VISION GLASS - CLEAR IGU WITH LOW E COATING - SOLARBAN 67 ON ACUITY
- SG-02A**
RES TOWER SPANDREL GLASS - INSULATED SPANDREL GLASS UNIT
- VG-03A**
PODIUM CLEAR TEMPERED GLASS GUARD (BIRD FRIENDLY)
- VG-03B**
RES TOWER CLEAR TEMPERED GLASS GUARD

- WD-01**
EXTERIOR ALUMINUM WOOD LOOK PANELS (TOWNHOMES)

- MT-01**
FLAT METAL PANEL - DARK GREY
- MT-02**
METAL PANEL BENT/CORRUGATED - DARK GREY
- MT-03**
METAL PANEL PERFORATED - CLEAR ANODIZED
- MT-04**
METAL PANEL - BRONZE ANODIZED
- MT-05**
METAL GUARD (TYP)
- LV**
ARCHITECTURAL METAL LOUVRES

- STL-01**
CANOPY STEEL

- CP-01**
CAST-IN-PLACE CONCRETE

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KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

B+H Architects
320 Bay Street, Suite 200
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T/416.596.2299 F/416.586.0599



STRUCTURAL ENGINEER:
Art Engineering
171 Walgreen Rd
Carp, K0A 1L0
T/613-836-0632

MECHANICAL ENGINEER:
Mechanical Consultant
Street Address
City Post Code
T/xxxx.xxx.xxx F/xxxx.xxx.xxx

ELECTRICAL ENGINEER:
Electrical Consultant
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WIND + NOISE CONSULTANT:
Gradient Wind
127 Walgreen Rd
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T/613-836-0934

LANDSCAPE ARCHITECT:
J. Lennox and Associates
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Nepean K2H 5A8
T/613-722-5168

SITE SERVICES/CIVIL ENGINEER:
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PLANNING CONSULTANT:
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TRAFFIC CONSULTANT:
CGH
13 Markham Ave
Nepean K2G 3Z1
T/343-996-2623

OWNER:
BAYVIEW GROUP
108 Chestnut Street
Toronto M5G 1R3
T/(416)-597-6368

PROJECT:
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

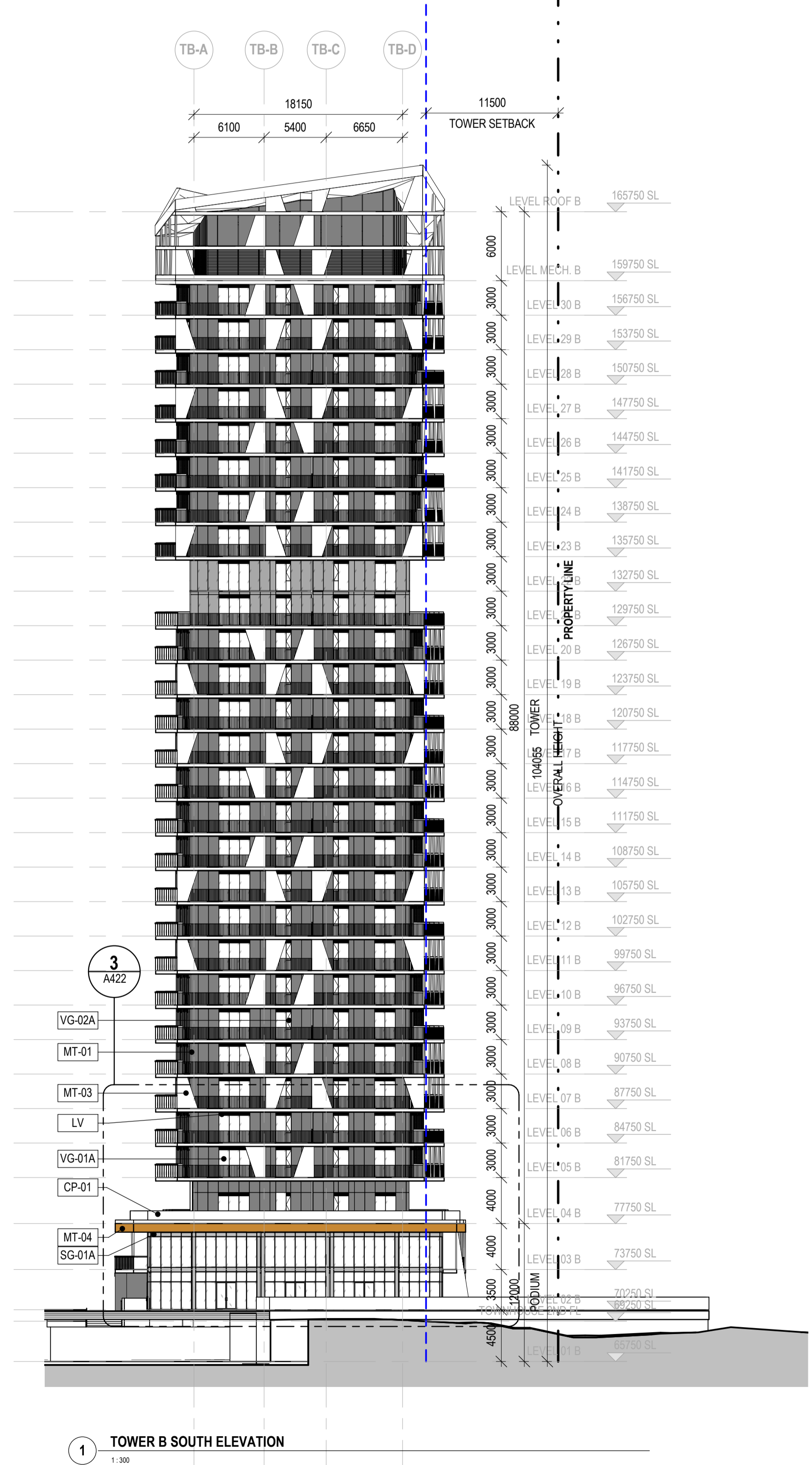
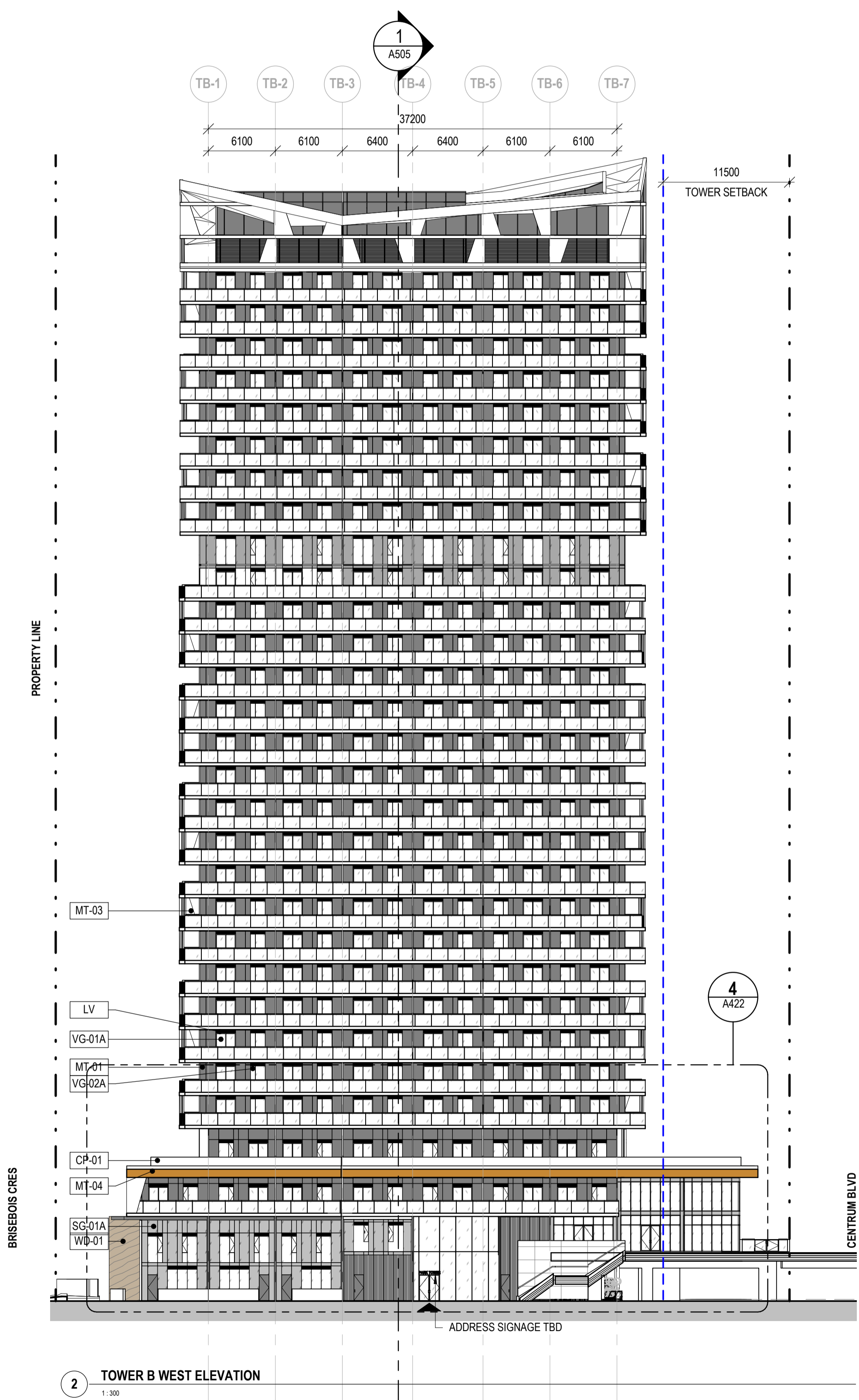
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TOWER B ELEVATIONS

PROJECT NUMBER:
2211080

DRAWING SCALE:
As indicated

DRAWN BY: Author
CHECKED BY: Checker
DATE: 3/1/2023

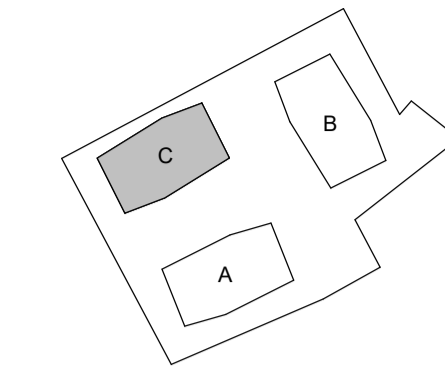
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MATERIAL LEGEND

- VG-01A**
PODIUM VISION GLASS (BIRD FRIENDLY) - CLEAR IGU WITH LOW E COATING & ETECH
- SG-01A**
PODIUM SPANDREL GLASS - INSULATED SPANDREL UNIT
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- STL-01**
CANOPY STEEL
- CP-01**
CAST-IN-PLACE CONCRETE

PLAN NORTH



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PROJECT:
CENTRUM

265 CENTRUM BLVD
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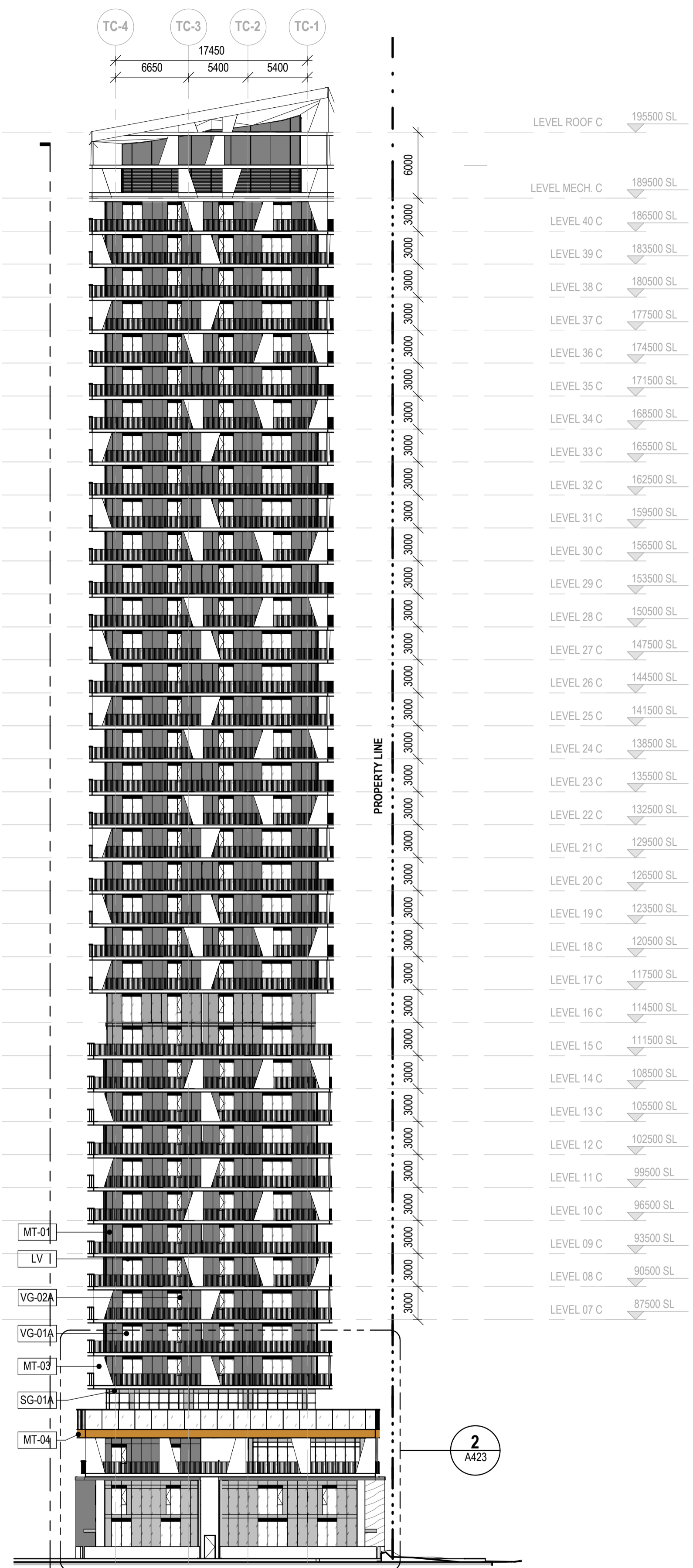
SHEET CONTENTS:
TOWER C ELEVATIONS

PROJECT NUMBER:
2211080

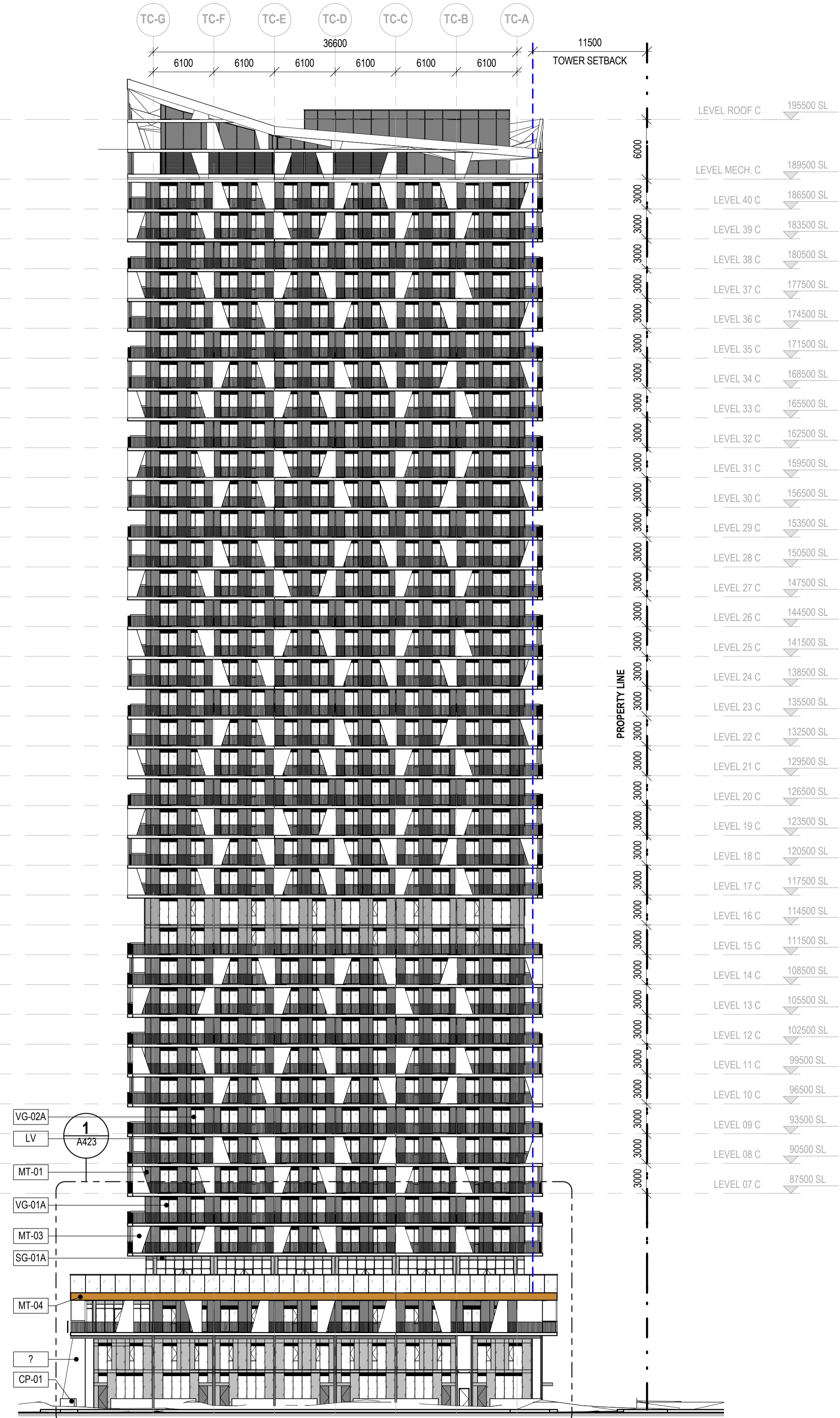
DRAWING SCALE:
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 DATE: 3/1/2023

SHEET NO: **A405** REV: **2**



2 TOWER C EAST ELEVATION
 A505
 1:300



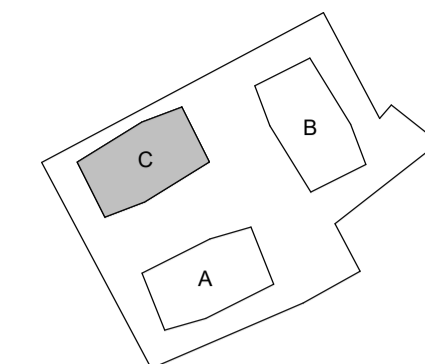
1 TOWER C NORTH ELEVATION
 1:300

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- STL-01**
CANOPY STEEL
- CP-01**
CAST-IN-PLACE CONCRETE

PLAN NORTH



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PROJECT :
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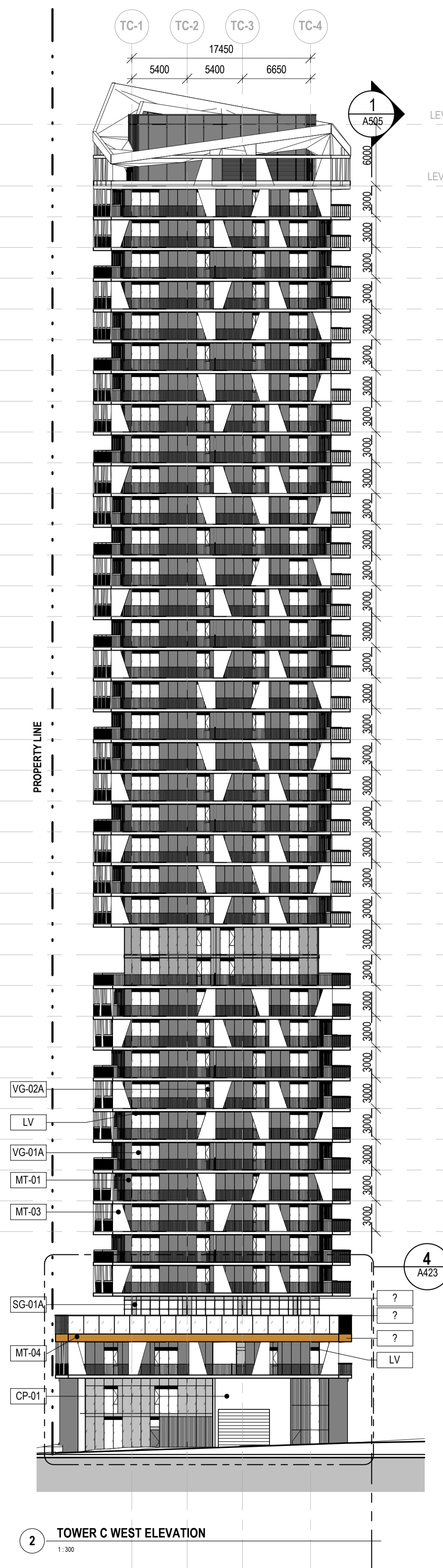
265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :
TOWER C ELEVATIONS

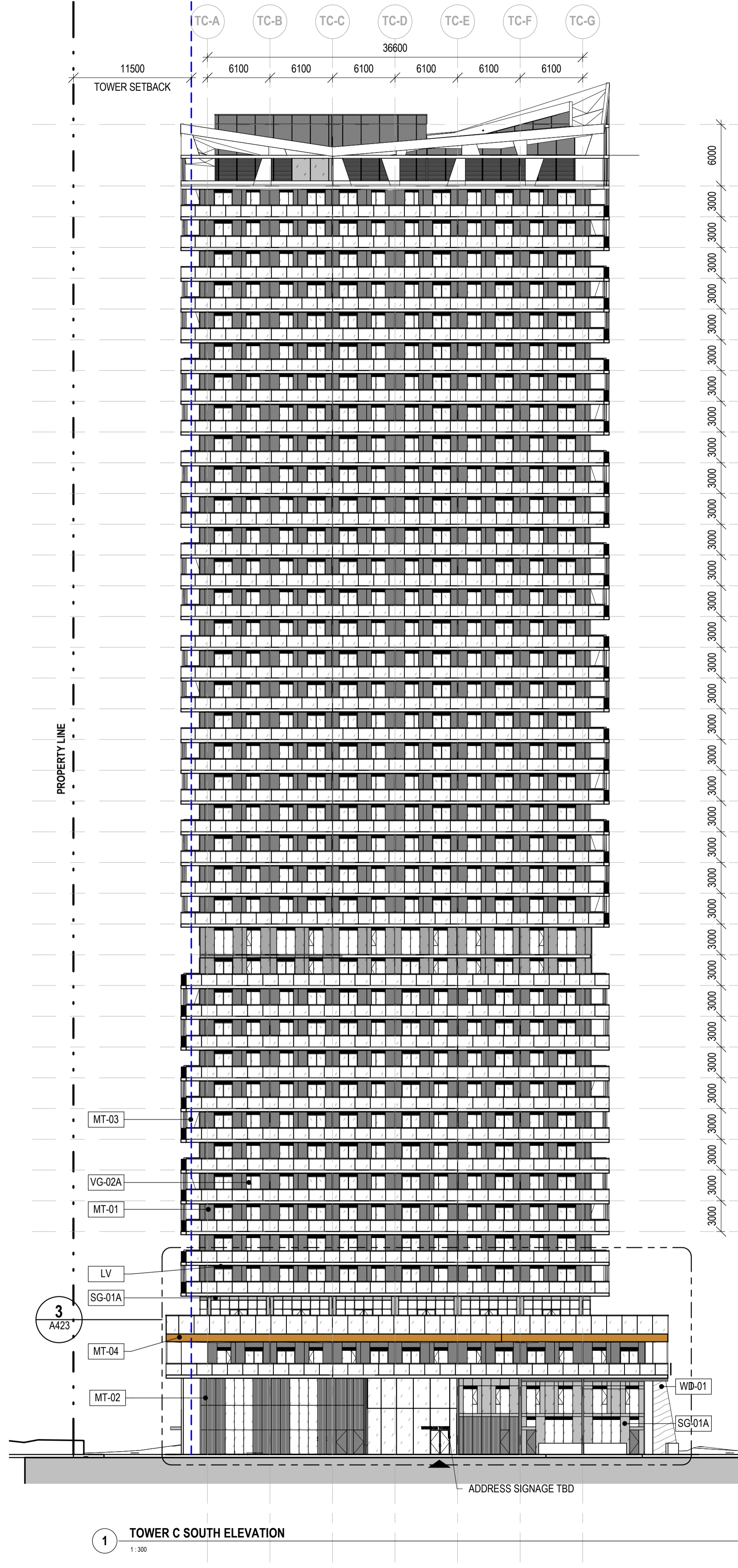
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SHEET NO : A406 REV : 2

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TOWER C ELEVATIONS

5/28/2024 9:53:00 AM
A406



2 TOWER C WEST ELEVATION
1:300



1 TOWER C SOUTH ELEVATION
1:300

ADDRESS SIGNAGE TBD



KEY PLAN

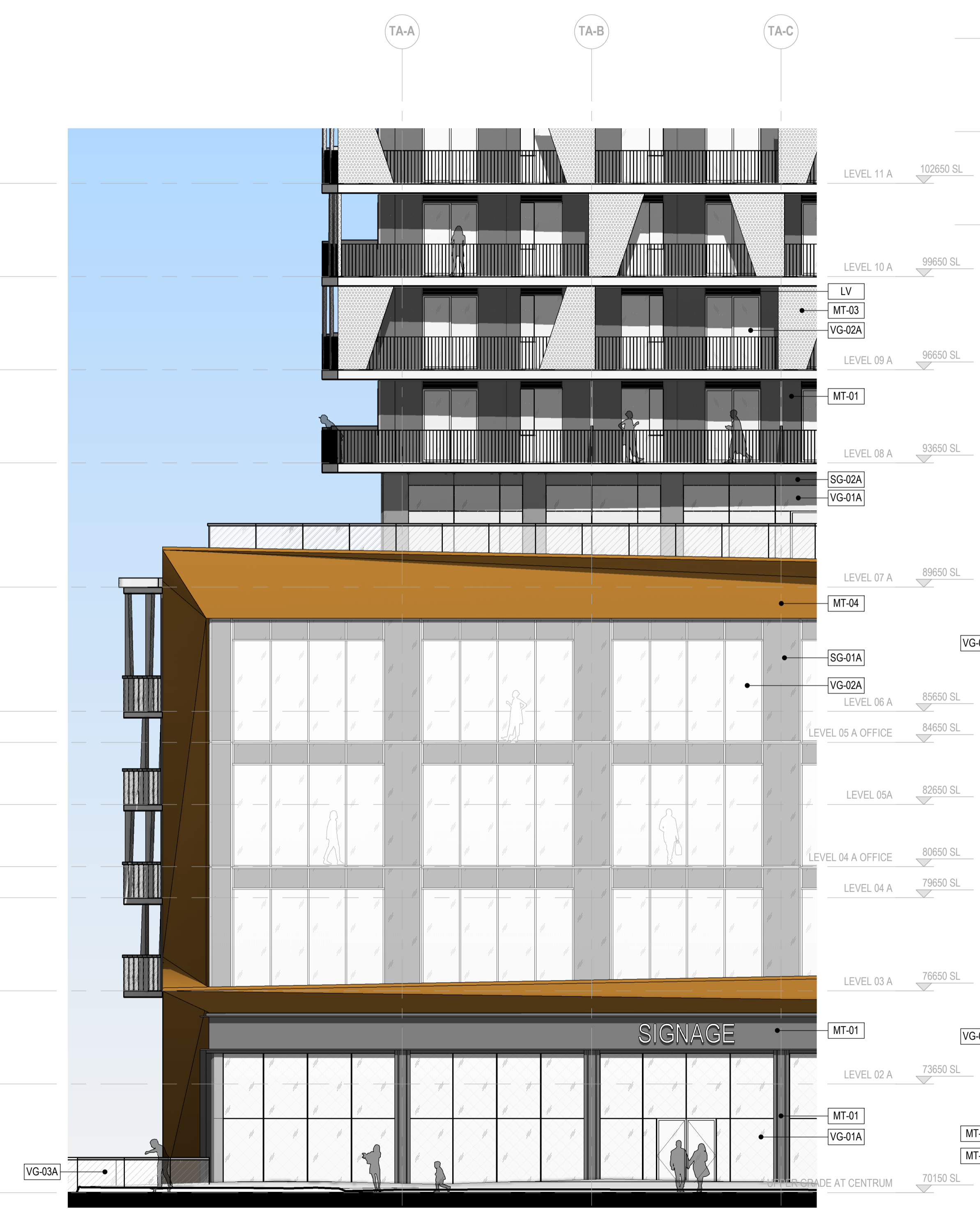
REVISION		
NO.	DATE	DESCRIPTION
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ARCHITECTURAL METAL LOUVRES
- STL-01**
CANOPY STEEL
- CP-01**
CAST-IN-PLACE CONCRETE



1 A4 COLOUR ELEVATION - INTERIOR TOWER SIDE
1:100



2 A4 COLOUR ELEVATION - OFFICE
1:100



3 A4 COLOUR ELEVATION - TOWNHOUSE
1:100

- STRUCTURAL ENGINEER :
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- OWNER :

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PROJECT :
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
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SHEET CONTENTS :
ENLARGED COLOURED ELEVATIONS

PROJECT NUMBER :
2211080

DRAWING SCALE :
As indicated

DRAWN BY :
CA

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Checker

DATE:
03/20/23

SHEET NO :
A410

REV :
2

TOWER A (CENTRUM)

BIRD FRIENDLY GLAZING TOWER B (PARK)

TOWER C (BRISEBOIS)

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	657.4 m ²	827.2 m ²	477.7 m ²	421.4 m ²	2383.7 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	657.4 m ²	827.2 m ²	477.7 m ²	421.4 m ²	2383.7 m²	100%
Low-Reflectance Opaque Glass (m2)	77.3 m ²	238.9 m ²	97.8 m ²	206.6 m ²	620.6 m²	26%
Visual Markers (m2)	424.8 m ²	588.3 m ²	348.4 m ²	214.7 m ²	1576.3 m²	66%
Shaded (m2)	155.3 m ²	0.0 m ²	31.5 m ²	30.4 m ²	217.1 m²	9%

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #)	South (Floor #)	East (Floor #)	West (Floor #)	Total (m2)	Total (%)
Glazing Area (m2)	150.2 m ²	168.2 m ²	73.3 m ²	81.7 m ²	473.4 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	150.2 m ²	168.2 m ²	73.3 m ²	81.7 m ²	473.4 m²	100%
Low-Reflectance Opaque Glass (m2)	35.6 m ²	33.6 m ²	17.7 m ²	11.9 m ²	98.7 m²	21%
Visual Markers (m2)	114.5 m ²	134.6 m ²	55.7 m ²	69.8 m ²	374.3 m²	79%
Shaded (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%

* Include this section only when applicable and provide relevant floor numbers for reference

	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	154.4 m ²	262.0 m ²	140.1 m ²	404.6 m ²	961.0 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	154.4 m ²	262.0 m ²	140.1 m ²	404.6 m ²	961.0 m²	100%
Low-Reflectance Opaque Glass (m2)	93.9 m ²	65.0 m ²	7.6 m ²	103.1 m ²	269.5 m²	28%
Visual Markers (m2)	34.3 m ²	155.9 m ²	76.3 m ²	301.5 m ²	568.1 m²	59%
Shaded (m2)	26.1 m ²	41.1 m ²	56.2 m ²	27.5 m ²	150.9 m²	16%

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #)	South (Floor #)	East (Floor #)	West (Floor #)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	0.0 m²	
Untreated Area (m2)	na	na	na	na	0.0 m²	
Treated Area (m2)	na	na	na	na	0.0 m²	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m²	
Visual Markers (m2)	na	na	na	na	0.0 m²	
Shaded (m2)	na	na	na	na	0.0 m²	

* Include this section only when applicable and provide relevant floor numbers for reference

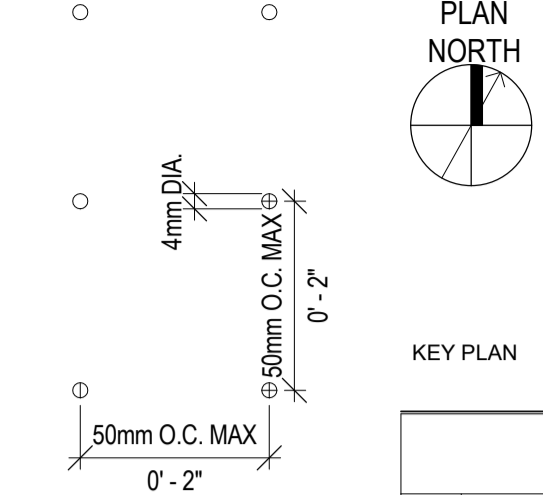
	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	420.2 m ²	467.6 m ²	218.9 m ²	145.1 m ²	1251.7 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	420.2 m ²	467.6 m ²	218.9 m ²	145.1 m ²	1251.7 m²	100%
Low-Reflectance Opaque Glass (m2)	164.9 m ²	123.8 m ²	102.3 m ²	61.2 m ²	452.1 m²	36%
Visual Markers (m2)	196.6 m ²	317.7 m ²	111.5 m ²	70.8 m ²	696.5 m²	56%
Shaded (m2)	58.7 m ²	26.1 m ²	5.0 m ²	13.1 m ²	103.0 m²	8%

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #)	South (Floor #)	East (Floor #)	West (Floor #)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	0.0 m²	
Untreated Area (m2)	na	na	na	na	0.0 m²	
Treated Area (m2)	na	na	na	na	0.0 m²	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m²	
Visual Markers (m2)	na	na	na	na	0.0 m²	
Shaded (m2)	na	na	na	na	0.0 m²	

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GLASS FRIT PATTERN

- LOW REFLECTANCE MATERIALS (<15% REFLECTANCE OPAQUE GLASS)
- VISIBLE MARKERS (FRIT PATTERN)
- VISIBLE MARKERS (FRIT PATTERN AT ROOF TERRACE/GREEN ROOF)
- SHADED AREA (BALCONY/CANOPY OVERHANG)



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CITY OF OTTAWA BIRD-SAFE GUIDELINES

Treatments should be applied to a minimum of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.

Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m from the surface of the roof or terrace or the height of the adjacent mature vegetation, whichever is greater.

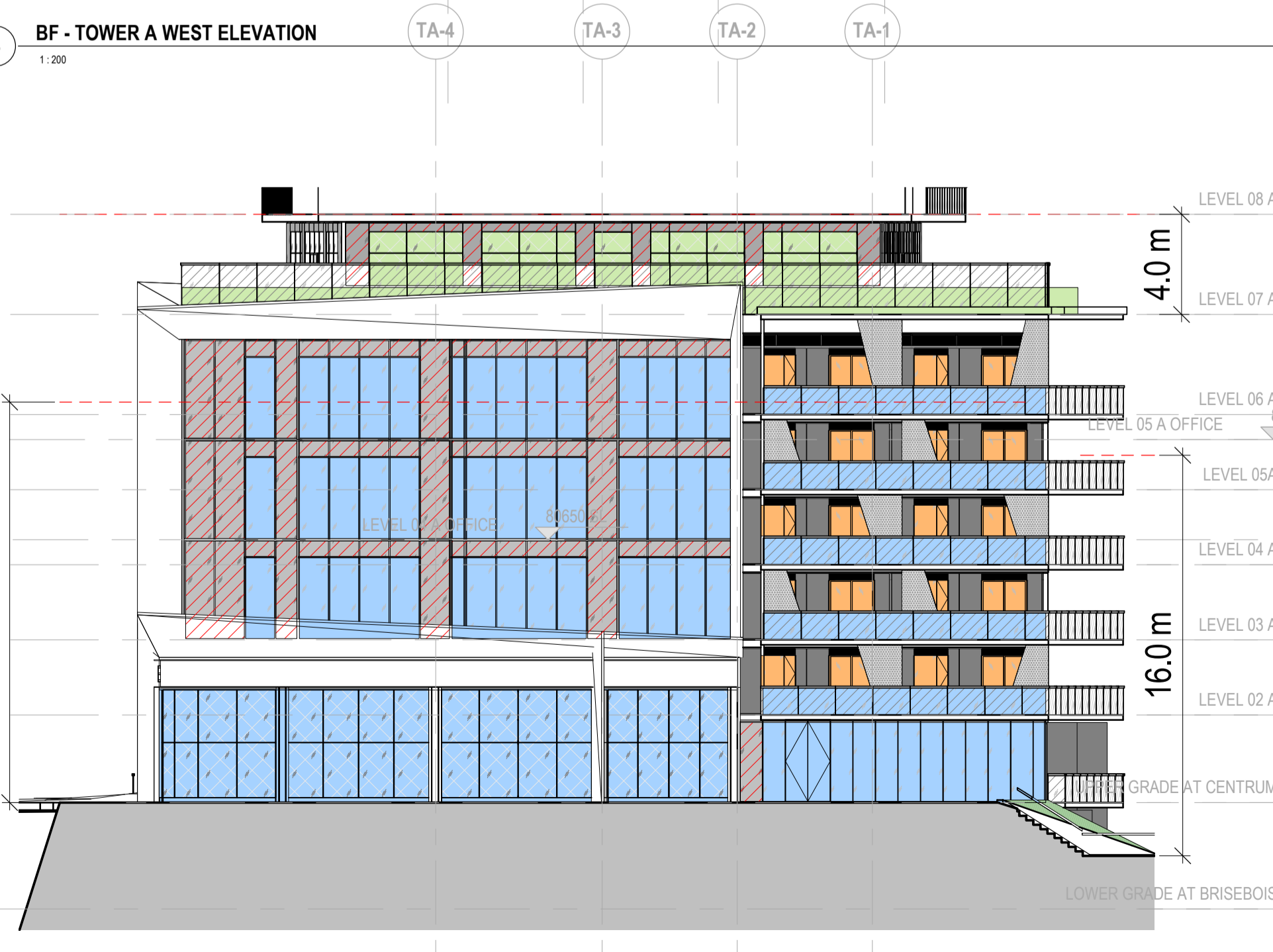
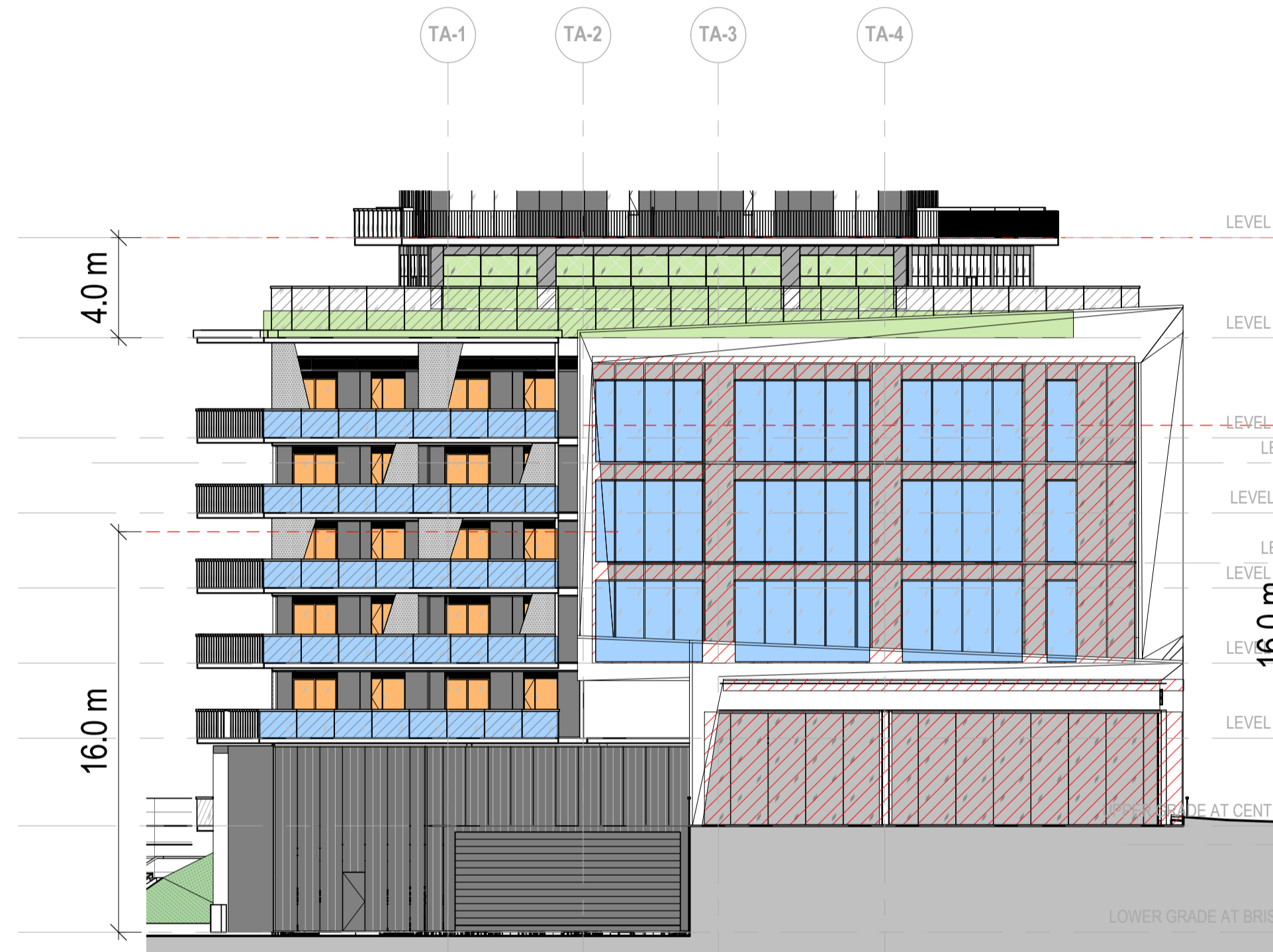
In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

- Specifications for effective visual markers:
- High colour contrast to the glass surface.
 - Must be applied to the exterior (first) surface of the glass.
 - Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used.
 - Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

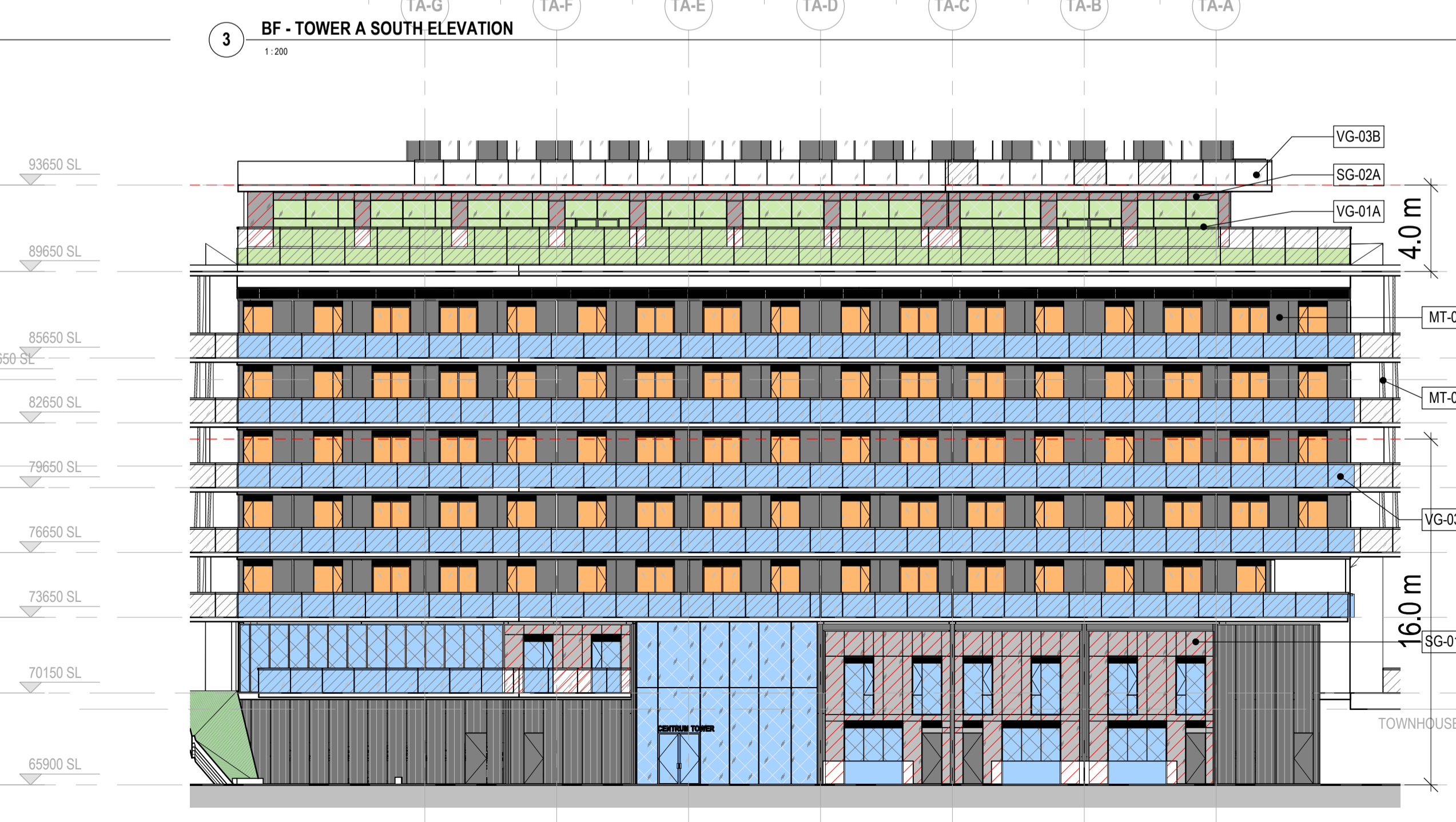
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SEAL:

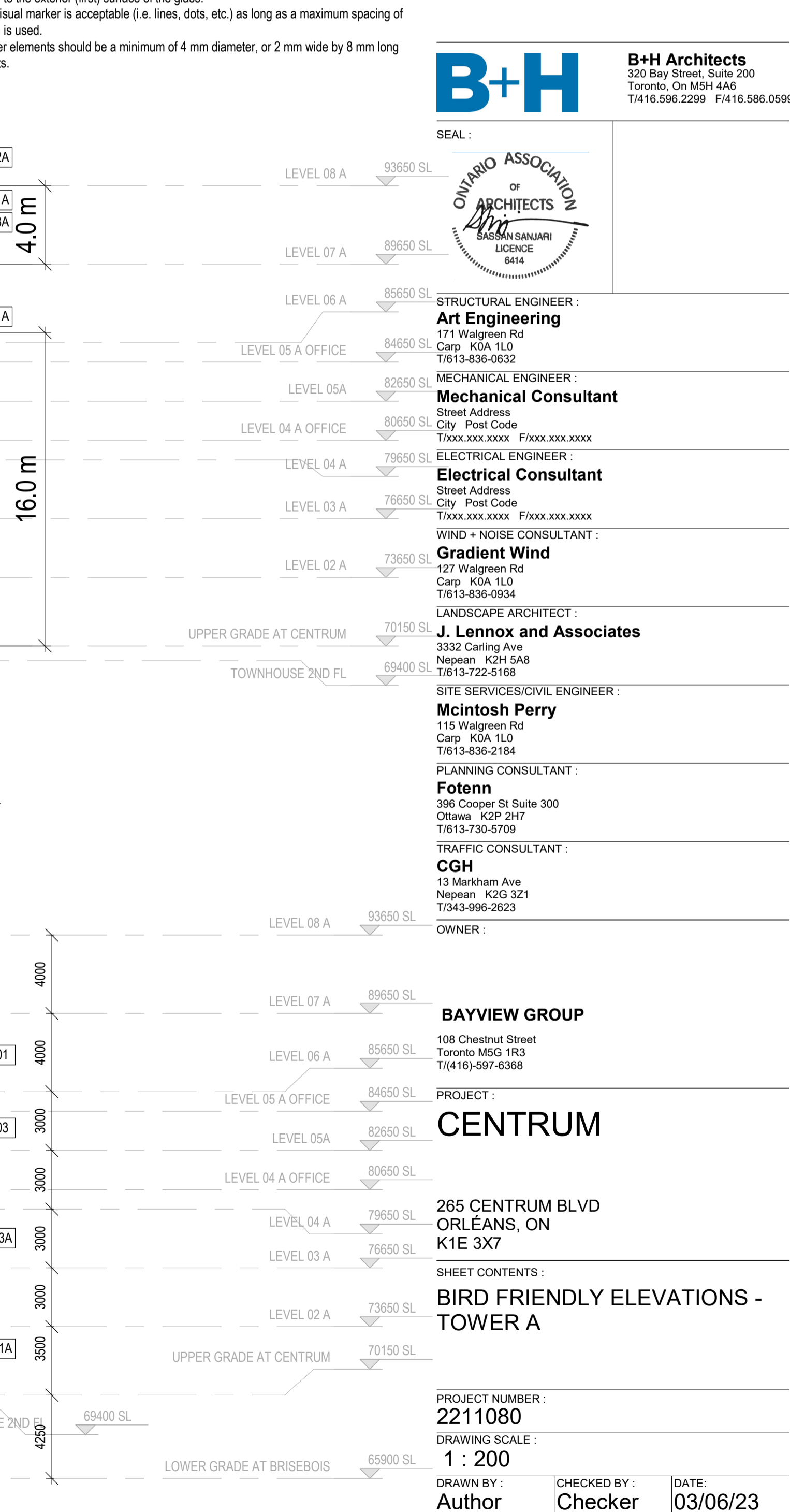
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2 BF - TOWER A EAST ELEVATION
1:200



3 BF - TOWER A SOUTH ELEVATION
1:200



1 BF - TOWER A NORTH ELEVATION
1:200

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CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS:
BIRD FRIENDLY ELEVATIONS - TOWER A

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 200

DRAWN BY:
Author

CHECKED BY:
Checker

DATE:
03/06/23

SHEET NO:
A421

REV:
2

BIRD FRIENDLY GLAZING TOWER B (PARK)

Elevation First 16m Above Grade						
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	154.4 m ²	262.0 m ²	140.1 m ²	404.6 m ²	961.0 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	154.4 m ²	262.0 m ²	140.1 m ²	404.6 m ²	961.0 m²	100%
Low-Reflectance Opaque Glass (m2)	93.9 m ²	65.0 m ²	7.6 m ²	103.1 m ²	269.5 m²	28%
Visual Markers (m2)	34.3 m ²	155.9 m ²	76.3 m ²	301.5 m ²	568.1 m²	59%
Shaded (m2)	26.1 m ²	41.1 m ²	56.2 m ²	27.5 m ²	150.9 m²	16%

Elevation First 4m Above Rooftop Vegetation*						
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	0.0 m²	
Untreated Area (m2)	na	na	na	na	0.0 m²	
Treated Area (m2)	na	na	na	na	0.0 m²	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m²	
Visual Markers (m2)	na	na	na	na	0.0 m²	
Shaded (m2)	na	na	na	na	0.0 m²	

* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

TOWER C (BRISEBOIS)

Elevation First 16m Above Grade						
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	420.2 m ²	467.6 m ²	218.9 m ²	145.1 m ²	1251.7 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	420.2 m ²	467.6 m ²	218.9 m ²	145.1 m ²	1251.7 m²	100%
Low-Reflectance Opaque Glass (m2)	164.9 m ²	123.8 m ²	102.3 m ²	61.2 m ²	452.1 m²	36%
Visual Markers (m2)	196.6 m ²	317.7 m ²	111.5 m ²	70.8 m ²	696.5 m²	56%
Shaded (m2)	58.7 m ²	26.1 m ²	5.0 m ²	13.1 m ²	103.0 m²	8%

Elevation First 4m Above Rooftop Vegetation*						
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	na	na	na	na	0.0 m²	
Untreated Area (m2)	na	na	na	na	0.0 m²	
Treated Area (m2)	na	na	na	na	0.0 m²	
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m²	
Visual Markers (m2)	na	na	na	na	0.0 m²	
Shaded (m2)	na	na	na	na	0.0 m²	

* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

TOWER A (CENTRUM)

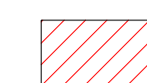



Elevation First 16m Above Grade						
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	657.4 m ²	827.2 m ²	477.7 m ²	421.4 m ²	2383.7 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	657.4 m ²	827.2 m ²	477.7 m ²	421.4 m ²	2383.7 m²	100%
Low-Reflectance Opaque Glass (m2)	77.3 m ²	238.9 m ²	97.8 m ²	206.6 m ²	620.6 m²	26%
Visual Markers (m2)	424.8 m ²	588.3 m ²	348.4 m ²	214.7 m ²	1576.3 m²	66%
Shaded (m2)	155.3 m ²	0.0 m ²	31.5 m ²	30.4 m ²	217.1 m²	9%

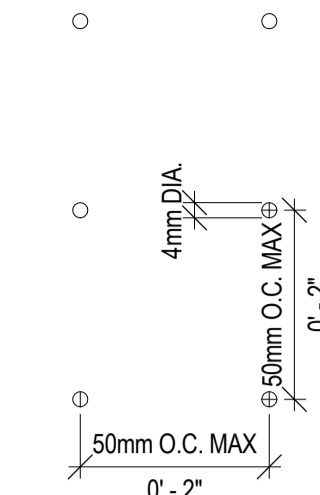
Elevation First 4m Above Rooftop Vegetation*						
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m2)	150.2 m ²	168.2 m ²	73.3 m ²	81.7 m ²	473.4 m²	100%
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%
Treated Area (m2)	150.2 m ²	168.2 m ²	73.3 m ²	81.7 m ²	473.4 m²	100%
Low-Reflectance Opaque Glass (m2)	35.6 m ²	33.6 m ²	17.7 m ²	11.9 m ²	98.7 m²	21%
Visual Markers (m2)	114.5 m ²	134.6 m ²	55.7 m ²	69.8 m ²	374.7 m²	79%
Shaded (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m²	0%

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Building Window : Wall Ratio

GLASS FRIT PATTERN

-  LOW REFLECTANCE MATERIALS (<15% REFLECTANCE OPAQUE GLASS)
-  VISIBLE MARKERS (FRIT PATTERN)
-  VISIBLE MARKERS (FRIT PATTERN AT ROOF TERRACE/GREEN ROOF)
-  SHADED AREA (BALCONY/CANOPY OVERHANG)



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

CITY OF OTTAWA BIRD-SAFE GUIDELINES

Treatments should be applied to a minimum of 90% of the glass within the first 16 metres of height as measured from the finished grade, or to the height of the adjacent mature tree canopy, whichever is greater.

Where green roofs, rooftop gardens or terraces are included in a design, any adjacent glazing should also be treated to a height of 4 m from the surface of the roof or terrace or the height of the adjacent mature vegetation, whichever is greater.

In cases where transparent glass is not required for visibility, low-reflectance opaque or frosted glass (including channel glass and glass blocks) are excellent options to reduce or eliminate collisions. Various finishes are available with differing levels of light transmission. This may include reflective or low-emissivity coatings that have an outside reflectance of 15% or less. Opaque or frosted glass with an outside reflectance of greater than 15% should only be used in combination with other strategies such as visual markers.

Specifications for effective visual markers:

- High colour contrast to the glass surface.
- Must be applied to the exterior (first) surface of the glass.
- Any pattern of visual marker is acceptable (i.e. lines, dots, etc.) as long as a maximum spacing of 50 mm by 50 mm is used.
- Individual marker elements should be a minimum of 4 mm diameter, or 2 mm wide by 8 mm long for linear elements.

B+H Architects
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Mechanical Consultant
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TRAFFIC CONSULTANT :

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T/343-996-2623

OWNER :

BAYVIEW GROUP

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T/(416)-597-6368

PROJECT :

CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :

BIRD FRIENDLY ELEVATIONS - TOWER B

PROJECT NUMBER :

2211080

DRAWING SCALE :

1 : 200

DRAWN BY :

Author

CHECKED BY :

Checker

DATE :

03/06/23

SHEET NO :

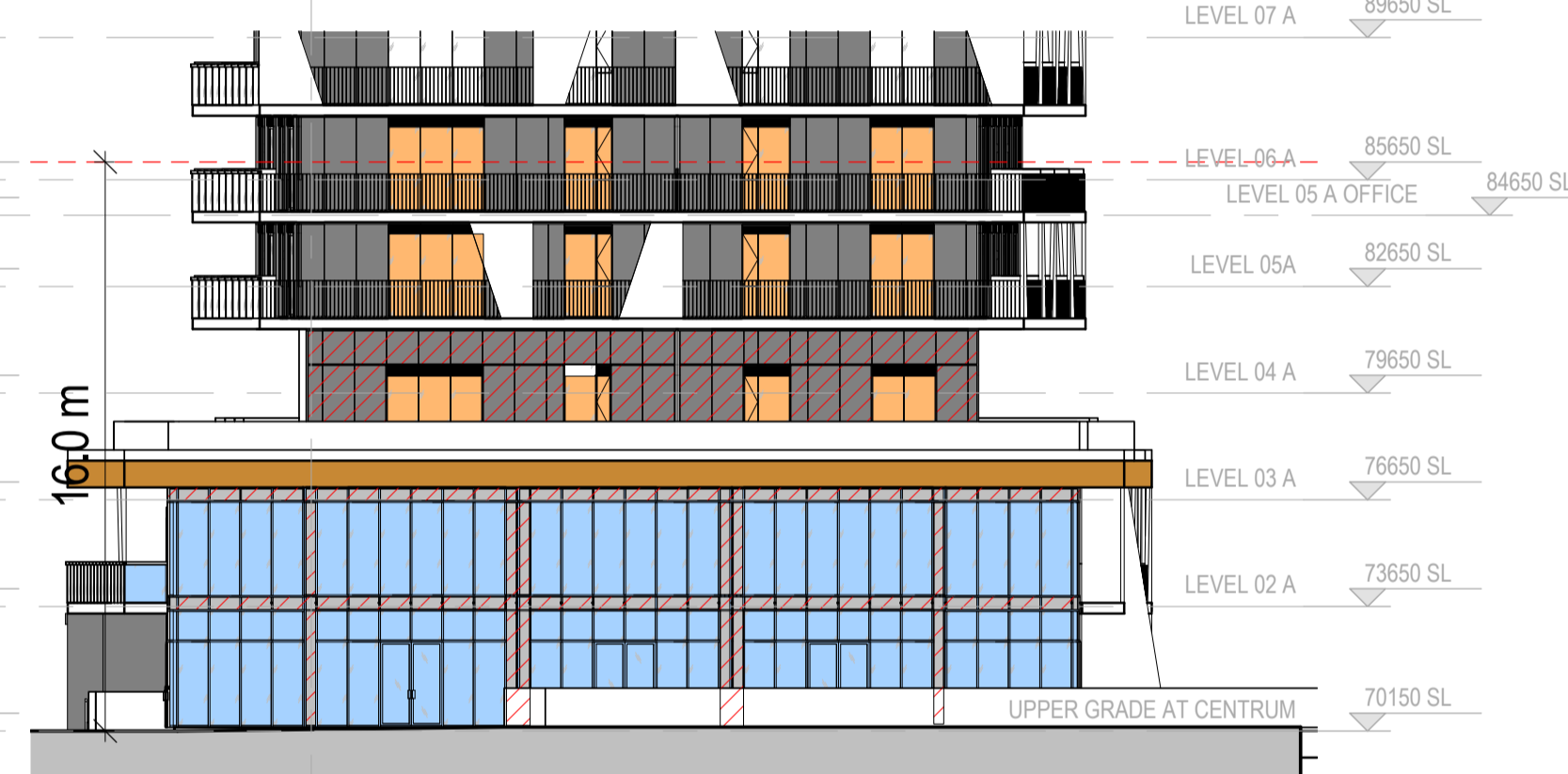
A422

REV :

2



4 BF - TOWER B WEST ELEVATION
1:200



3 BF - TOWER B SOUTH ELEVATION
1:200



2 BF - TOWER B EAST ELEVATION
1:200



1 BF - TOWER B NORTH ELEVATION
1:200

TOWER A (CENTRUM)

	Elevation First 16m Above Grade					Total (m2)	Total (%)
	North	South	East	West	Total		
Glazing Area (m2)	657.4 m ²	827.2 m ²	477.7 m ²	421.4 m ²	2383.7 m ²	100%	
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0%	
Treated Area (m2)	657.4 m ²	827.2 m ²	477.7 m ²	421.4 m ²	2383.7 m ²	100%	
Low-Reflectance Opaque Glass (m2)	77.3 m ²	238.9 m ²	97.8 m ²	206.6 m ²	620.6 m ²	26%	
Visual Markers (m2)	424.8 m ²	588.3 m ²	348.4 m ²	214.7 m ²	1576.3 m ²	66%	
Shaded (m2)	155.3 m ²	0.0 m ²	31.5 m ²	30.4 m ²	217.1 m ²	9%	

	Elevation First 4m Above Rooftop Vegetation*					Total (m2)	Total (%)
	North	South	East	West	Total		
Glazing Area (m2)	150.2 m ²	168.2 m ²	73.3 m ²	81.7 m ²	473.4 m ²	100%	
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0%	
Treated Area (m2)	150.2 m ²	168.2 m ²	73.3 m ²	81.7 m ²	473.4 m ²	100%	
Low-Reflectance Opaque Glass (m2)	35.6 m ²	33.6 m ²	17.7 m ²	11.9 m ²	98.7 m ²	21%	
Visual Markers (m2)	114.5 m ²	134.6 m ²	55.7 m ²	69.8 m ²	374.7 m ²	79%	
Shaded (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0%	

* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio

BIRD FRIENDLY GLAZING TOWER B (PARK)

	Elevation First 16m Above Grade					Total (m2)	Total (%)
	North	South	East	West	Total		
Glazing Area (m2)	154.4 m ²	262.0 m ²	140.1 m ²	404.6 m ²	961.0 m ²	100%	
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0%	
Treated Area (m2)	154.4 m ²	262.0 m ²	140.1 m ²	404.6 m ²	961.0 m ²	100%	
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	Elevation First 4m Above Rooftop Vegetation*					Total (m2)	Total (%)
	North	South	East	West	Total		
Glazing Area (m2)	na	na	na	na	0.0 m ²		
Untreated Area (m2)	na	na	na	na	0.0 m ²		
Treated Area (m2)	na	na	na	na	0.0 m ²		
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m ²		
Visual Markers (m2)	na	na	na	na	0.0 m ²		
Shaded (m2)	na	na	na	na	0.0 m ²		

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Building Window : Wall Ratio

TOWER C (BRISEBOIS)

	Elevation First 16m Above Grade					Total (m2)	Total (%)
	North	South	East	West	Total		
Glazing Area (m2)	420.2 m ²	467.6 m ²	218.9 m ²	145.1 m ²	1251.7 m ²	100%	
Untreated Area (m2)	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0.0 m ²	0%	
Treated Area (m2)	420.2 m ²	467.6 m ²	218.9 m ²	145.1 m ²	1251.7 m ²	100%	
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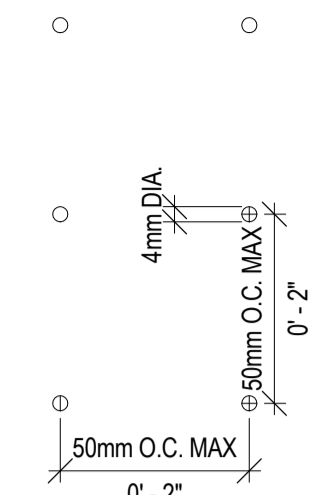
	Elevation First 4m Above Rooftop Vegetation*					Total (m2)	Total (%)
	North	South	East	West	Total		
Glazing Area (m2)	na	na	na	na	0.0 m ²		
Untreated Area (m2)	na	na	na	na	0.0 m ²		
Treated Area (m2)	na	na	na	na	0.0 m ²		
Low-Reflectance Opaque Glass (m2)	na	na	na	na	0.0 m ²		
Visual Markers (m2)	na	na	na	na	0.0 m ²		
Shaded (m2)	na	na	na	na	0.0 m ²		

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Building Window : Wall Ratio

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KEY PLAN

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BAYVIEW GROUP

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PROJECT :

CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :

**BIRD FRIENDLY ELEVATIONS -
TOWER C**

PROJECT NUMBER :
2211080

DRAWING SCALE :
1 : 200

DRAWN BY :
Author

CHECKED BY :
Checker

DATE:
03/06/23

SHEET NO :
A423

REV :
2

2 BF - TOWER C WEST ELEVATION
1:200



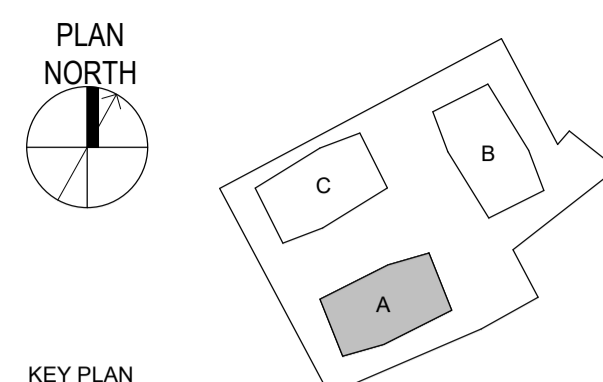
1 BF - TOWER C EAST ELEVATION
1:200

3 BF - TOWER C SOUTH ELEVATION
1:200



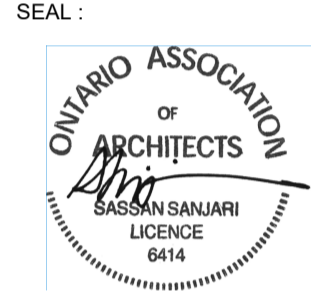
1 BF - TOWER C NORTH ELEVATION
1:200

- Department
- Amenity
 - Bike Parking
 - Circulation
 - Elevator
 - Loading
 - Other
 - OFFICE
 - OUTDOOR AMENITY
 - PARK
 - Parking
 - Residential Lobby
 - Retail
 - Service
 - Stair



REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
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 320 Bay Street, Suite 200
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Mechanical Consultant
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 City Post Code
 T/xxxx.xxxxxx F/xxxx.xxxxxx
- ELECTRICAL ENGINEER:
Electrical Consultant
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 13 Markham Ave
 Nepean, K2G 3Z1
 T/343-996-2623
- OWNER:

BAYVIEW GROUP
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PROJECT:
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
TOWER A SECTIONS

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 300

DRAWN BY:
 Author

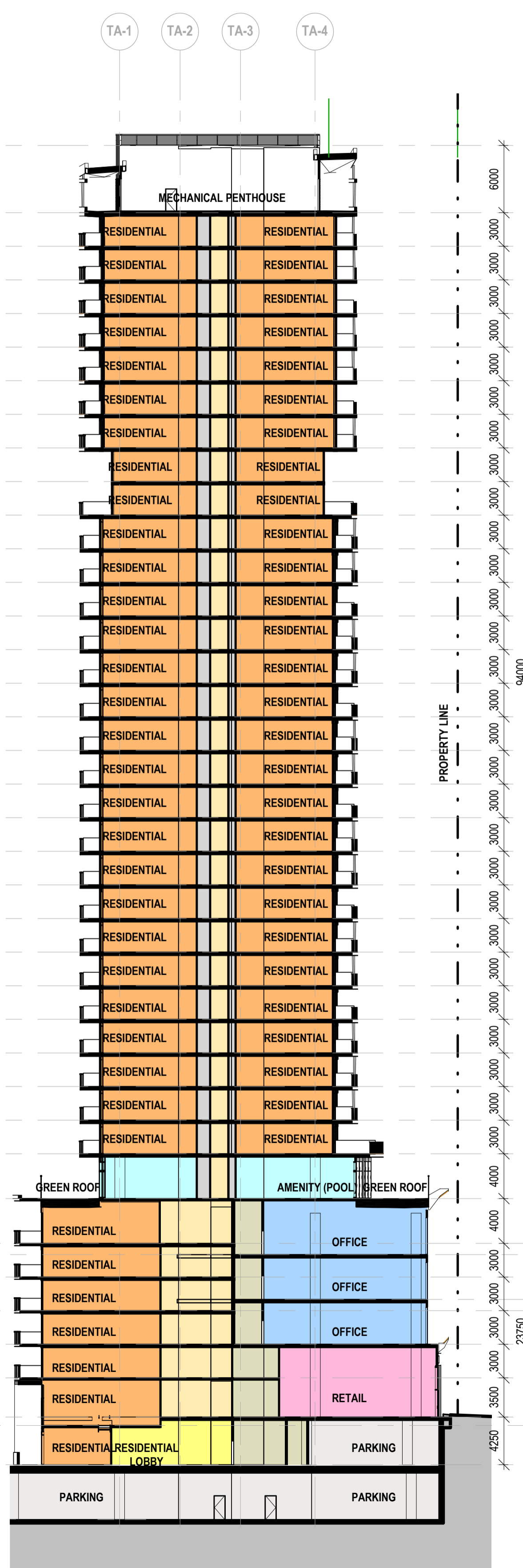
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DATE:
 01/05/23

SHEET NO:
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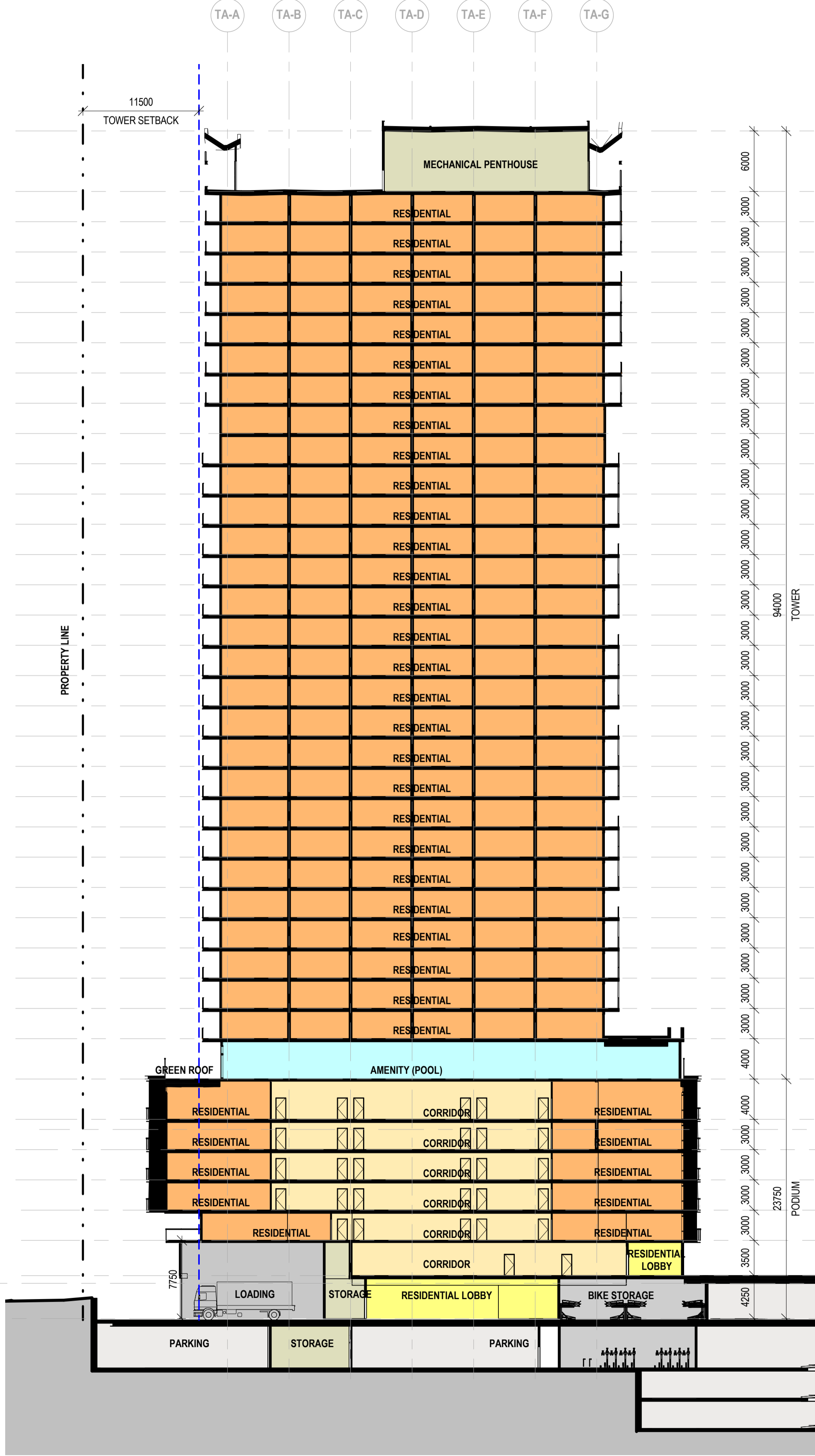
REV:
2

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2 TOWER A SECTION 2
 1:300

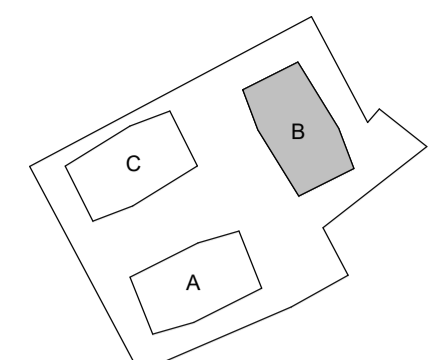
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LEVEL 33 A	168650 SL
LEVEL 32 A	165650 SL
LEVEL 31 A	162650 SL
LEVEL 30 A	159650 SL
LEVEL 29 A	156650 SL
LEVEL 28 A	153650 SL
LEVEL 27 A	150650 SL
LEVEL 26 A	147650 SL
LEVEL 25 A	144650 SL
LEVEL 24 A	141650 SL
LEVEL 23 A	138650 SL
LEVEL 22 A	135650 SL
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LEVEL 19 A	126650 SL
LEVEL 18 A	123650 SL
LEVEL 17 A	120650 SL
LEVEL 16 A	117650 SL
LEVEL 15 A	114650 SL
LEVEL 14 A	111650 SL
LEVEL 13 A	108650 SL
LEVEL 12 A	105650 SL
LEVEL 11 A	102650 SL
LEVEL 10 A	99650 SL
LEVEL 09 A	96650 SL
LEVEL 08 A	93650 SL
LEVEL 07 A	89650 SL
LEVEL 06 A	85650 SL
LEVEL 05 A OFFICE	84650 SL
LEVEL 05A	82650 SL
LEVEL 04 A OFFICE	80650 SL
LEVEL 04 A	79650 SL
LEVEL 03 A	78650 SL
LEVEL 02 A	73650 SL
UPPER GRADE AT CENTRUM	70150 SL
TOWNHOUSE 2ND FL	69400 SL
LOWER GRADE AT BRISEBOIS	65900 SL



1 TOWER A SECTION 1
 1:300

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS AUTHORIZED IN WRITING BY CONSULTANT.

- Department**
- Amenity
 - Bike Parking
 - Circulation
 - Elevator
 - Loading
 - OFFICE
 - Other
 - OUTDOOR AMENITY
 - PARK
 - Parking
 - Residential
 - Residential Lobby
 - Retail
 - Service
 - Stair



KEY PLAN

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 T/416.596.2299 F/416.586.0599



- STRUCTURAL ENGINEER :**
Art Engineering
 171 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0632
- MECHANICAL ENGINEER :**
Mechanical Consultant
 Street Address
 City Post Code
 T/xxxx.xxx.xxx F/xxxx.xxx.xxx
- ELECTRICAL ENGINEER :**
Electrical Consultant
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- WIND + NOISE CONSULTANT :**
Gradient Wind
 127 Walgreen Rd
 Carp, K0A 1L0
 T/613-836-0934
- LANDSCAPE ARCHITECT :**
J. Lennox and Associates
 3332 Caring Ave
 Nepean K2H 5A8
 T/613-722-5168
- SITE SERVICES/CIVIL ENGINEER :**
Mcintosh Perry
 115 Walgreen Rd
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 T/613-836-2184
- PLANNING CONSULTANT :**
Fotenn
 396 Cooper St Suite 300
 Ottawa K2P 2H7
 T/613-730-5709
- TRAFFIC CONSULTANT :**
CGH
 13 Markham Ave
 Nepean K2G 3Z1
 T/343-996-2623
- OWNER :**

BAYVIEW GROUP
 108 Chestnut Street
 Toronto M5G 1R3
 T/(416)-597-6368

PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

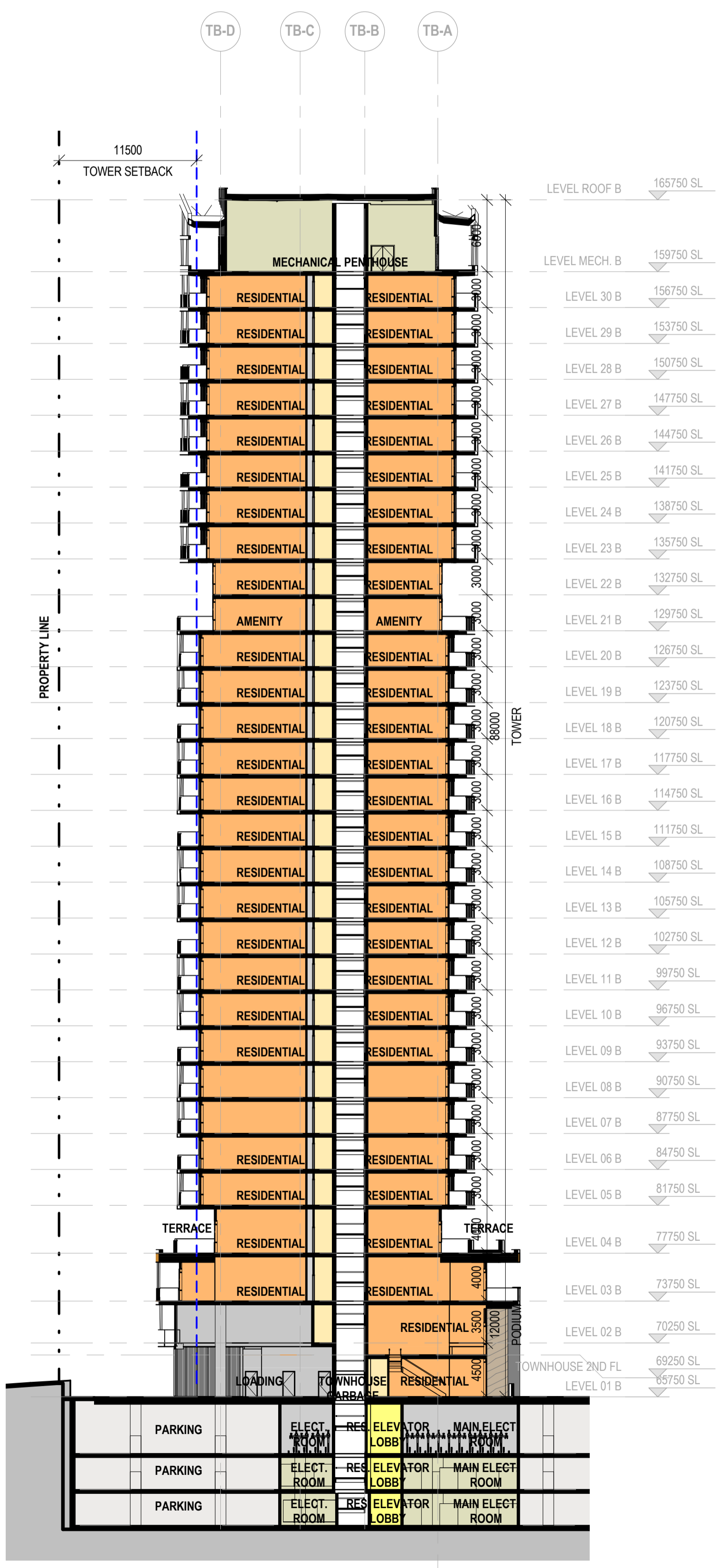
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TOWER B SECTIONS

PROJECT NUMBER :
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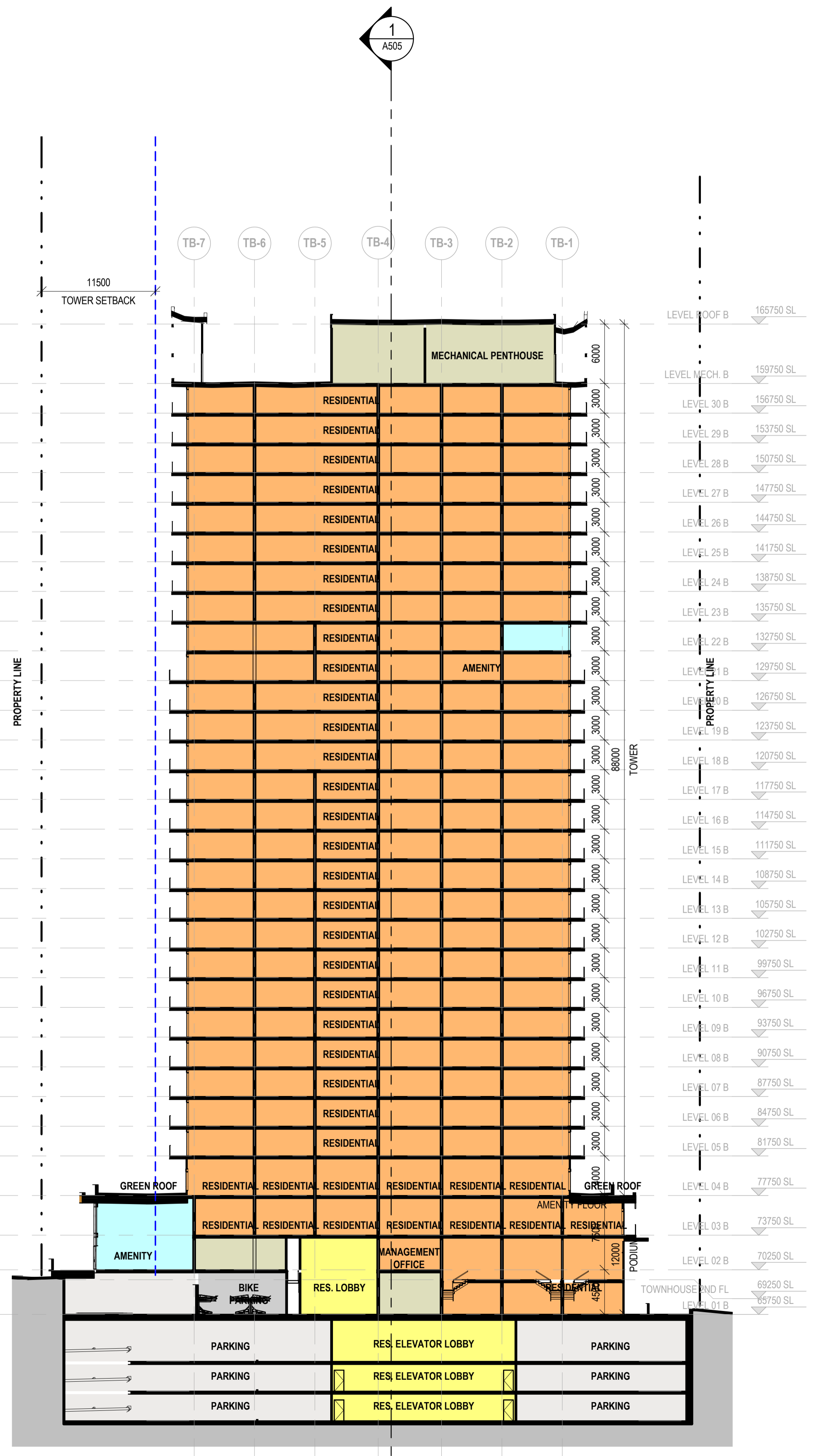
DRAWING SCALE :
 1 : 300

DRAWN BY : Author **CHECKED BY :** Checker **DATE:** 01/19/23

SHEET NO.: A501 **REV.:** 2



2 TOWER B SECTION 2
 1:300



1 TOWER B SECTION 1
 1:300

- Department
- Amenity
 - Bike Parking
 - Circulation
 - Elevator
 - Loading
 - OFFICE
 - Other
 - OUTDOOR AMENITY
 - PARK
 - Parking
 - Residential
 - Retail
 - Service
 - Stair



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS

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PROJECT:
CENTRUM
 265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS:
TOWER C SECTIONS

PROJECT NUMBER:
2211080

DRAWING SCALE:
1 : 300

DRAWN BY:
Author

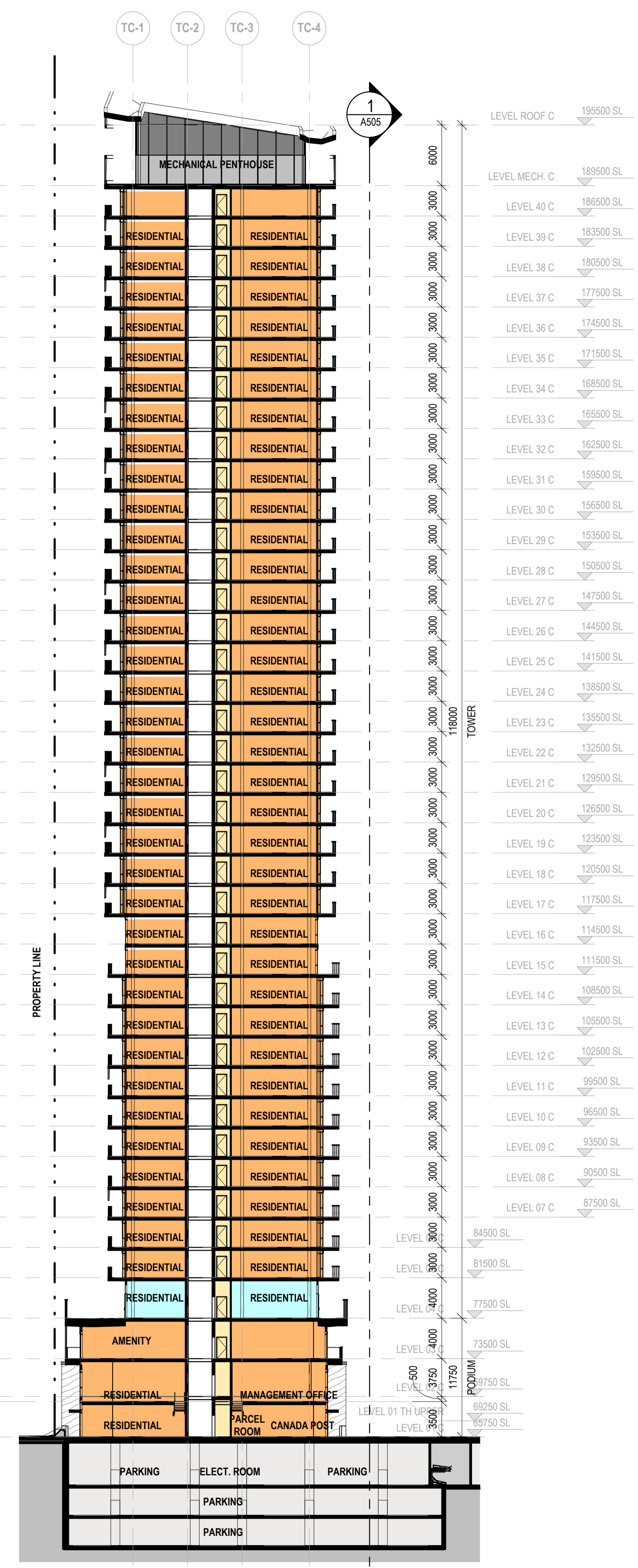
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DATE:
01/19/23

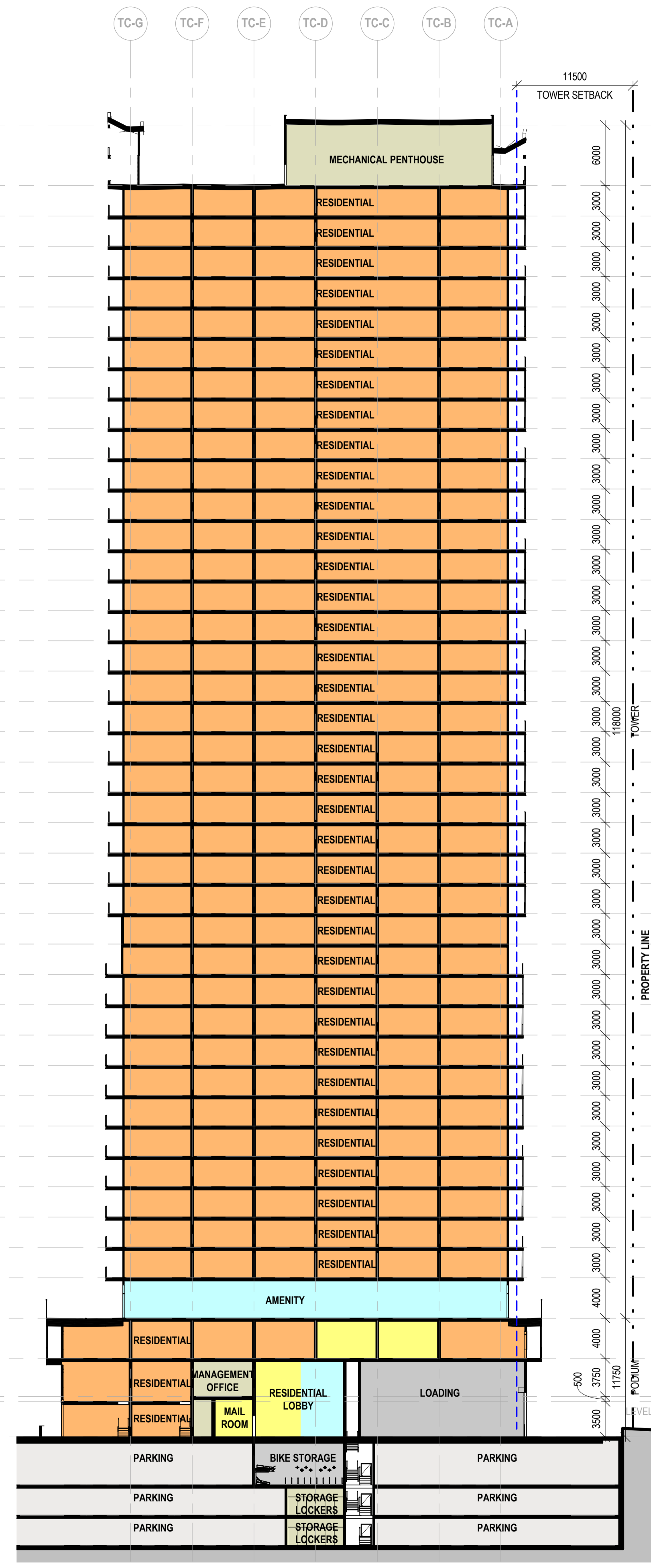
SHEET NO:
A502

REV:
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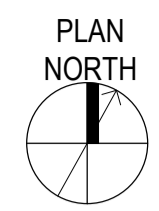
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 1:300



1 TOWER C SECTION 1
 1:300

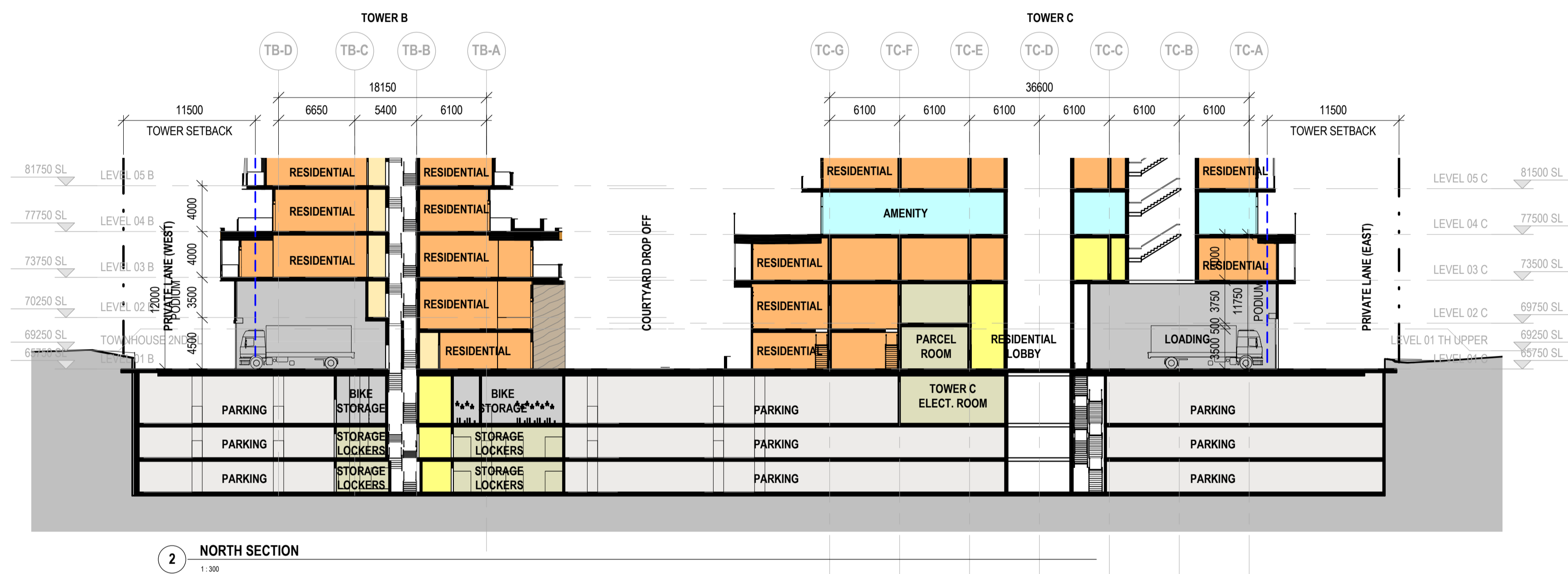
- Department
- Amenity
 - Bike Parking
 - Circulation
 - Elevator
 - Loading
 - OFFICE
 - Other
 - OUTDOOR AMENITY
 - PARK
 - Parking
 - Residential
 - Residential Lobby
 - Retail
 - Service
 - Stair

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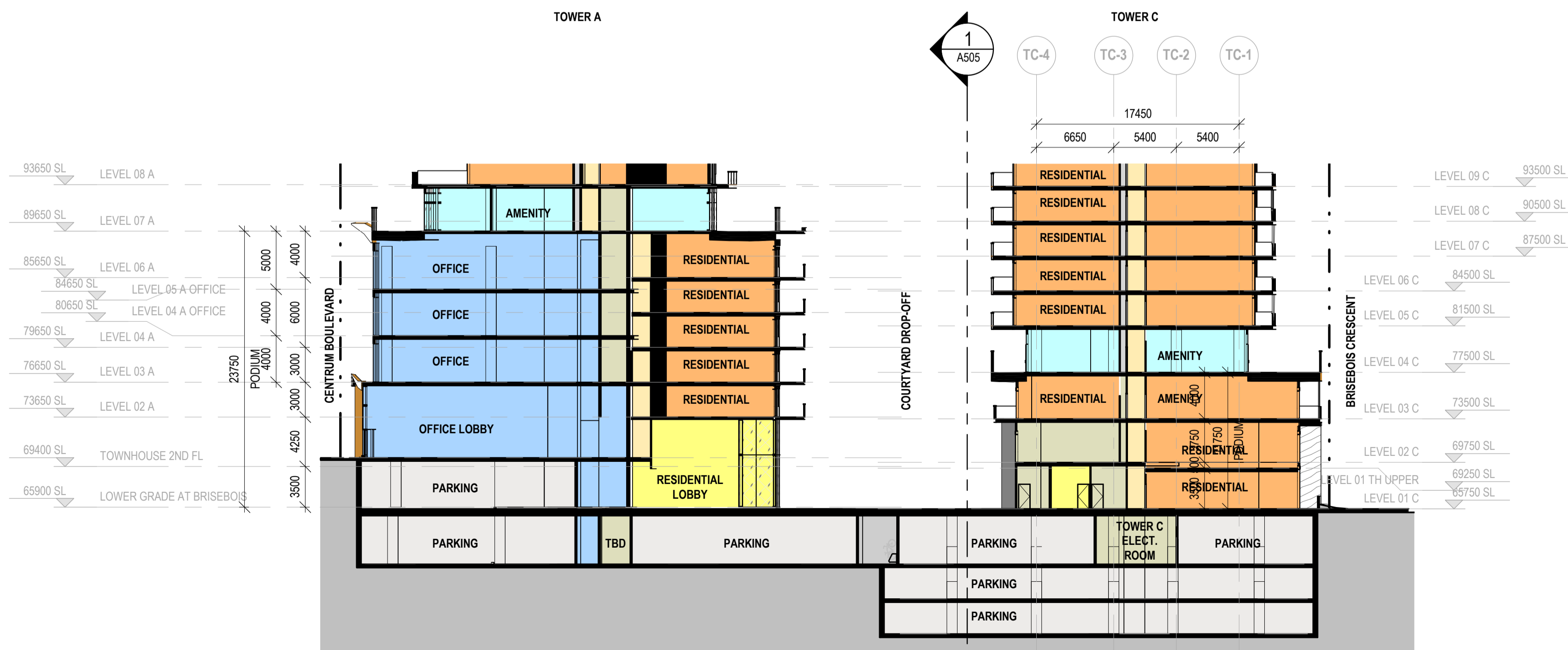


KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS



2 NORTH SECTION
1:300



1 SITE EAST SECTION
1:300

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- WIND + NOISE CONSULTANT :
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- OWNER :

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PROJECT :
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :
SITE SECTIONS

PROJECT NUMBER :
2211080

DRAWING SCALE :
1 : 300

DRAWN BY :
Author

CHECKED BY :
Checker

DATE:
01/05/23

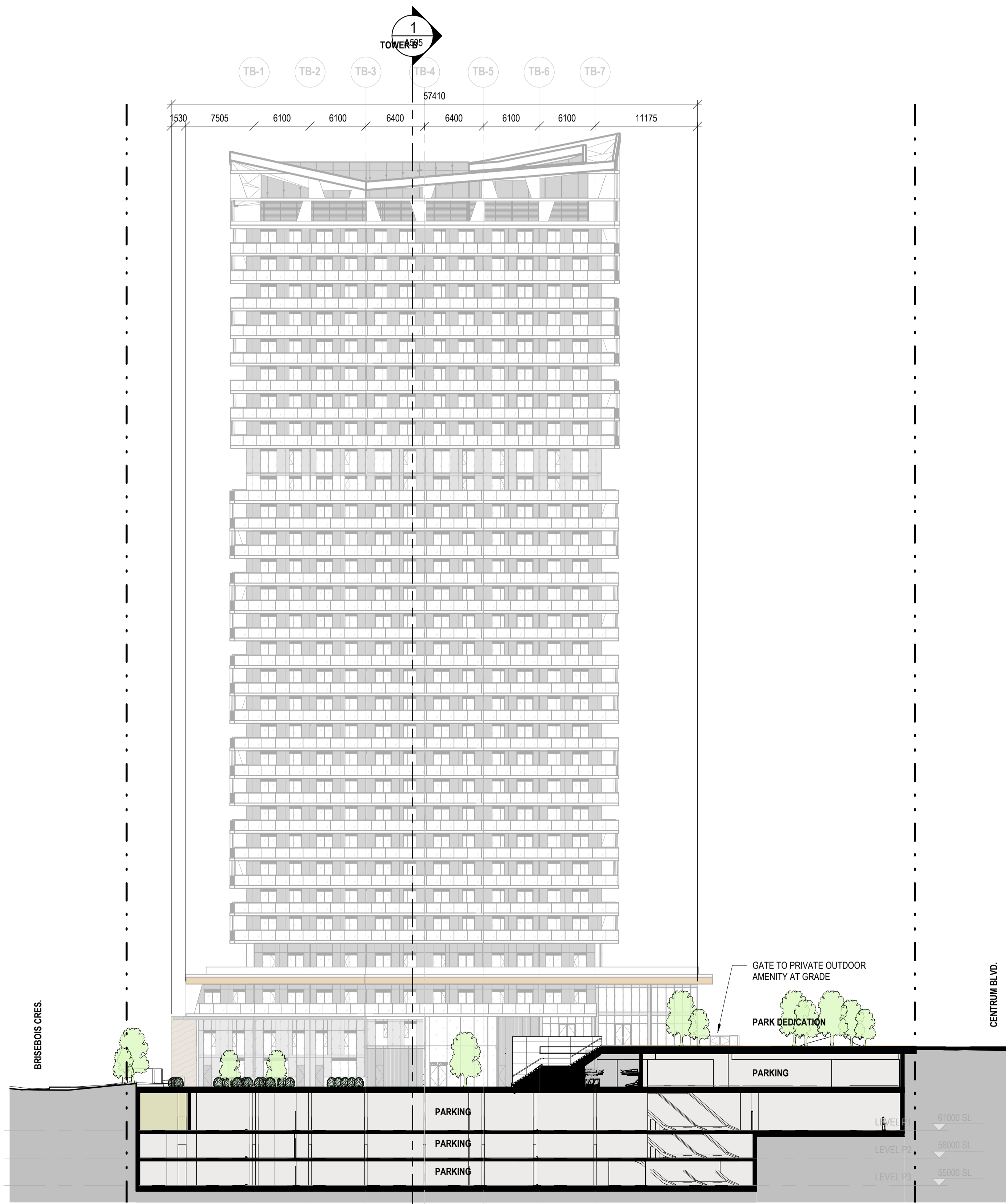
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REV :
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KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
2	24-05-28	ISSUED FOR SPA REVISIONS



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ELECTRICAL ENGINEER :
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WIND + NOISE CONSULTANT :
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 T/613-836-0934

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PROJECT :
CENTRUM

265 CENTRUM BLVD
 ORLÉANS, ON
 K1E 3X7

SHEET CONTENTS :
SITE SECTIONS

PROJECT NUMBER :
2211080

DRAWING SCALE :
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DRAWN BY : **Author** CHECKED BY : **Checker** DATE: **03/30/23**

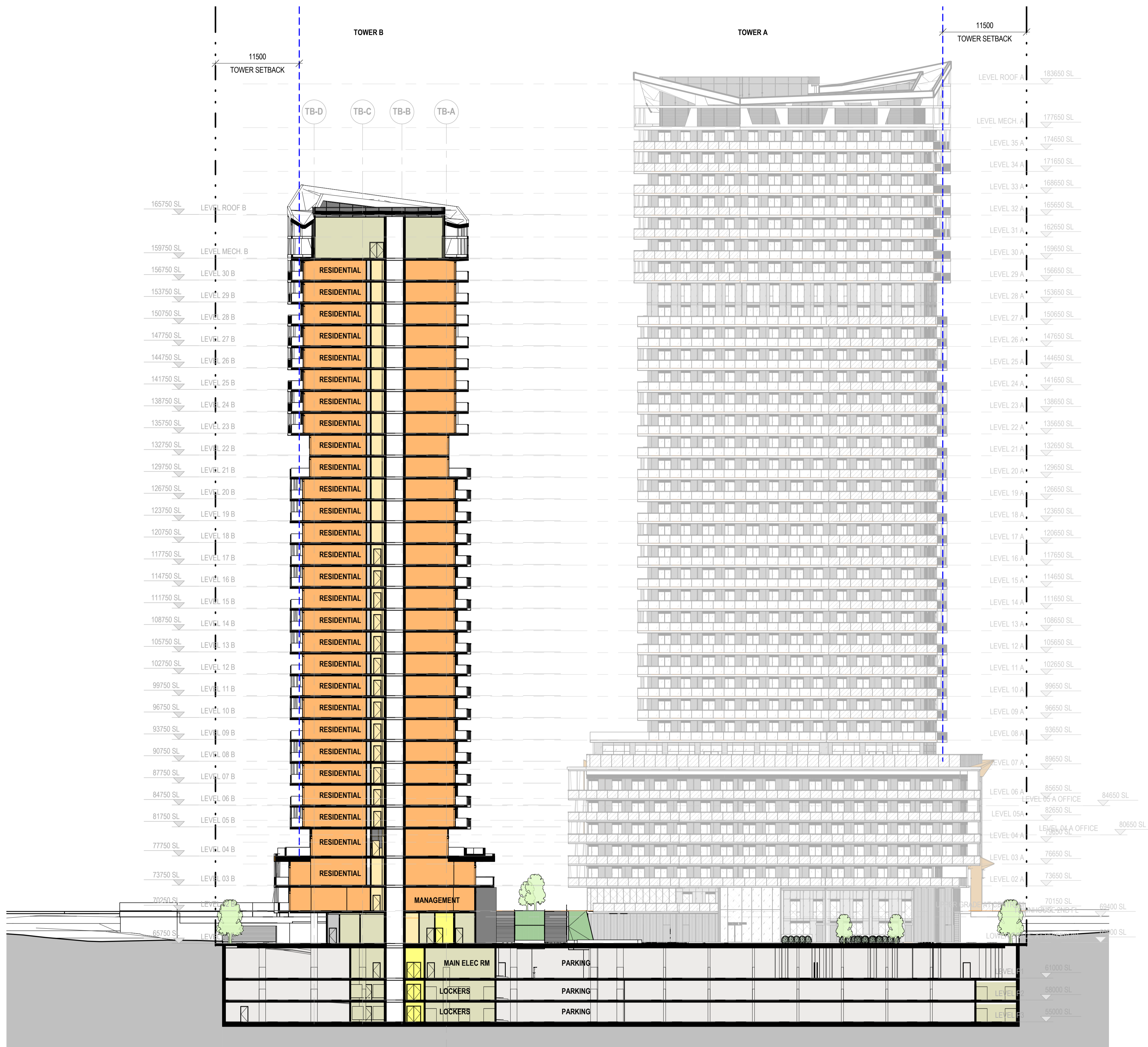
SHEET NO : **A504** REV : **2**

1 SITE SECTION @ STAIR
 1 : 300



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
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WIND + NOISE CONSULTANT :
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PROJECT :
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

SHEET CONTENTS :
SITE SECTIONS

PROJECT NUMBER :
2211080

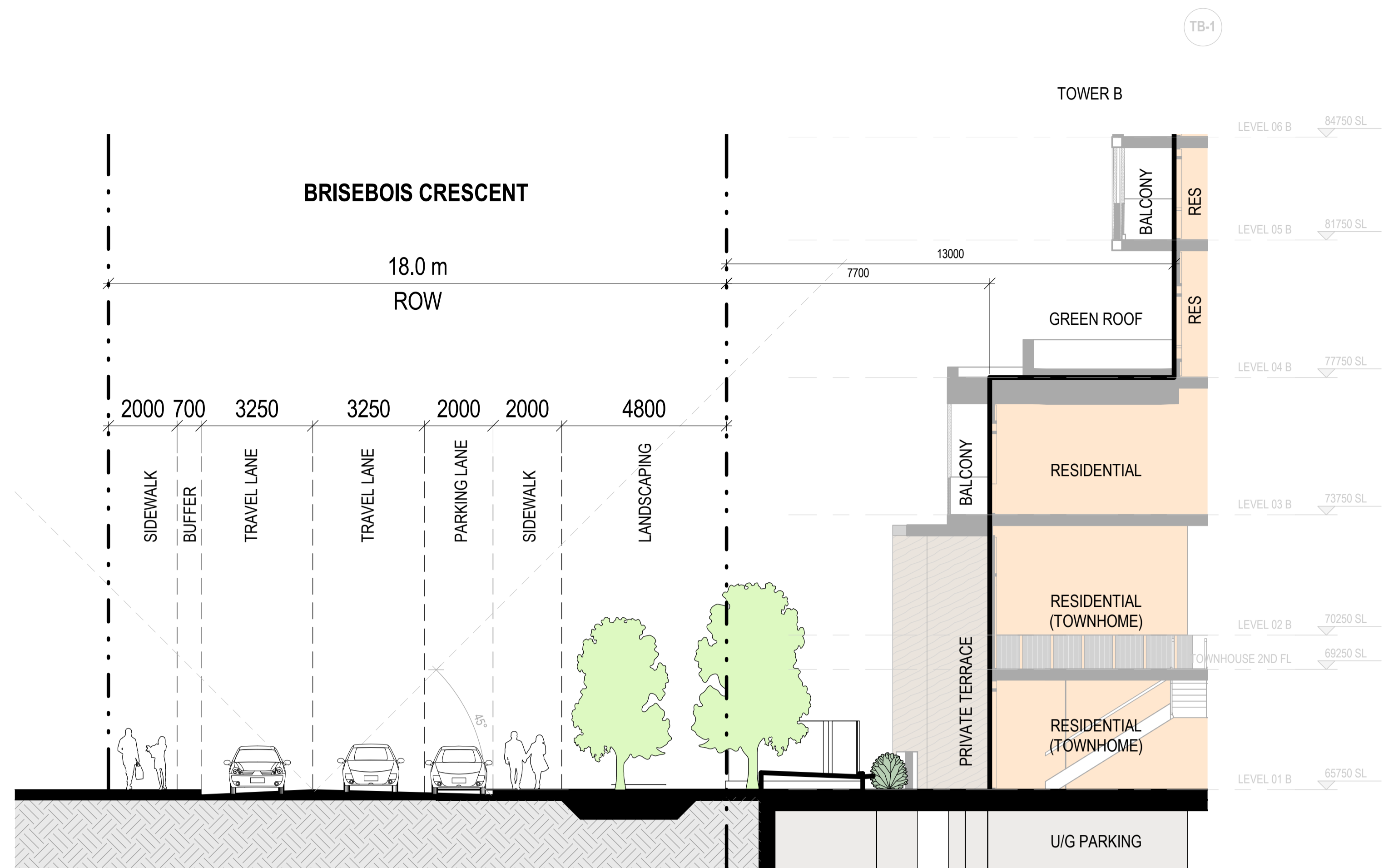
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DRAWN BY : Author CHECKED BY : Checker DATE: 03/30/23

SHEET NO : **A505** REV : **2**

1 SITE SECTION @ COURTYARD - FACING SOUTH

1:300



2 BRISEBOIS STREET SECTION @ TOWER B
1:100

KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
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ELECTRICAL ENGINEER:
Electrical Consultant
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T/xxx.xxx.xxx F/xxx.xxx.xxx

WIND + NOISE CONSULTANT:
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LANDSCAPE ARCHITECT:
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PROJECT:
CENTRUM

265 CENTRUM BLVD
ORLÉANS, ON
K1E 3X7

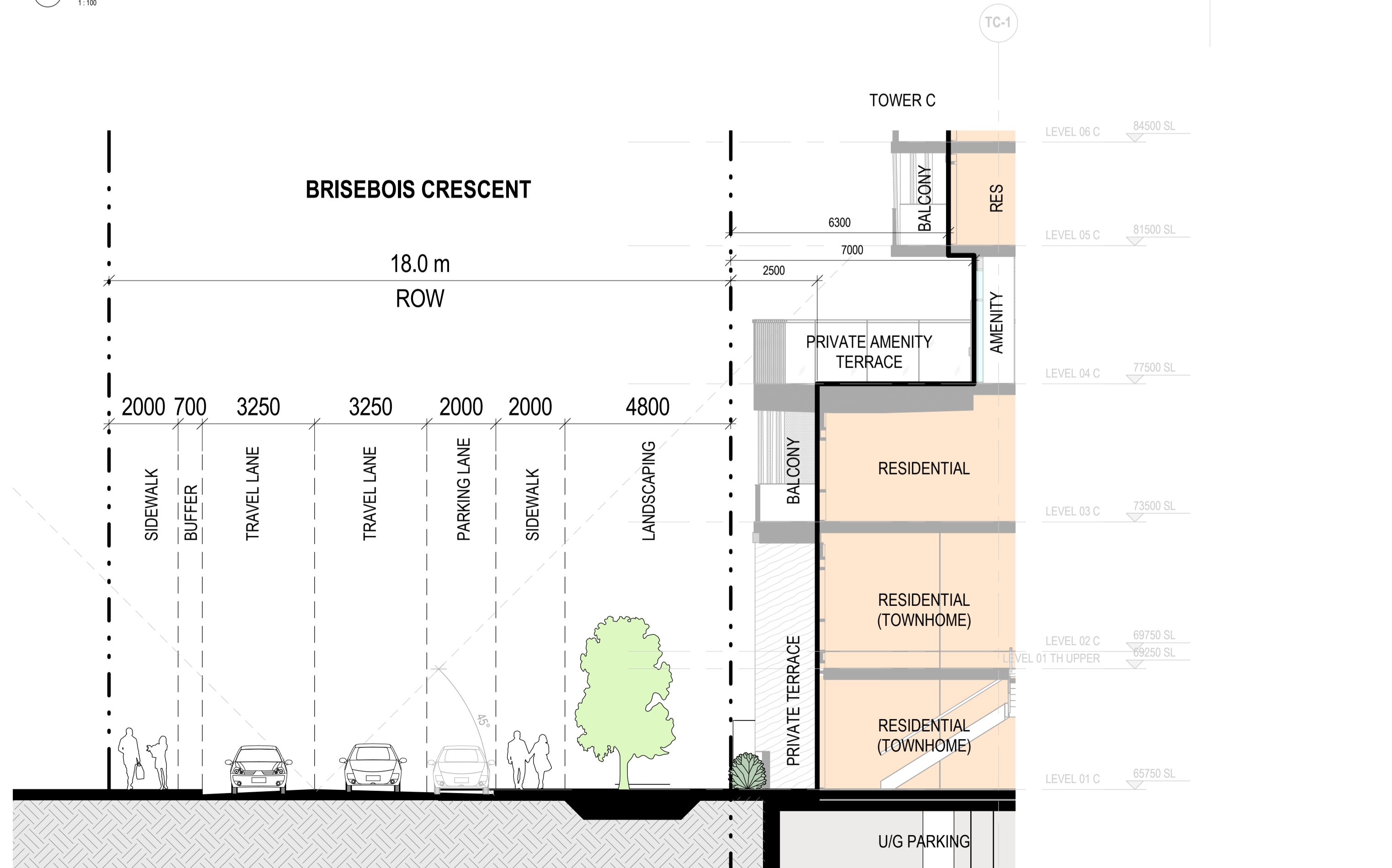
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STREET SECTIONS

PROJECT NUMBER:
2211080

DRAWING SCALE:
1:100

DRAWN BY: Author CHECKED BY: Checker DATE: 04/03/23

SHEET NO: **A510** REV: **2**



1 BRISEBOIS STREET SECTION @ TOWER C
1:100



KEY PLAN

REVISION		
NO.	DATE	DESCRIPTION
1	23-03-24	ISSUED FOR SITE PLAN APPROVAL
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SEAL :



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MECHANICAL ENGINEER :
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ELECTRICAL ENGINEER :
Electrical Consultant
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WIND + NOISE CONSULTANT :
Gradient Wind
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 T/613-836-0934

LANDSCAPE ARCHITECT :
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OWNER :

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PROJECT :
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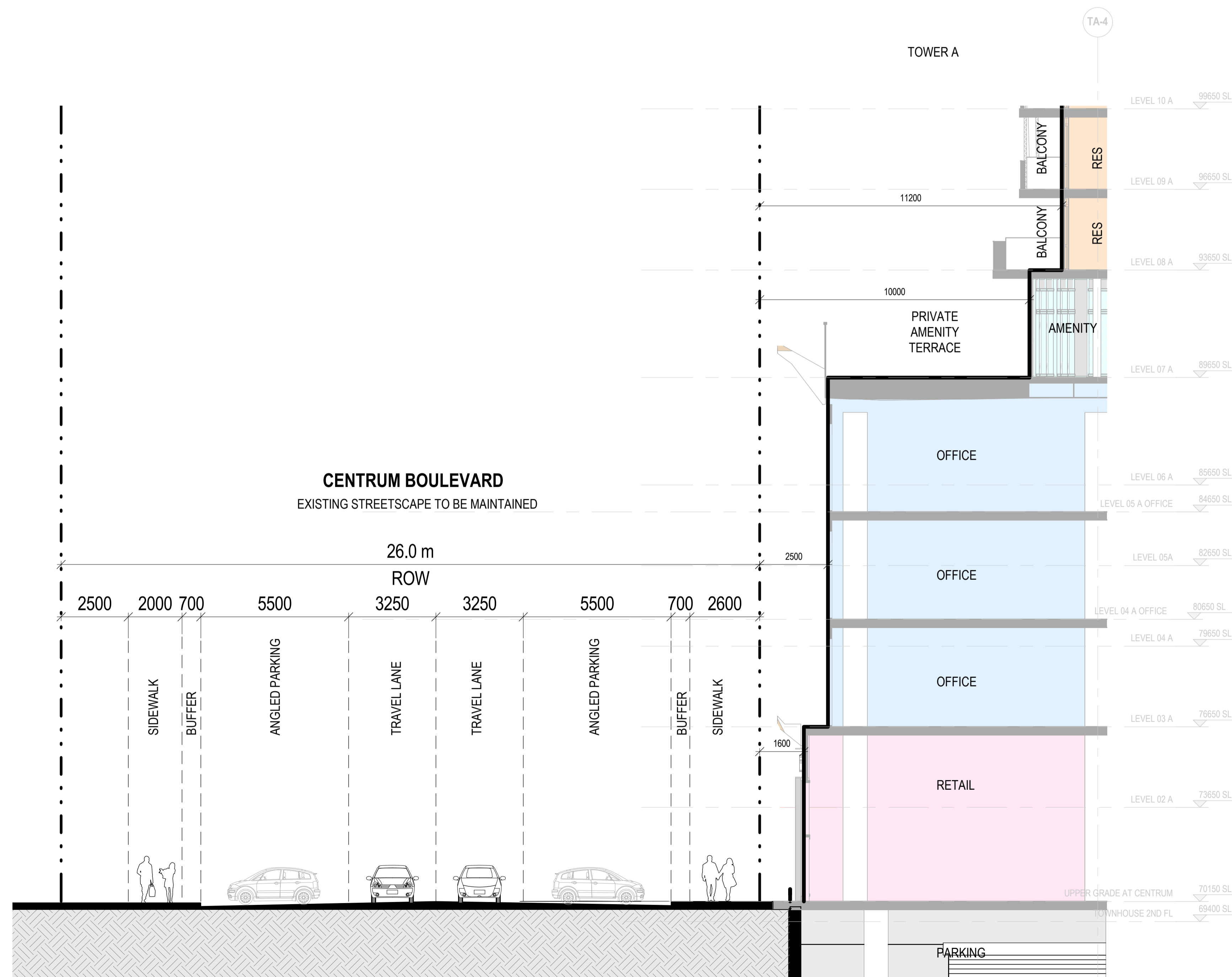
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STREET SECTIONS

PROJECT NUMBER :
2211080

DRAWING SCALE :
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DRAWN BY : Author CHECKED BY : Checker DATE : 04/03/23

SHEET NO : **A511** REV : **2**



1 CENTRUM STREET SECTION @ TOWER A
 1:100



KEY PLAN

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ELECTRICAL ENGINEER :
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 T/613-836-0934

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PROJECT :
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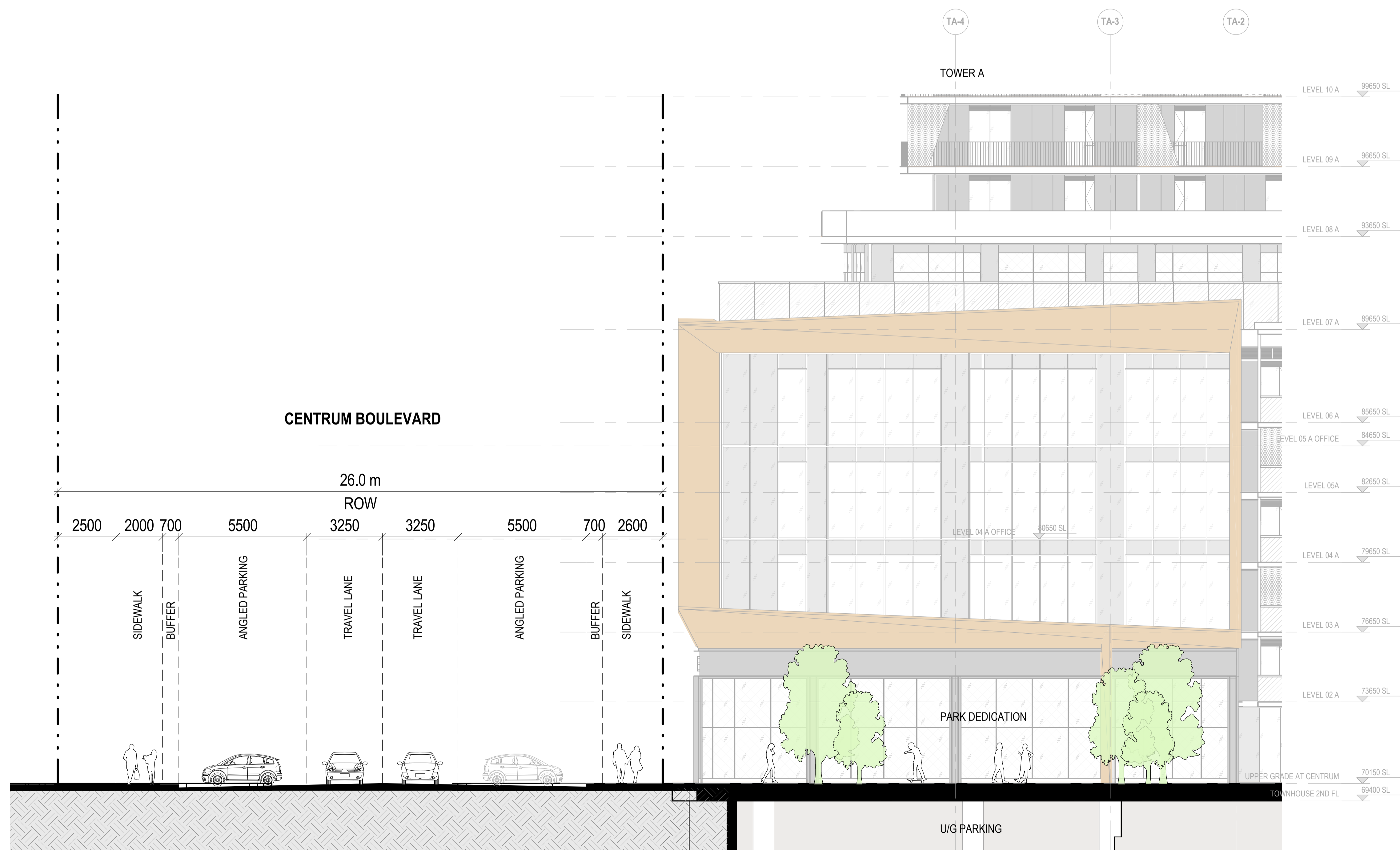
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STREET SECTIONS

PROJECT NUMBER :
2211080

DRAWING SCALE :
1 : 100

DRAWN BY : **Author** CHECKED BY : **Checker** DATE : **04/03/23**

SHEET NO : **A512** REV : **2**



1 CENTRUM STREET SECTION @ PARK
 1 : 100