

Proj. 221021
 Ottawa Community Housing
 OCH Friel Street / Chapel
 200-201 Friel Street (200 Beausoleil Drive)
 Ottawa, ON
 K1N 8Z2

Issued for Rezoning and Site Plan Control - Resubmission #1
 05/18/2023

SURVEY

492.22 Registered Plan 43586

ARCHITECTURAL

A010 Site Plan
 A011 Site Plan - Zoom In
 A040 Building Statistics
 A100.A Basement Floor Plan
 A100.B Basement + Loading Area Plan
 A301 North Exterior Building Elevation
 A302 East and West Exterior Building Elevations
 A303 South Exterior Building Elevation

LANDSCAPE

D1-1 Demolition Plan
 L1-1 Landscape Plan
 L1-2 POP3 Area Landscape Plan
 L1-3 Planning Plan
 L2-1 Details
 L2-2 Site Plan - Extra Property
 TP-1 Tree Protection Plan

CIVIL

C000 Cover
 C001 Site Servicing Plan
 C002 Grading Plan
 C003 Erosion and Sediment Control
 C101 Details (1 of 4)
 C102 Details (2 of 4)
 C103 Details (3 of 4)
 C104 Details (4 of 4)
 C700 Removals Plan
 C701 Roof Drain Layout & Ponding
 C800 Existing Drainage Area Plan
 C801 Proposed Drainage Area Plan



Architect
Diamond Schmitt Architects
 384 Adelaide Street West, Suite 100
 Toronto, ON M5V 1R7
 T: (416)-862-8800

Architect
KWC Architects Inc.
 383 Parkdale Avenue, Suite 201
 Ottawa, ON K1Y 4R4
 T: (613)-239-2117

Planner
WSP
 2611 Queensview Drive #300
 Ottawa, ON K2B 8K2
 T: (613)-829-2800

Civil
Morrison Hershfield
 2932 Baseline Road
 Ottawa, ON K2H 1B1
 T: (613)-739-2910

Electrical
Smith + Andersen
 1600 Carling Avenue #530
 Ottawa, ON K1Z 1G3
 T: (613)-230-1186

Landscape
Lashley + Associates
 950 Gladstone Avenue #202
 Ottawa, ON K1Y 3E6
 T: (613)-233-8579

Mechanical
Smith + Andersen
 1600 Carling Avenue #530
 Ottawa, ON K1Z 1G3
 T: (613)-230-1186

Building Envelope
RDH Building Science Inc.
 26 Soho Street #350
 Toronto, ON M5T 1Z7
 T: (416)-314-2329

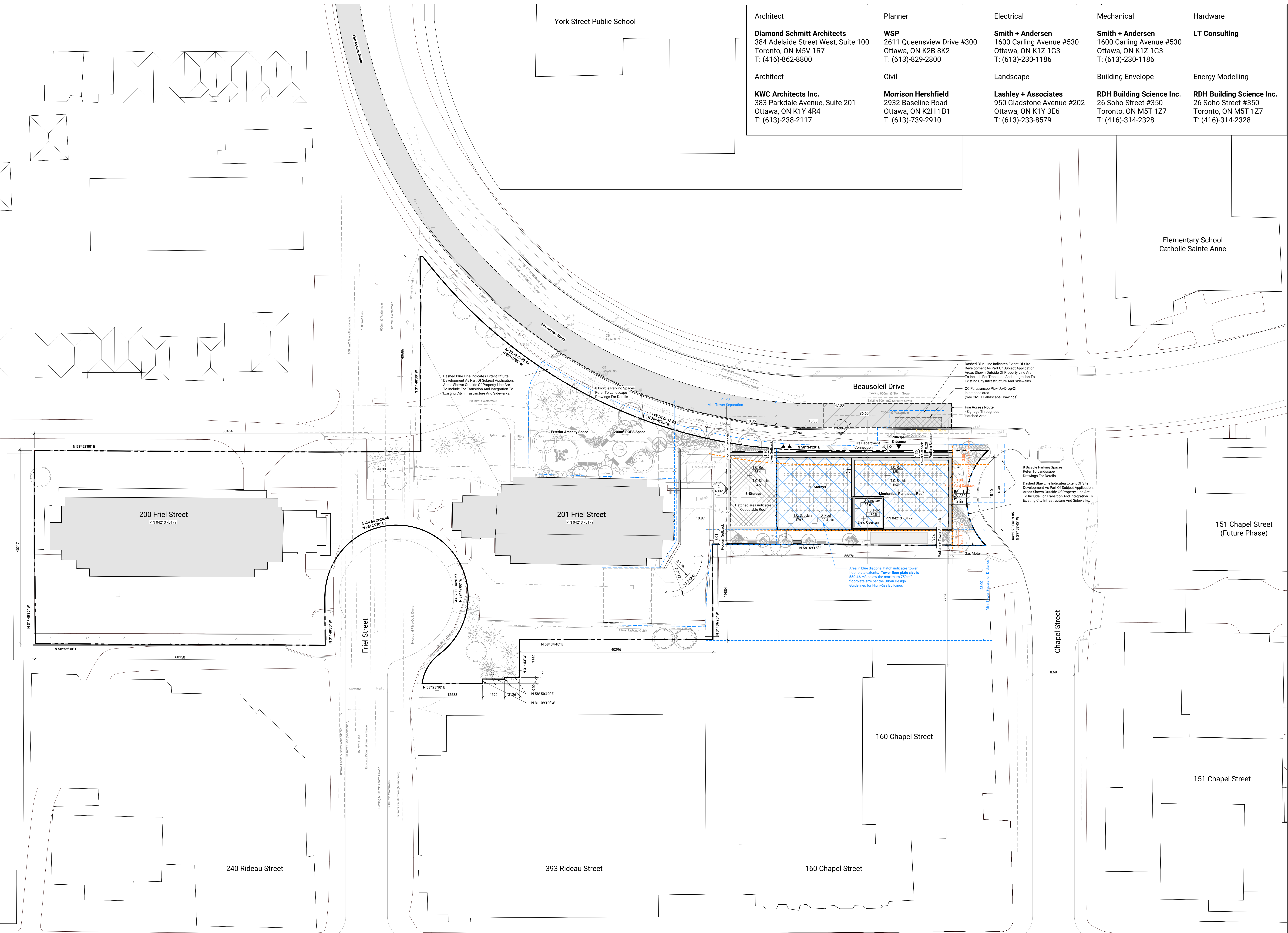
Hardware
LT Consulting

Energy Modelling
RDH Building Science Inc.
 26 Soho Street #350
 Toronto, ON M5T 1Z7
 T: (416)-314-2328

**diamond
 schmitt**

Architect Diamond Schmitt Architects 384 Adelaide Street West, Suite 100 Toronto, ON M5V 1R7 T: (416)-862-8800 Architect KWC Architects Inc. 383 Parkdale Avenue, Suite 201 Ottawa, ON K1Y 4R4 T: (613)-238-2117	Planner WSP 2611 Queensview Drive #300 Ottawa, ON K2B 8K2 T: (613)-829-2800 Civil Morrison Hershfield 2932 Baseline Road Ottawa, ON K2H 1B1 T: (613)-739-2910	Electrical Smith + Andersen 1600 Carling Avenue #530 Ottawa, ON K1Z 1G3 T: (613)-230-1186 Landscape Lashley + Associates 950 Gladstone Avenue #202 Ottawa, ON K1Y 3E6 T: (613)-233-8579	Mechanical Smith + Andersen 1600 Carling Avenue #530 Ottawa, ON K1Z 1G3 T: (613)-230-1186 Building Envelope RDH Building Science Inc. 26 Soho Street #350 Toronto, ON M5T 1Z7 T: (416)-314-2328	Hardware LT Consulting Energy Modelling RDH Building Science Inc. 26 Soho Street #350 Toronto, ON M5T 1Z7 T: (416)-314-2328
---	--	--	--	---

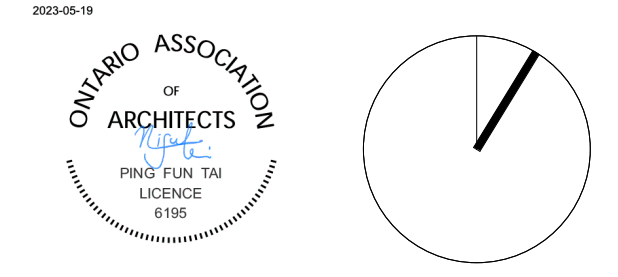
No.	Date	Description
1	22 MAR 2023	Issued For Recording and Site Plan Control
2	18 MAY 2023	Issued For Recording and Site Plan Control - Resubmission #1



Site Plan Symbols Legend

- Main Building Entry
- Building Egress Path
- Zoning Dimension
- Zoning Definition
- Urban Design Highlight Guideline Dimension
- Urban Design Highlight Guideline Definition
- Setback Dimensions
- Detailed Dimensions
- Building Elevation
- North Arrow
- Fire Hydrant
- Slimease Connection

NOT FOR CONSTRUCTION



Site Plan Developed Based On Site Survey By Farley, Smith & Densi Surveying LTD.:

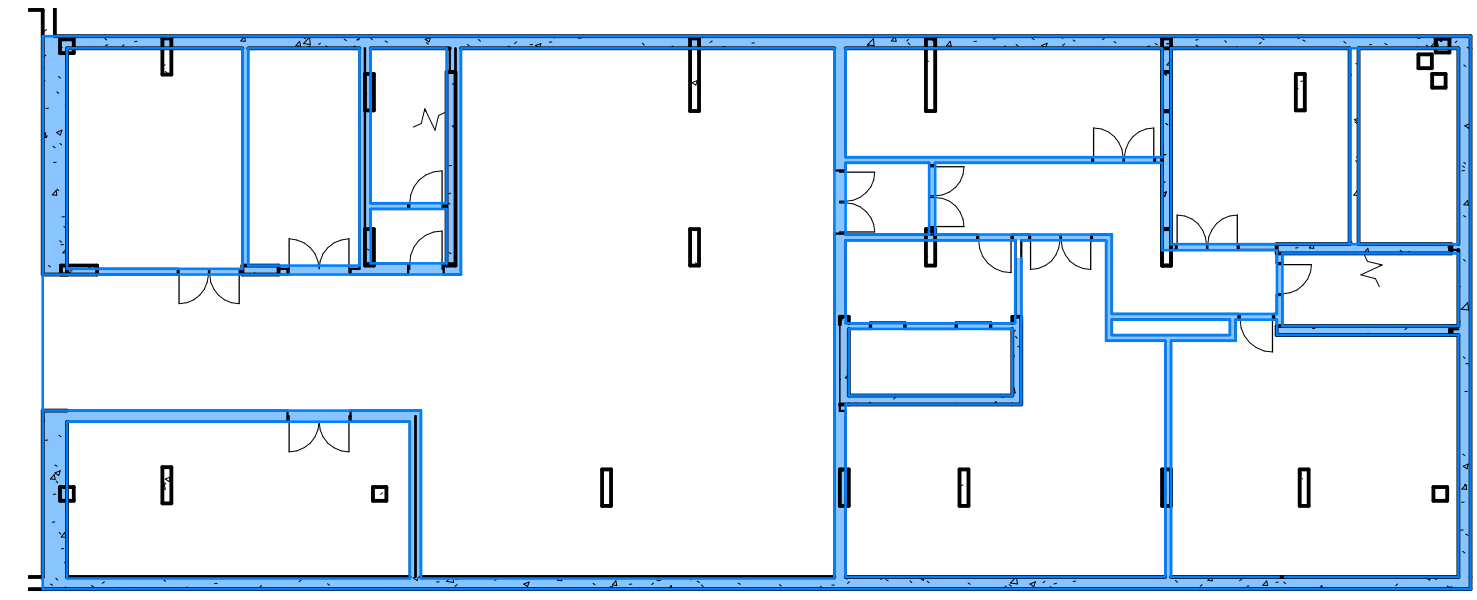
Site Area: 7235.9m²

LOTS 1 AND 2 (West Friel Street), PART OF LOT 19 (North Rideau Street), PART OF LOTS 1, 2, 3 AND 4 (East Friel Street), PART OF LOTS 1, 2 AND 3 (West Chapel Street), PART OF FRIEL STREET (As Closed by By-Law 203-72, Inst. CR616467) REGISTERED PLAN 43586 CITY OF OTTAWA

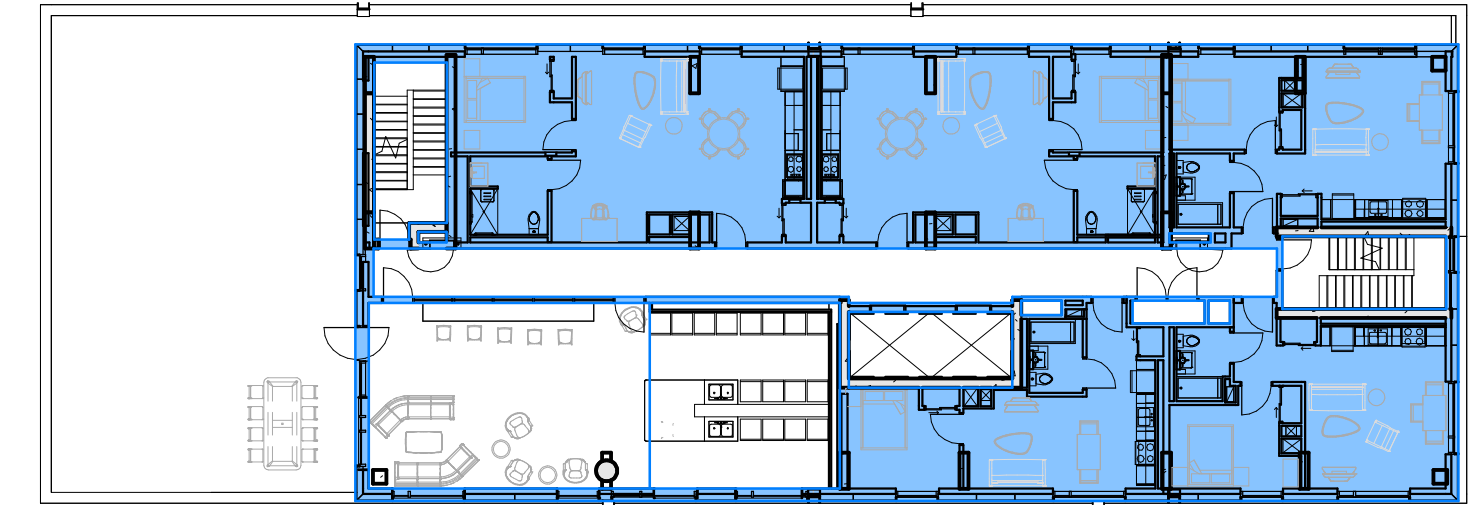
Gross Floor Area (SPA)			Amenity Areas (SPA)			Exemption A - Mech. Service + Electrical (SPA)			Exemption B - Common Circulation (SPA)			Exemption C - Parking + Loading (SPA)			Unit Schedule - By Typical Level (SPA)			CMHC Accessible / CBC Barrier-Free Unit Schedule - By Typical Level (SPA)			
Level	Gross Floor Area (m ²)	Gross Floor Area (ft ²)	Level	Name	Area (m ²)	Level	Area (m ²)	Area (ft ²)	Level	Area (m ²)	Area (ft ²)	Level	Area (m ²)	Area (ft ²)	Level	1 Bedroom	2 Bedroom	Level	1 Bedroom	2 Bedroom	
Level P1	96.92 m ²	1043.21 ft ²	Level 1	Outdoor Seating Area	113.46 m ²	Level P1	219.21 m ²	2359.51 ft ²	Level P1	97.27 m ²	1045.51 ft ²	Level P1	285.91 m ²	3077.50 ft ²	Level 2	0	0	Level 2	0	0	
Level 2	229.36 m ²	2468.84 ft ²	Level 1	East Garden	37.30 m ²	Level 1	3.44 m ²	37.07 ft ²	Level 2	138.45 m ²	1490.24 ft ²	Level 2	285.91 m ²	3077.50 ft ²	Level 3	0	0	Level 3	0	0	
Level 3	675.11 m ²	7276.62 ft ²	Level 1	Private Garden	38.87 m ²	Level 2	4.02 m ²	43.00 ft ²	Level 3	96.35 m ²	1039.89 ft ²	Level 3	285.91 m ²	3077.50 ft ²	Level 4	0	0	Level 4	0	0	
Level 4	672.21 m ²	7235.62 ft ²	Level 1	Children's Play	189.66 m ²	Level 3	42.20 m ²	454.22 ft ²	Level 4	91.41 m ²	983.96 ft ²	Level 4	285.91 m ²	3077.50 ft ²	Level 5	0	0	Level 5	0	0	
Level 5	672.21 m ²	7235.62 ft ²	Level 1	Games Lounge	64.34 m ²	Level 4	15.15 m ²	163.48 ft ²	Level 5	93.03 m ²	1001.40 ft ²	Level 5	285.91 m ²	3077.50 ft ²	Level 6	0	0	Level 6	0	0	
Level 6	672.21 m ²	7235.62 ft ²	Level 1	Library	27.72 m ²	Level 5	3.96 m ²	42.63 ft ²	Level 6	93.03 m ²	1001.40 ft ²	Level 6	285.91 m ²	3077.50 ft ²	Level 7	0	0	Level 7	0	0	
Level 7	362.70 m ²	3904.12 ft ²	Level 1	Flexible Seating	58.63 m ²	Level 6	3.96 m ²	42.63 ft ²	Level 7	89.72 m ²	964.84 ft ²	Level 7	285.91 m ²	3077.50 ft ²	Level 8	0	0	Level 8	0	0	
Level 8	459.23 m ²	4939.27 ft ²	Level 1	Area + Activities	115.55 m ²	Level 7	3.96 m ²	42.63 ft ²	Level 8	89.72 m ²	964.84 ft ²	Level 8	285.91 m ²	3077.50 ft ²	Level 9	0	0	Level 9	0	0	
Level 9	457.84 m ²	4928.13 ft ²	Level 1	WiFi	40.01 m ²	Level 8	3.96 m ²	42.63 ft ²	Level 9	88.33 m ²	950.73 ft ²	Level 9	285.91 m ²	3077.50 ft ²	Level 10	0	0	Level 10	0	0	
Level 10	457.84 m ²	4928.13 ft ²	Level 1	Wellness	58.02 m ²	Level 9	3.96 m ²	42.63 ft ²	Level 10	88.33 m ²	950.73 ft ²	Level 10	285.91 m ²	3077.50 ft ²	Level 11	0	0	Level 11	0	0	
Level 11	457.84 m ²	4928.13 ft ²	Level 1	Bookable	25.13 m ²	Level 10	3.96 m ²	42.63 ft ²	Level 11	88.33 m ²	950.73 ft ²	Level 11	285.91 m ²	3077.50 ft ²	Level 12	0	0	Level 12	0	0	
Level 12	457.84 m ²	4928.13 ft ²	Level 7	Resident Terrace	141.19 m ²	Level 11	3.96 m ²	42.63 ft ²	Level 12	88.33 m ²	950.73 ft ²	Level 12	285.91 m ²	3077.50 ft ²	Level 13	0	0	Level 13	0	0	
Level 13	457.84 m ²	4928.13 ft ²	Level 7	Quiet Seating	73.12 m ²	Level 12	3.96 m ²	42.63 ft ²	Level 13	88.33 m ²	950.73 ft ²	Level 13	285.91 m ²	3077.50 ft ²	Level 14	0	0	Level 14	0	0	
Level 14	457.84 m ²	4928.13 ft ²	Grand total 13		962.21 m ²	Level 13	3.96 m ²	42.63 ft ²	Level 14	88.33 m ²	950.73 ft ²	Level 14	285.91 m ²	3077.50 ft ²	Level 15	0	0	Level 15	0	0	
Level 15	457.84 m ²	4928.13 ft ²				Level 14	3.96 m ²	42.63 ft ²	Level 15	88.33 m ²	950.73 ft ²	Level 15	285.91 m ²	3077.50 ft ²	Level 16	0	0	Level 16	0	0	
Level 16	457.84 m ²	4928.13 ft ²				Level 15	3.96 m ²	42.63 ft ²	Level 16	88.33 m ²	950.73 ft ²	Level 16	285.91 m ²	3077.50 ft ²	Level 17	0	0	Level 17	0	0	
Level 17	457.84 m ²	4928.13 ft ²				Level 16	3.96 m ²	42.63 ft ²	Level 17	88.33 m ²	950.73 ft ²	Level 17	285.91 m ²	3077.50 ft ²	Level 18	0	0	Level 18	0	0	
Level 18	457.84 m ²	4928.13 ft ²				Level 17	3.96 m ²	42.63 ft ²	Level 18	88.33 m ²	950.73 ft ²	Level 18	285.91 m ²	3077.50 ft ²	Level 19	0	0	Level 19	0	0	
Level 19	457.84 m ²	4928.13 ft ²				Level 18	3.96 m ²	42.63 ft ²	Level 19	88.33 m ²	950.73 ft ²	Level 19	285.91 m ²	3077.50 ft ²	Level 20	0	0	Level 20	0	0	
Level 20	457.84 m ²	4928.13 ft ²				Level 19	3.96 m ²	42.63 ft ²	Level 20	88.33 m ²	950.73 ft ²	Level 20	285.91 m ²	3077.50 ft ²							
Mech. Penthouse	29.36 m ²	315.63 ft ²				Mech. Penthouse	254.19 m ²	2736.13 ft ²	Mech. Penthouse	24.89 m ²	267.87 ft ²										
	1040.55 m ²	11247.63 ft ²					579.81 m ²	6197.82 ft ²		1965.39 m ²	2135.29 ft ²										

Rideau Street

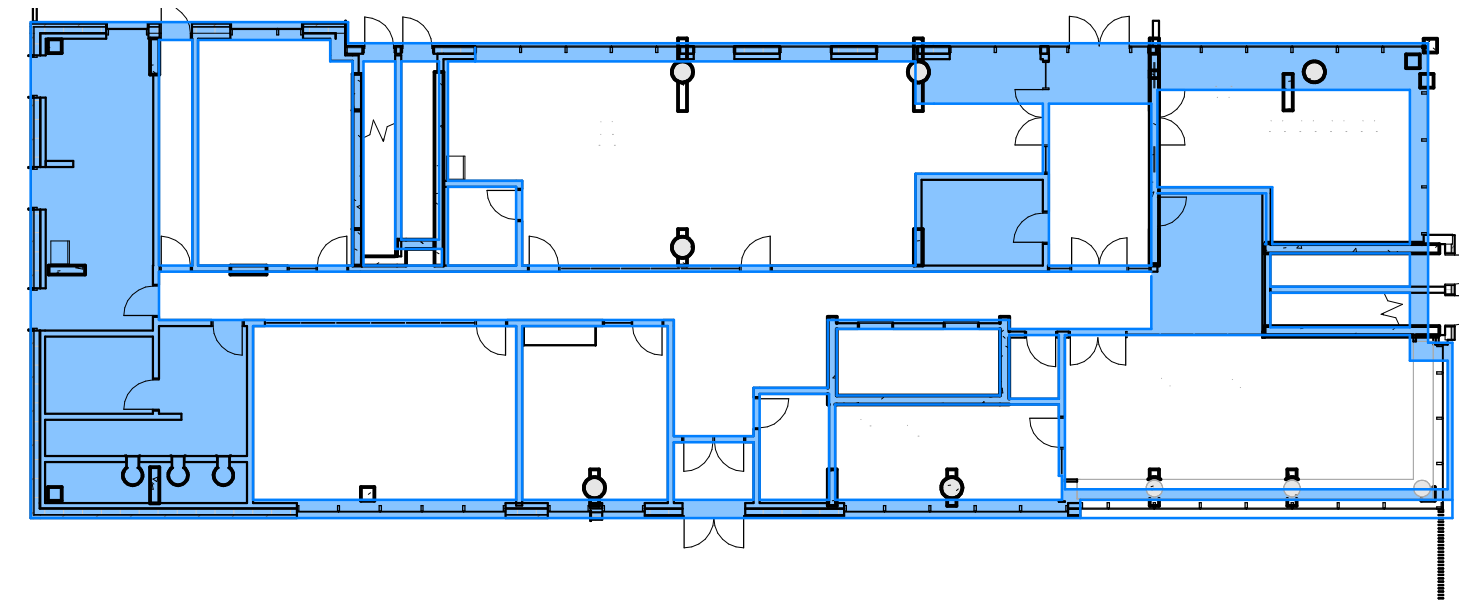
OCH Friel Street / Chapel 200-201 Friel Street, Ottawa, ON K 2T1021



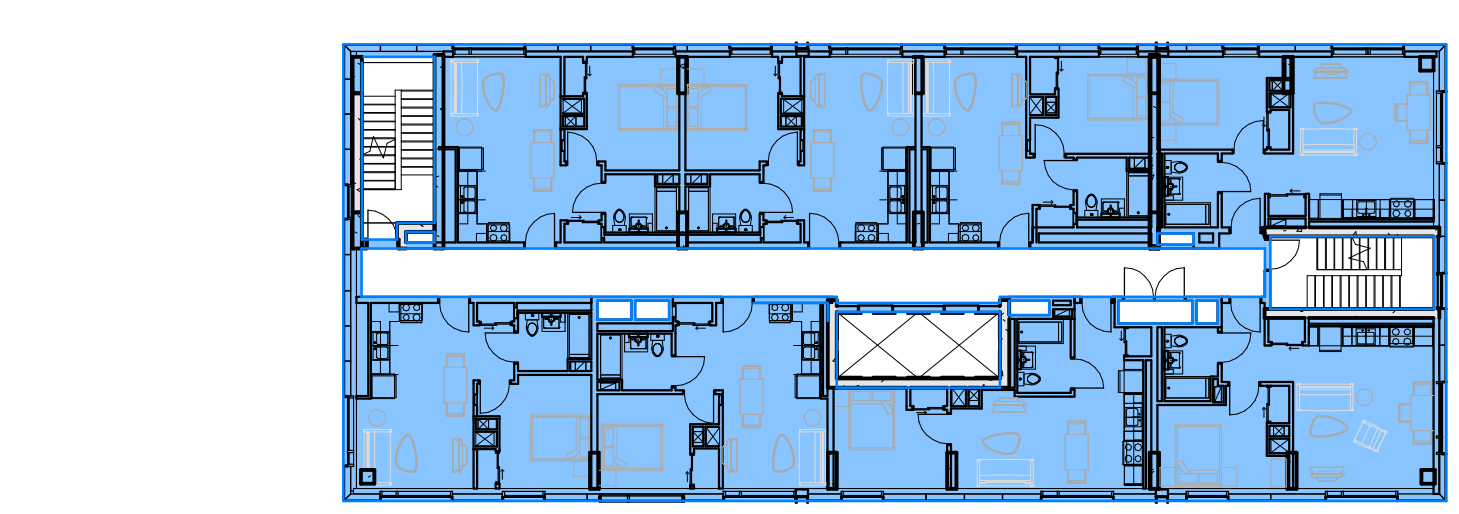
Level P1
1:250 A040



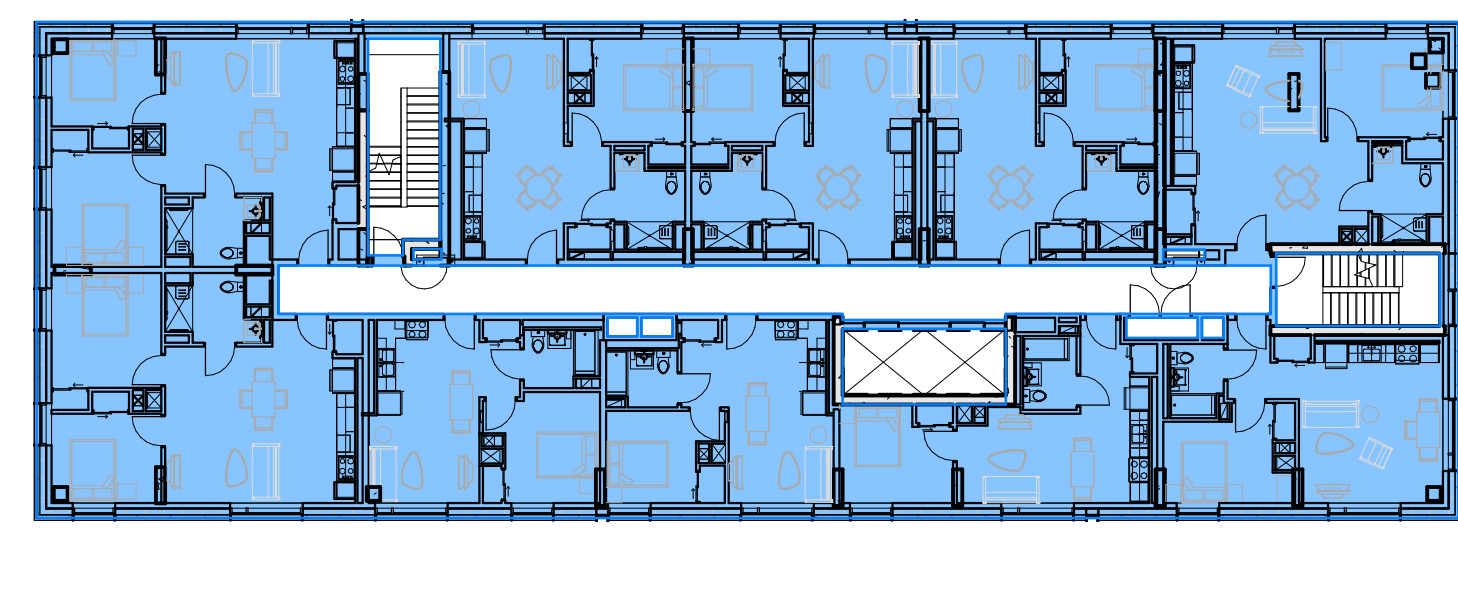
Level 7
1:250 A040



Level 1
1:250 A040



Typical Levels 2-6
1:250 A040



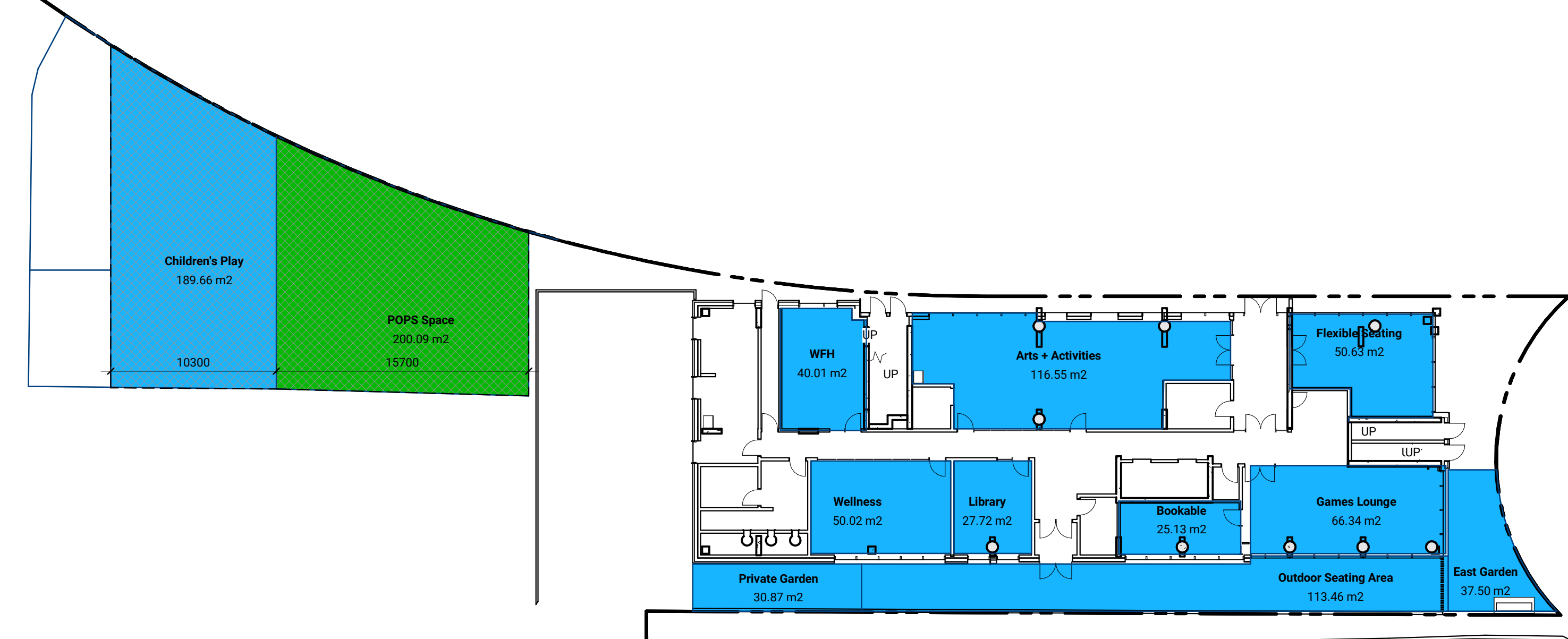
Mech. Penthouse
1:250 A040

Unit Schedule - By Typical Level		
Level	1 Bedroom	2 Bedroom
Level 2	8	2
Level 3	8	2
Level 4	8	2
Level 5	8	2
Level 6	8	2
Level 7	8	2
Level 8	8	2
Level 9	8	2
Level 10	8	2
Level 11	8	2
Level 12	8	2
Level 13	8	2
Level 14	8	2
Level 15	8	2
Level 16	8	2
Level 17	8	2
Level 18	8	2
Level 19	8	2
Level 20	8	2
Suite Total	159	10
% Overall	93.75%	6.25%

CMHC Accessible / OBC Barrier-Free Unit Schedule - By Typical Level		
Level	1 Bedroom Acc/BF	2 Bedroom Acc/BF
Level 2	4	2
Level 3	4	2
Level 4	4	2
Level 5	4	2
Level 6	4	2
Level 7	4	2
Level 8	4	2
Level 9	4	2
Level 10	4	2
Level 11	4	2
Level 12	4	2
Level 13	4	2
Level 14	4	2
Level 15	4	2
Level 16	4	2
Level 17	4	2
Level 18	4	2
Level 19	4	2
Level 20	4	2
Suite Total	32	10
Target Units (20%)	13.75%	6.25%

Gross Floor Area		
Level	Gross Floor Area (m ²)	Gross Floor Area (ft ²)
Level P1	56.92 m ²	608.21 ft ²
Level 1	229.36 m ²	2466.84 ft ²
Level 2	670.18 m ²	7213.73 ft ²
Level 3	675.11 m ²	7266.82 ft ²
Level 4	672.21 m ²	7235.42 ft ²
Level 5	672.21 m ²	7235.42 ft ²
Level 6	672.21 m ²	7235.42 ft ²
Level 7	362.70 m ²	3904.12 ft ²
Level 8	456.23 m ²	4910.87 ft ²
Level 9	457.84 m ²	4928.13 ft ²
Level 10	457.84 m ²	4928.13 ft ²
Level 11	457.84 m ²	4928.13 ft ²
Level 12	457.84 m ²	4928.13 ft ²
Level 13	457.84 m ²	4928.13 ft ²
Level 14	457.84 m ²	4928.13 ft ²
Level 15	457.84 m ²	4928.13 ft ²
Level 16	457.84 m ²	4928.13 ft ²
Level 17	457.84 m ²	4928.13 ft ²
Level 18	457.84 m ²	4928.13 ft ²
Level 19	457.84 m ²	4928.13 ft ²
Level 20	457.84 m ²	4928.13 ft ²
Mech. Penthouse	1046.55 m ²	11267.63 ft ²

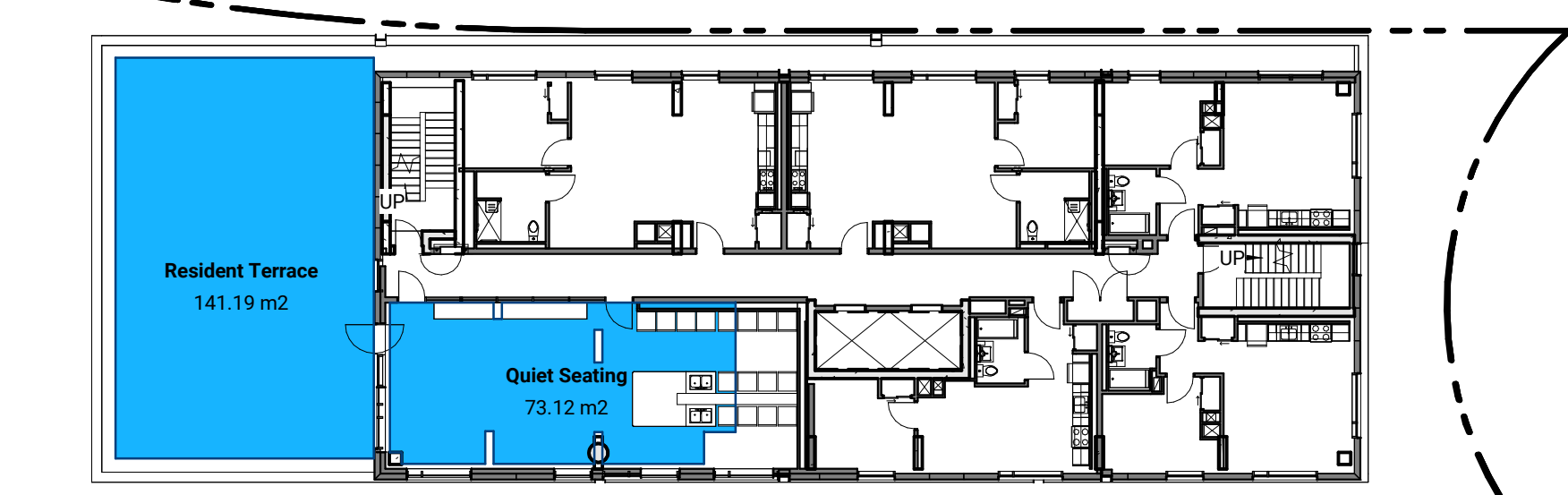
Exemption A - Mech. Service + Electrical		
Level	Area (m ²)	Area (ft ²)
Level P1	216.21 m ²	2329.51 ft ²
Level 1	3.44 m ²	37.07 ft ²
Level 2	4.89 m ²	52.80 ft ²
Level 3	42.20 m ²	453.22 ft ²
Level 4	5.15 m ²	55.48 ft ²
Level 5	3.96 m ²	42.63 ft ²
Level 6	3.96 m ²	42.63 ft ²
Level 7	3.96 m ²	42.63 ft ²
Level 8	3.96 m ²	42.63 ft ²
Level 9	3.96 m ²	42.63 ft ²
Level 10	3.96 m ²	42.63 ft ²
Level 11	3.96 m ²	42.63 ft ²
Level 12	3.96 m ²	42.63 ft ²
Level 13	3.96 m ²	42.63 ft ²
Level 14	3.96 m ²	42.63 ft ²
Level 15	3.96 m ²	42.63 ft ²
Level 16	3.96 m ²	42.63 ft ²
Level 17	3.96 m ²	42.63 ft ²
Level 18	3.96 m ²	42.63 ft ²
Level 19	3.96 m ²	42.63 ft ²
Level 20	3.96 m ²	42.63 ft ²
Mech. Penthouse	254.19 m ²	2736.10 ft ²
Total	575.81 m ²	6197.92 ft ²



Level 1 Amenity + POPS Area Plan
1:250 A040

Amenity Areas			
Level	Name	Area Type/JS	Area
Level 1	Outdoor Seating Area	Amenity Exterior	113.46 m ²
Level 1	East Garden	Amenity Exterior	37.50 m ²
Level 1	Private Garden	Amenity Exterior	50.87 m ²
Level 1	Children's Play	Amenity Exterior	189.66 m ²
Level 1	Games Lounge	Amenity Interior	66.34 m ²
Level 1	Flexible Seating	Amenity Interior	50.83 m ²
Level 1	Art's + Activities	Amenity Interior	116.55 m ²
Level 1	WFI	Amenity Interior	40.01 m ²
Level 1	Wellness	Amenity Interior	50.02 m ²
Level 1	Bookable	Amenity Interior	27.72 m ²
Level 1	Resident Terrace	Amenity Exterior	141.19 m ²
Level 7	Quiet Seating	Amenity Interior	73.12 m ²
Grand total:	13		962.21 m ²

POPS Space		
Level	Name	Area
Level 1	POPS Space	200.00 m ²
Grand total:	1	200.00 m ²

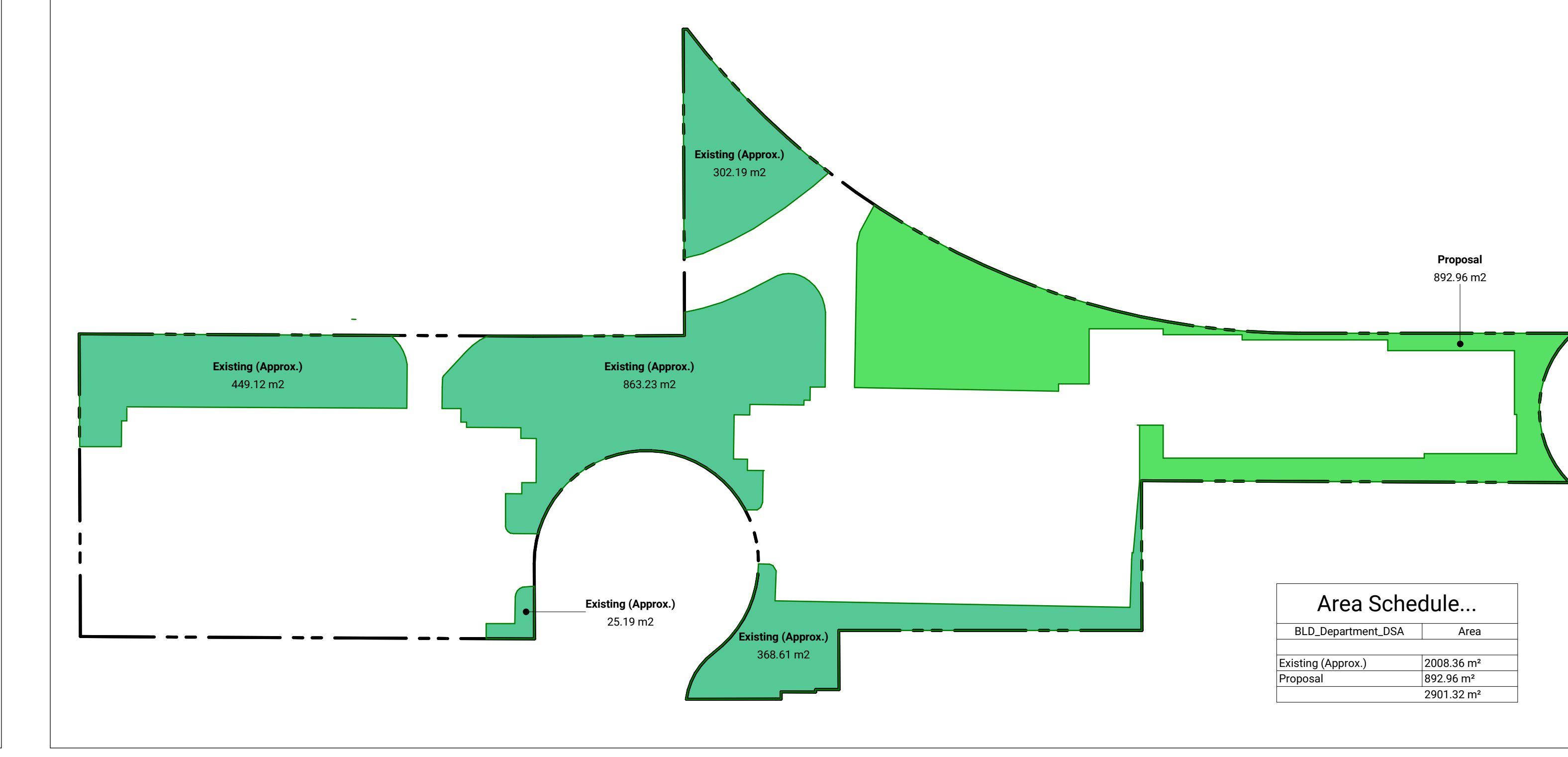


Level 7 Amenity Area Plan
1:250 A040

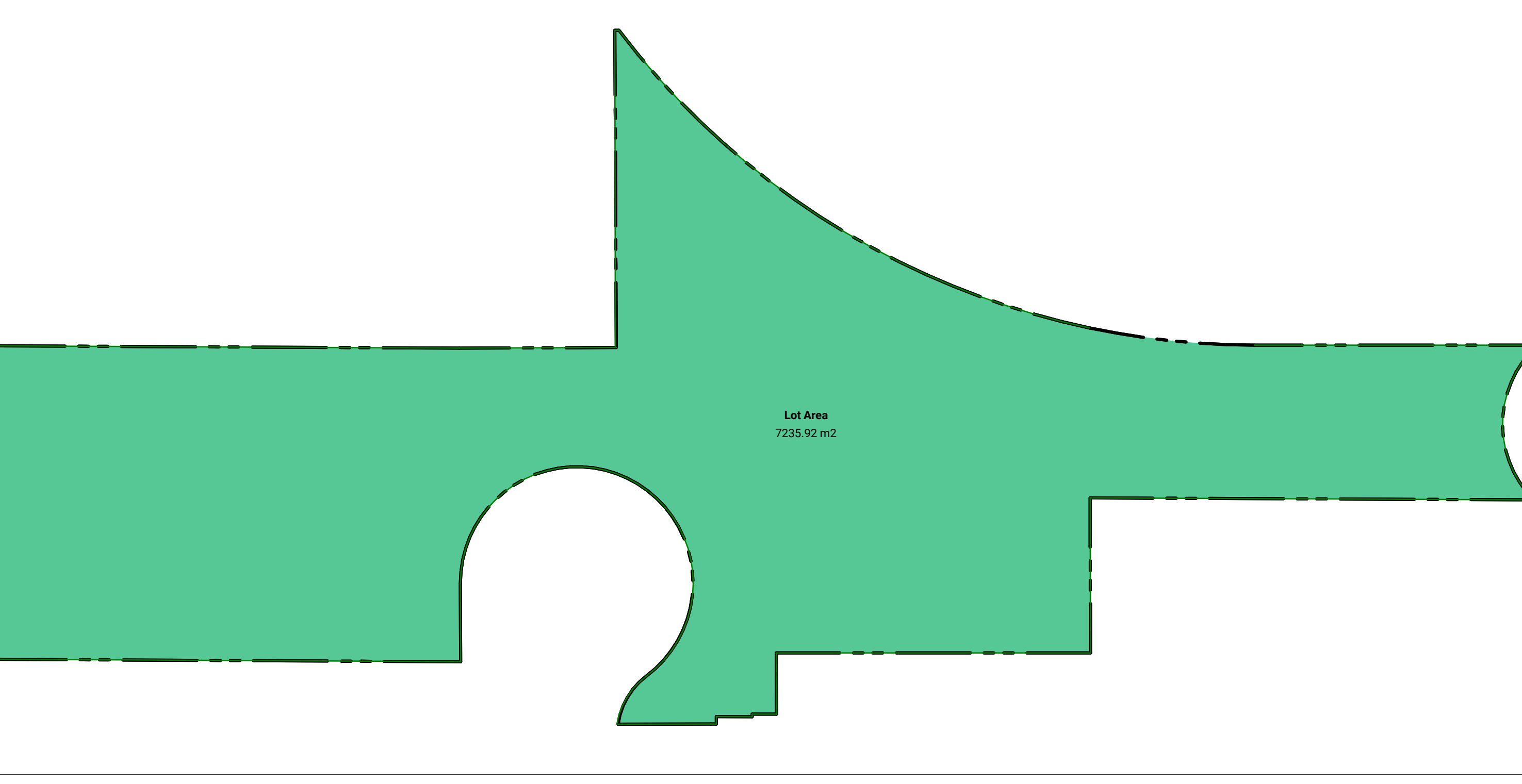
Proposed Parking Supply	
Type	Count
OCH Parking	2
Residential Parking	2
Visitor Parking	4
Total	8

Proposed Bicycle Parking Supply	
Type	Count
Resident	64
Visitor	16
Total	80

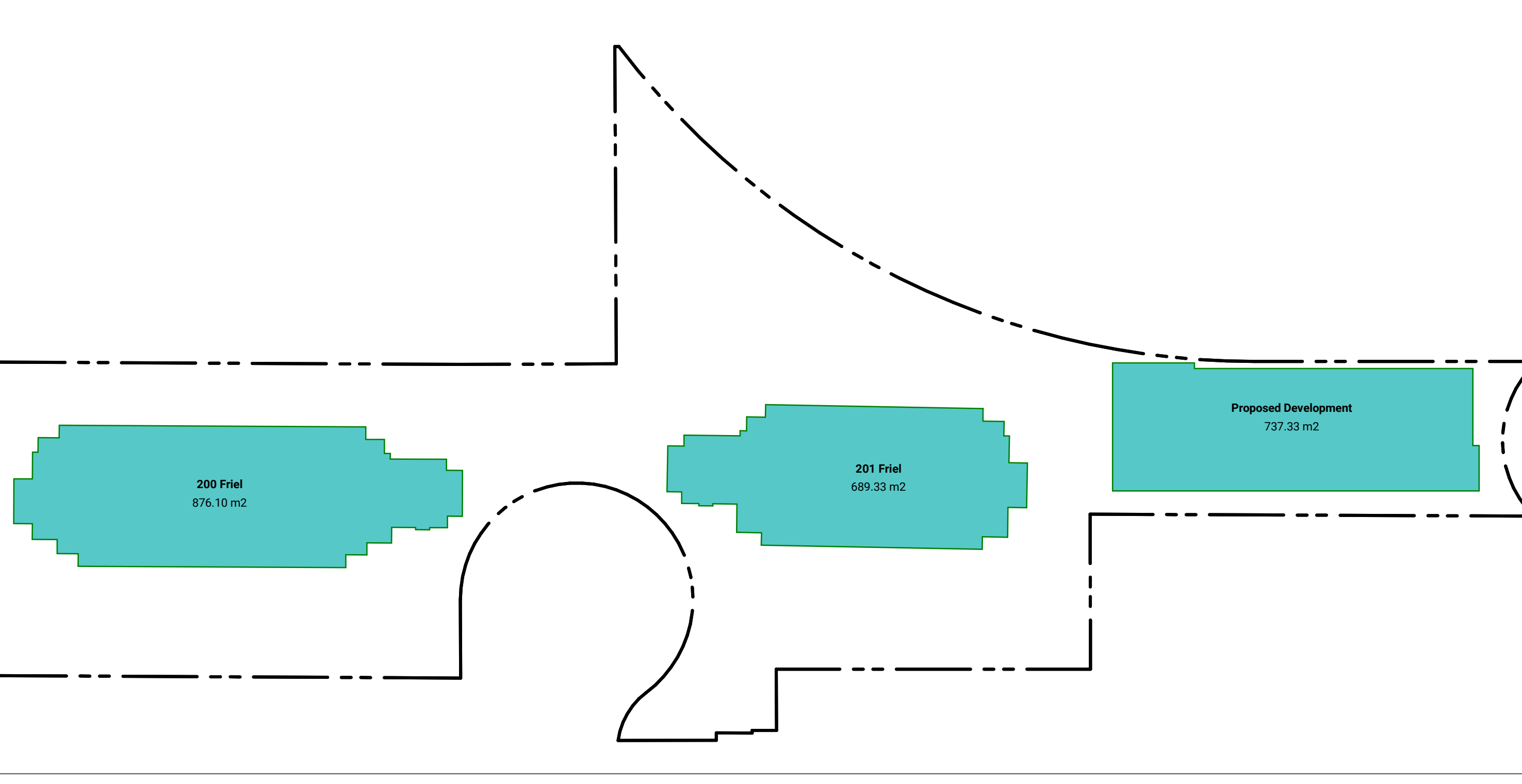
Bicycle Parking Standard Requirements	
Type	Count
Resident	64
Visitor	16
Total	80



Vegetation & Landscaping Coverage
1:500 A040



Lot Area
1:500 A040



Lot Coverage
1:500 A040

No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1

NOT FOR CONSTRUCTION



Contractor Must Check & Verify all Dimensions on the Job.
Do Not Scale Drawings.
All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and shall be returned upon Request. Reproduction or Circulation, Distribution and/or Release of any Documents in Part or in Whole is Prohibited without the Written permission of the Architect.
This Drawing is Not to be Used for Construction Until Signed by the Architect.

OCH Friel Street / Chapel
200-201 Friel Street, Ottawa, ON K1
221021

Building Statistics
As Indicated
A040

- GENERAL NOTES**
- Plan Symbols**
- Denotes Sloped Roof Insulation
 - Denotes Roof Drain
 - Denotes Floor Drain
 - Denotes Area Drain
 - Denotes Hose Bib Location
 - Denotes Proposed Staircase Connection Location
 - Denotes Proposed Gas Meter Location
 - Denotes Rain Water Leader
 - Convex Mirror

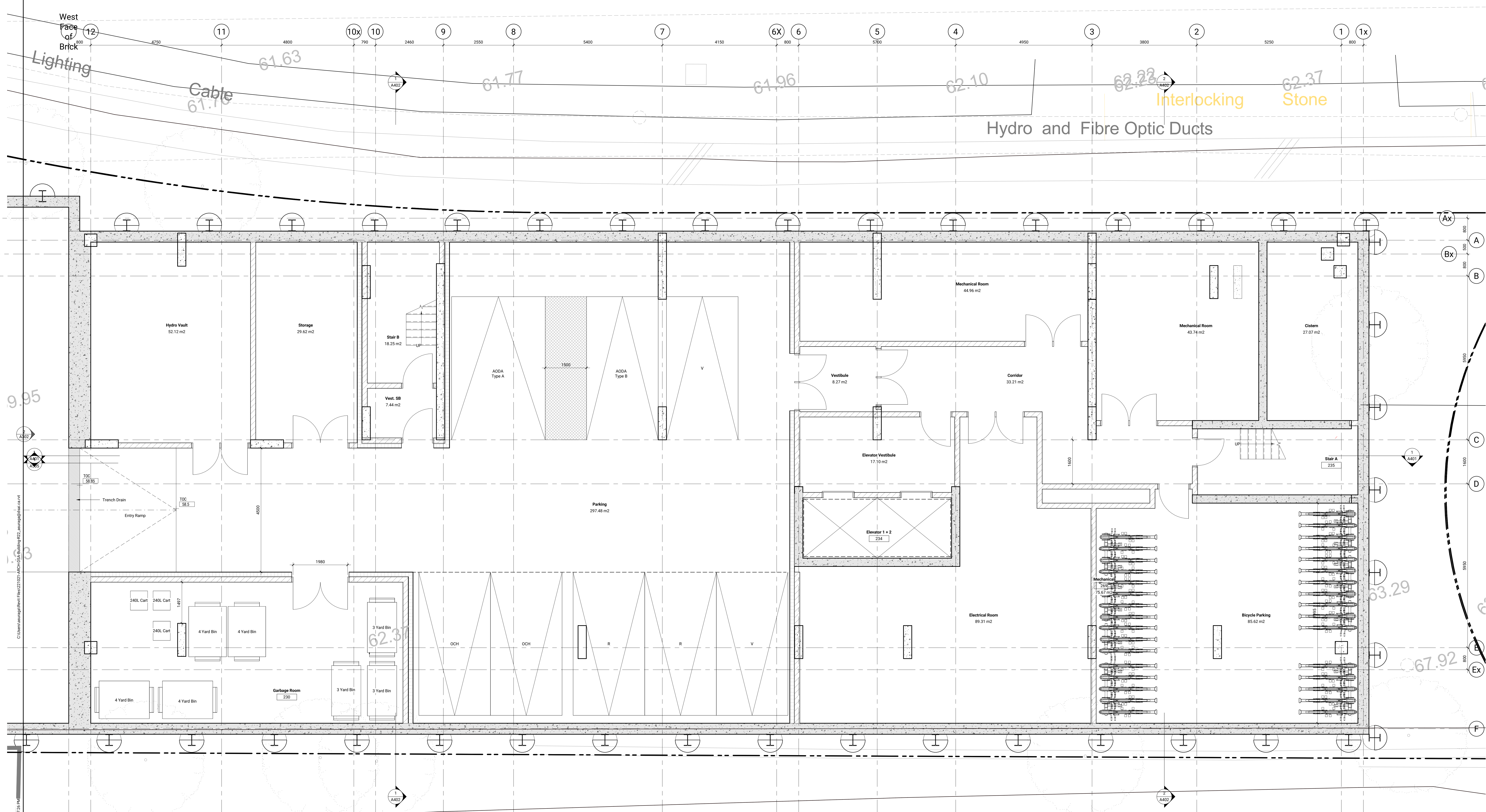
- GENERAL NOTES**
- Plans**
1. Refer to Building Elements Schedule for Exterior Wall, Partition, Roof, Ceiling, and Soffit Types.
 2. Refer to Mechanical and Electrical Drawings for Additional Requirement.
 3. At Locations Where Mech. Ducts Interfere with Full Height Construction of Interior Partitions, Offset Partitions Above Ceiling and Brace as Required. Maintain Fire Separation/Smoke Rating of Partition. Offsetting of Partitions Will Only Be Permitted Where Ductwork Cannot be Positioned.
 4. All Dimensions are Taken to Face of Masonry or Concrete at Masonry and Concrete Walls and Partitions. At Steel Stud Partitions, Dimensions are Taken to Face of Gypsum Board, Unless Otherwise Noted.
 5. Increase Thickness of Walls or Full Out Wall Thickness as Required to Accommodate Mechanical and Electrical Panels and Services. Maintain Fire Separation Around Back of Panels Where Applicable.
 6. For Dimensions of Concrete Refer to Slab Edge Drawings.

Issued

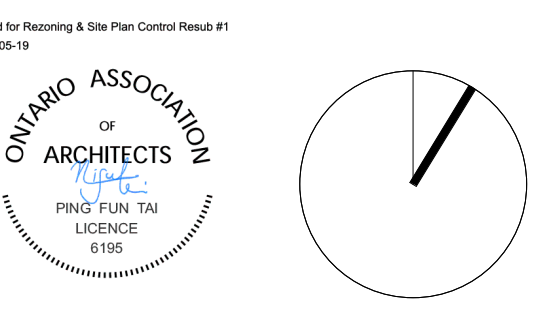
No.	Date	Description
1	22 MAR 2023	Issued for Receiving and Site Plan Control
2	18 MAY 2023	Issued for Receiving and Site Plan Control - Resubmission #1

Proposed Parking Supply

Type	Count
OCH Parking	2
Residential Parking	2
Visitor Parking	4
Total	8



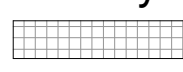








NOT FOR CONSTRUCTION



Contractor Must Check & Verify all Dimensions on the Job.
Do Not Scale Drawings.
All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and Must be Returned Upon Request. Reproduction, Copying, Distribution and Release Constitutes Part or in Whole is Prohibited Without the Written permission of the Architect.
This Drawing is Not to be Used for Construction Until Signed by the Architect.

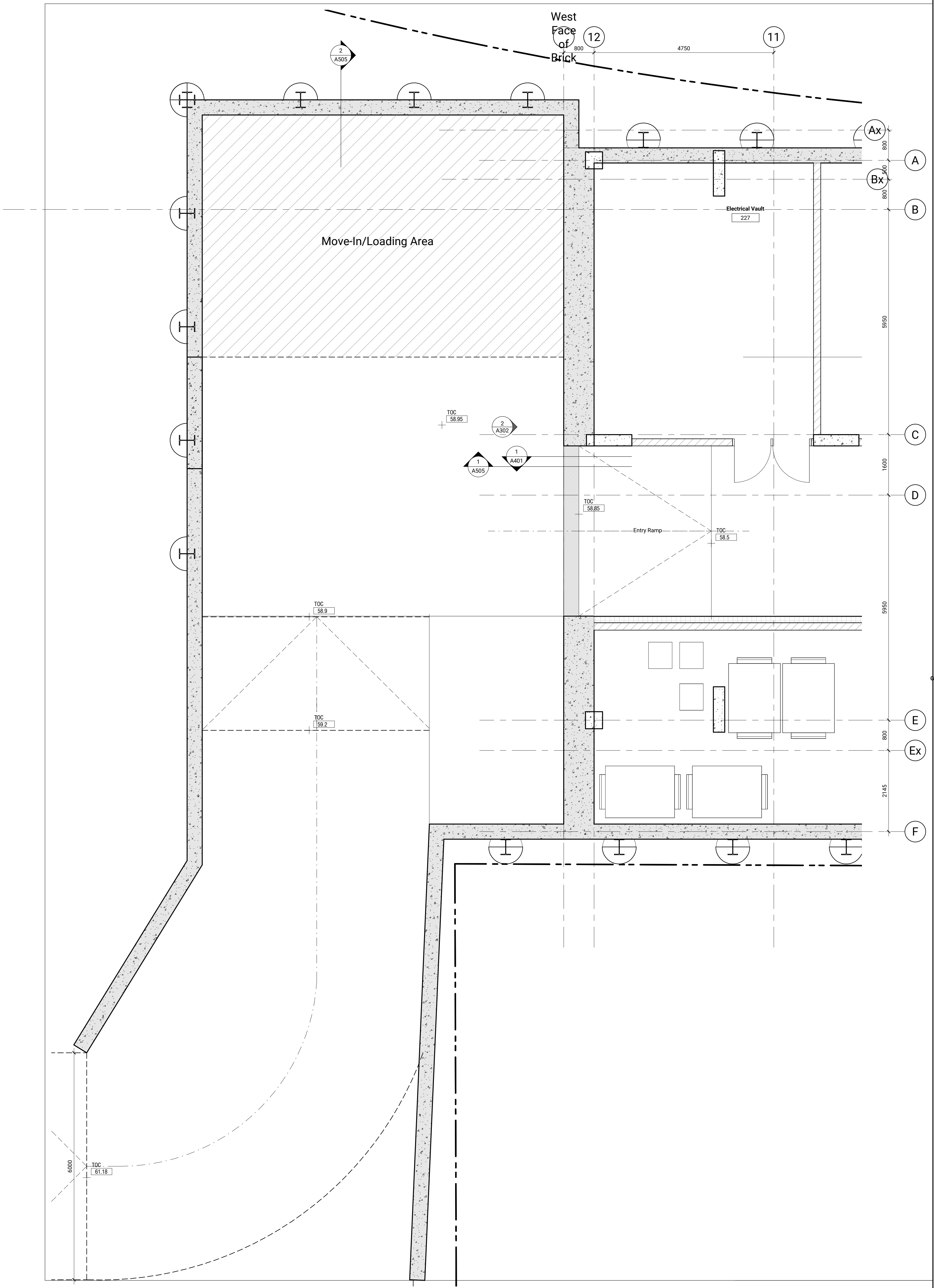
OCH Friel Street / Chapel
200-201 Friel Street, Ottawa, ON K1N 8Y1
2210211

Basement Floor Plan
1:50

- GENERAL NOTES**
Plan Symbols
-  Denotes Sloped Roof Insulation
 -  Denotes Roof Drain
 -  Denotes Floor Drain
 -  Denotes Area Drain
 -  Denotes Hose Bib Location
 -  Denotes Proposed Staircase Connection Location
 -  Denotes Proposed Gas Meter Location
 -  Denotes Rain Water Leader
 -  Convex Mirror

- GENERAL NOTES**
Plans
1. Refer to Building Elements Schedule for Exterior Wall, Partition, Roof, Ceiling, and Soffit Types.
 2. Refer to Mechanical and Electrical Drawings for Additional Requirement.
 3. At Locations Where Mech. Ducts Interfere with Full Height Construction of Interior Partitions, Offset Partition Above Ceiling and Brace as Required. Maintain Fire Separation/Smoke Rating of Partition. Offsetting of Partitions Will Only Be Permitted Where Ductwork Cannot be Positioned.
 4. All Dimensions are Taken to Face of Masonry or Concrete at Masonry and Concrete Walls and Partitions. At Steel Stud Partitions, Dimensions are Taken to Face of Gypsum Board, Unless Otherwise Noted.
 5. Increase Thickness of Walls or Fur Out Wall Thickness as Required to Accommodate Mechanical and Electrical Panels and Services. Maintain Fire Separation Around Back of Panels Where Applicable.
 6. For Dimensions of Concrete Refer to Slab Edge Drawings.

No.	Date	Description
1	22 MAR 2023	Issued for Rezonning and Site Plan Control
2	18 MAY 2023	Issued for Rezonning and Site Plan Control - Resubmission #1



Garbage Room
230

NOT FOR CONSTRUCTION



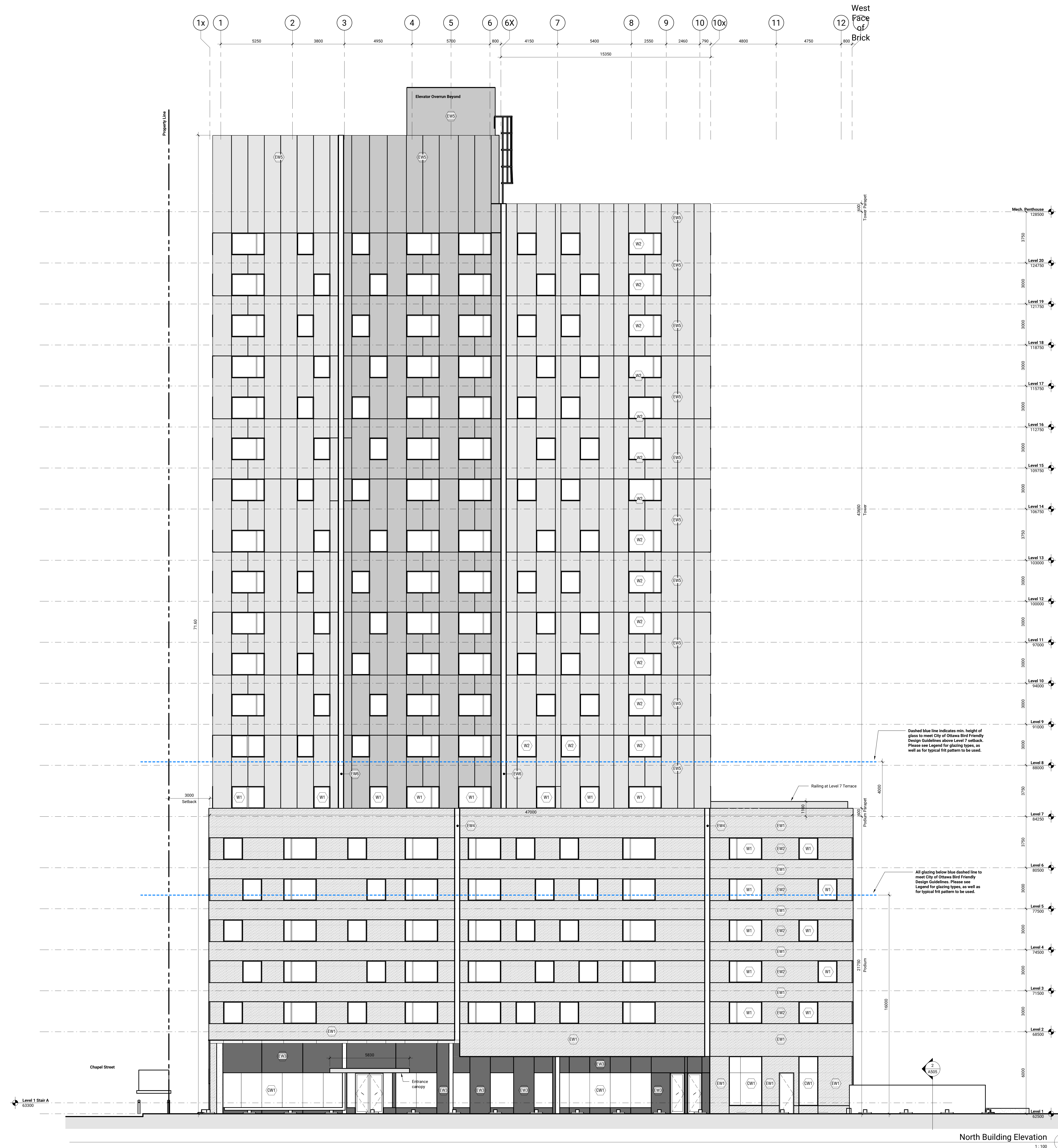
Contractor Must Check & Verify all Dimensions on the Job.
Do Not Scale Drawings.
All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and Must be Returned Upon Request. Reproduction or Copying, Distribution or Release of any Part or in Whole is Prohibited Without the Written permission of the Architect.
This Drawing is Not to be Used for Construction Until Signed by the Architect.

OCH Friel Street / Chapel
200-201 Friel Street, Ottawa, ON K1P 1Y1
221021

Basement + Loading Area Plan
As Indicated

A100-B
1:50

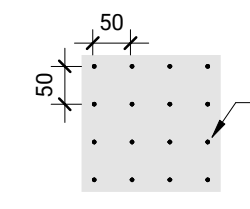
2023-05-18 10:07:37 AM C:\Users\mshah\OneDrive\Files\2321021_ARCH\ISA_Bldg\02_A301.dwg 23-05-18 10:07:37 AM



No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1

Legend - Cladding Materials

(EW1)	Exterior Wall Type 1 - Masonry Cladding
(EW2)	Exterior Wall Type 2 - Masonry/Precast Cladding
(EW3)	Exterior Wall Type 3 - Smoored Stone Cladding
(EW4)	Exterior Wall Type 4 - Coloured Masonry Cladding
(EW5)	Exterior Wall Type 5 - Metal Panel Cladding
(EW6)	Exterior Wall Type 6 - Coloured Metal Panel Cladding
(CW1)	Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
(W1)	Punched Window Type 1 - Triple Glazed Fibreglass Window Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
(W2)	Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit

*Bird friendly frit pattern:

 Bird friendly frit pattern to be installed on Surface #1, to meet the layout illustrated below, as well as requirements noted in Div. 08 and Ottawa Bird Friendly Design Guidelines

NOT FOR CONSTRUCTION



Contractor Must Check & Verify all Dimensions on the Job.
 Do Not Scale Drawings.
 All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and Must be Returned Upon Request. Reproduction or Drawing, Distribution and Release of any Documents or Parts in Whole or in Part without the Written permission of the Architect.
 This Drawing is Not to be Used for Construction Until Signed by the Architect.

OCH Friel Street / Chapel
 200-201 Friel Street, Ottawa, ON K1P 2T1
 221021

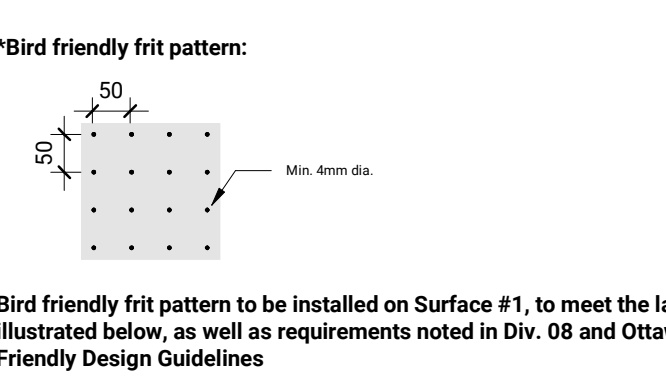
North Exterior Building Elevation
 As indicated
A301

007-12-25-0034 (SPC)

No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1

Legend - Cladding Materials

- (EW1) Exterior Wall Type 1 - Masonry Cladding
- (EW2) Exterior Wall Type 2 - Masonry/Precast Cladding
- (EW3) Exterior Wall Type 3 - Smoored Stone Cladding
- (EW4) Exterior Wall Type 4 - Coloured Masonry Cladding
- (EW5) Exterior Wall Type 5 - Metal Panel Cladding
- (EW6) Exterior Wall Type 6 - Coloured Metal Panel Cladding
- (CW1) Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
- (W1) Punched Window Type 1 - Triple Glazed Fibreglass Window Bird Friendly Frit on Surface #1 to meet Ottawa Bird Friendly Design Guidelines*
- (W2) Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit



NOT FOR CONSTRUCTION

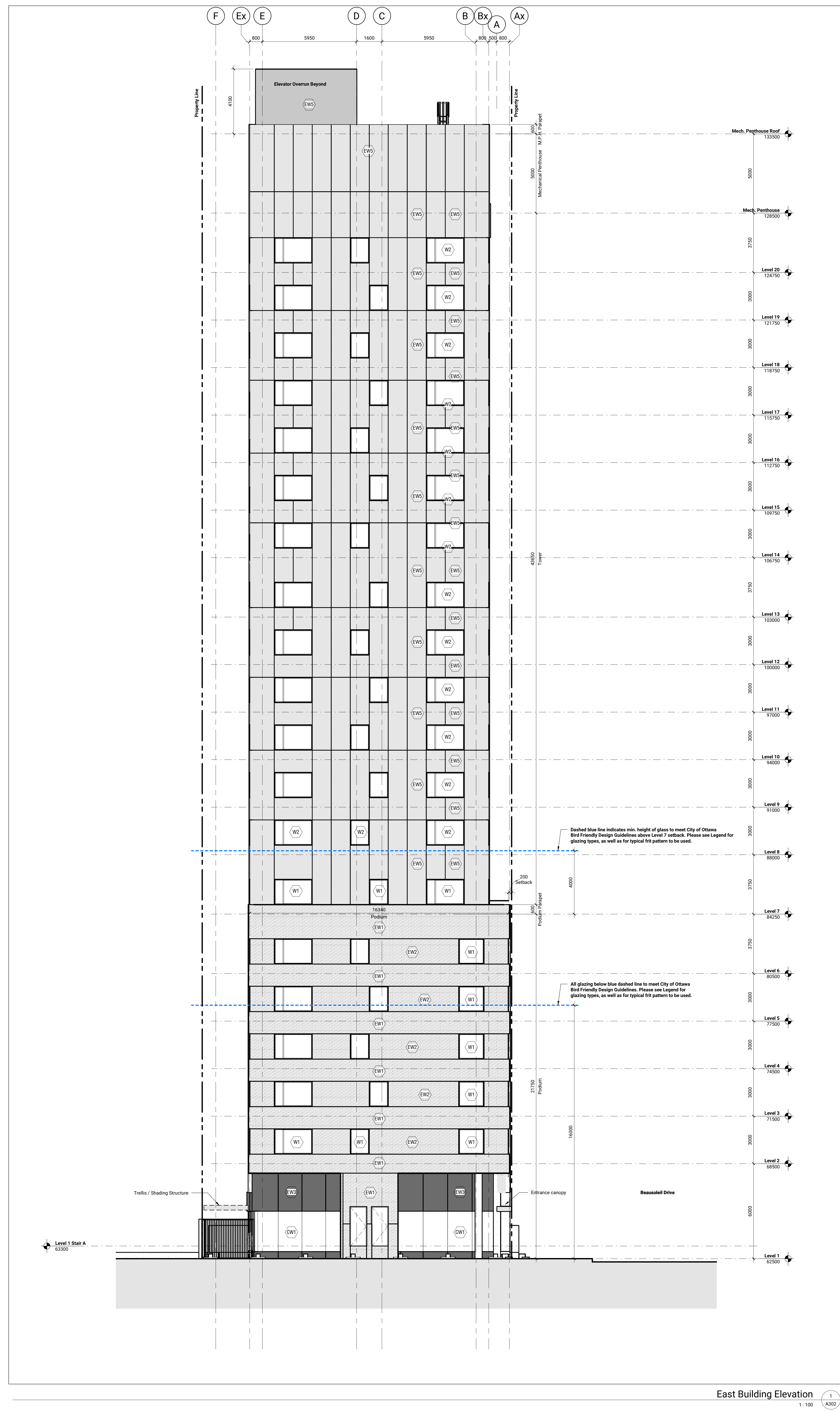


Contractor Must Check & Verify all Dimensions on the Job.
Do Not Scale Drawings.
All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and shall be returned upon Request. Reproduction or Forwarding, Distribution and Release of any Part or Whole is Forbidden without the Written permission of the Architect.
This Drawing is Not to be Used for Construction Until Signed by the Architect.

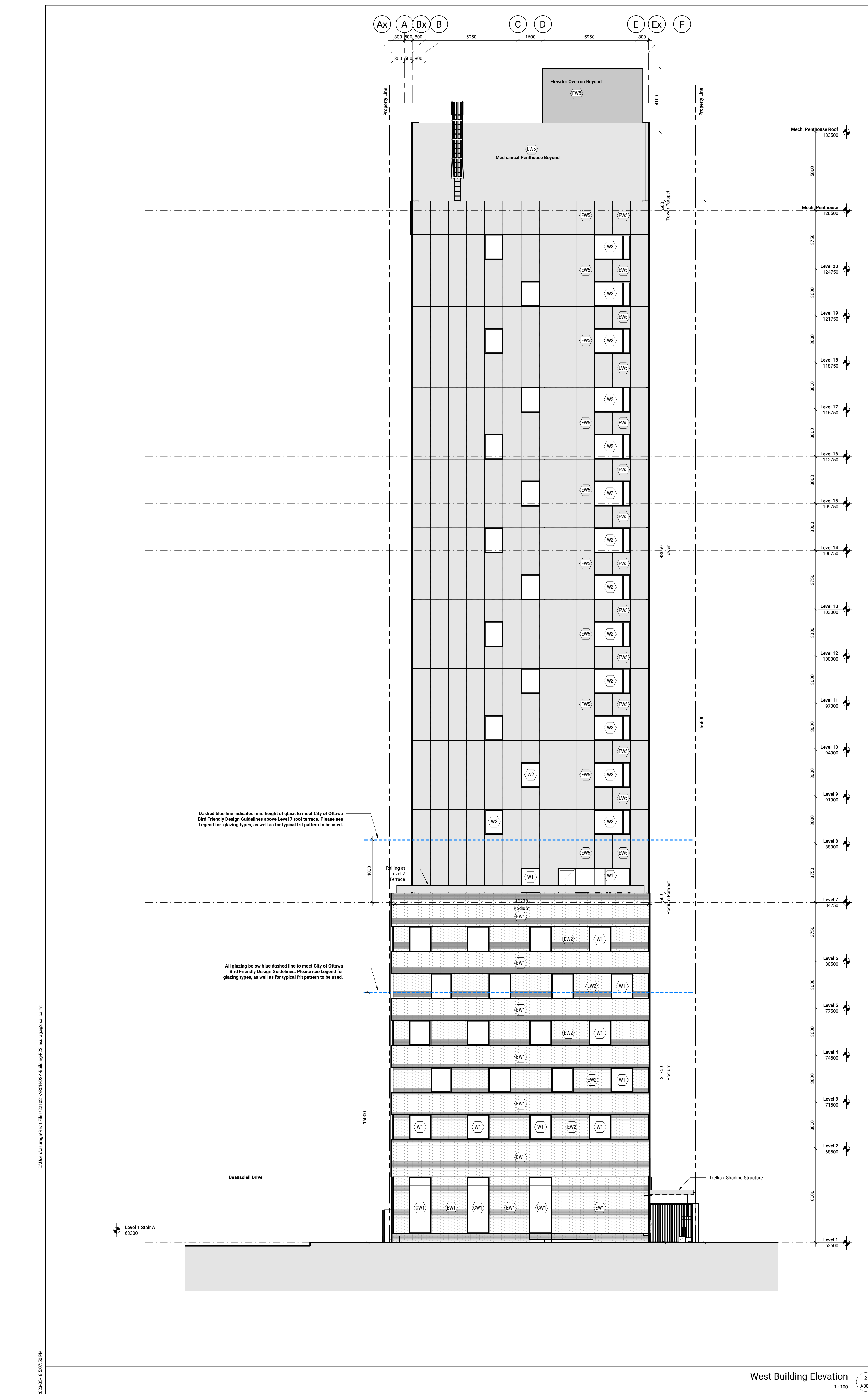
OCH Friel Street / Chapel
200-201 Friel Street, Ottawa, ON K1P 2T1

East and West Exterior Building Elevations
As indicated

A302 007-12-23-0034 (SPC)

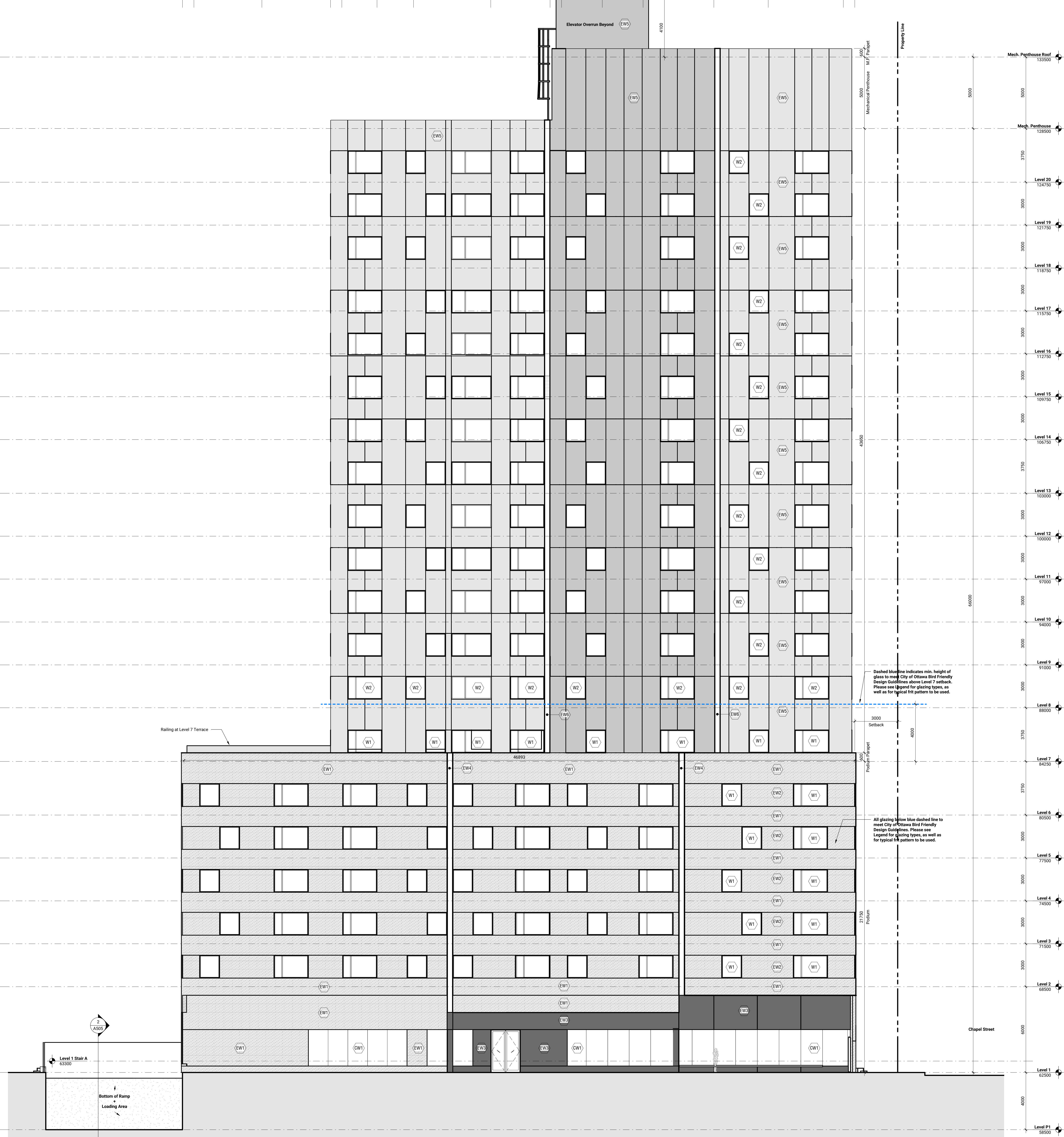
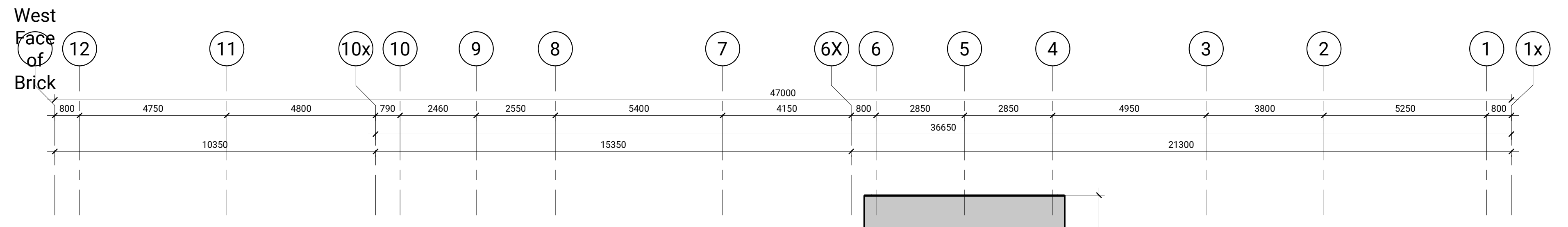


East Building Elevation
1:100



West Building Elevation
1:100

2023-05-18 10:57:59 AM C:\Users\mangr\OneDrive\Files\231021\ARCH\DSM\Building\02_A302\spc\01.dwg

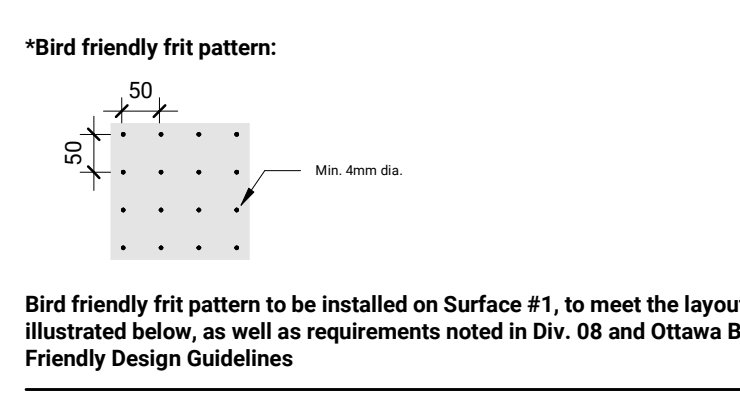


Issued

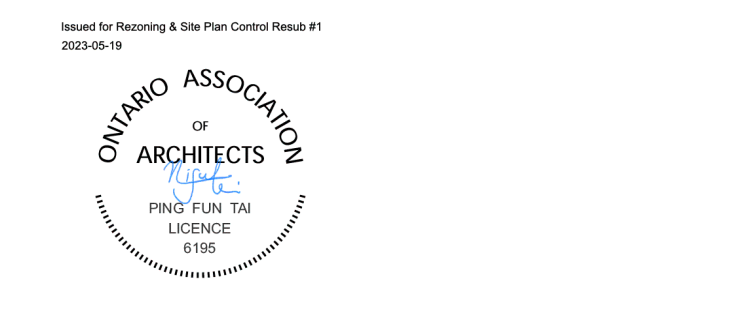
No.	Date	Description
1	22 MAR 2023	Issued for Rezoning and Site Plan Control
2	18 MAY 2023	Issued for Rezoning and Site Plan Control - Resubmission #1

Legend - Cladding Materials

(EW1)	Exterior Wall Type 1 - Masonry Cladding
(EW2)	Exterior Wall Type 2 - Masonry/Precast Cladding
(EW3)	Exterior Wall Type 3 - Smoored Stone Cladding
(EW4)	Exterior Wall Type 4 - Coloured Masonry Cladding
(EW5)	Exterior Wall Type 5 - Metal Panel Cladding
(EW6)	Exterior Wall Type 6 - Coloured Metal Panel Cladding
(CW1)	Curtain Wall Type 1 - Triple Glazed Curtain Wall Bird-Friendly Frit on Surface #1 to meet Ottawa Bird-Friendly Design Guidelines*
(W1)	Punched Window Type 1 - Triple Glazed Fibreglass Window Bird-Friendly Frit on Surface #1 to meet Ottawa Bird-Friendly Design Guidelines*
(W2)	Punched Window Type 2 - Triple Glazed Fibreglass Window Clear glazing without frit



NOT FOR CONSTRUCTION



Contractor Must Check & Verify all Dimensions on the Job.
Do Not Scale Drawings.
All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and Must be Returned Upon Request. Reproduction of Drawings, Specifications and Related Documents in Part or in Whole is Prohibited Without the Written Permission of the Architect.
This Drawing is Not to be Used for Construction Until Signed by the Architect.

OCH Friel Street / Chapel
200-201 Friel Street, Ottawa, ON K1P 2T1

South Exterior Building Elevation
As Indicated
A303

2023-05-18 10:08:02 PM