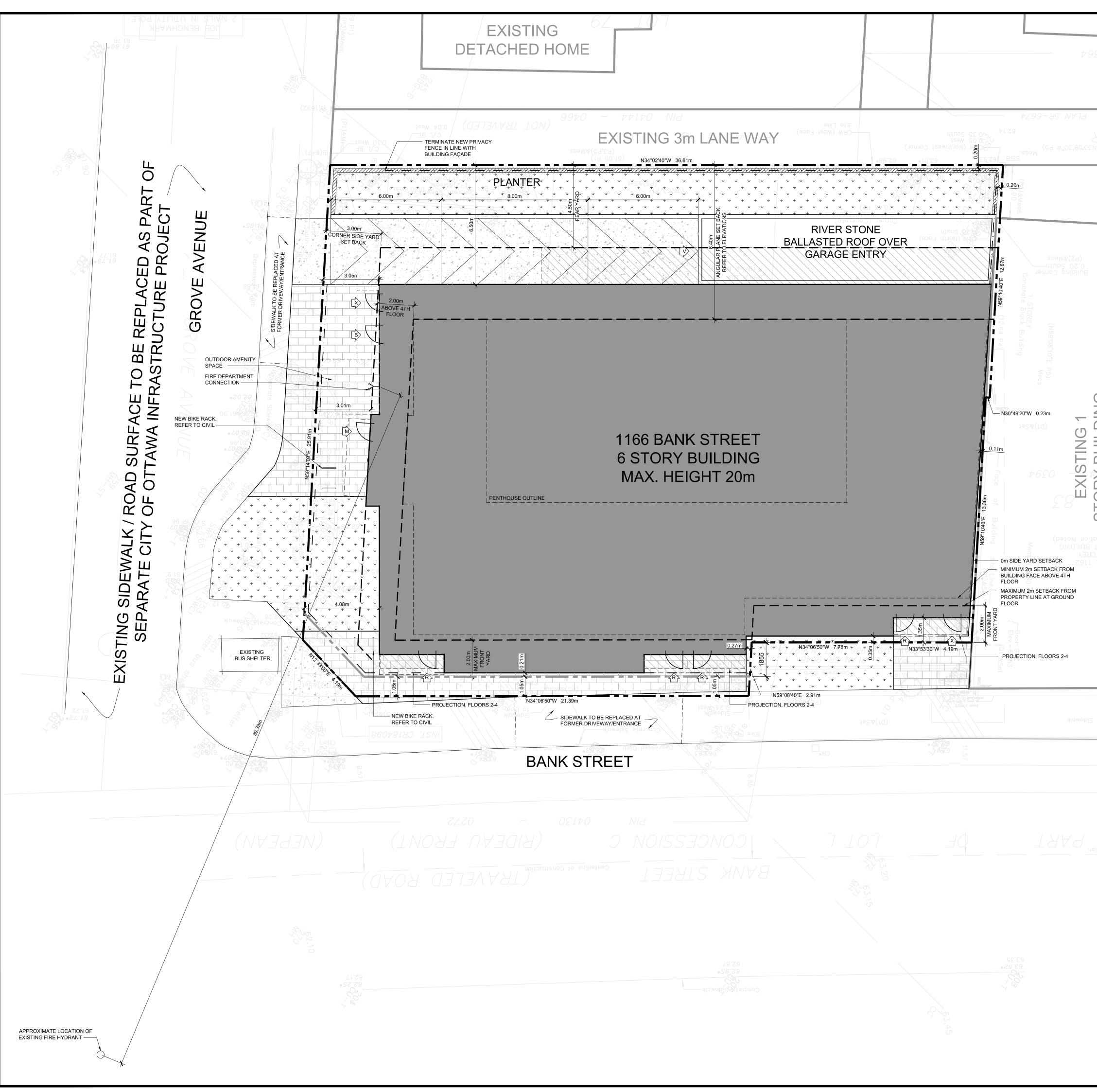
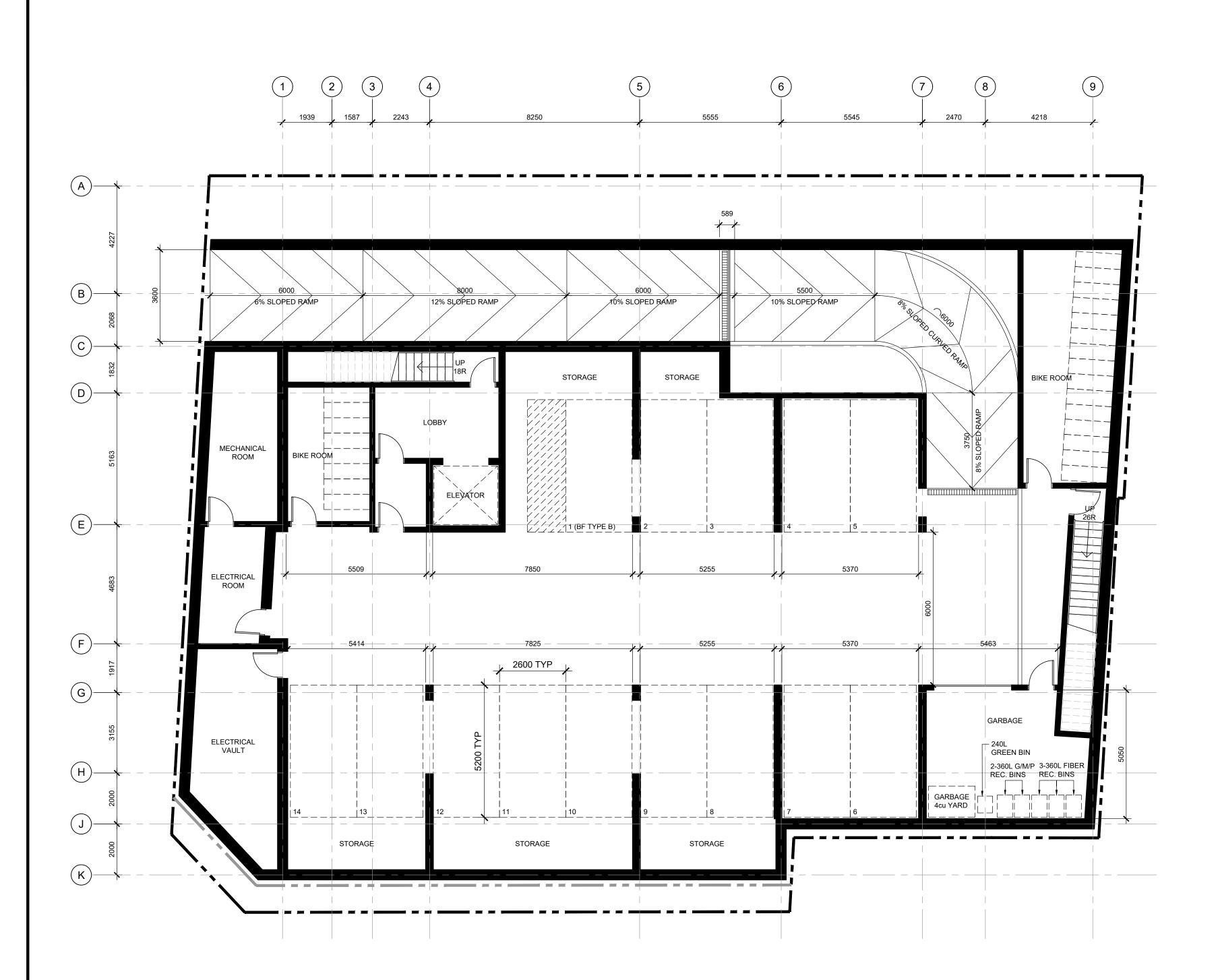


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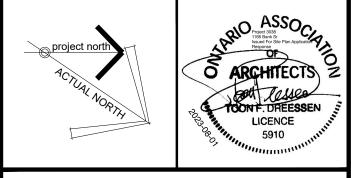
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STORY BUILDING		ED	PROPERTY BOUNDARY INFORMATION, AND TOPOGRAPHIC INFORMATION DERIVED FROM SURVEY OF LOT 81 PART OF LOTS 80 & 82 REGISTERED PLAN 109930, CITY OF OTTAWA. PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SIGNED AND DATED FEBRUARY 12, 2022 SITE & BUILDING DATA, 1166 BANK STREET: SITE AREA: 1015.47m <sup>2</sup> GROSS FLOOR AREA (CITY OF OTTAWA): 2980.87m <sup>2</sup> BUILDING AREA (OBC): 709.60m <sup>2</sup> ZONING: PART 10 - MIXED USE: TM2 H(15) - TRADITIONAL MAIN STREET SUBZONE 2 SETBACKS: FRONT: 2m MAX. + 2m ABOVE THE 4TH FLOOR REAR: 4.5m (ABUTS LANEWAY), REFER TO ELEVATIONS FOR ANGULAR SETBACK ABOVE 15m CORNER SIDE YARD: 3m MIN. + 2m ABOVE THE 4TH FLOOR INTERIOR SIDE YARD: 0m BUILDING HEIGHT: AVERAGE GRADE: 62.89m MAXIMUM HEIGHT: 82.39m (19.5m) RESIDENTIAL PARKING:						
Concrete :		(28	TYPE TENANT PARKING MIN. VISITOR PARKING MAX. VISITOR PARKING BARRIER FREE PARKING TOTAL: COMMERCIAL PARKING: BASEMENT + GROUND FLOOR GFA 456.11m <sup>2</sup> BICYCLE PARKING:	REQUIRED         11         3         30         1 (TYPE B)         REQUIRED         0	PROVIDED         11         3         3         1         1         1         PROVIDED         0	ASSOC	ERS 1899 B. LENN CIATES IN		
			RESIDENTIAL BICYCLE PARKING COMMERCIAL BICYCLE PARKING GARBAGE ROOM REQUIN TYPE GARBAGE FIBRE RECYCLING GLASS, METAL, & PLASTIC RECYCLING ORGANICS	19 2 REMENTS: REQUIRED 8.55cu YARDS OF CONTAINER 2.30cu YARDS OF CONTAINER 0.67cu YARDS OF CONTAINER 1x 240L GREEN CONTAINER	52 8 PROVIDED 1x 6cu YARD & 1x 4cu YARD CONTAINER 1x 3cu YARD CONTAINER 3x 0.25cu YARD (50gl) CONTAINERS 1x 240L GREEN CONTAINER	185 SOMERSE TEL: 613-233-	5168 ECH 9643 SADOR IT ST. W., OTTAV		TINC.
			AMENITY AREAS TYPE TOTAL AMENITY AREA COMMUNAL AMENITY AREA *CALCULATIONS ARE BA	REQUIRED 222m <sup>2</sup> MIN. 111m <sup>2</sup> SED ON 37 RESIDEN	PROVIDED 227.23m <sup>2</sup> 174.73m <sup>2</sup> ITIAL UNITS	201-1339 W WWW.ARC PROJECT TITL <b>1166 BA</b> DRAWING TITL	VELLINGTON ST. CHITECTSDCA.CO E ANK STR	NEST OTTAW	613.725.2294
						DATE OCT. 2022 SCALE 1 : 100	AN: NE	јов NO. <b>3038</b>	drawing no. A101



GENERAL NOTES	

- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR
- TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
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# ISSUE RECORD:

NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN COORDINATION	2022-11-03
2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01
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CONSULTANTS

EXP CIVIL ENGINEERS TEL: 613-688-1899

JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS TEL: 613-722-5168

NOVATECH PLANNERS TEL: 613-254-9643

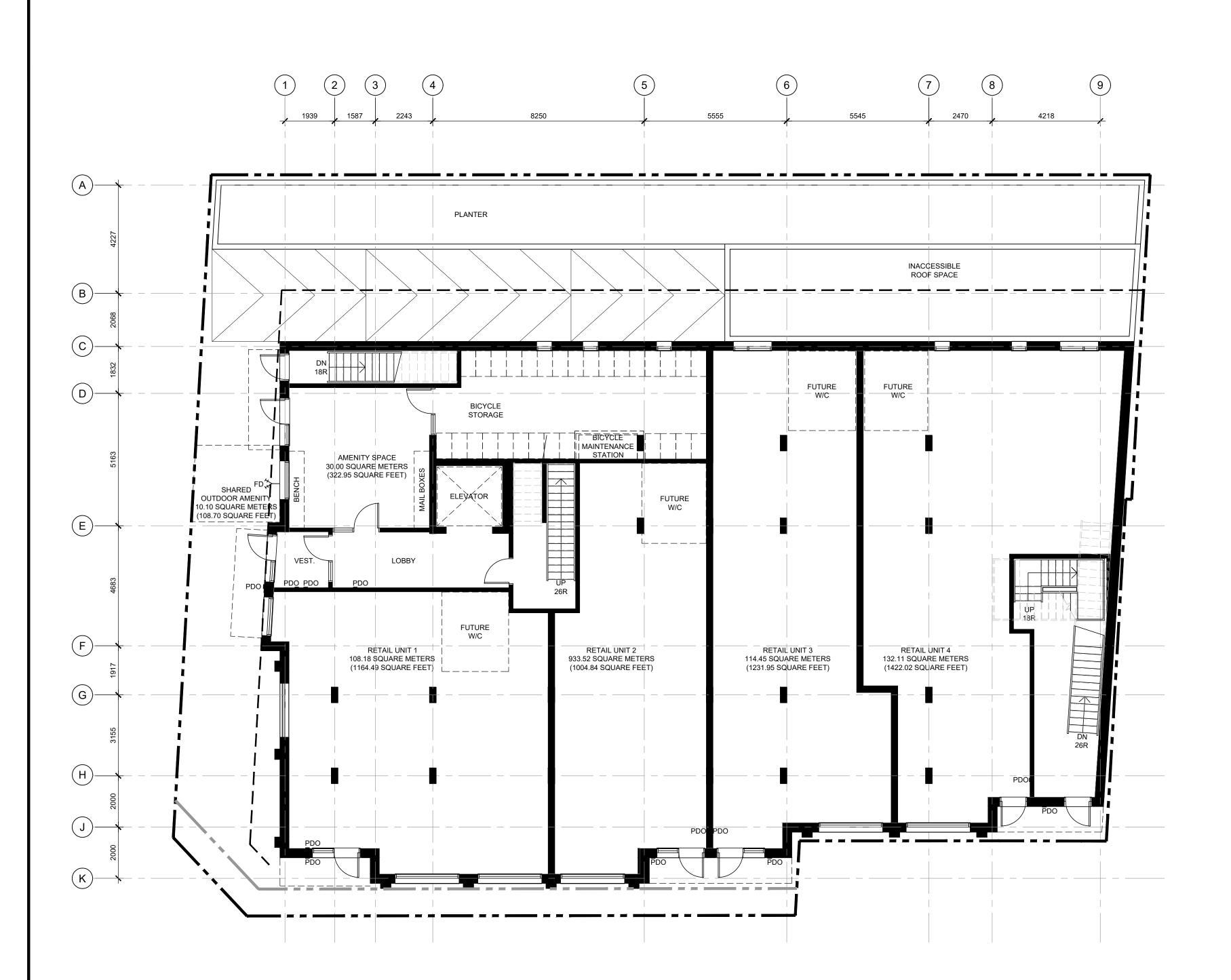
CLIENT

AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ONTARIO TEL: 613-233-1104

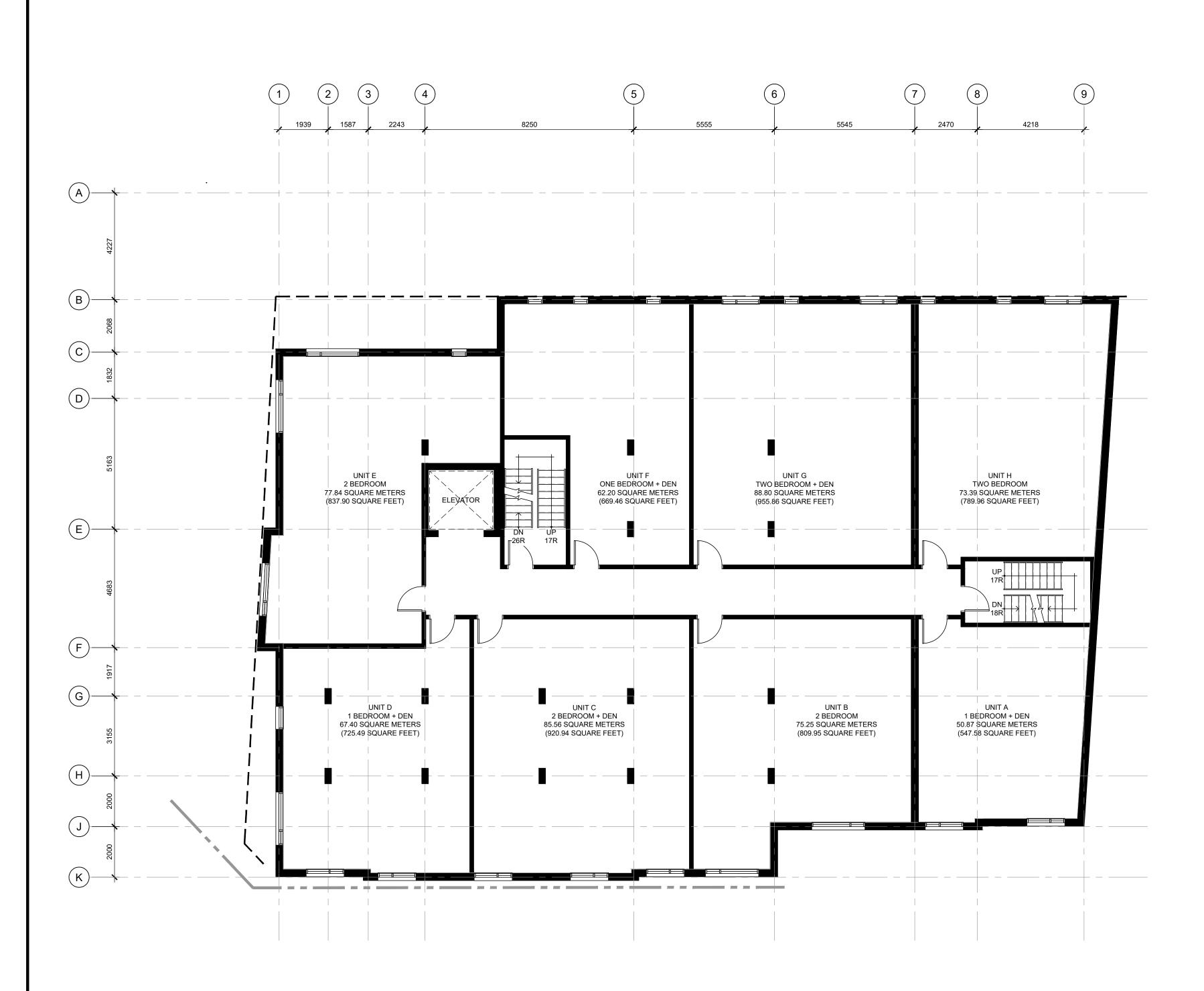


DRAWING TITLE FLOOR PLAN: BASEMENT / PARKING LEVEL DRAWN IC DATE JOB NO. DRAWING NO. OCT. 2022 SCALE REVIEWED 3038 A200 ARCHITECTURAL

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AMENITY AREAS			<u>GENERAI</u>	NOTES		
TYPE	REQUIRED	PROVIDED			VINGS; ONLY FIGUI IERE DOUBT EXIST	
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COMMUNAL AMENITY AREA	MIN. 111m²	174.73m²	DISC	REPANCIES TO 1	RIFY DIMENSIONS ( THE ARCHITECT PRO	OMPTLY.
*CALCULATIONS ARE BAS	ED ON 37 RESIDENT	TAL UNITS	CON	STRUCTION TOI	TOR TO TAKE ERANCE; GENERA	L CONTRACTOR
TYPE		PROVIDED	COM	PLY WITH DESIG	E WORK OF DIFFEF N INTENT. IBED IN THESE	
GROUND FLOOR AMENITY LOUNGE		30.00m²	SPE	CIFICATIONS ARI	E TO COMPLY WIT	H THE CURRENT
GROUND FLOOR AMENITY PATIO		10.10m²	NATI		CODE (2010) IN	
FIFTH FLOOR AMENITY LOUNGE		44.44m <sup>2</sup>		WINGS AND SPE ARE TO BE REAL	CIFICATIONS ARE C TOGETHER.	OMPLEMENTARY
FIFTH FLOOR AMENITY		28.80m <sup>2</sup>		<u>iHT</u>		
EXTERIOR PATIO ROOF AMENITY		20.23m <sup>2</sup>			NSTRUMENT OF S	
LOUNGE			ARCHITE	CTS DCA INC.	HT AND IS THE SOI COPIES, INCLUDI	NG ELECTRONIC
EXTERIOR PATIO		41.16m <sup>2</sup>	FOR THE	SINGLE PROJE	CT FOR WHICH TH	IEY ARE ISSUED
PRIVATE AMENITY		52.50m²	WITHOUT	THE EXPRES	S WRITTEN PERM	
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613.725.2294

DRAWING NO.

A202

201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8

JOB NO.

WWW.ARCHITECTSDCA.COM

1166 BANK STREET

PROJECT TITLE

DRAWING TITLE

FLOOR PLAN: 2ND FLOOR

DATE DRAWN OCT. 2022 IC

SCALE REVIEWED 3038

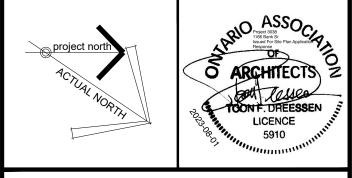
ARCHITECTURAL



GENERAL NOTES	

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## ISSUE RECORD:

NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN COORDINATION	2022-11-03
2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

CONSULTANTS

EXP

CIVIL ENGINEERS TEL: 613-688-1899

JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS TEL: 613-722-5168

NOVATECH PLANNERS TEL: 613-254-9643

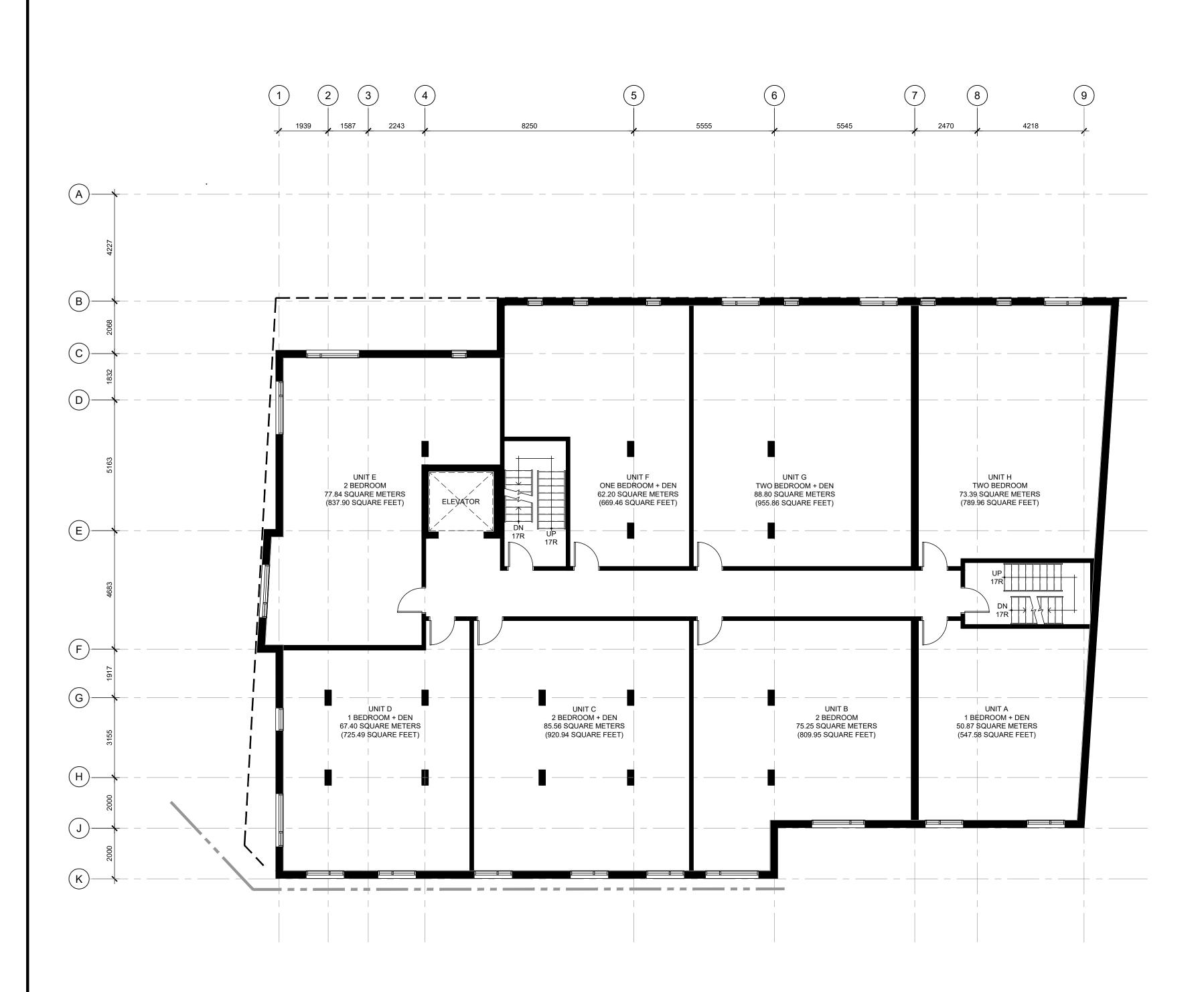
CLIENT

AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ONTARIO TEL: 613-233-1104



DRAWING TITLE FLOOR PLAN: 3RD FLOOR

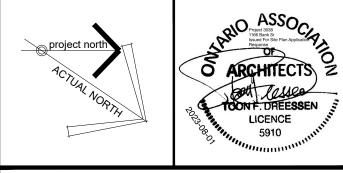
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ISSUE RECORD:

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NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN COORDINATION	2022-11-03
2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

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JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS TEL: 613-722-5168

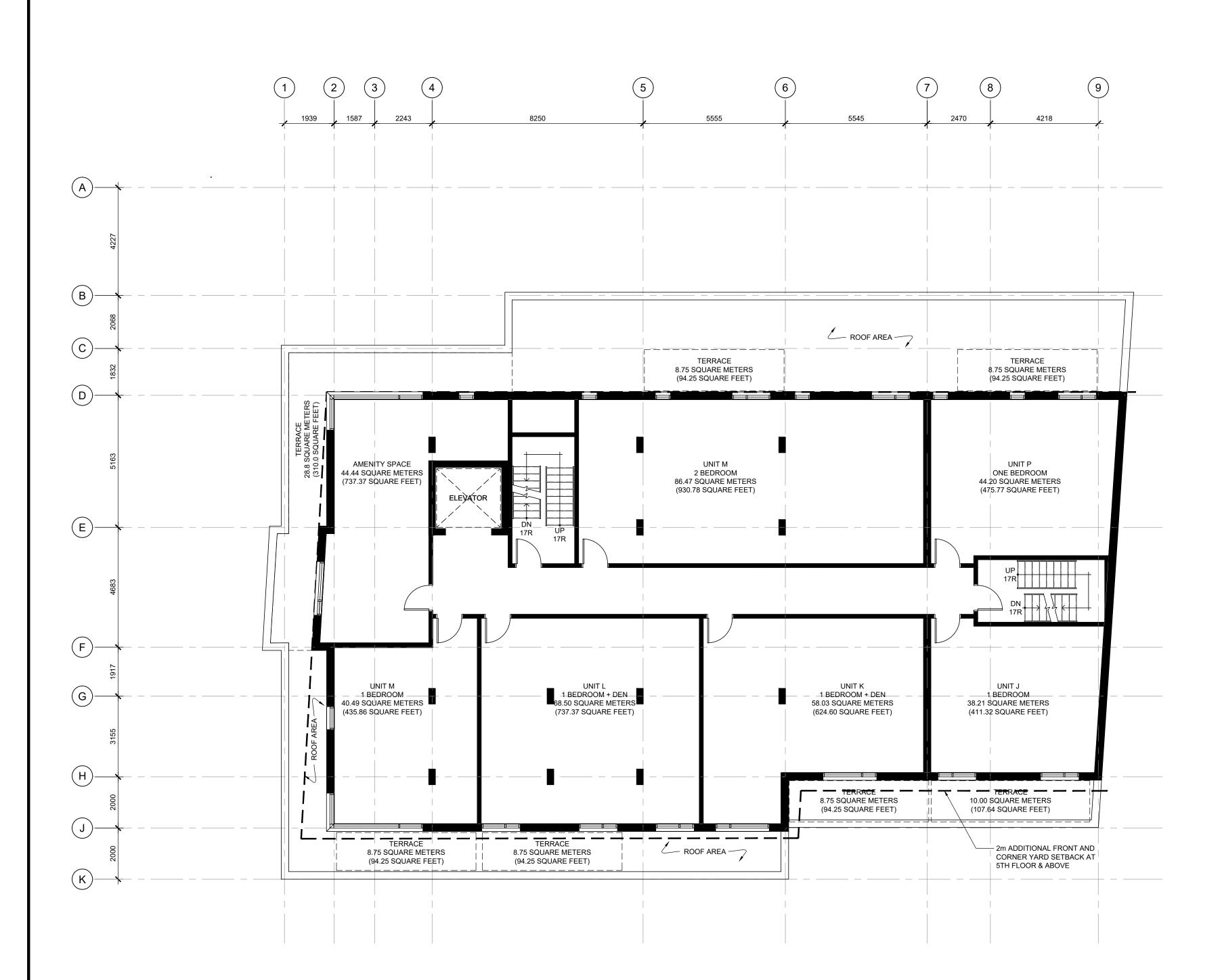
NOVATECH PLANNERS TEL: 613-254-9643

<u>CLIENT</u> AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ONTARIO TEL: 613-233-1104



4TH FLOOR DRAWN IC DRAWING NO. DATE JOB NO. OCT. 2022 SCALE REVIEWED 3038 A204 ARCHITECTURAL

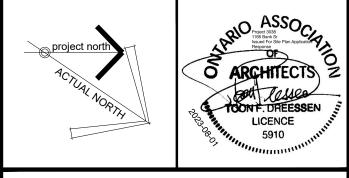
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# ISSUE RECORD:

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3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01
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TEL: 613-722-5168

NOVATECH PLANNERS TEL: 613-254-9643

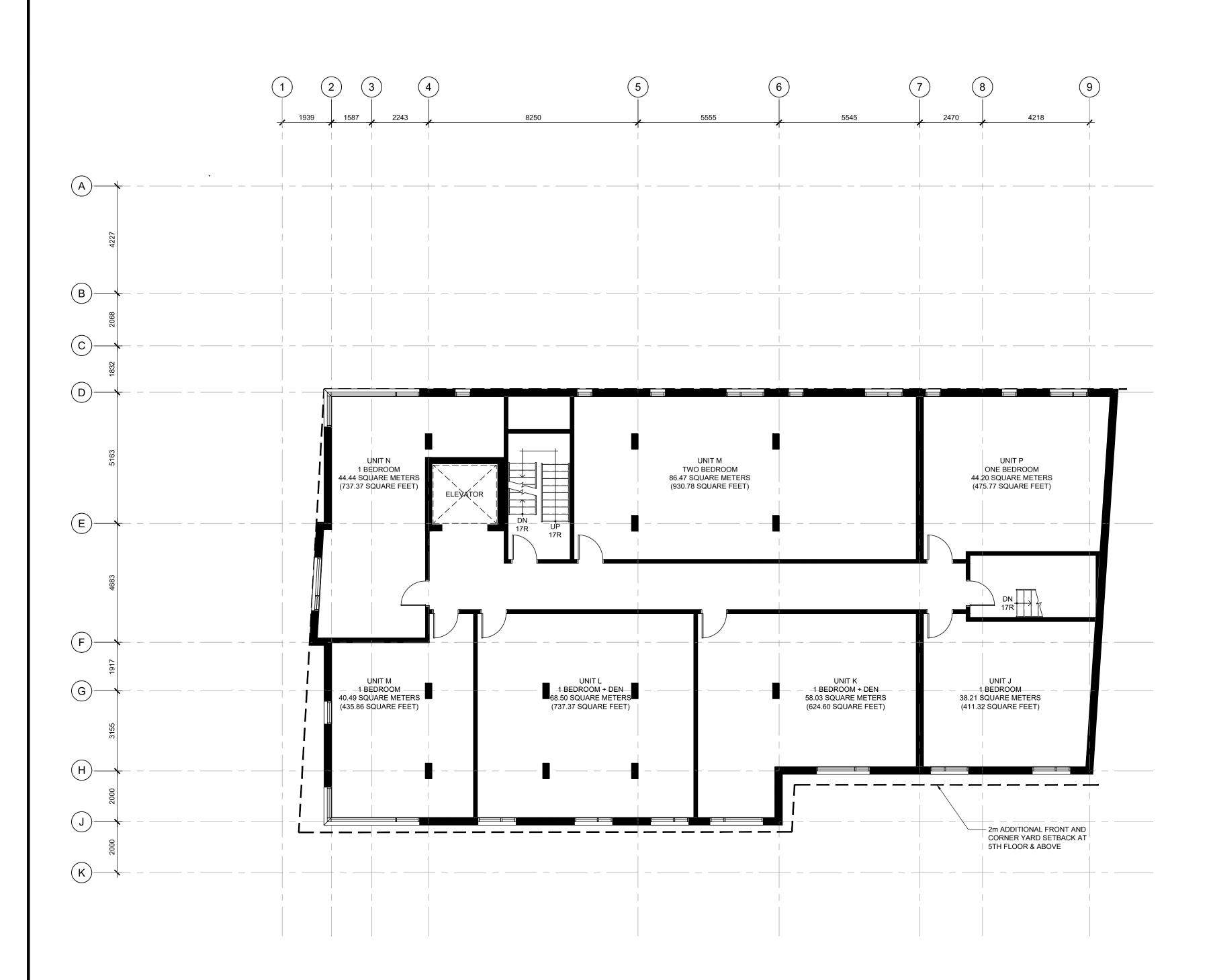
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PROJECT TITLE 1166 BANK STREET

DRAWING TITLE FLOOR PLAN: 5TH FLOOR

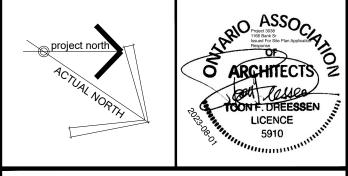
DATE OCT. 2022 DRAWN IC JOB NO. DRAWING NO. SCALE REVIEWED TD | DR A205 ARCHITECTURAL



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4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01
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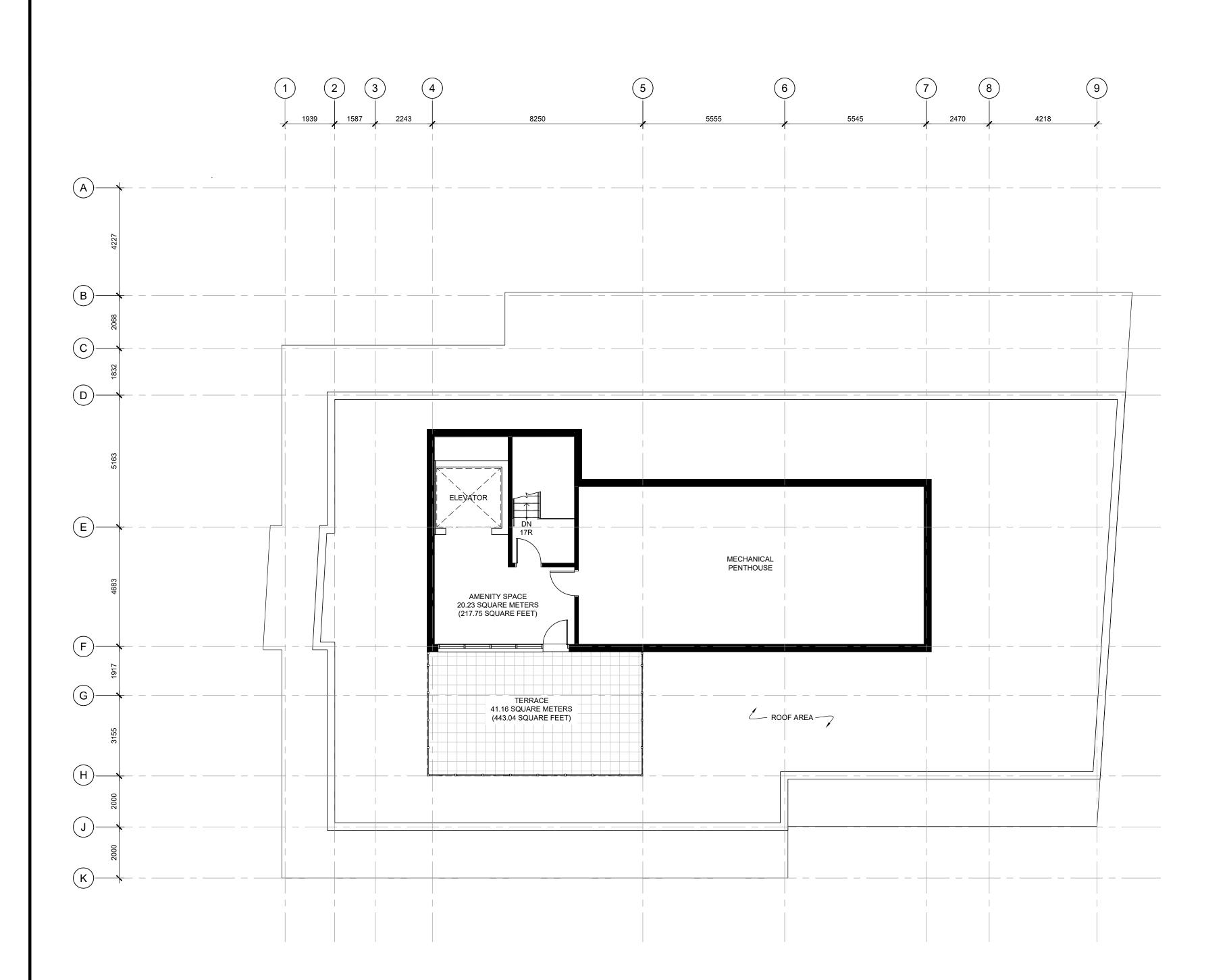


1166 BANK STREET

DRAWING TITLE FLOOR PLAN: 6TH FLOOR

DATE OCT. 2022 DRAWN IC DRAWING NO. JOB NO. SCALE REVIEWED 3038 A206 ARCHITECTURAL

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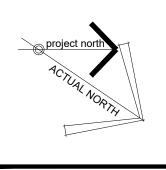


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4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01

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NOVATECH PLANNERS TEL: 613-254-9643

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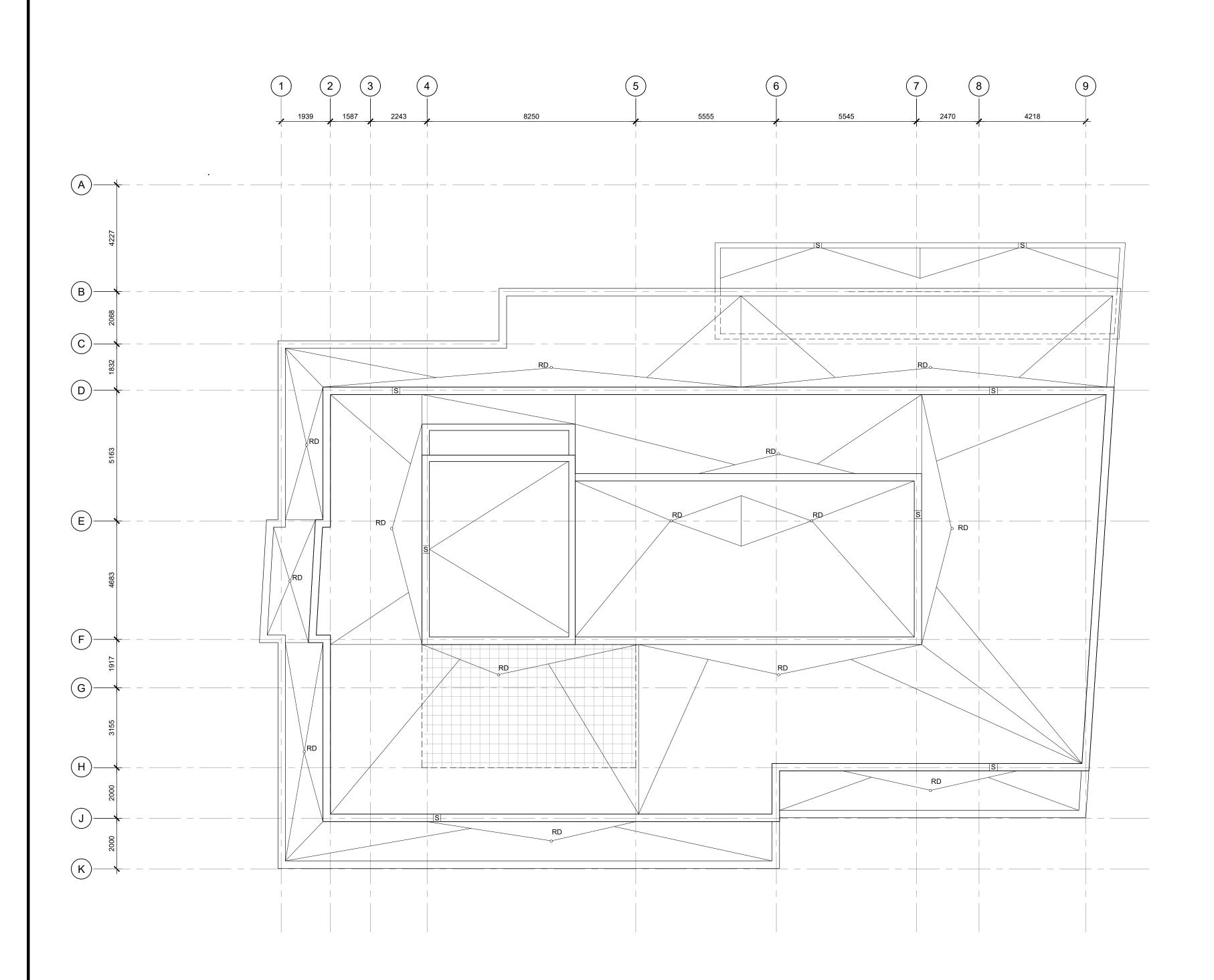
AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ONTARIO TEL: 613-233-1104



1166 BANK STREET

DRAWING TITLE FLOOR PLAN: PENTHOUSE

DATE OCT. 2022 DRAWN IC DRAWING NO. JOB NO. SCALE REVIEWED 1 : 100 TD | DR 3038 A207 ARCHITECTURAL



ROOF PLAN NOTES:	<u>GENE</u>	RAL NOTES	
1. MECHANICAL SHOWN FOR COORDINATION PURPOSES.		O NOT SCALE DRAWINGS; ONLY FIGURED RE TO BE USED. WHERE DOUBT EXISTS; F	
REFER TO MECHANICAL DOCUMENTS.	F	OR INTERPRETATION AND REQUEST CLARI	TY.
ROOF PLAN LEGEND:	C	CONTRACTOR TO VERIFY DIMENSIONS ON S	SITE; REPORT
RD LOCATION OF ROOF DRAIN	3. G	SERERAL CONTRACTOR TO TAKE INT CONSTRUCTION TOLERANCE; GENERAL (	O ACCOUNT
S LOCATION OF SCUPPER	Т	O COORDINATE THE WORK OF DIFFEREN COMPLY WITH DESIGN INTENT.	
WD LOCATION OF WALL DRAIN	4. A	UNITED DESIGN INTENT. LL WORK DESCRIBED IN THESE DRA PECIFICATIONS ARE TO COMPLY WITH T	
	E	DITION OF THE ONTARIO BUILDING COL	DE (2012) OR
	R	ATIONAL BUILDING CODE (2010) INCLU ECENT AMENDMENTS.	
		RAWINGS AND SPECIFICATIONS ARE COM ND ARE TO BE READ TOGETHER.	PLEMENTARY
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		DRAWING IS AN INSTRUMENT OF SER	VICE AND IS
	PROT	ECTED BY COPYRIGHT AND IS THE SOLE F ITECTS DCA INC. COPIES, INCLUDING	PROPERTY OF
	COPIE	ES MAY ONLY BE USED FOR THE PURPOS THE SINGLE PROJECT FOR WHICH THEY	SE INTENDED,
	AND	MAY NOT BE OFFERED FOR SALE OF OUT THE EXPRESS WRITTEN PERMISS	R TRANSFER
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	NO.	DESCRIPTION	DATE
	1	ISSUED FOR SITE PLAN COORDINATION	2022-11-03
	2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
	3	ISSUED FOR COORDINATION	2023-01-20
	4	ISSUED FOR COORDINATION	2023-02-01
	5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
	6	REISSUED FOR SITE PLAN CONTROL	2023-08-01
	EX CIVIL TEL: ( JAI AS LAND TEL: ( NO PLAN	ENGINEERS 513-688-1899 MES B. LENNOX & SOCIATES INC. SCAPE ARCHITECTS 513-722-5168 VATECH NERS 513-254-9643	
	185 S	IBASSADOR REALTY II DMERSET ST. W., OTTAWA, ONTARIO 613-233-1104	
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			ECTS N K1Y 3B8 3.725.2294
		GROUP OF ARCHIT	
		1-1339 WELLINGTON ST. WEST OTTAWA O WW.ARCHITECTSDCA.COM 61	N K1Y 3B8 3.725.2294
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			RAWING NO.
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<u>1ST FLOOR ( RETAIL HIGH)</u> 63.53	4600					
<u>1ST FLOOR (RETAIL MIDDLE)</u> 63.08 AVERAGE GRADE 62.86		 				
<u>1ST FLOOR (RETAIL LOW)</u> 62.66	·	 				 
<u>1ST FLOOR (LOBBY)</u> 62.19	3400 3200					
BASEMENT/PARKING (HIGH) 58.81	ð <sup>(7)</sup>					
BASEMENT/PARKING (LOW) 58.56		 = === = =				

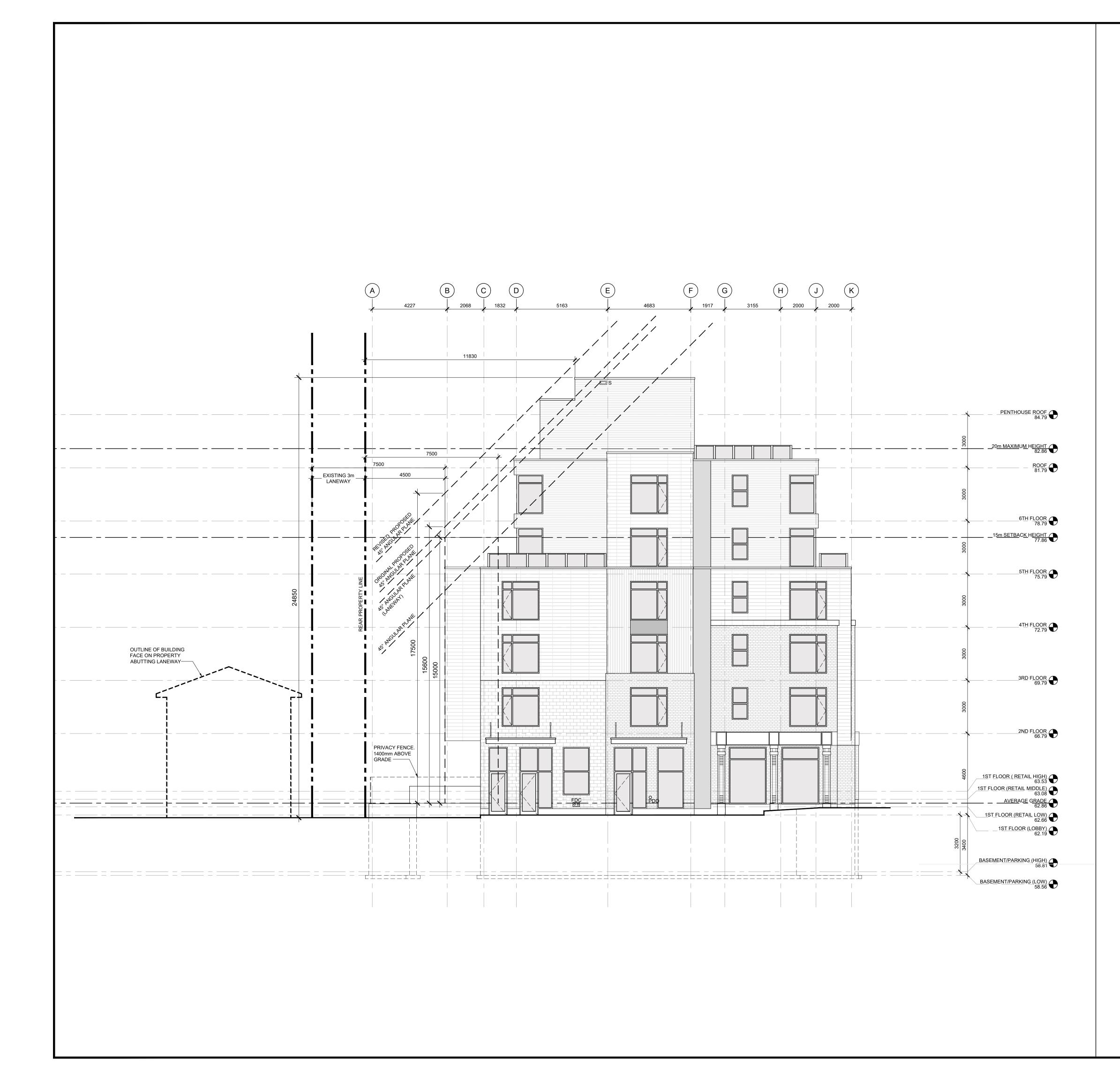


ELEVATION NOTES:	GENERAL NOTES
1. MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.	<ol> <li>DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.</li> </ol>
<ol> <li>POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm</li> </ol>	<ol> <li>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.</li> </ol>
FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.	3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR
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SET BACK LINE	RECENT AMENDMENTS. 5. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY
FDC         LOCATION OF FIRE DEPARTMENT CONNECTION           PDO         LOCATION OF POWER DOOR OPERATOR	AND ARE TO BE READ TOGETHER.
S         LOCATION OF THRU-WALL SCUPPER	THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS PROTECTED BY COPYRIGHT AND IS THE SOLE PROPERTY OF
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BRICK	
MASONRY VENEER: STONE	project north
CORRUGATED METAL SIDING: HORIZONTAL	ACT I
	VAL NORTH
CORRUGATED METAL SIDING: VERTICAL	
VENTILATED CLADDING SYSTEM: FINISH 1	ISSUE RECORD:
VENTILATED CLADDING SYSTEM:	NO. DESCRIPTION DATE
FINISH 2	1     ISSUED FOR SITE PLAN COORDINATION     2022-11-03
ARCHITECTURAL METAL PANEL: FINISH 1	2ISSUED FOR SITE PLAN COORDINATION2022-12-093ISSUED FOR COORDINATION2023-01-20
	4 ISSUED FOR COORDINATION 2023-02-01
	5 ISSUED FOR SITE PLAN CONTROL 2023-03-10
	6 REISSUED FOR SITE PLAN CONTROL 2023-08-01
	EXP CIVIL ENGINEERS
	TEL: 613-688-1899 JAMES B. LENNOX &
	ASSOCIATES INC.
	LANDSCAPE ARCHITECTS TEL: 613-722-5168
	NOVATECH
	PLANNERS TEL: 613-254-9643
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	201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
	WWW.ARCHITECTSDCA.COM 613.725.2294
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	<u>۲</u>
	A GROUP OF ARCHITECTS 201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8 WWW.ARCHITECTSDCA.COM 613.725.2294 PROJECT TITLE 1166 BANK STREET DRAWING TITLE EAST ELEVATION DATE DRAWN JOB NO. DRAWING NO. CT. 2022 IC SCALE REVIEWED 1:100 TD LDB
	DATE DRAWN JOB NO. DRAWING NO.
	OCT. 2022 IC SCALE REVIEWED 3038 A300

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1ST FLOOR (RETAIL MIDDLE)		
AVERAGE GRADE           62.86           1ST FLOOR (RETAIL LOW)           62.66		
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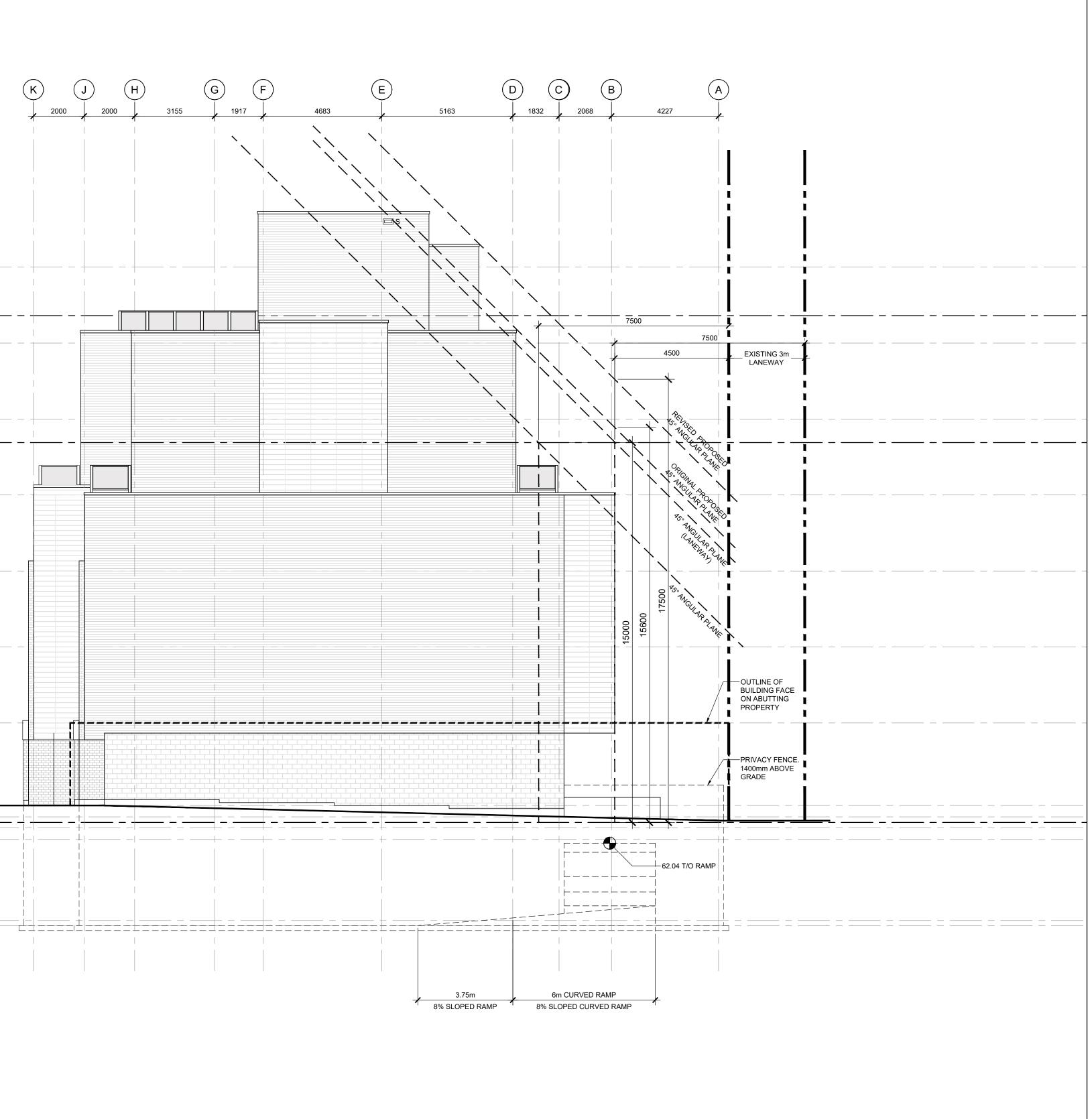


ELEVATION NOTES:	GENERAL NOTES
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FDC LOCATION OF FIRE DEPARTMENT CONNECTION	AND ARE TO BE READ TOGETHER.
PDO LOCATION OF POWER DOOR OPERATOR	<u>COPYRIGHT</u> THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS
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MASONRY VENEER: BRICK	ARCHITECT.
MASONRY VENEER: STONE	
CORRUGATED METAL SIDING: HORIZONTAL	Project north
CORRUGATED METAL SIDING:	ACTUAL NORTHY
VENTILATED CLADDING SYSTEM: FINISH 1	ISSUE RECORD:
VENTILATED CLADDING SYSTEM: FINISH 2	NO.     DESCRIPTION     DATE       1     ISSUED FOR SITE PLAN COORDINATION     2022-11-03
ARCHITECTURAL METAL PANEL:	2 ISSUED FOR SITE PLAN COORDINATION 2022-12-09
FINISH 1	3 ISSUED FOR COORDINATION 2023-01-20
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	CIVIL ENGINEERS TEL: 613-688-1899
	JAMES B. LENNOX &
	ASSOCIATES INC. LANDSCAPE ARCHITECTS
	TEL: 613-722-5168
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	201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
	WWW.ARCHITECTSDCA.COM 613.725.2294
	PROJECT TITLE PROJECT TITLE PROJECT TITLE
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	A GROUP OF ARCHITECTS         201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8         WWW.ARCHITECTSDCA.COM         613.725.2294         PROJECT TITLE         1166 BANK STREET         DRAWING TITLE         WEST ELEVATION         DATE       DRAWN         OCT. 2022       IC         SCALE       REVIEWED         1. 100       TD L DR
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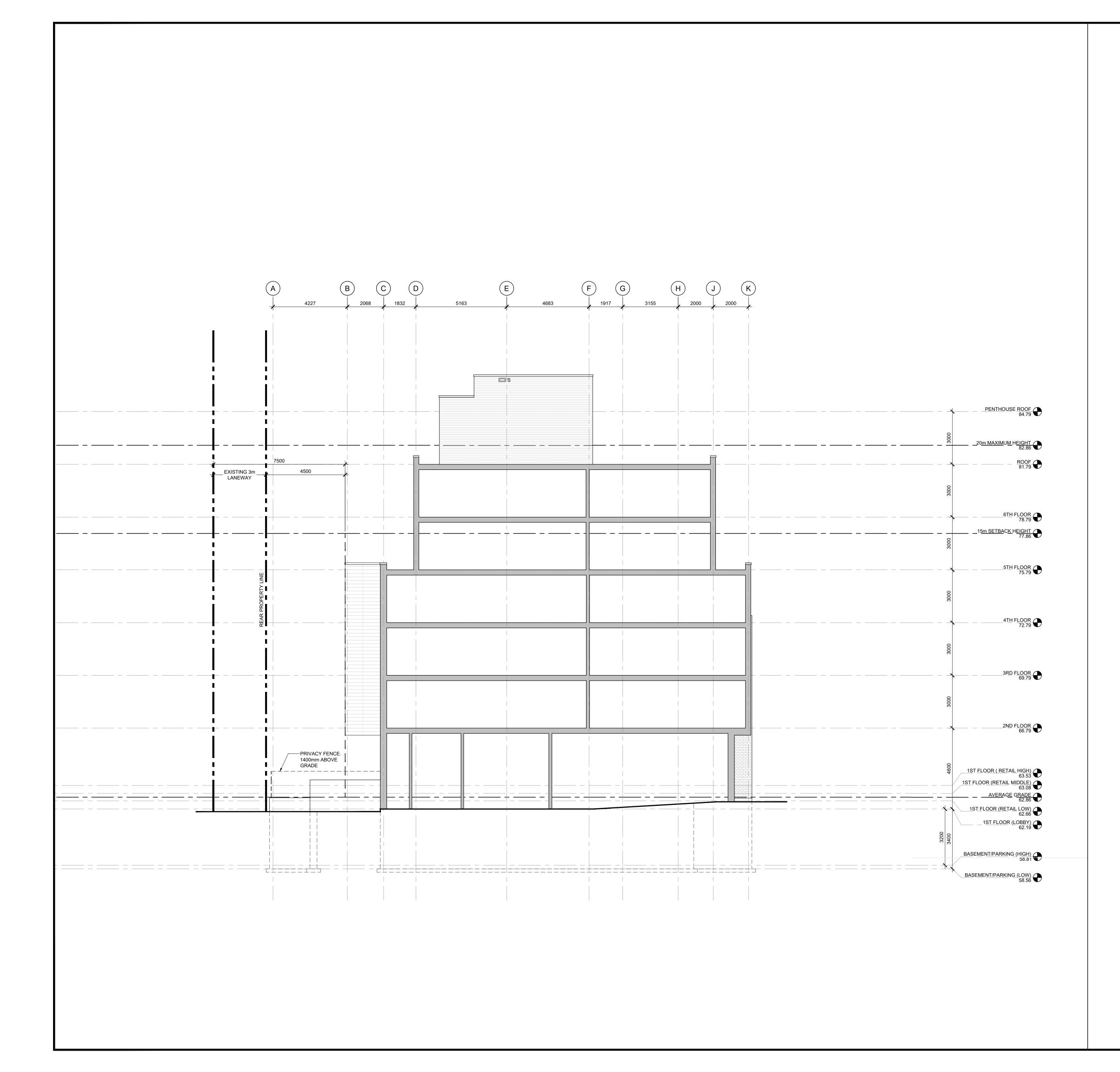


ELEVATION NOTES:	GENERAL NOTES
<ol> <li>MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.</li> <li>POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.</li> <li>ELEVATION LEGEND:</li> <li>PROPERTY LINE</li> <li>SET BACK LINE</li> <li>FDC LOCATION OF FIRE DEPARTMENT CONNECTION</li> <li>PDO LOCATION OF FIRE DEPARTMENT CONNECTION</li> <li>PDO LOCATION OF THRU-WALL SCUPPER</li> <li>ELEVATION FINISH LEGEND:</li> <li>MASONRY VENEER: BRICK</li> </ol>	<ol> <li>DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.</li> <li>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.</li> <li>GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.</li> <li>ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.</li> <li>DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.</li> <li>COPYRIGHT</li> <li>THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS PROTECTED BY COPYRIGHT AND IS THE SOLE PROPERTY OF ARCHITECTS DCA INC. COPIES, INCLUDING ELECTRONIC COPIES MAY ONLY BE USED FOR THE PURPOSE INTENDED, FOR THE SINGLE PROJECT FOR WHICH THEY ARE ISSUED AND MAY NOT BE OFFERED FOR SALE OR TRANSFER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.</li> </ol>
MASONRY VENEER: STONE CORRUGATED METAL SIDING: HORIZONTAL	Project north ACTUAL NOPTH
CORRUGATED METAL SIDING: VERTICAL	
VENTILATED CLADDING SYSTEM: FINISH 1	ISSUE RECORD:
VENTILATED CLADDING SYSTEM:	NO. DESCRIPTION DATE
FINISH 2	1     ISSUED FOR SITE PLAN COORDINATION     2022-11-03       2     ISSUED FOR SITE PLAN COORDINATION     2022-12-09
ARCHITECTURAL METAL PANEL: FINISH 1	3ISSUED FOR COORDINATION2023-01-20
	4 ISSUED FOR COORDINATION 2023-02-01
	5ISSUED FOR SITE PLAN CONTROL2023-03-106REISSUED FOR SITE PLAN CONTROL2023-08-01
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	PLANNERS TEL: 613-254-9643
	CLIENT AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ONTARIO TEL: 613-233-1104
	A GROUP OF ARCHITECTS 201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
	A GROUP OF ARCHITECTS 201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8 WWW.ARCHITECTSDCA.COM 613.725.2294 PROJECT TITLE 1166 BANK STREET
	DRAWING TITLE SOUTH ELEVATION DATE DRAWN JOB NO. OCT. 2022 IC SCALE REVIEWED 3038 A302
	ARCHITECTURAL

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PENTHOUSE ROOF            84.79					
84.79					
20m MAXIMUM HEIGHT	+	[			
ROOF			<b>       </b>		
3000					
6TH FLOOR		-			
15m SETBACK HEIGHT					
0000					
5TH FLOOR					
3000					
4 <u>TH FLOOR</u>			1		
Q					
8000					
			1		
3RD FLOOR					
3000					
о С					
2ND FLOOR					
00.79					
1ST FLOOR ( RETAIL HIGH)       4         63.53       1ST FLOOR (RETAIL MIDDLE)         63.08					
63.08 <u>AVERAGE GRADE</u>					
151 FLOOR (RETAIL LOW)		- +  =	·	+	+
<u>1ST FLOOR (LOBBY)</u> 62.19					
3200 3300					
BASEMENT/PARKING (HIGH)           58.81					<u> </u>
BASEMENT/PARKING (LOW)					
58.56		1		1	



ELEVATION NOTES:	GENERAL NOTES	
1. MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.         2. POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.         ELEVATION LEGEND:         — — PROPERTY LINE         — — SET BACK LINE         FDC       LOCATION OF FIRE DEPARTMENT CONNECTION         PD0       LOCATION OF THRU-WALL SCUPPER         ELEVATION FINISH LEGEND:         MASONRY VENEER: BRICK	<ol> <li>DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.</li> <li>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.</li> <li>GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.</li> <li>ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.</li> <li>DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.</li> <li>COPYRIGHT</li> <li>THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS PROTECTED BY COPYRIGHT AND IS THE SOLE PROPERTY OF ARCHITECTS DCA INC. COPIES, INCLUDING ELECTRONIC COPIES MAY ONLY BE USED FOR THE PURPOSE INTENDED, FOR THE SINGLE PROJECT FOR WHICH THEY ARE ISSUED AND MAY NOT BE OFFERED FOR SALE OR TRANSFER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.</li> </ol>	
MASONRY VENEER:		
CORRUGATED METAL SIDING:	project north	
HORIZONTAL	CTUAL NORTH	
CORRUGATED METAL SIDING: VERTICAL		
VENTILATED CLADDING SYSTEM: FINISH 1	ISSUE RECORD:	
VENTILATED CLADDING SYSTEM: FINISH 2	NO.     DESCRIPTION     DATE       1     ISSUED FOR SITE PLAN COORDINATION     2022-11-03	
ARCHITECTURAL METAL PANEL:	2         ISSUED FOR SITE PLAN COORDINATION         2022-11-03	
FINISH 1	3ISSUED FOR COORDINATION2023-01-204ISSUED FOR COORDINATION2023-02-01	
	5 ISSUED FOR SITE PLAN CONTROL 2023-03-10	
	6 REISSUED FOR SITE PLAN CONTROL 2023-08-01	
	CONSULTANTS EXP CIVIL ENGINEERS TEI: 613-688-1899 JAMES B. LENNOX & ASSOCIATES INC. LANDSCAPE ARCHITECTS TEI: 613-722-5168 NOVATECH PLANNERS TEI: 613-254-9643	
	CLIENT AMBASSADOR REALTY INC. 185 SOMERSET ST. W., OTTAWA, ONTARIO TEL: 613-233-1104	2
	<b>A GROUP OF ARCHITECTS</b> 201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8 WWW.ARCHITECTSDCA.COM 613.725.2294	D02-02-23-0023 PLAN 18947
	PROJECT TITLE 1166 BANK STREET	
	DRAWING TITLE NORTH ELEVATION	D07-12-23-0035
	DATE DRAWN IC JOB NO. DRAWING NO. SCALE REVIEWED TD   DR 3038 A303 ARCHITECTURAL	FILE D07-1
	ANGHITEGTURAL	μĒ



ELEVATION NOTES:	GENERAL NOTES
<ol> <li>MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.</li> <li>POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS</li> </ol>	<ol> <li>DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.</li> <li>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.</li> <li>CONTRACTOR TO TAKE INTO ACCOUNT</li> </ol>
THE CONTROL.	3. GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO
	COMPLY WITH DESIGN INTENT. 4. ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT
PROPERTY LINE	EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
FDC LOCATION OF FIRE DEPARTMENT CONNECTION	5. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.
PDO LOCATION OF POWER DOOR OPERATOR	<u>COPYRIGHT</u> THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS
S LOCATION OF THRU-WALL SCUPPER	PROTECTED BY COPYRIGHT AND IS THE SOLE PROPERTY OF ARCHITECTS DCA INC. COPIES, INCLUDING ELECTRONIC COPIES MAY ONLY BE USED FOR THE PURPOSE INTENDED,
	FOR THE SINGLE PROJECT FOR WHICH THEY ARE ISSUED AND MAY NOT BE OFFERED FOR SALE OR TRANSFER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE
MASONRY VENEER: BRICK	ARCHITECT.
MASONRY VENEER: STONE	
CORRUGATED METAL SIDING: HORIZONTAL	Project north
CORRUGATED METAL SIDING:	ACTUAL NORTH
VERTICAL	
VENTILATED CLADDING SYSTEM: FINISH 1	ISSUE RECORD:
VENTILATED CLADDING SYSTEM: FINISH 2	NO.     DESCRIPTION     DATE       1     ISSUED FOR SITE PLAN COORDINATION     2022-11-03
ARCHITECTURAL METAL PANEL:	2 ISSUED FOR SITE PLAN COORDINATION 2022-12-09
FINISH 1	3 ISSUED FOR COORDINATION 2023-01-20
	4ISSUED FOR COORDINATION2023-02-015ISSUED FOR SITE PLAN CONTROL2023-03-10
	6REISSUED FOR SITE PLAN CONTROL2023-08-01
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	201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
	WWW.ARCHITECTSDCA.COM 613.725.2294
	PROJECT TITLEO1166 BANK STREETS
	A GROUP OF ARCHITECTS         201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8         WWW.ARCHITECTSDCA.COM         PROJECT TITLE         1166 BANK STREET         DRAWING TITLE         SECTION         DATE       DRAWN         OCT. 2022       IC         SCALE       REVIEWED         1: 100       TD LDR
	DATE DRAWN JOB NO. DRAWING NO.
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