

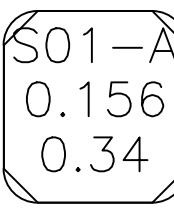
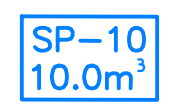
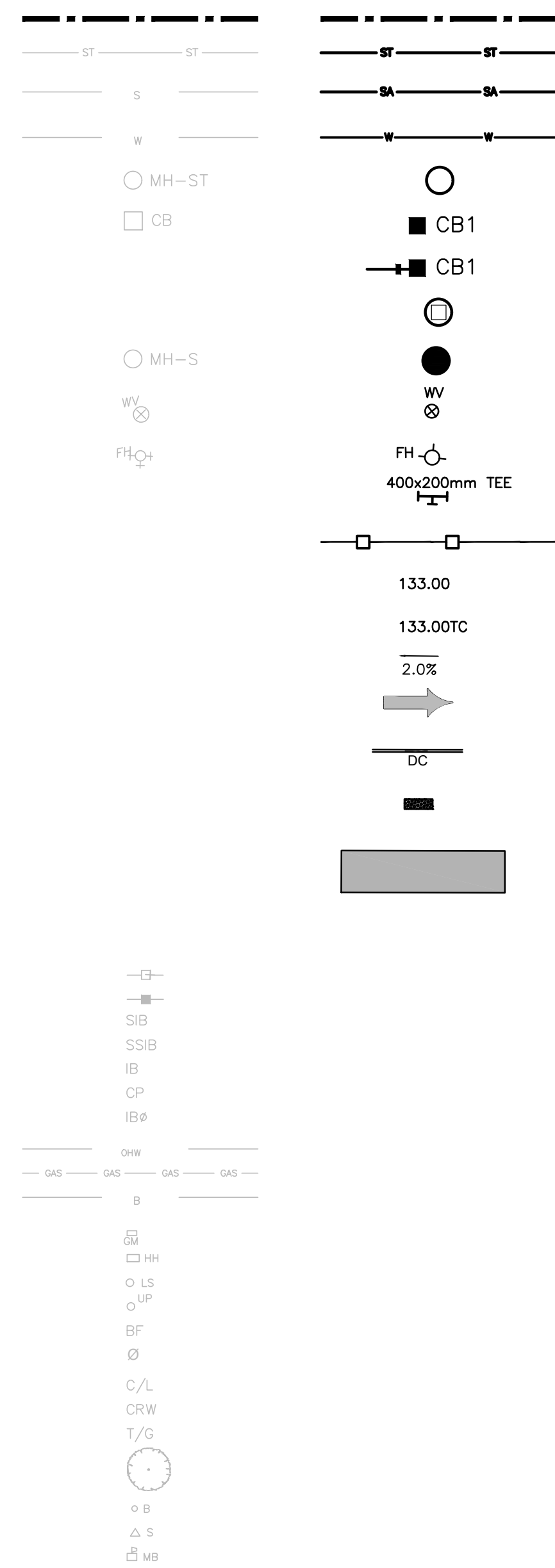
LEGEND

DESCRIPTION

EXISTING

PROPOSED

- PROPERTY LINE
STORM SEWER
SANITARY SEWER
WATER MAIN
STORM MANHOLE
CATCHBASIN
CATCHBASIN C/W ICD
CATCHBASIN MANHOLE
SANITARY MANHOLE
WATER VALVE/CURB STOP
FIRE HYDRANTS
WATER MAIN TEE
PROPOSED SILT FENCE PER OPSD 219.110
PROPOSED SURFACE GRADE
PROPOSED TOP OF CURB GRADE
PROPOSED SLOPE & DIRECTION
OVERLAND FLOW ROUTE
PROPOSED CONCRETE BARRIER CURB PER OPSD 600.110
PROPOSED TWSI PER OPSD 310.039
PROPOSED HEAVY DUTY ASPHALT:
SURVEY MONUMENT PLANTED
SURVEY MONUMENT FOUND
STANDARD IRON BAR
SHORT STANDARD IRON BAR
IRON BAR
CONCRETE PIN
ROUND IRON BAR
OVERHEAD WIRES
UNDERGROUND GAS
UNDERGROUND BELL
GAS METER
HANDHOLE
LIGHT STANDARD
UTILITY POLE
BOARD FENCE
DIAMETER
CENTRELINE
CONCRETE RETAINING WALL
TOP OF GRATE
DECIDUOUS TREE
BOLLARD
SIGN
MAIL BOX



GENERAL NOTES:

- 1. ALL WORKS AND MATERIALS SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS), WHERE APPLICABLE.
2. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION.
4. ALL ELEVATIONS ARE GEODETIC AND UTILIZE METRIC UNITS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED AND BEAR COST OF THE SAME.
6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 'OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS'.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER.
8. ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF OTTAWA REQUIREMENTS FOR TRAFFIC CONTROL WHEN WORKING ON CITY STREETS.
10. THE SUPPORT OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
11. THERE WILL BE NO SUBSTITUTION OF MATERIALS UNLESS WRITTEN APPROVAL BY THE ENGINEER HAS BEEN OBTAINED.
12. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
13. THE SITE LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. THE CONTRACTOR WILL BE RESPONSIBLE FOR ADDITIONAL BEDDING OR ADDITIONAL STRENGTH PIPE IF THE MAXIMUM TRENCH WIDTH, AS SPECIFIED BY OPSD, IS EXCEEDED.
15. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR.
16. ALL EDGES OF DISTURBED PAVEMENT SHALL BE SAW CUT TO FORM A NEAT AND STRAIGHT LINE PRIOR TO PLACING NEW PAVEMENT.
17. FOR GEOTECHNICAL INFORMATION REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY PATERSON GROUP, DATED MAY 18, 2022.
18. THE CONTRACTOR SHALL APPRAISE HIS/HERSELF OF ALL SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED AND SHALL CARRY OUT THEIR OWN TEST PITS AS REQUIRED TO MAKE THEIR OWN INDEPENDENT ASSESSMENT OF GROUND CONDITIONS.
19. DO NOT CONSTRUCT USING DRAWINGS THAT ARE NOT MARKED 'ISSUED FOR CONSTRUCTION'.
20. CIVIL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPE AND LEGAL DRAWINGS.
21. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR.

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL SANITARY SEWERS SHALL BE PVC SDR 35, IPEX 'RING-TITE' (OR EQUIVALENT), AS PER CSA STANDARD 8182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE NOTED.
3. SANITARY SEWER TRENCH AND BEDDING SHALL BE AS PER CITY OF OTTAWA STD. S6 AND S7, CLASS 'B' BEDDING UNLESS OTHERWISE NOTED.
4. ALL SANITARY LATERALS ARE TO BE PVC SDR 28, IPEX 'RING-TITE' (OR EQUIVALENT), ANY COLOR EXCEPT WHITE AND MARKED WITH A 50MM X 100MM WOODEN MARKER.
5. SEWER BEDDING AS PER CITY STANDARD S6 & S7. GRANULAR 'A' BEDDING TO BE INCREASED TO 300MM WHERE SEWERS ARE BELOW THE GROUNDWATER TABLE.
6. SANITARY SEWER MANHOLES SHALL BE BENCHED AS PER OPSD 701.021.
7. THE CONTRACTOR SHALL CONDUCT INFILTRATION/EXFILTRATION (AS PER CURRENT OPSD), TESTING ON ALL NEWLY INSTALLED SANITARY SEWERS.
8. THE CONTRACTOR SHALL CONDUCT CCTV INSPECTION OF ALL NEWLY INSTALLED SANITARY SEWERS AND EXISTING SEWERS CONNECTED TO.
9. ALL SERVICE CONNECTIONS TO BE CONSTRUCTED AS PER CITY STANDARD S11 & S11.1.
10. THE CONTRACTOR SHALL CONSTRUCT FLEXIBLE SANITARY SEWERS IN ACCORDANCE WITH OPSD 802.010 AND 802.013.
11. ALL SANITARY BUILDING DRAINS TO BE EQUIPPED WITH SANITARY BACKWATER VALVES INSTALLED PER CITY OF OTTAWA STANDARD DRAWING S14.1.
12. WITHIN THE FROST ZONE, THE BACKFILL IN THE SERVICE TRENCHES SHOULD MATCH THE SOIL ON SIDES TO MINIMIZE DIFFERENTIAL FROST HEAVING IN THE SUBGRADE.
13. MINIMUM SOIL COVER TO BE 2.1m TO PROTECT SEWERS FROM FROST DAMAGE.
14. ALL SANITARY SERVICES TO BE EQUIPPED WITH APPROVED BACKWATER VALVES.

STORM SEWER NOTES

- 1. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE IN ACCORDANCE WITH CSA A297.2 (LATEST AMENDMENT).
3. ALL PVC STORM SEWERS ARE TO BE SDR 35 APPROVED PER C.S.A. 8182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.
4. THE CONTRACTOR SHALL CONSTRUCT FLEXIBLE STORM SEWERS IN ACCORDANCE WITH OPSD 802.010 AND 802.013.
5. SEWER BEDDING AS PER CITY STANDARD S6 & S7.
6. ALL STORM LATERALS SHALL BE PVC SDR 28, WHITE IN COLOR AND MARKED WITH A 50mm X 100mm WOODEN MARKER.
7. ALL SERVICE CONNECTIONS TO BE CONSTRUCTED AS PER CITY STANDARD S11 & S11.1.
8. WITHIN THE FROST ZONE, THE BACKFILL IN THE SERVICE TRENCHES SHOULD MATCH THE SOIL ON SIDES TO MINIMIZE DIFFERENTIAL FROST HEAVING IN THE SUBGRADE.
9. MINIMUM SOIL COVER TO BE 2.1m TO PROTECT SEWERS FROM FROST DAMAGE.
10. ALL STORM SERVICES TO BE EQUIPPED WITH APPROVED BACKWATER VALVES.

- 11. STORM MANHOLE FRAME AND COVERS SHALL BE AS PER CITY OF OTTAWA STD. S24, S24.1 AND S25.
12. SAFETY PLATFORMS SHALL BE IN ACCORDANCE WITH OPSD 404.02.
13. DROP STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA SPECIFICATIONS AND OPSD 1003.01.
14. STORM SEWER MANHOLES SERVING LOCAL SEWERS LESS THAN 900MM SHALL BE CONSTRUCTED WITH A 300MM SLUMP FOR STORM SEWERS 900MM AND OVER USE BENCHING IN ACCORDANCE WITH OPSD 701.021.
15. SINGLE AND DOUBLE CATCHBASINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. S1, AND OPSD 705.020, RESPECTIVELY.
16. CURB INLET TYPE CATCH BASIN (CIBC) SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. S3, AND GRATE SHALL BE AS PER CITY OF OTTAWA STD. S22 AND S23, UNLESS OTHERWISE NOTED.
17. SINGLE AND DOUBLE CATCHBASIN LEADS SHALL BE 200MM AND 250MM DIA (MIN) RESPECTIVELY, 1.0% SLOPE (MIN.) UNLESS OTHERWISE NOTED.
18. ALL CATCHBASINS AND CATCHBASIN MANHOLES SHALL HAVE SUMPS WITH 300MM DEPTH, UNLESS OTHERWISE NOTED.
19. CONTRACTOR SHALL ENSURE THAT CATCHBASINS ARE INSTALLED AT THE LOW POINT OF SAG CURB WORKS.
20. THE STORM SEWER CLASSES HAVE BEEN DESIGNED BASED ON BEDDING CONDITIONS SPECIFIED, WHERE THE SPECIFIED TRENCH WIDTH IS EXCEEDED, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADDITIONAL BEDDING, A DIFFERENT TYPE OF BEDDING OR A HIGHER PIPE STRENGTH AT HIS OWN EXPENSE AND SHALL ALSO BE RESPONSIBLE FOR EXTRA TEMPORARY AND/OR PERMANENT REPAIRS MADE NECESSARY BY THE WIDENED TRENCH.
21. THE CONTRACTOR SHALL CONDUCT CCTV INSPECTION OF ALL NEWLY INSTALLED STORM SEWERS AND EXISTING SEWERS CONNECTED TO. THE TEST SHALL BE PERFORMED IMMEDIATELY AFTER SEWERS INSTALLED.

WATERMAIN NOTES

- 1. ALL WATERMAIN MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. NO WORK SHALL COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE.
3. ALL PVC WATERMANS SHALL BE EQUAL TO AWWA C-900 CLASS 150, SDR 18, OR APPROVED EQUAL.
4. WATERMANS TRENCH AND BEDDING SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD W17, UNLESS OTHERWISE SPECIFIED.
5. ALL PVC WATERMANS SHALL BE INSTALLED WITH A 10 GAUGE STRANDED COPPER TWU OR RWU TRACER WIRE IN ACCORDANCE WITH CITY OF OTTAWA STD. W38.
6. WATER SERVICES ARE TO BE TYPE K SOFT COPPER AS PER CITY OF OTTAWA STD. W28 UNLESS OTHERWISE SPECIFIED.
7. CATHODIC PROTECTION IS REQUIRED ON ALL METALLIC FITTINGS AS PER CITY OF OTTAWA STD. W40 AND W42.
8. VALVE BOXES SHALL BE INSTALLED AS PER CITY OF OTTAWA DETAIL W24.
9. ALL FIRE HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W19 AND LOCATED AS PER CITY STANDARD W18 AND/OR CITY STANDARD CROSS SECTIONS.
10. ALL WATERMANS TO BE INSTALLED AT MINIMUM COVER OF 2.4m.
11. THRUST BLOCKS AND RESTRAINT AS PER CITY OF OTTAWA DWGS: W25.3 AND W25.4, W25.5 AND W25.6.
12. IF WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS LESS THAN HALF THAT RECOMMENDED BY THE MANUFACTURER.
13. DISINFECTION AND TESTING OF WATERMAIN TO BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS.
14. WATER METERS TO BE INSTALLED AS PER W30 FOR WATER SERVICES.
15. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CAPS, PLUGS AND BLOW-OFFS AND NOZZLES REQUIRED FOR TESTING AND DISINFECTION OF THE WATERMAIN.
16. INSULATION FOR WATERMAIN CROSSING OVER AND BELOW SEWER SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. W25.2 AND W25, RESPECTIVELY, WHERE WATERMAIN COVER IS LESS THAN 2.4m.
17. WHERE THE SEPARATION BETWEEN SERVICES AND MANHOLES IS LESS THAN 1.2m, WATER SERVICES ARE TO BE INSULATED AS PER CITY OF OTTAWA STD. W23.
18. AS PER CITY GUIDELINE, THE MINIMUM VERTICAL CLEARANCE BETWEEN WATERMAIN AND SEWER / UTILITY IS 0.25M FOR CROSSING OVER THE SEWER, AS PER CITY STD W25.2. FOR CROSSING UNDER SEWER, THE MINIMUM VERTICAL CLEARANCE IS 0.50M AS PER CITY STD. W25. FOR CROSSING UNDER SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWERS IS REQUIRED TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING. THE LENGTH OF WATER PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.

ROADWAY SPECIFICATIONS

- 1. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE STRIPPED WITHIN THE ROAD ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONCRETE CURB SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. SCI.1.1 (BARRIER CURB) AND SCI.3 (MOUNTABLE CURB), AS NOTED.
3. ROAD SUBDRAINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R1. SUBDRAINS SHALL BE 6M IN LENGTH AT CATCHBASINS.
4. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R10 AND OPSD 509.010, OPSD 310.
5. GRANULAR 'A' SHALL BE PLACED TO A MINIMUM THICKNESS OF 300MM AROUND ALL STRUCTURES WITHIN PAVEMENT AREA.
6. ALL GRANULAR FOR ROADS SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
7. ASPHALT WEAR COURSE SHALL NOT BE PLACED UNTIL THE VIDEO INSPECTION OF SEWERS & NECESSARY REPAIRS HAVE BEEN CARRIED OUT TO THE SATISFACTION OF THE ENGINEER.
8. SUB-EXCAVATE SOFT AREAS AND FILL WITH GRANULAR 'B' COMPACTED IN MAXIMUM 300MM LIFTS.
9. PAVEMENT STRUCTURE: REFER TO LEGEND.

GENERAL NOTES FOR GRADING

- 1. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ENSURE THAT GRADING AROUND HYDRANTS, TRANSFORMERS, AND UTILITY PEDESTALS, ETC., MEET CURRENT CITY OF OTTAWA, HYDRO AND UTILITY COMPANY REQUIREMENTS.
2. ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE OR CATCH BASIN OUTLETS ARE PROVIDED.
3. CONTRACTOR TO ADJUST EXISTING CATCH BASINS, MANHOLES, FIRE HYDRANTS, VALVE CHAMBERS AND VALVE BOXES TO FINAL GRADE AS REQUIRED.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING FOUNDATIONS OF ADJACENT BUILDINGS DURING EXCAVATION AND CONSTRUCTION PERIOD.
5. GRADING IN GRASSED AREAS WILL BE BETWEEN 2% TO 7%. GRADES IN EXCESS OF 7% WILL REQUIRE A MAXIMUM 3:1 TERRACING.

CAUTION
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Table with 4 columns: REV, REVISION DESCRIPTION, DATE, BY. Includes entries for 'REVISED PER CITY COMMENTS' and 'ISSUED FOR SITE PLAN CONTROL'.

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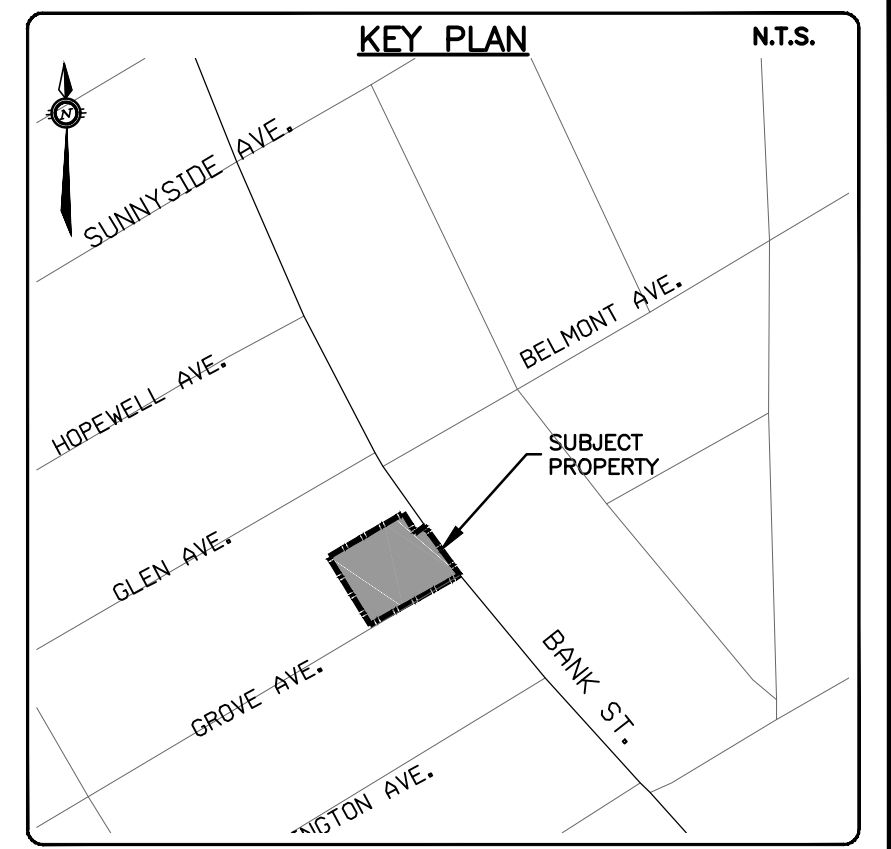
Professional Engineer seal for M.A. Ansari, License No. 10323-08-07, Province of Ontario. Includes 'DESIGNED BY' and 'REVIEWED BY' fields.

Client information: AMBASSADOR REALTY INC., 185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2. Includes logo for exp.

Project information: 1166 BANK STREET, OTTAWA, ONTARIO. Includes title 'NOTES AND LEGEND SHEET' and project number 'C000'.

Project details: PROJECT No. OTT-22018175-AD, SURVEY ADV, DATE JANUARY 2023, DRAWING No. C000.

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EXISTING WATERMAIN TO BE BLANKED AT MAIN BY CITY OF OTTAWA FORCES. EXCAVATION, BACKFILL AND REINSTATEMENT BY CONTRACTOR.

EXISTING SERVICES TO BE REMOVED AND CAPPED AT THE MAIN TO THE SATISFACTION OF THE CITY'S SEWER OPERATIONS

EXISTING SERVING TO BUILDING TO BE REMOVED. EXISTING BUILDING AND FOUNDATION TO BE REMOVED FROM THE SITE. BUILDING DEMOLITION SHALL BE COMPLETED IN CONSULTATION WITH GEOTECHNICAL ENGINEER.

EXISTING ASPHALT PARKING LOT TO BE DEMOLISHED

EXISTING CURB AND/OR SIDEWALK TO BE REMOVED.

GROVE AVENUE

BANK STREET

EXISTING CURB TO BE REMOVED AND REPLACED WITH BARRIER CURB AND SIDEWALK AS PER CITY STND. SC2. REFER TO EXP GRADING PLAN C200.

NOTES:

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2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.
3. FOR ADDITIONAL PROJECT NOTES REFER TO DRAWING C001.

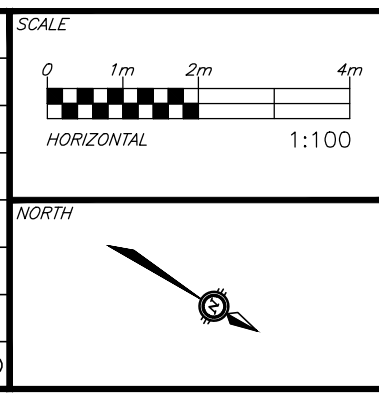
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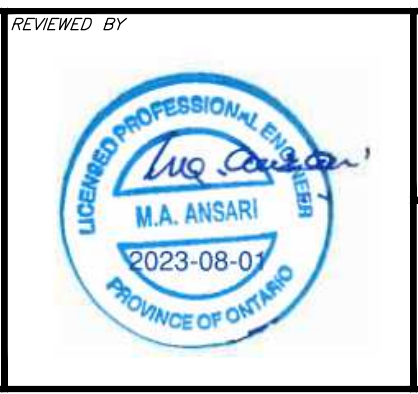
JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

TOPOGRAPHIC INFORMATION
 LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
 SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH



DESIGNED BY: M.A. ANSARI
 2023-08-01
 LICENSED PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO



CLIENT: **AMBASSADOR REALTY INC.**
 185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

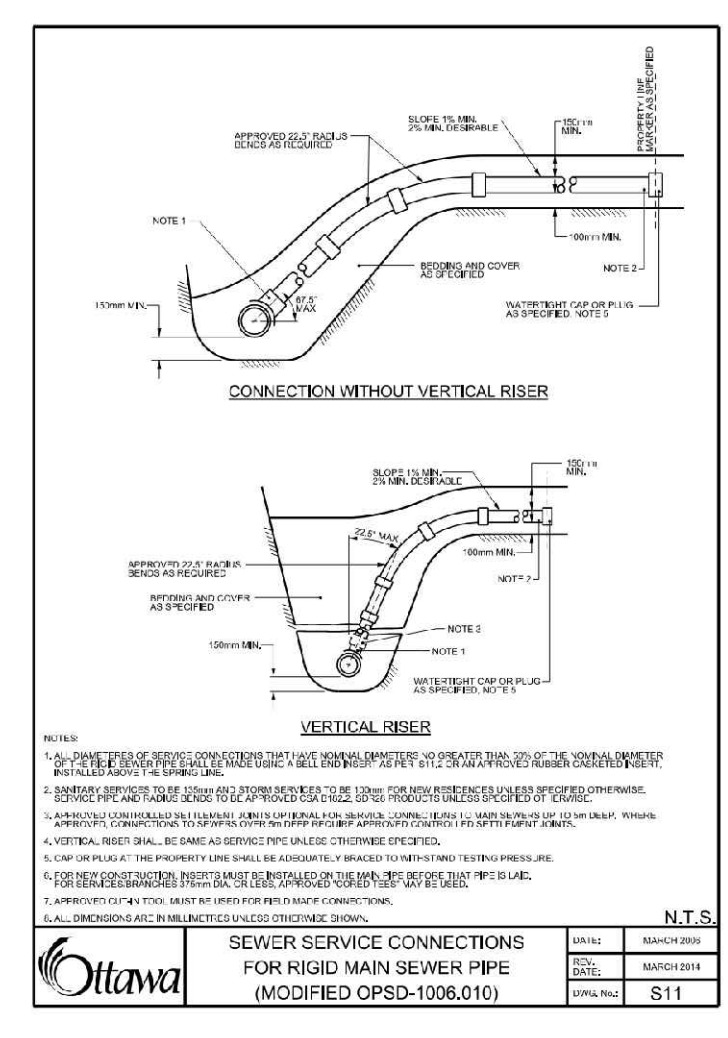
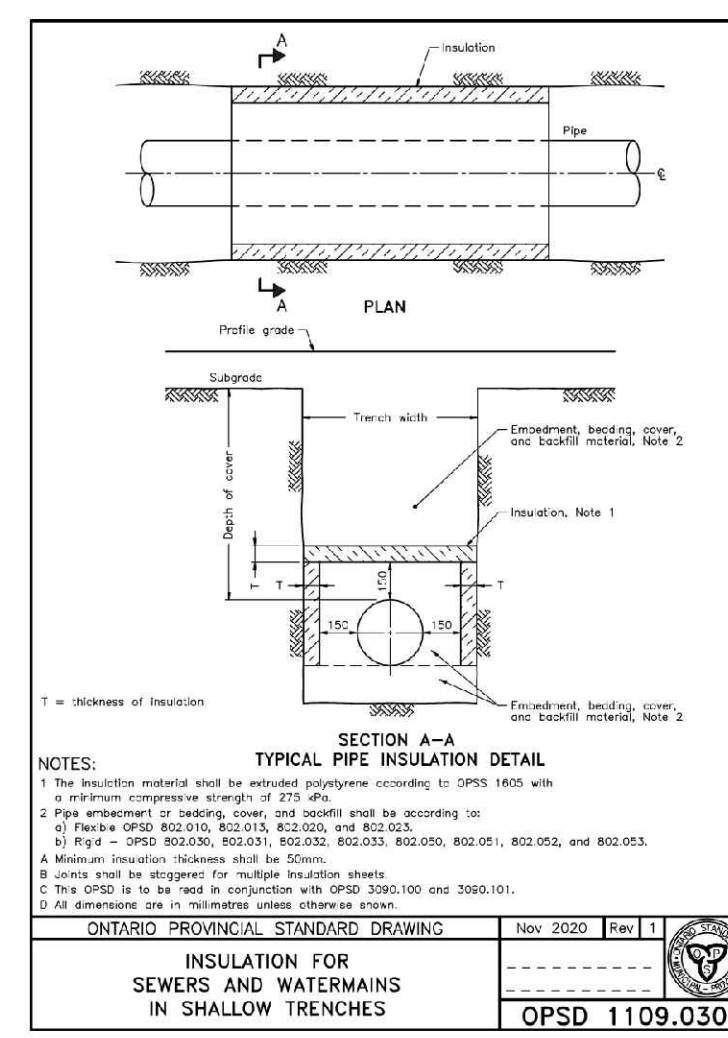
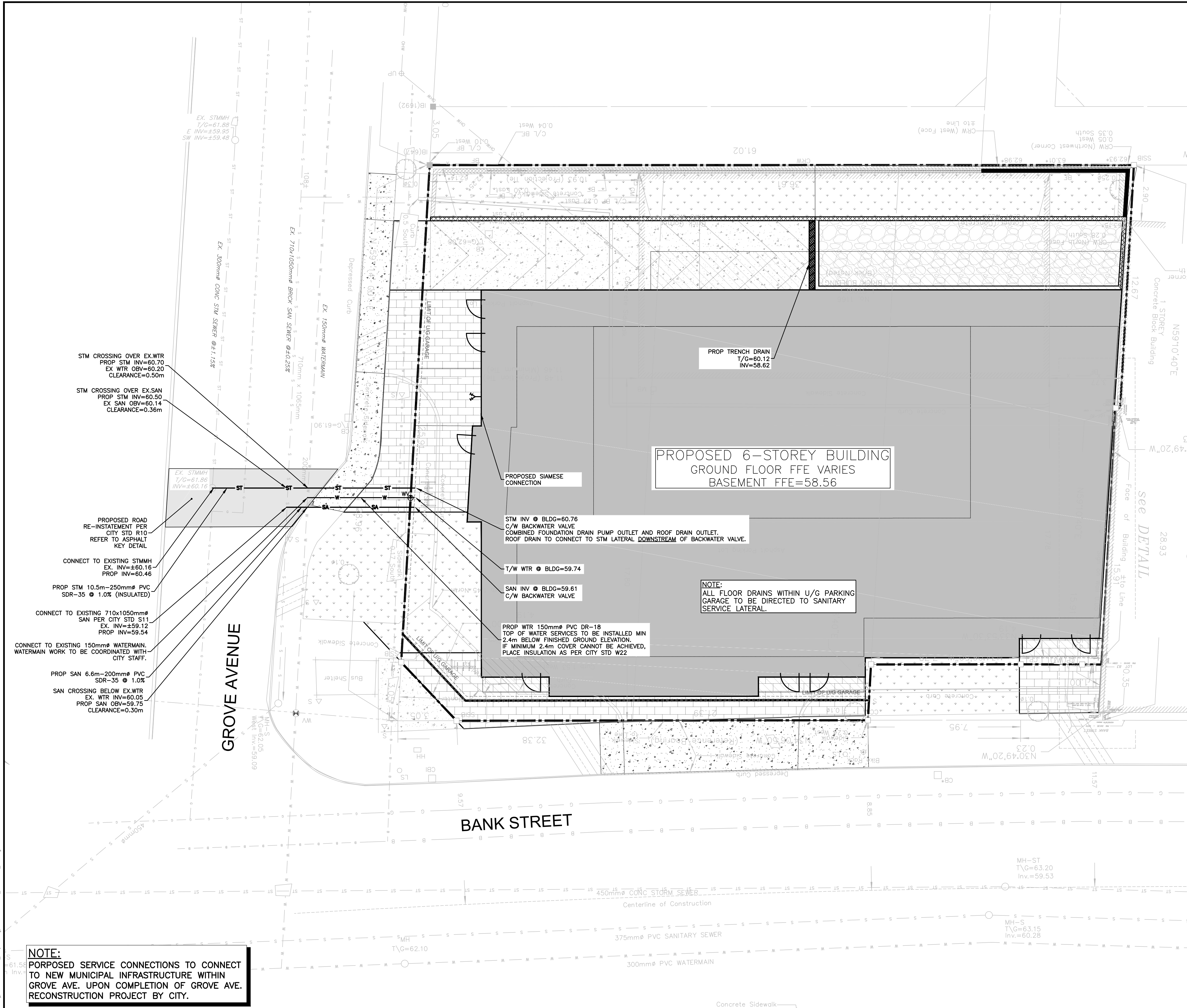
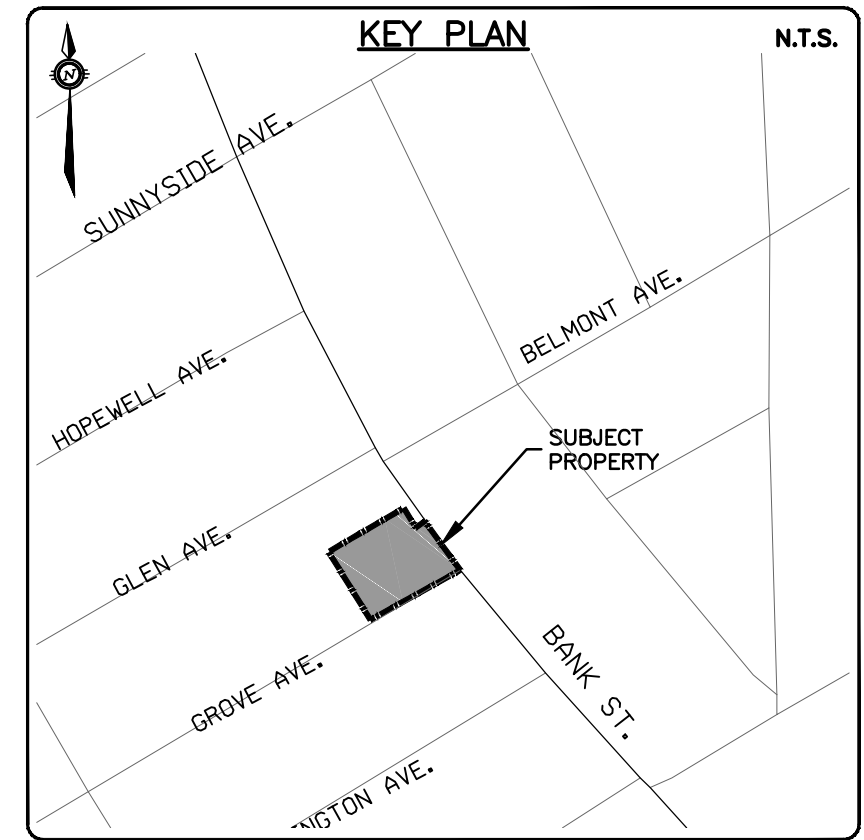
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BASEPLAN	PROJECT
AS	1166 BANK STREET
DESIGN	OTT-22018175-AD
CHECKED	SURVEY
CAD	ADV
PROJECT MANAGER	DATE: JANUARY 2023
APPROVED	DRAWING No.:
AA	C001

EXISTING CONDITIONS AND REMOVALS PLAN

PROJECT No. OTT-22018175-AD
 SURVEY ADV
 DATE: JANUARY 2023
 DRAWING No. C001



- STM CROSSING OVER EX.WTR
PROP STM INV=60.70
EX WTR OBV=60.20
CLEARANCE=0.50m
- STM CROSSING OVER EX.SAN
PROP STM INV=60.50
EX SAN OBV=60.14
CLEARANCE=0.36m
- PROPOSED ROAD RE-STATEMENT PER CITY STD R10 REFER TO ASPHALT KEY DETAIL
- CONNECT TO EXISTING STMMH EX. INV=±60.16 PROP INV=60.46
- PROP STM 10.5m-250mm# PVC SDR-35 @ 1.0% (INSULATED)
- CONNECT TO EXISTING 710x1050mm# SAN PER CITY STD S11 EX. INV=±59.12 PROP INV=59.54
- CONNECT TO EXISTING 150mm# WATERMAIN. WATERMAIN WORK TO BE COORDINATED WITH CITY STAFF.
- PROP SAN 6.6m-200mm# PVC SDR-35 @ 1.0%
- SAN CROSSING BELOW EX.WTR EX. WTR INV=60.05 PROP SAN OBV=59.75 CLEARANCE=0.30m

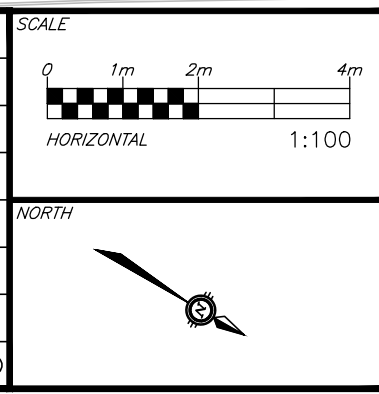
NOTE:
PROPOSED SERVICE CONNECTIONS TO CONNECT TO NEW MUNICIPAL INFRASTRUCTURE WITHIN GROVE AVE. UPON COMPLETION OF GROVE AVE. RECONSTRUCTION PROJECT BY CITY.

CAUTION
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JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

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REV	REVISION DESCRIPTION	DATE	BY	APPD
2	ISSUED FOR SITE PLAN CONTROL	23/08/01	AAS	AA
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DESIGNED BY: M.A. ANSARI
REVIEWED BY: M.A. ANSARI
CLIENT: AMBASSADOR REALTY INC.

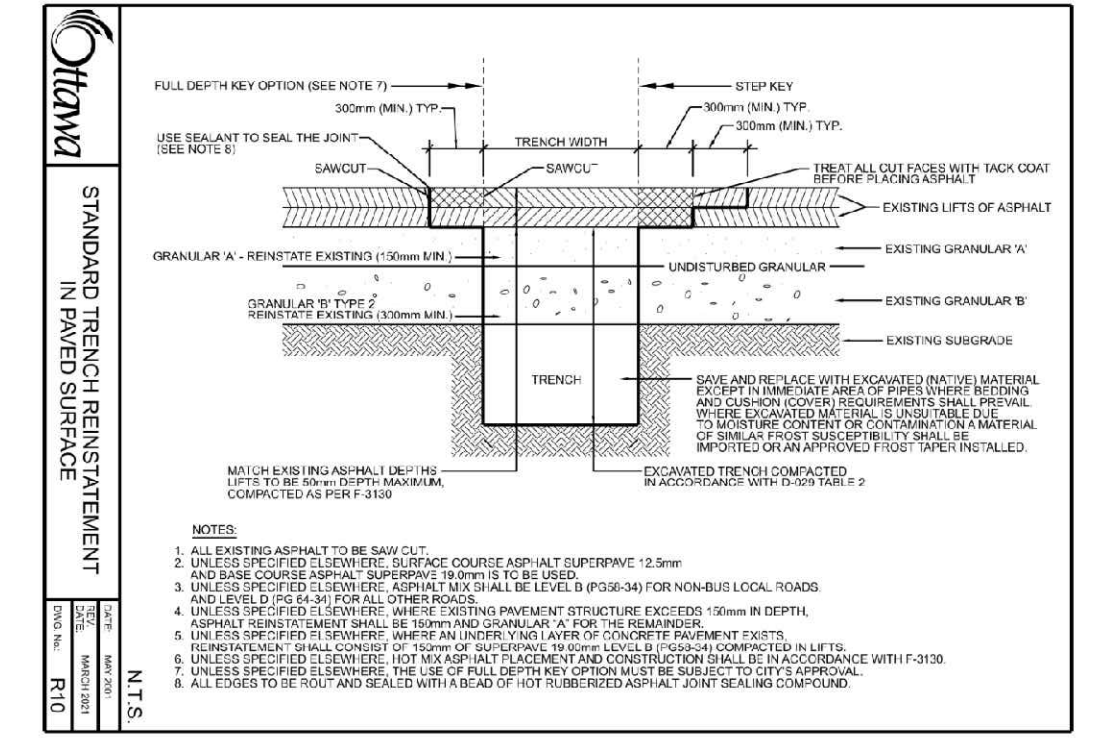
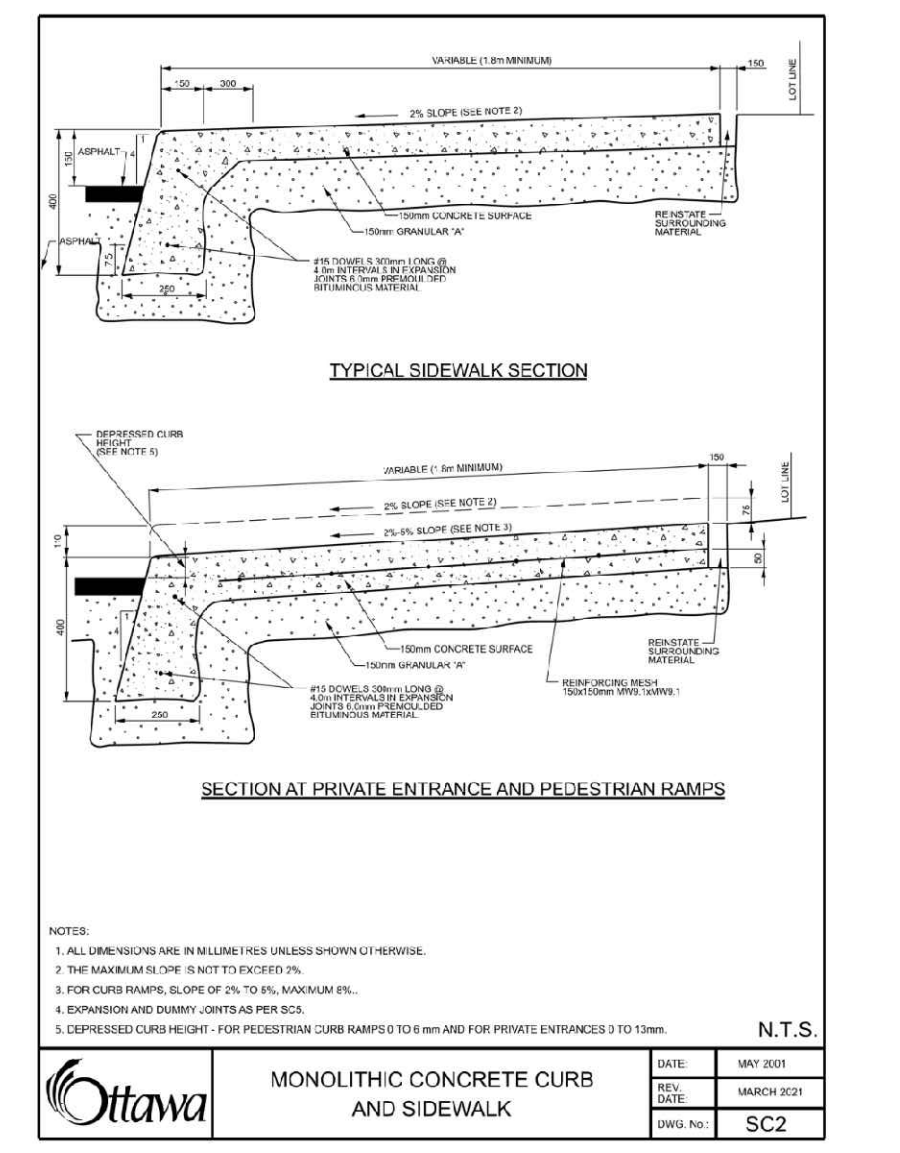
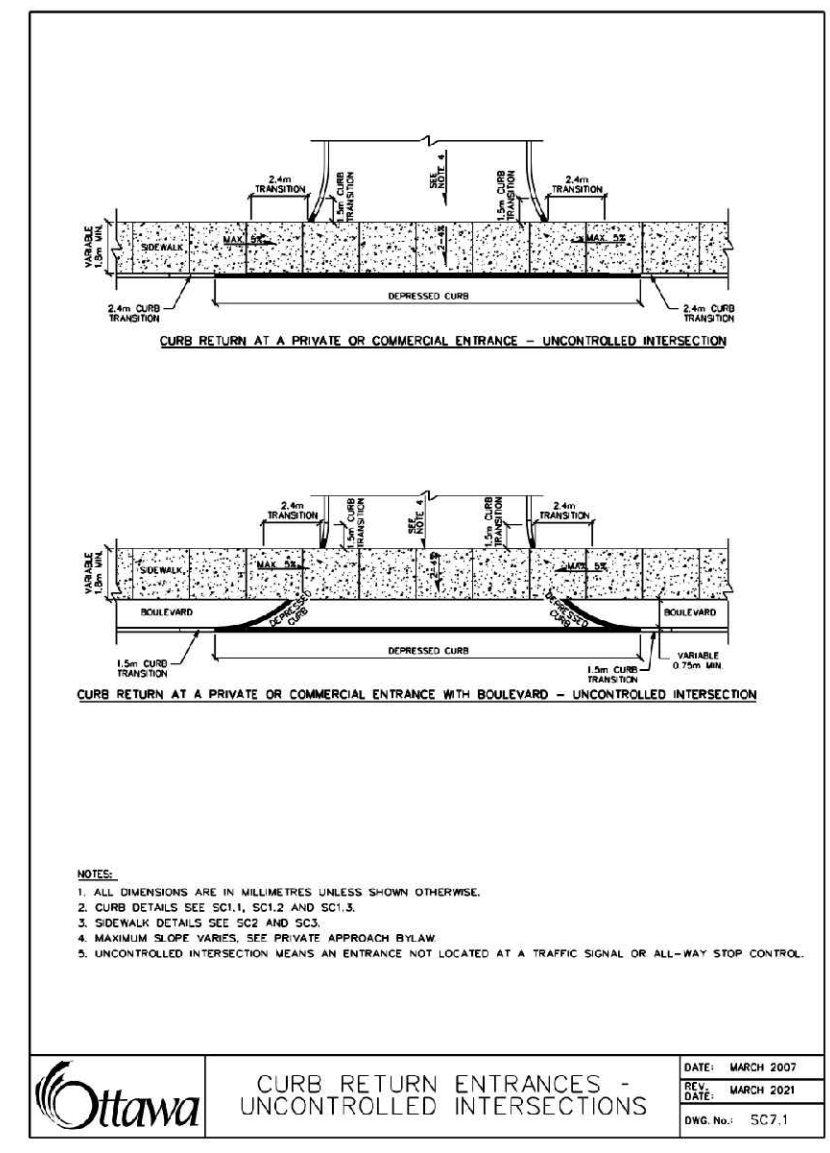
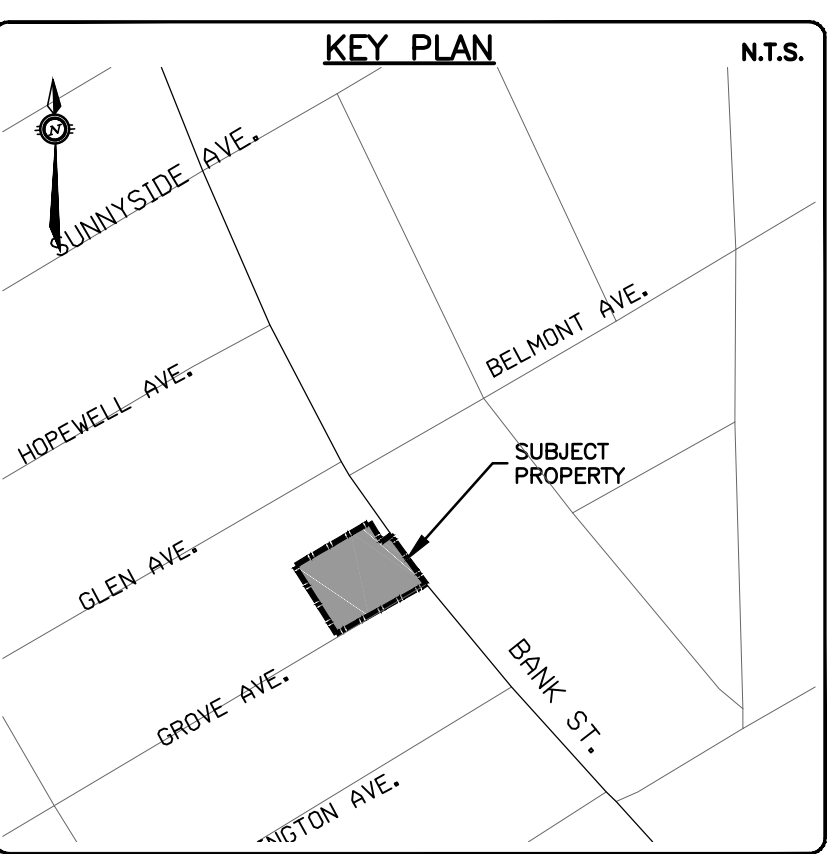
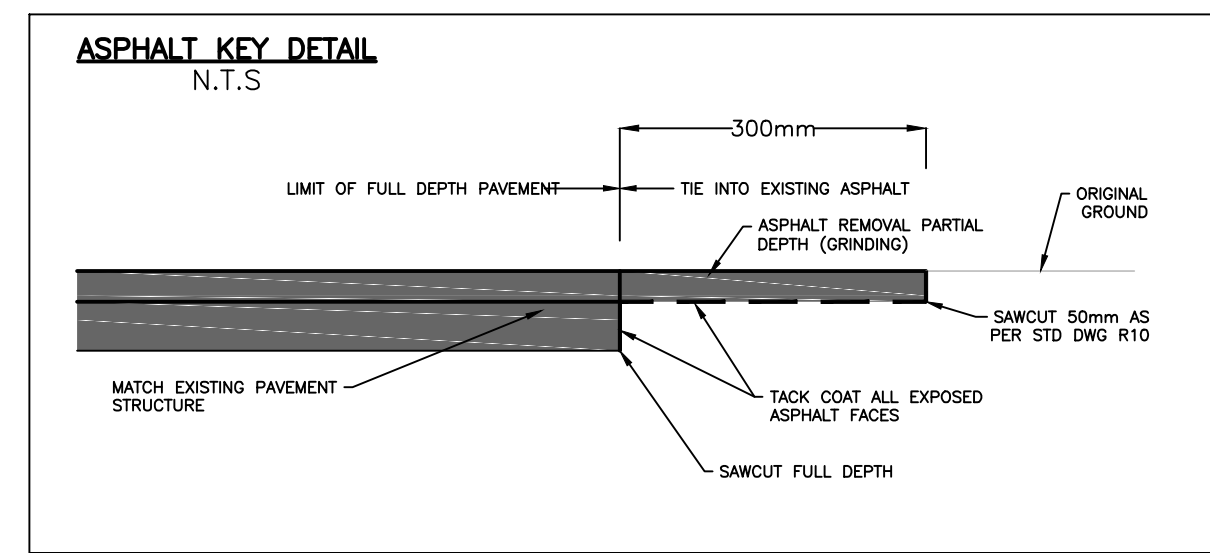
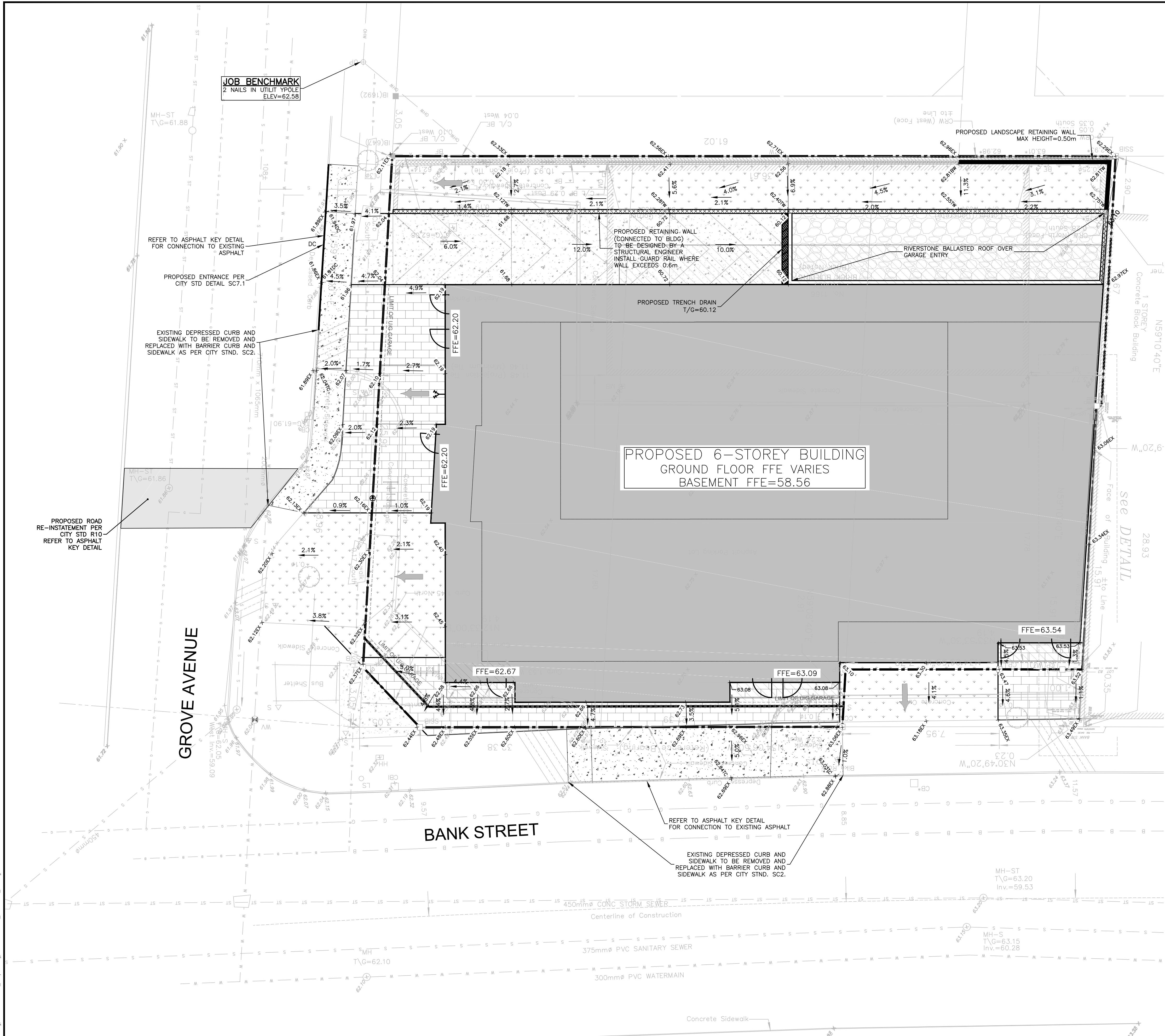


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PROJECT
1166 BANK STREET
OTTAWA, ONTARIO.

TITLE
SITE SERVICING PLAN

PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE JANUARY 2023
DRAWING No. C100

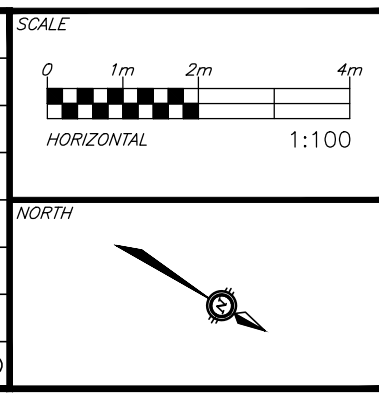


CAUTION
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JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE.
ELEVATION=62.58

TOPOGRAPHIC INFORMATION
LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.
TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH



DESIGNED BY
REVIEWED BY
CLIENT



CLIENT
AMBASSADOR REALTY INC.
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OTTAWA, ON, K2P 0J2

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Ottawa, ON K1H 8R6
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416-231-1111

BASE PLAN AS
DESIGN AS
CHECKED KH
CAD AS
PROJECT MANAGER KH
APPROVED AA

PROJECT
1166 BANK STREET
OTTAWA, ONTARIO.

TITLE
SITE GRADING PLAN

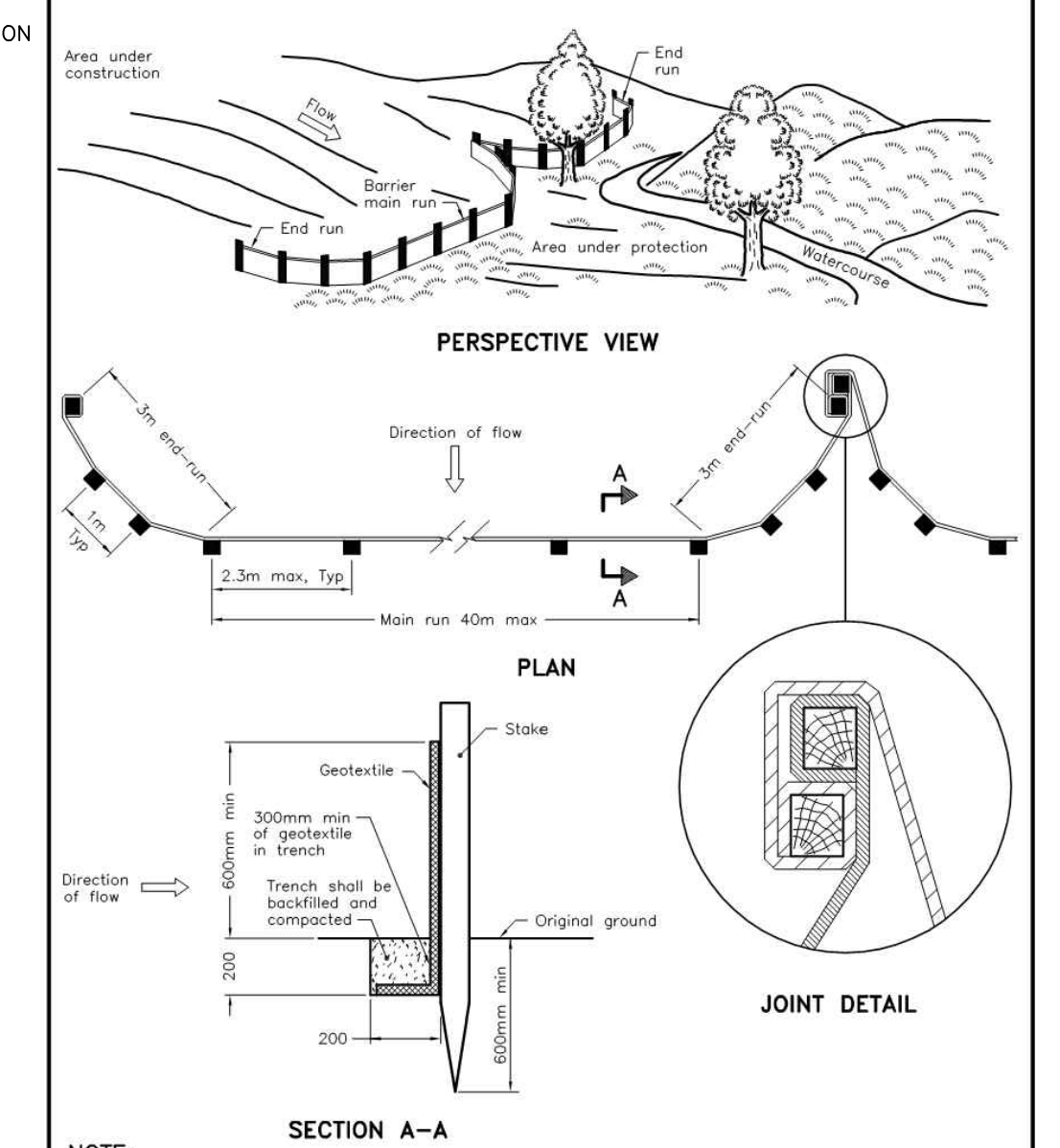
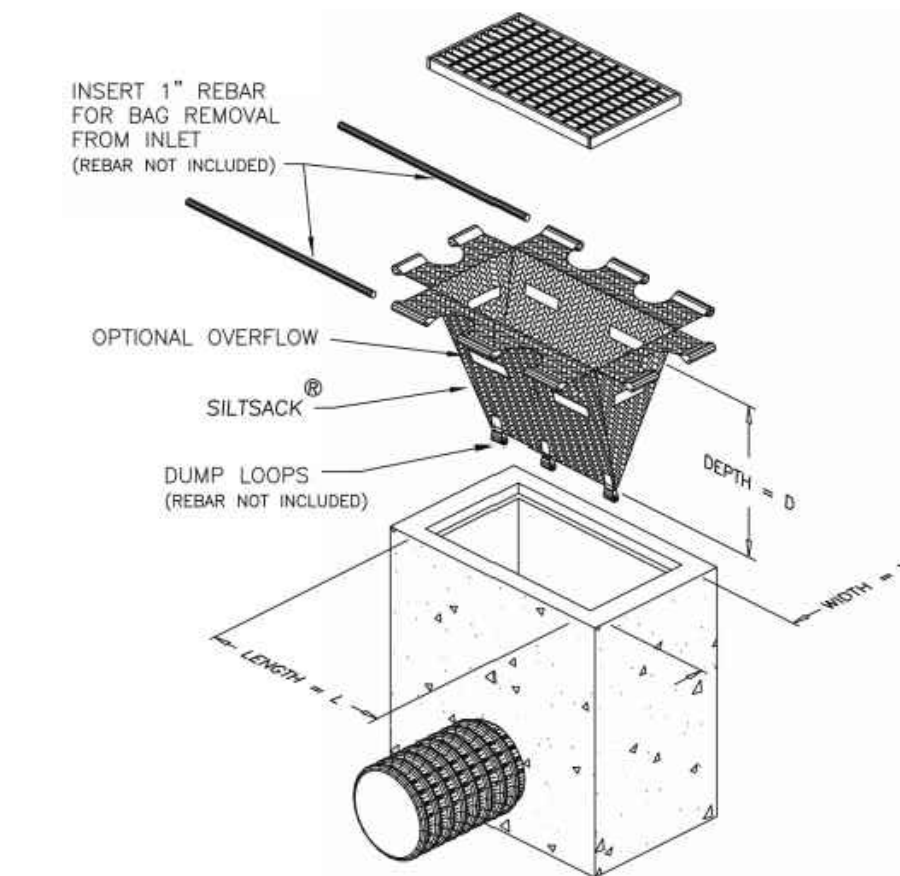
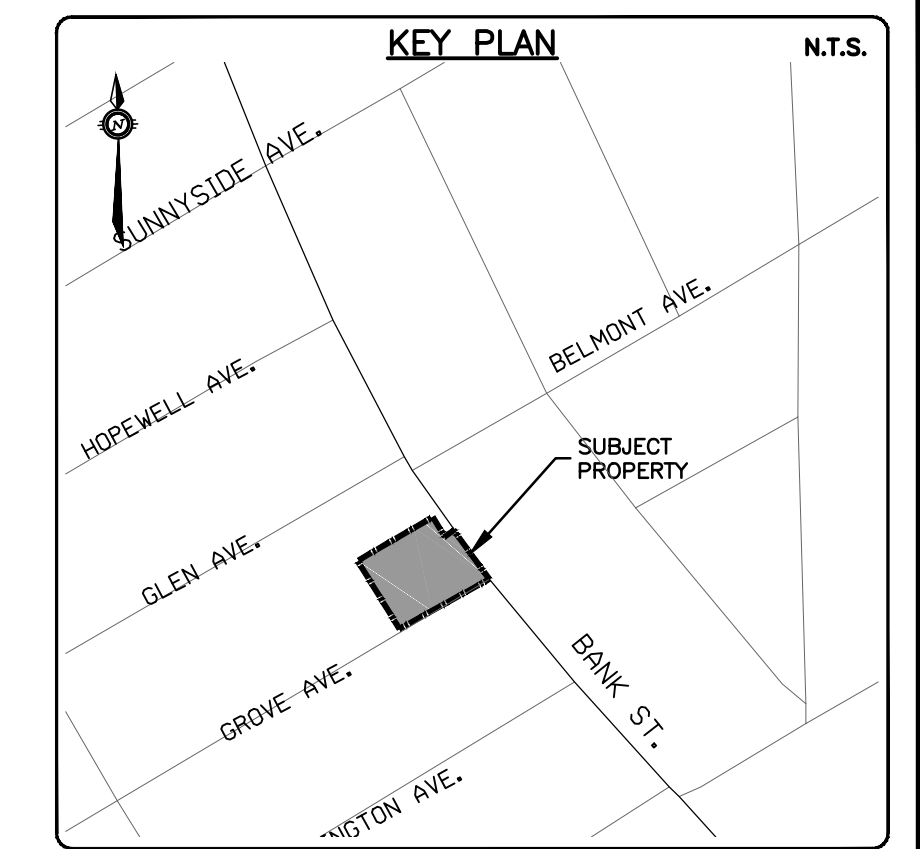
PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE JANUARY 2023
DRAWING No. C200

PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE JANUARY 2023
DRAWING No. C200

EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

DURING ALL CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION SHALL BE CONTROLLED BY THE FOLLOWING TECHNIQUES:

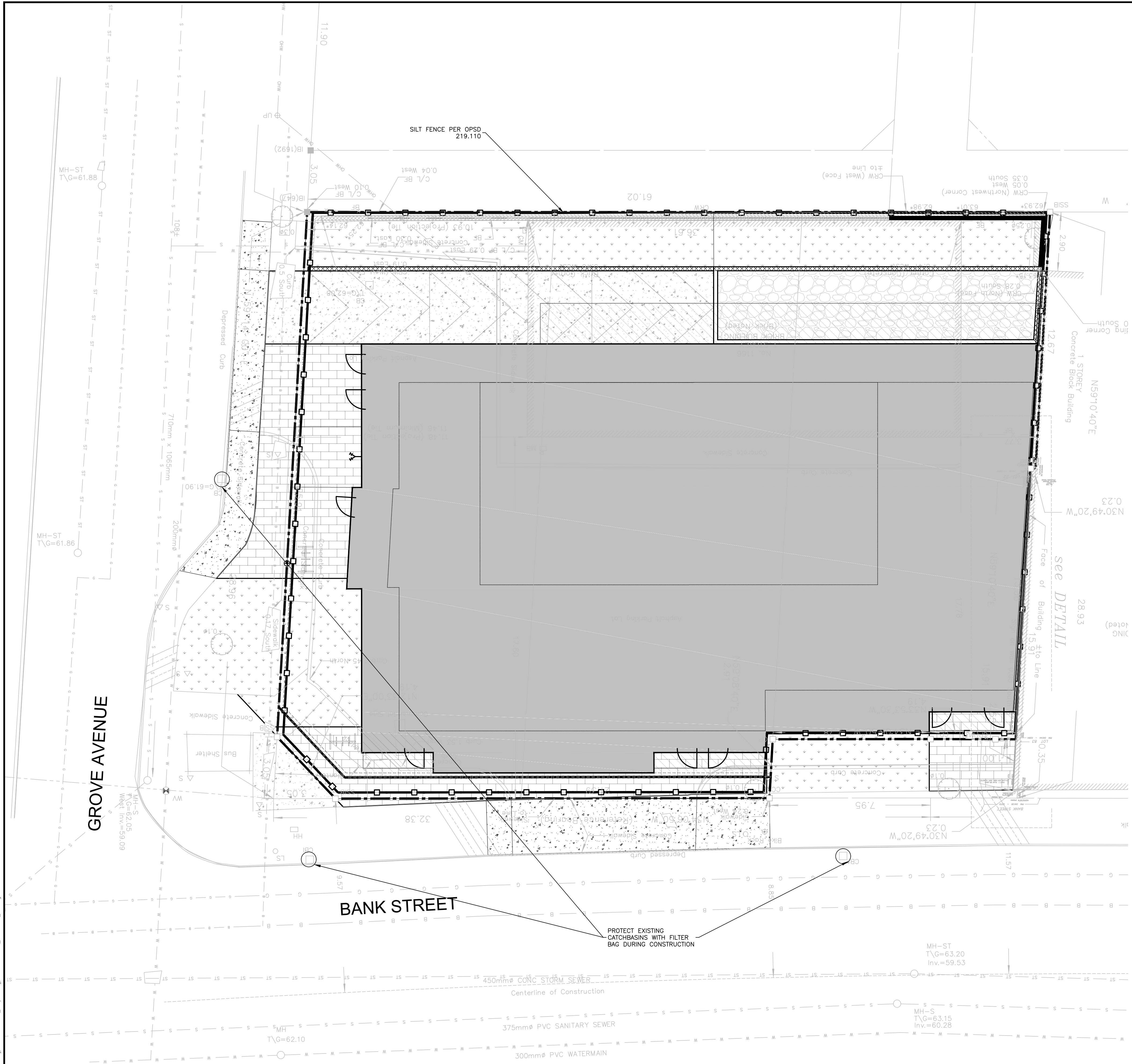
1. LIMITING THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
2. REVEGETATION OF EXPOSED AREAS AS SOON AS POSSIBLE.
3. MINIMIZATION OF AREA TO BE CLEARED AND DISRUPTION TO ADJACENT AREAS.
4. INSTALLATION OF FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES.
5. A SILT FENCE TO BE INSTALLED 0.3m INSIDE THE SITE PROPERTY LINE TO LOCATIONS SHOWN ON THIS DRAWING.
6. A VISUAL INSPECTION SHALL BE COMPLETED DAILY ON SEDIMENT CONTROL BARRIERS AND ANY DAMAGE REPAIRED IMMEDIATELY. CARE WILL BE TAKEN TO PREVENT DAMAGE DURING CONSTRUCTION OPERATIONS.
7. IN SOME CASES SOME BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE THE CONSTRUCTION OPERATIONS, THE AFFECTED BARRIERS WILL BE REINSTITATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED.
8. THE SEDIMENT CONTROL DEVICES WILL BE CLEANED OF ACCUMULATED SILT AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OF AS PER THE REQUIREMENTS OF THE CONTRACT.
9. DURING THE COURSE OF CONSTRUCTION IF THE ENGINEER BELIEVES THAT ADDITIONAL PREVENTION METHODS ARE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR WILL INSTALL ADDITIONAL SILT FENCES OR OTHER METHODS AS REQUIRED TO THE SATISFACTION OF THE ENGINEER.
10. CONSTRUCTION AND MAINTENANCE REQUIREMENTS FOR EROSION AND SEDIMENT CONTROLS TO COMPLY WITH ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) OPSS 805, AND CITY OF OTTAWA SPECIFICATIONS.
11. SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY.



NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING		Nov 2015	Rev 2
LIGHT-DUTY SILT FENCE BARRIER		OPSD 219.110	

- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE TIES OR STAPLES.
 2. POSTS TO BE SPACED AT 2.3 METRES CENTRE TO CENTRE.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY A MINIMUM OF 500mm.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 5. WOOD POSTS TO BE HARDWOOD TYPE (50mm x 50mm).
 6. GEOTEXTILE TO BE EMBEDDED 200mm INTO GROUND.
 7. GEOTEXTILE TO CONFORM TO OPSS 805 STANDARDS.
 8. SILT FENCE MUST BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AND IN ACCORDANCE WITH DETAIL. SILT FENCE CAN BE REMOVED AFTER LANDSCAPING IS COMPLETE.
 9. SEDIMENTS MUST BE CLEARED AWAY WHEN THEY REACH HALF THE HEIGHT OF THE FENCE.

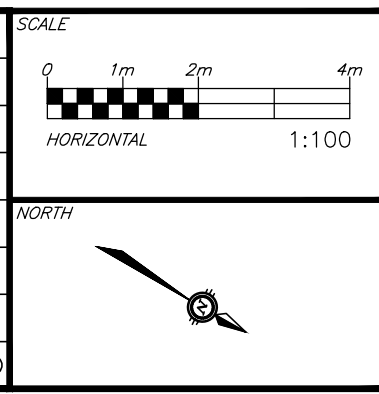


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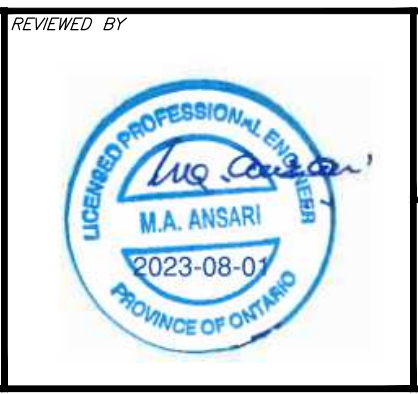
JOB BENCH MARK JBM ▲
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TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
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DESIGNED BY: M.A. ANSARI
REVIEWED BY: M.A. ANSARI
CLIENT: AMBASSADOR REALTY INC.
185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

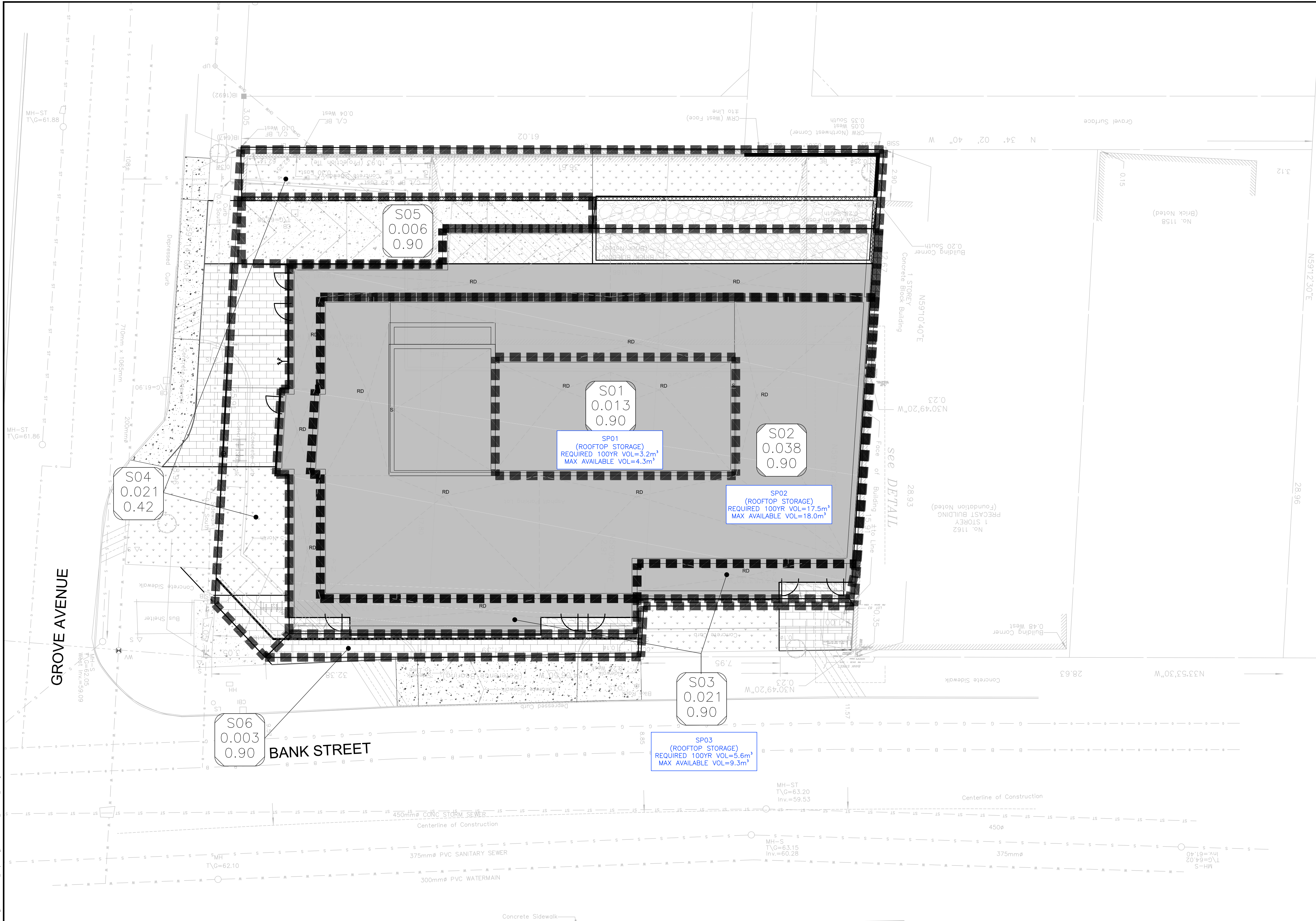
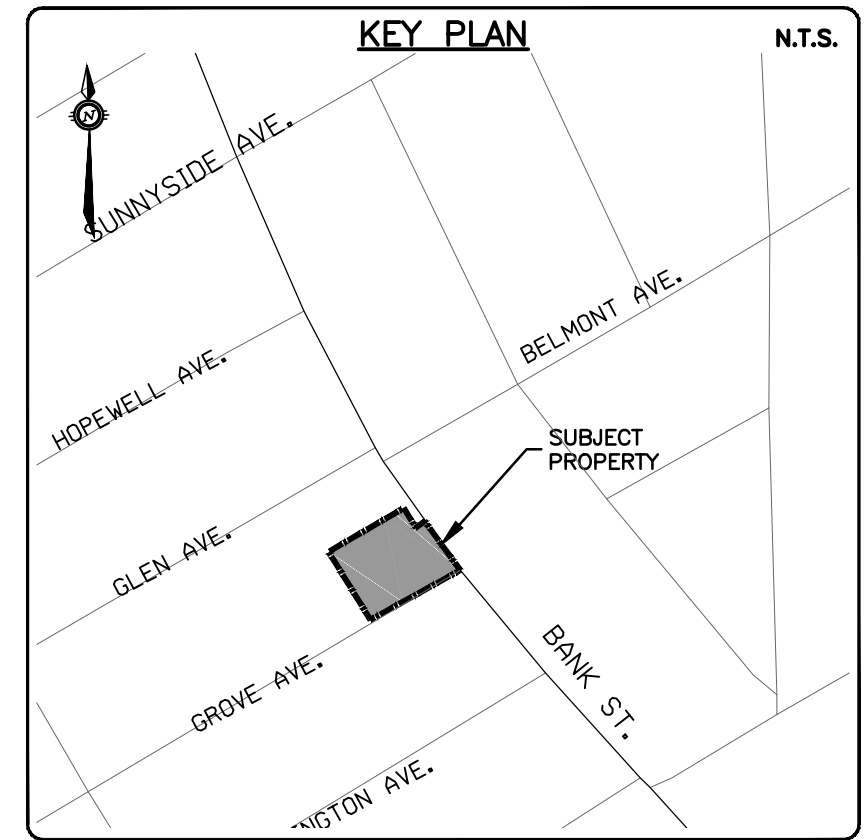


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BASE PLAN	AS	PROJECT	1166 BANK STREET OTTAWA, ONTARIO.
DESIGN	AS	DATE	JANUARY 2023
CHECKED	KH	TITLE	EROSION AND SEDIMENT CONTROL PLAN
CAD	AS	PROJECT MANAGER	KH
APPROVED	AA		

PROJECT No.	OTT-22018175-AD
SURVEY	ADV
DATE	JANUARY 2023
DRAWING No.	C300



S04
0.021
0.42

S05
0.006
0.90

S01
0.013
0.90

S02
0.038
0.90

S03
0.021
0.90

S06
0.003
0.90

SP01
(ROOFTOP STORAGE)
REQUIRED 100YR VOL=3.2m³
MAX AVAILABLE VOL=4.3m³

SP02
(ROOFTOP STORAGE)
REQUIRED 100YR VOL=17.5m³
MAX AVAILABLE VOL=18.0m³

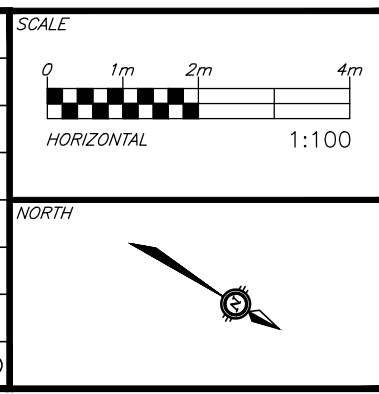
SP03
(ROOFTOP STORAGE)
REQUIRED 100YR VOL=5.6m³
MAX AVAILABLE VOL=9.3m³

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DESIGNED BY: [Signature]

REVIEWED BY: [Signature]



CLIENT: **AMBASSADOR REALTY INC.**
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PROJECT: **1166 BANK STREET**
OTTAWA, ONTARIO.

TITLE: **POST-DEVELOPMENT CATCHMENTS**

PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE: JANUARY 2023
DRAWING No. **C400**