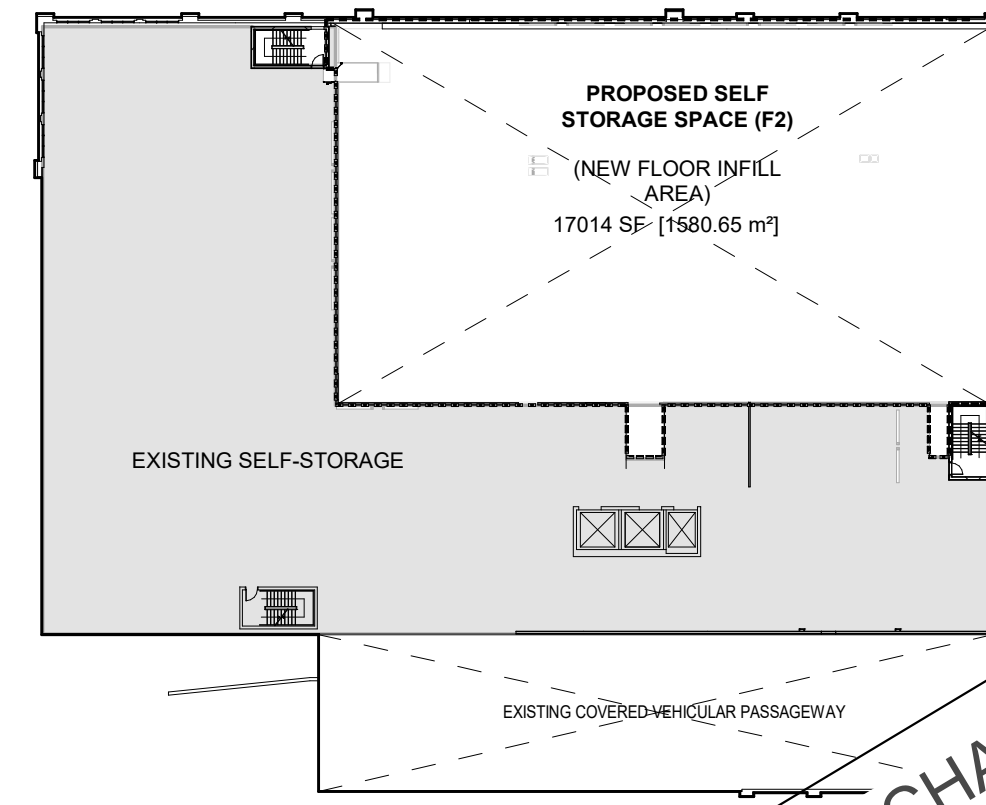


1 GROUND FLOOR KEYPLAN - SCOPE OF WORK
SCALE: 1" = 50'-0"



2 SECOND FLOOR KEYPLAN - SCOPE OF WORK
SCALE: 1" = 50'-0"

ARCHITECTURAL DRAWINGS - IFP AMENDMENT

NO.	DESCRIPTION	DATE
A000	COVER PAGE	PERMIT AMENDMENT
A200	GROUND AND SECOND FLOOR FIRE SEPARATION PLANS	PERMIT AMENDMENT
A205	GROUND FLR STORAGE & RECEPTION (DIMENSIONED)	PERMIT AMENDMENT
A206	GROUND FLR STORAGE & RECEPTION (ANNOTATED)	PERMIT AMENDMENT
A210	GROUND FLOOR CEILING PLAN	PERMIT AMENDMENT
A601	DOOR, WINDOW, & INTERIOR SCHEDULE	PERMIT AMENDMENT

STRUCTURAL DRAWINGS

NO.	DESCRIPTION	DATE

MECHANICAL DRAWINGS

NO.	DESCRIPTION	DATE
M-1	LEGENDS, SCHEDULES AND DETAILS	
M-4	PLUMBING PART PLAN AND SPECIFICATIONS	

SPRINKLER DRAWINGS

NO.	DESCRIPTION	DATE
546551-01	GROUND FLOOR FIRE PROTECTION DETAILS AND SCHEMATICS	

ELECTRICAL DRAWINGS

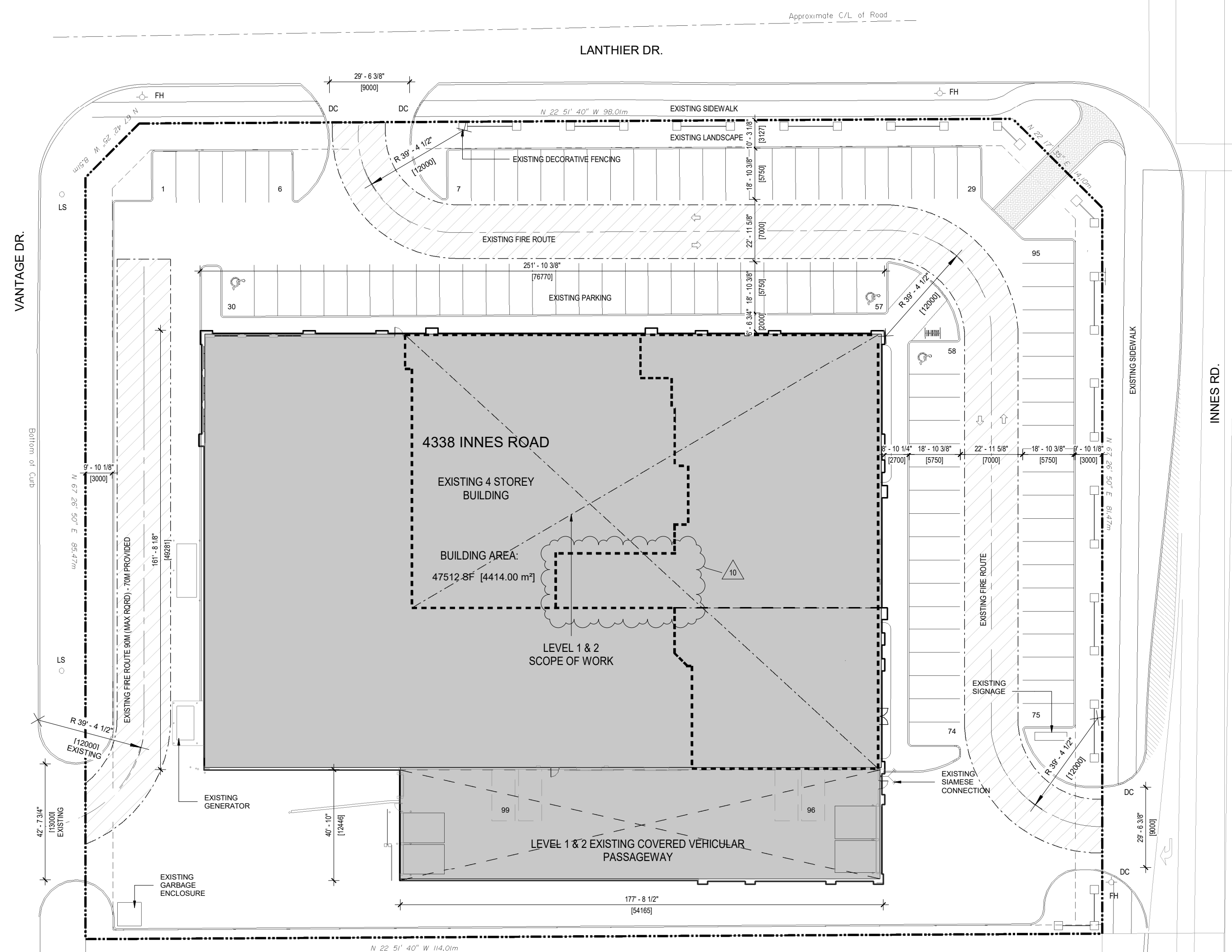
NO.	DESCRIPTION	DATE
E0.1	GENERAL NOTES & LEGEND	
E1.1	GROUND FLOOR LIGHTING	
E1.2	SECOND FLOOR LIGHTING	
E2.1	GROUND FLOOR & MEZZANINE POWER	
E3.1	GROUND FLOOR & MEZZANINE EMERGENCY	
E3.2	SECOND FLOOR EMERGENCY	
E4.1	SINGLE LINE DIAGRAM	

NEW FIT - UP - L1 + L2			
Name	Level	Area (Sq Ft)	Area (Sq M)
L1 DYMON RECEPTION - RENO	GRND FLR	11628 SF	1080 m ²
L1 SELF-STORAGE - RENO	GRND FLR	9314 SF	865 m ²
		20942 SF	1946 m ²
NEW L2 SELF-STORAGE INFILL AREA	2ND FLR	17005 SF	1580 m ²
		17005 SF	1580 m ²
		37948 SF	3525 m ²

GROSS - EXISTING LEVEL 1 - 4			
Name	Level	Area (Sq Ft)	Area (Sq M)
EXISTING L1 SELF-STORAGE	GRND FLR	18424 SF	1712 m ²
EXISTING L2 SELF-STORAGE	2ND FLR	12188 SF	1131 m ²
EXISTING L3 SELF-STORAGE	3RD FLR	46484 SF	4319 m ²
EXISTING L4 SELF-STORAGE	4TH FLR	46484 SF	4319 m ²
		136000 SF	12412 m ²

GROSS - LEVEL 1 - 4		
Area Type	Area (Sq Ft)	Area (Sq M)
Gross Building Area	171548 SF	15937 m ²

(EXCLUDES DRIVE AISLE)



3 SITE PLAN
SCALE: 1/32" = 1'-0"

GENERAL SITE PLAN NOTES:

TOPOGRAPHICAL INFORMATION:
PART OF LOT 1
CONCESSION 11
GEOGRAPHIC TOWNSHIP OF CUMBERLAND
CITY OF OTTAWA
PREPARED BY: ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
FIELD WORK COMPLETED JANUARY 5, 2006.
SITE AREA = 10 360 sq. m.
BOUNDARY INFORMATION COMPILED FROM PLAN 50R-5237

SITE AND BUILDING DATA:

SITE AREA	10,360m ²	
NEW BUILDING AREA	4,452.7m ²	NO CHANGE
BUILDING HEIGHT:	14.6m	
GROSS BUILDING AREA ¹	14,450m ²	(EXISTING)
GROSS BUILDING NEW (2ND FLOOR INFILL)	1,611m ²	(NEW)
GROSS TOTAL	16,051m ²	

GROSS BUILDING AREA:

- (ONTARIO BUILDING CODE DEFINITION): THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.
- GROSS FLOOR AREA (CITY OF OTTAWA ZONING BYLAW DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS): GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND EXCLUDING:
- FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING, (BY-LAW 2008-326)
- COMMON HALLWAYS; CORRIDORS; STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS; STEPS AND LANDINGS, (BY-LAW 2008-326)
- BICYCLE PARKING; MOTOR VEHICLE PARKING OR LOADING FACILITIES; COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS;
- COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING, (BY-LAW 2008-326)
- COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT, AND (BY-LAW 2008-326) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING

ZONING:

ZONING DESIGNATIONS (PART 10):
LC5 (1191) - LOCAL COMMERCIAL ZONE
LIGHT INDUSTRIAL USE
(FORMERLY MS1)

ZONING PROVISIONS
SETBACKS (SECTION 203):
CORNER SIDE YARD LOT LINE: NO CHANGE
REAR & SIDE YARD LOT LINE: NO CHANGE
(ABUTTING A RESIDENTIAL AREA)
REAR & SIDE YARD LOT LINE: NO CHANGE
(OTHER CASES NOT INCLUDING ABOVE)

ZONING EXCEPTION 1191
PERMITTED USES OTHER THAN LIGHT INDUSTRIAL:

	REQUIRED	PROPOSED
1. MINIMUM CUMULATIVE TOTAL OF 40% OF THE GROUND FLOOR OF THE BUILDING:	3681 m ² x 0.4 = 1472 m ²	1473.95 m ² *
2. 80% OF THE WALL AREA FOR THE GROUND FLOOR FACING INNES ROAD AND	49.240 M x 0.8 = 39.392 M	43.106 M
3. 40% OF THE GROUND FLOOR FACING LANTHIER DRIVE, EXCLUDING ANY ENCLOSED LOADING SPACE.	76.770 M x 0.4 = 30.708 M	40.094 M

BUILDING HEIGHT

14.63M (NO CHANGE)

LANDSCAPING (SECTION 110):

ABUTTING A STREET / RES. / INST.: 3.0m MINIMUM
NOT ABUTTING A STREET: NO MINIMUM

VEHICLE PARKING (SECTION 101): N49 AREA C

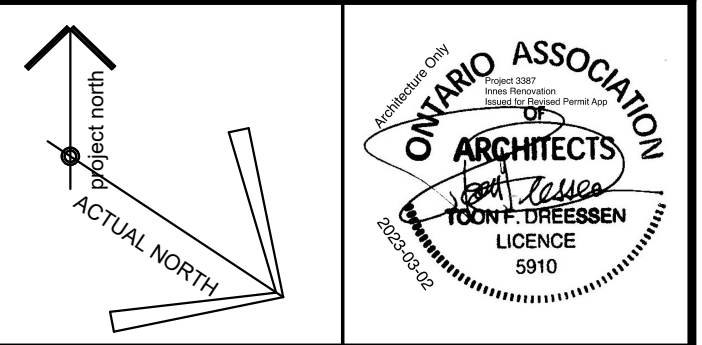
FORMER PARKING REQUIREMENTS SUBJECT TO RETAIL & INDUSTRIAL (NOW OMITTED & REPLACED WITH INDUSTRIAL):	95
LIGHT INDUSTRIAL (SELF-STORAGE) PARKING:	83 (REQUIRED)
REMOVED:	0
NEW:	0
TOTAL PROVIDED:	95

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10	PERMIT AMENDMENT	2023-03-02

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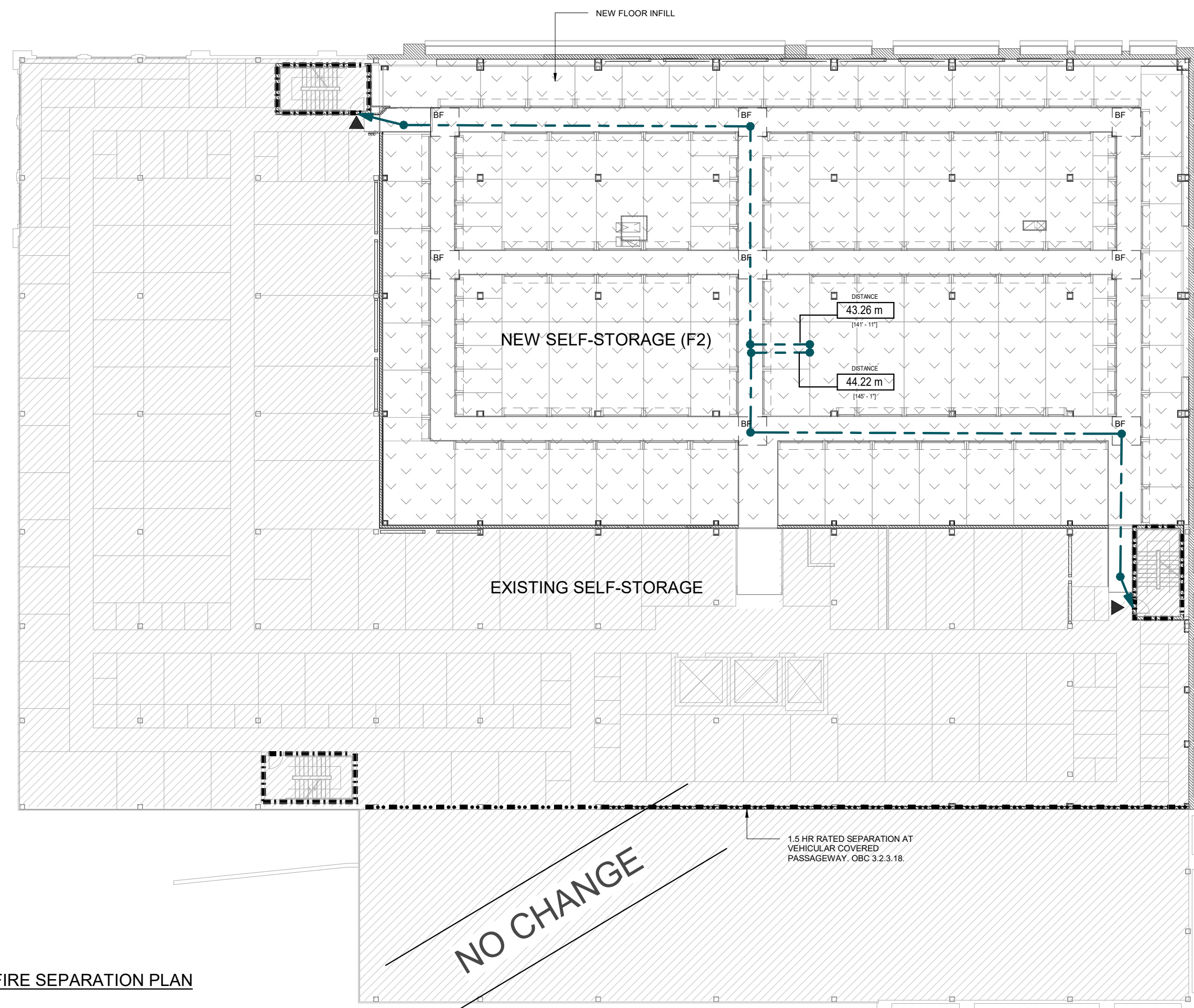
A GROUP OF ARCHITECTS
201-1339 WELLINGTON ST. W. OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

PROJECT TITLE
DYMON 4338 INNES ROAD FIT-UP & RENOVATION

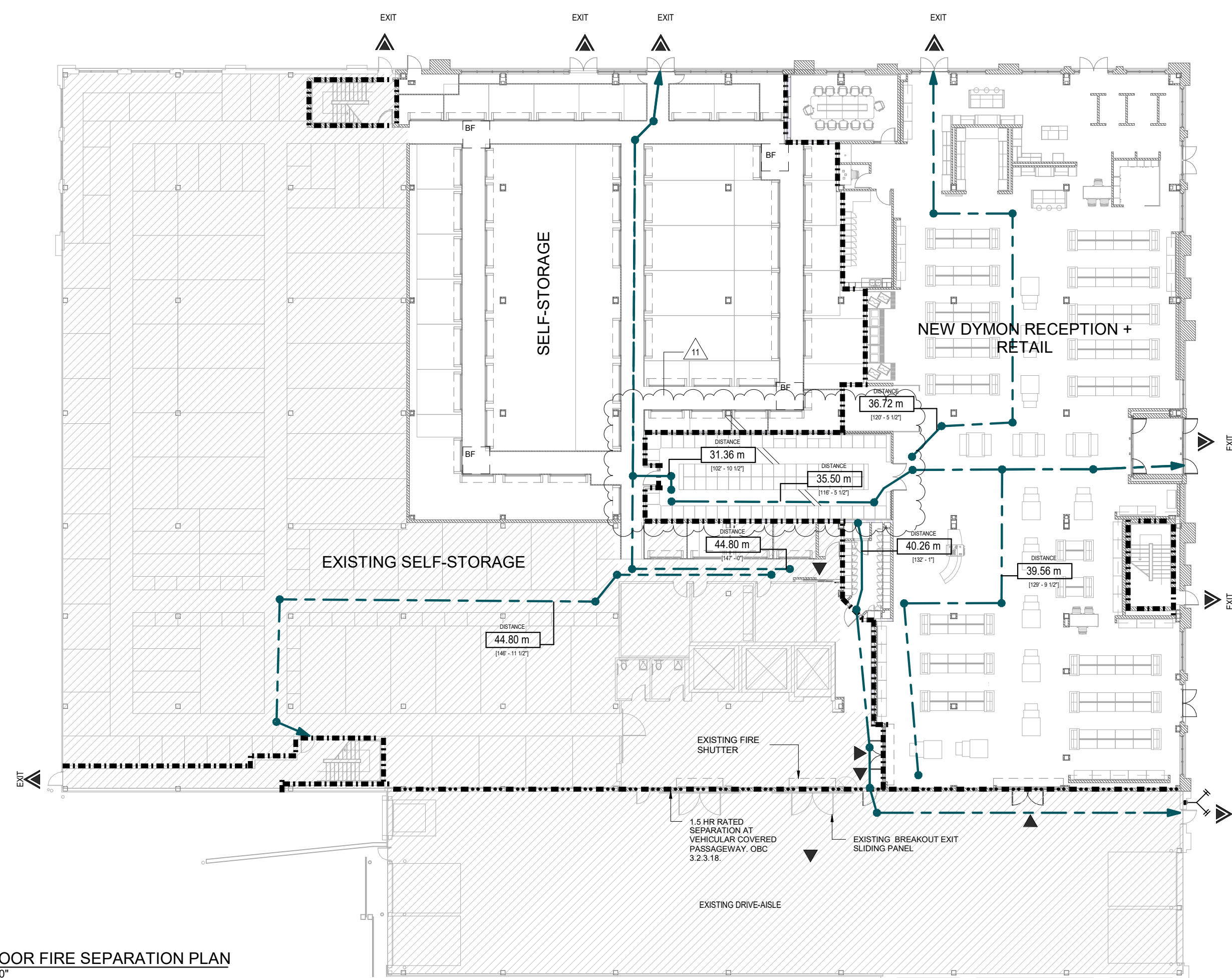
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ARCHITECTURAL



2 SECOND FLOOR FIRE SEPARATION PLAN
A200 SCALE: 3/64" = 1'-0"



1 GROUND FLOOR FIRE SEPARATION PLAN
A200 SCALE: 3/64" = 1'-0"

FIRM NAME: ARCHITECTS DCA INC. CERTIFICATE OF PRACTICE NO.: 6062 1350 WELLINGTON STREET, OTTAWA, ON. K1Y 3C1 613-725-2294		NAME OF PROJECT: DYMON INNES ROAD SELF-STORAGE, RECEPTION + DYMON RETAIL LOCATION: 4338 INNES ROAD, OTTAWA ON	
ITEM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 OR 9	O.B.C REFERENCE	
References are to Division B unless noted [A] for Division A or [C] for Division C.			
1	PROJECT DESCRIPTION: NEW RETAIL LIGHT INDUSTRIAL BUILDING WAREHOUSE(S) w/ RECEPTION <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 11 11.1 TO 11.4	<input checked="" type="checkbox"/> PART 3 1.1.2[A] 9.10.1.3
2	MAJOR OCCUPANCY(S): GROUP F2	3.1.2.1.(1)	9.10.2
3	BUILDING AREA (m ²): EXISTING: 4 391 m ² NEW: 0 m ² TOTAL: 4 378 m ²	1.4.1.2[A]	1.4.1.2[A]
4	GROSS AREA (m ²): EXISTING: 14 357 m ² NEW: 1 580 m ² TOTAL: 15 937 m ²	1.4.1.2[A]	1.4.1.2[A]
5	NUMBER OF STOREYS: 4 ABOVE GRADE: 4 BELOW GRADE: 0	1.4.1.2[A] & 3.2.1.1	1.1.2[A]
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3	3.2.2.10 & 3.2.5	9.10.20
7	BUILDING CLASSIFICATION: 3.2.2.69 GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED	3.2.2.20-83	9.10.2
8	SPRINKLER SYSTEM PROPOSED: <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8
9	STANDPIPE REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9	NA
10	FIRE ALARM REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4	9.10.10
11	WATER SERVICE / SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	NA
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6	NA
13	PERMITTED CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE ACTUAL CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE	3.2.2.20-83 3.2.1.17	9.10.6
14	MEZZANINE(S) AREA (m ²): 0 m ²	3.2.1.1.(3)(B)	9.10.4.1
15	OCCUPANT LOAD BASED ON: <input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17	9.9.1.3
OCCUPANCY F2 (SELF-STORAGE & DYMON RETAIL + RECEPTION) 18 PERSON VISIT PER DAY (INCLUDING STAFF)			
16	TRAVEL DISTANCE (m): MORE THAN 2 EXITS REQUIRED & PROVIDED EXIT CAPACITY 19 x 6.1mm = 116mm (REQUIRED) - 9 x 915mm = 8 235 (PROVIDED) 2x EXIT = 45m (3.4.2.5 - F2 & OCCUPANCY w/SPRINKLERS)	3.3.1.5(1)(b) 3.4.2.2, 3.3.1.16 3.4.2.5(1)(c)	3.4.2.5(1)(c)
17	WASHROOM FIXTURE COUNT (INDUSTRIAL OCCUPANCY): WCS: LAVS: 8 FEMALE: 1 REQUIRED, 1 PROVIDED 1 REQUIRED, 1 PROVIDED 8 MALE: 1 REQUIRED, 1 PROVIDED 1 REQUIRED, 1 PROVIDED UNIVERSAL BARRIER FREE WR: 2 REQUIRED, 2 PROVIDED (EXISTING)		3.7.4.9 (1) 3.8.2.3 (2)
18	COMPARTMENTATION AND FIRE SEPARATION: EXIT STAIRWELLS: N/A SERVICE SHAFTS: N/A ELEVATOR SHAFTS/MACHINE ROOM: N/A MECHANICAL ROOM (W/ FUEL FIRED APPLIANCES): NONE REQUIRED, 1 HR. PROVIDED ELECTRICAL ROOM: NONE REQUIRED, 1 HR. PROVIDED JANITOR ROOM: N/A PUBLIC CORRIDOR: N/A SEPARATION OF SUITES: N/A	3.3.1.1 3.3.1.4 3.3.4.3 3.4.4.1 3.5.3 3.6.2 3.6.3	9.10.9 9.10.10 9.9.4.2 3.3.1.4 3.3.4.3 3.4.4.1 3.5.3 3.6.2 3.6.3
19	BARRIER-FREE DESIGN: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8	9.5.2
20	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19	9.10.1.3(4)
21	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FRR (HOURS)): LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS DECK & BEAMS cUL D798 & cUL N501 ROOF: NONE REQUIRED MEZZANINE: N/A FRR OF SUPPORTING MEMBERS: LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: N/A DECK & BEAMS cUL D798 & cUL N501 COLUMNS: cUL X771, cUL X772 & cUL X528 ROOF: NONE REQUIRED MEZZANINE: N/A	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9
22	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS - UNCHANGED	3.2.3	9.10.14

FIRE SEPARATION LEGEND

1 HOUR FIRE SEPARATION. REFER TO WALL ASSEMBLY SCHEDULE.

1.5 HOUR FIRE SEPARATION. REFER TO WALL ASSEMBLY SCHEDULE.

2HR FIRE RATED FLOOR. PROVIDE CEMENTITIOUS FIRE SPRAY MATERIALS ON STEEL STRUCTURE AND DECK TESTED IN ACCORDANCE WITH ULC S315 FLOOR ASSEMBLY TO COMPLY WITH: STRUCTURE: cUL D795 - SEE SKA000-1.5 HEADWALL: HW-D-0252 - SEE SKA 001-1.3 DECK: cUL D798 - N854 - SEE SKA 002-1.2

2HR FIRE RATED FLOOR. PROVIDE CEMENTITIOUS FIRE SPRAY MATERIALS ON STEEL STRUCTURE AND DECK TESTED IN ACCORDANCE WITH ULC S315

EXIT TRAVEL DISTANCE LINE. MAX. TRAVEL DISTANCE REQUIRED 45M (OBC 3.4.2.5)

1.8x1.8M BARRIER FREE CLEARANCE. MAX DISTANCE 30M (OBC 3.8.1.3(4))

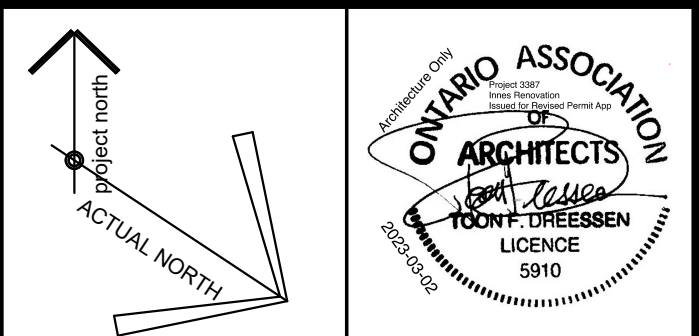
BUILDING ENTRANCE

BUILDING EXIT

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3	ISSUED FOR PERMIT	2022-04-22
4	ISSUED FOR REVIEW	2022-04-25
5	ISSUED FOR PERMIT UPDATE	2022-05-20
6	I/T FINAL REVIEW	2022-08-16
7	ISSUE FOR CONSTRUCTION	2022-08-23
8	REISSUED FOR CONSTRUCTION	2022-09-08
9	ISSUED FOR RECORD	2022-10-21
10	ISSUED FOR COORDINATION	2022-12-01
11	PERMIT AMENDMENT	2023-03-02

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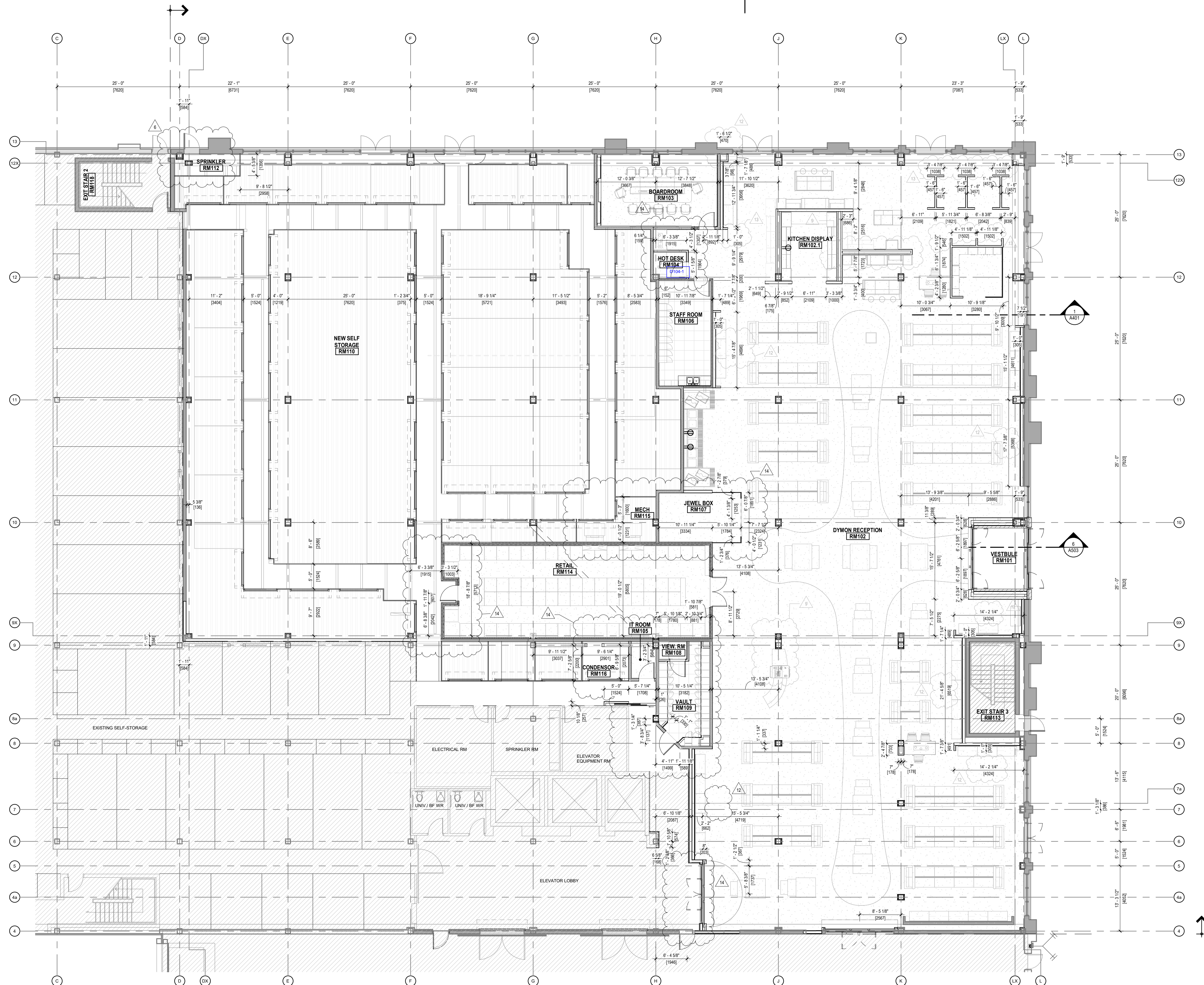
PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
GROUND AND SECOND FLOOR
FIRE SEPARATION PLANS

DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A200
SCALE	REVIEWED		
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ARCHITECTURAL

2
A401



LEGEND:

THIS DRAWING IS FOR DIMENSIONS ONLY. FOR WALL ASSEMBLIES AND ANNOTATION TAGS.

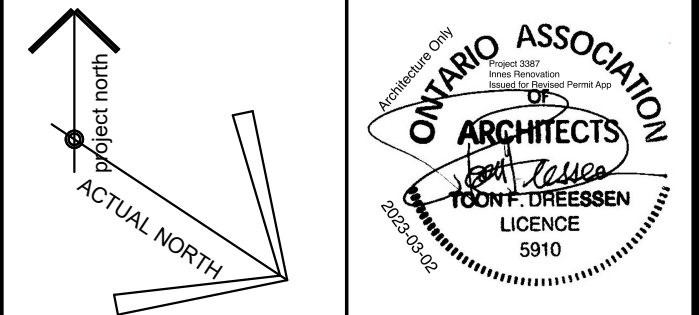
SEE DRAWING 1
A206

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8	ISSUED FOR RECORD	2022-10-21
9	ISSUED FOR COORDINATION	2022-12-01
10	ISSUED FOR COORDINATION	2022-12-20
11	WINE STORAGE COORDINATION	2022-12-20
12	SI-019	2023-01-10
13	SI-020	2023-01-18
14	PERMIT AMENDMENT	2023-03-02

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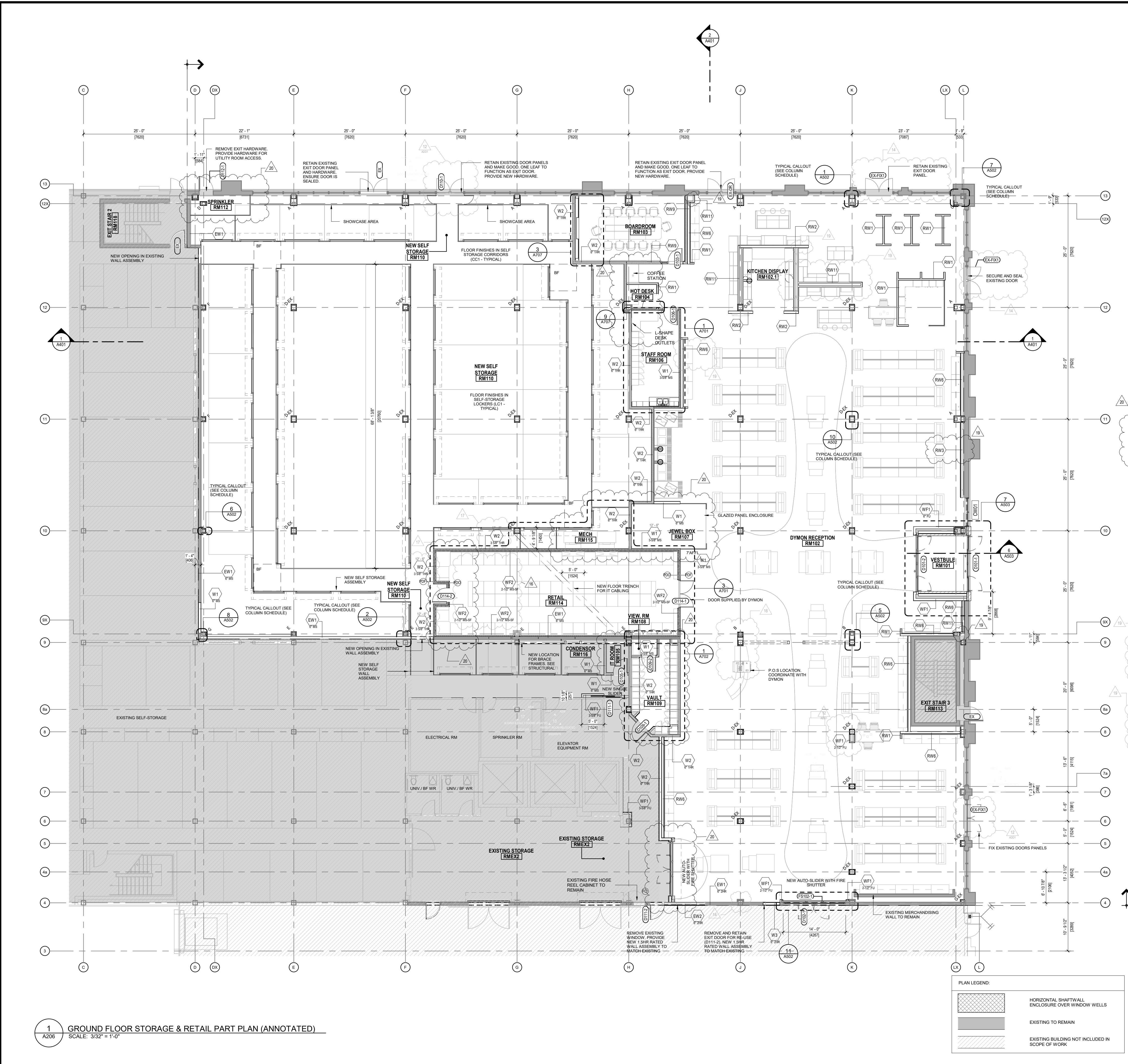
PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
GROUND FLR STORAGE & RECEPTION (DIMENSIONED)

DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A205

ARCHITECTURAL

1
A205
GROUND FLOOR STORAGE & RETAIL PART PLAN (DIMENSIONED)
SCALE: 3/32" = 1'-0"



WALL ASSEMBLY SCHEDULE:

EW1 EXTERIOR WALL 1.5 HR FIRE RATED - EXISTING
 EXISTING EXTERIOR WALL ASSEMBLY

EW2 EXTERIOR WALL @ DRIVE THRU 1.5 HR FIRE RATED
 EXISTING EXTERIOR WALL ASSEMBLY

INTERIOR WALL ASSEMBLIES:

W1 WALL TYPE ALL DOOR AND WINDOW DIMENSIONS ARE TO THE CENTRE LINE OF THE OPENING. COORDINATE ROUGH OPENINGS WITH SCHEDULES AND SHOPDRAWINGS.

W2 WALL STUD DEPTH (BL-DOUBLE) (CH-CHASE) (FH-FURRING) (STC-STC RATING REQUIRED) ALL WALLS ARE DIMENSIONED TO THE STEEL STUD FACE OF WALL CORE.

NOTES:

- ALL INTERIOR WALLS TO BE W1 UNLESS NOTED OTHERWISE. WHERE NOTED IN ASSEMBLY, ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, SLAG, GLASS OR CELLULOSE AND MUST FILL AT LEAST 50% OF STUD CAVITY. FOR WALL FINISHES OTHER THAN PAINT, SEE FINISH PLANS.
- INTERIOR WALL w/ FIRE SEPARATION 1 HR, FRR
 - ULC W463 - FROM T/O SLAB TO U/S DECK
 - PAINT FINISH*
 - 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 - 3/8" (OR 6" IF NOTED) STEEL STUD FRAMING @ 16" o/c
 - 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 - PAINT FINISH*
 - *OR 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES
- INTERIOR WALL w/ FIRE SEPARATION 2 HR, FRR PROVIDED
 - ULC W463 - FROM T/O SLAB TO U/S DECK
 - PAINT FINISH*
 - 2 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 - 6" STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH, FIRE RESISTANT, BATT INSULATION
 - 2 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 - PAINT FINISH*
 - *OR 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES
- INTERIOR STUD FURRING (NOT FIRE RATED)
 - PAINT FINISH
 - 1 LAYER 5/8" GYPSUM BOARD
 - 3/8" (OR 6" IF NOTED) STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH, FIRE RESISTANT, BATT INSULATION
 - 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD
 - PAINT FINISH*
 - *OR 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES
- INTERIOR STUD FURRING (NOT FIRE RATED)
 - UNFINISHED, TAPED
 - 1 LAYER 5/8" GYPSUM BOARD (MOULD RESISTANT)
 - 2-1/2" STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH, SPRAY FOAM POLYETHYLENE VAPOUR MEMBRANE
- INTERIOR SHAFT WALL 2 HR, FRR
 - ULC W462 - SYSTEM B OR ULC W466 SYSTEM B (AT SERVICE SHAFTS)
 - 1" SHAF WALL LINER PANEL
 - 2-1/2" CH-METAL STUDS @ 24" O.C.
 - 2 LAYER 5/8" TYPE 'X' GYPSUM BOARD

*NOTE: 1/2" VERTICAL CORRUGATED METAL ON STORAGE UNIT SIDES.

DYMON RECEPTION INTERIOR WALL TYPES - NOT RATED:

--- PLYWOOD BLOCKING FOR RETAIL DISPLAY UNITS. COORDINATE WITH DYMON.

W1 INTERIOR STUD WALL (FOR PARTITION HEIGHT - SEE PLAN)

- 1 LAYER 5/8" GYPSUM BOARD
- 3/8" METAL STUD @ 16" O.C.
- 1 LAYER 5/8" GYPSUM BOARD

W2 INTERIOR STUD WALL (FOR PARTITION HEIGHT - SEE PLAN)

- 1 LAYER 5/8" GYPSUM BOARD
- 6" METAL STUD @ 16" O.C.
- 1 LAYER 5/8" GYPSUM BOARD

W3 INTERIOR STUD FURRING WALL (FOR PARTITION HEIGHT - SEE PLAN)

- 1 LAYER 5/8" GYPSUM BOARD
- REFER TO FLOOR PLANS FOR 3/4" PLYWOOD BLOCKING LOCATIONS
- 6" METAL STUD @ 16" O.C.

W4 TO W5 PLACE HOLDER

W6 INTERIOR STUD WALL (7'-0" FULL HEIGHT - SEE PLAN)

- TV NICHE DISPLAYS
- 1 LAYER 5/8" GYPSUM BOARD
- (1 LAYER 3/4" PLYWOOD BLOCKING AS REQUIRED)
- 6" METAL STUD @ 16" O.C.

W7 TO W8 PLACE HOLDER

W9 INTERIOR STUD WALL (7'-0" FULL HEIGHT - T/O SLAB TO U/S DECK)

- 1 LAYER 5/8" GYPSUM BOARD TO 12" ABOVE MAIN RECEPTION CEILING
- 6" METAL STUD @ 16" O.C.
- FULL DEPTH OF STUD WITH SOUND ATTENUATION BATT INSULATION TO 12" ABOVE MAIN RECEPTION CEILING IN SELECT WALLS AS SHOWN ON PLANS
- 1 LAYER 5/8" GYPSUM BOARD TO 12" ABOVE MAIN RECEPTION CEILING

W10 PLACE HOLDER

W11 INTERIOR STUD FURRING - (FOR PARTITION HEIGHT - SEE PLAN)

- 1 LAYER 5/8" GYPSUM BOARD
- 3/8" STEEL STUD FRAMING @ 16" o/c c/w FULL DEPTH

COLUMN ENCLOSURE SCHEDULE (UL DES X528) - EX-EXISTING

A: 2-HR FIRE RATED COLUMN AT PERIMETER: SEE 1 / A502
 B: 2HR FIRE RATED NEW & EXISTING COLUMN @ GL-9X: SEE 5 / A502
 C: 2HR ENCLOSURE HSS COLUMN (GL 12X-C): SEE 7 / A502
 D: NEW ENCLOSURE ON EXISTING FIRE RATED COLUMN: SEE 10 / A502
 E: 2HR FIRE-RATED HSS NEW & EX COLUMN - GL-9X: SEE 2 / A502
 F: 2HR FIRE-RATED COLUMN @ GL-DX: SEE 6 / A502
 G: 2HR FIRE-RATED COLUMN @ GL-DX: SEE 8 / A502

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ISSUE RECORD

NO.	DESCRIPTION	DATE
1	ISSUE FOR REVIEW	2021-08-12
2	ISSUE FOR REVIEW	2021-09-14
3	ISSUE FOR REVIEW	2022-01-21
4	ISSUE FOR REVIEW	2022-01-28
5	ISSUE FOR REVIEW	2022-02-23
6	ISSUE FOR REVIEW	2022-03-03
7	ISSUED FOR REVIEW	2022-03-23
8	ISSUED FOR PERMIT	2022-04-22
9	ISSUED FOR REVIEW	2022-04-25
10	ISSUED FOR PERMIT UPDATE	2022-05-20
11	ISSUED FOR TENDER	2022-06-14
12	TENDER ADDENDUM 1	2022-06-24
13	ISSUE FOR CONSTRUCTION	2022-08-23
14	REISSUED FOR CONSTRUCTION	2022-09-08
15	ISSUED FOR RECORD	2022-10-21
16	ISSUED FOR COORDINATION	2022-12-01
17	ISSUED FOR COORDINATION	2022-12-20
18	WINE STORAGE COORDINATION	2022-12-20
19	SI-019	2023-01-10
20	PERMIT AMENDMENT	2023-03-02

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PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
GROUND FLR STORAGE & RECEPTION (ANNOTATED)

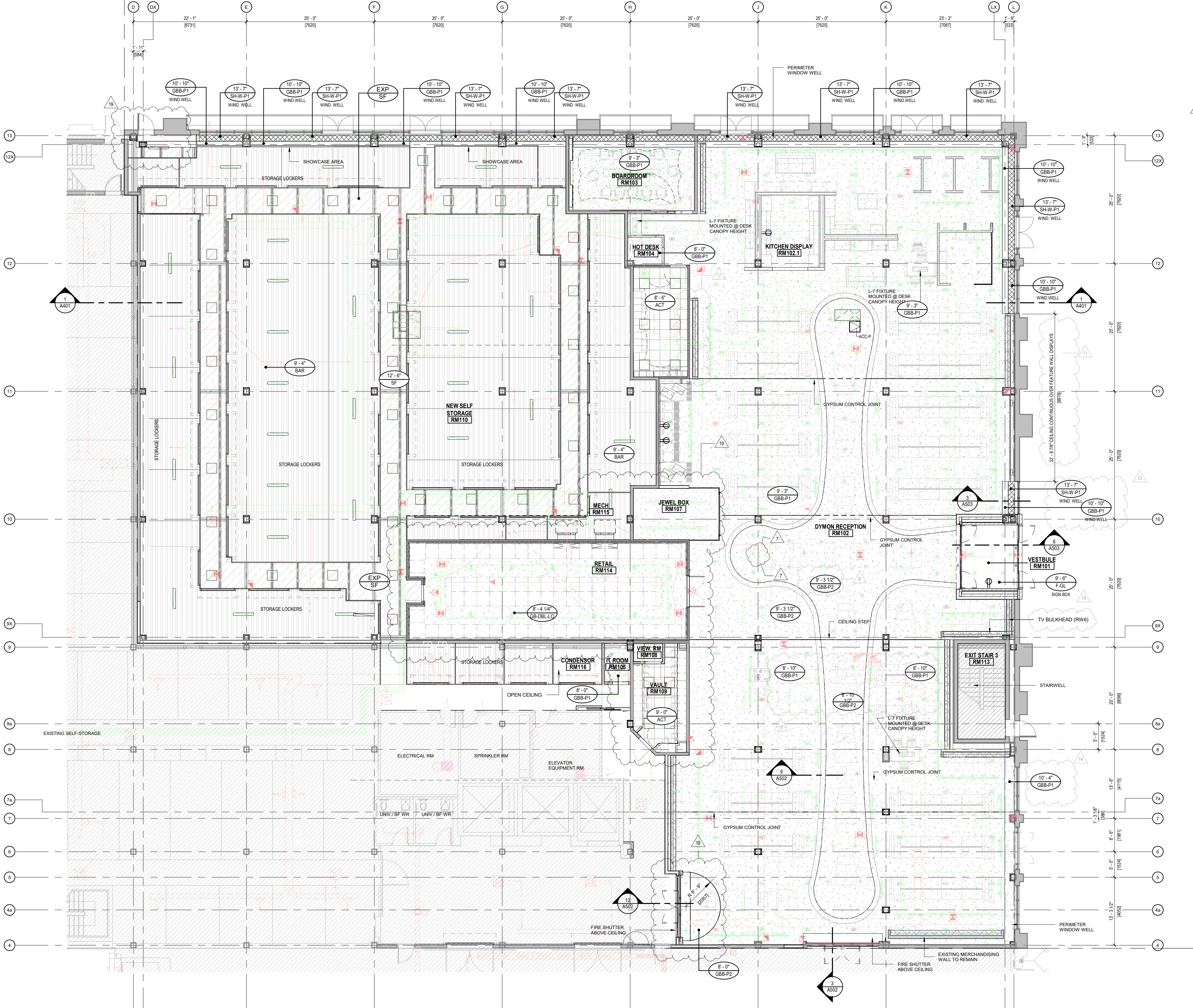
DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A206

SCALE As indicated REVIEWED TD

ARCHITECTURAL

2
A401

GROUND FLOOR AREA SCOPE OF WORK



REFLECTED CEILING PLAN LEGEND:

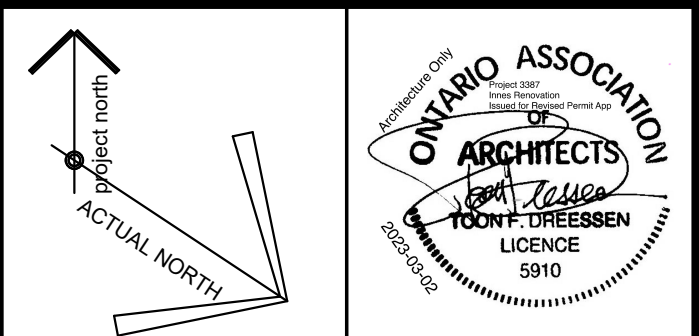
- EXISTING BUILDING NOT INCLUDED IN SCOPE OF WORK
- EXISTING TO REMAIN
- CEILING TYPE AND HEIGHT AFFL
- SF: EXPOSED STRUCTURAL STEEL DECK CW SPRAYED-ON FIRE PROOFING
- EXISTING SIA AND RIA DUCTS FROM ROOF (T.B.C.)
- LIGHT - SEE ELECTRICAL
- ACC-P: CEILING ACCESS PANEL (COORDINATE WITH ELECTRICAL AND MECHANICAL)
- (ACT) 2'X2' ACOUSTIC CEILING TILE. SEE SPECIFICATIONS.
- (GBB) PAINTED GYPSUM CEILING BULKHEAD. SEE SPECIFICATIONS
- (GBB-DBL) 2-LEVEL GYPSUM CEILING WITH SPRAYFOAM.
- SEE - (A)705
- (BAR) 1 1/2" METAL HAT CHANNELS @ 8" O.C. OVER STORAGE UNITS
- PRE-FINISHED METAL CEILING SYSTEM IN ALL STORAGE AREA CORRIDORS & SHOWCASE ROOMS
- (SH-W) PERIMETER WELL SHAFT WALL
- GYPSUM CONTROL JOINT PROVIDE AS SUFFICIENT TO SUITE APPLICATION.
- PROVIDE 24"X24" TAPE IN ACCESS PANELS FOR ERM MAINTENANCE. COLOUR WHITE. FINAL LOCATION TO BE COORDINATED WITH MECHANICAL CONTRACTOR.

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7	TENDER CLARIFICATIONS	2022-06-17
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17	SI-019	2023-01-10
18	SI-020	2023-01-18
19	PERMIT AMENDMENT	2023-03-02

CEILING NOTES

- DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND LOCATIONS.
- AT GYPSUM BOARD CEILINGS, CONTROL JOINTS AT MAX 8'0" APART.

CEILING FINISH NOTES:

- P-1 - PAINTED FIELD CEILING. SEE FINISHES
- P-2 - PAINTED 'POWER AISLE' AND HALF-MOON CEILING. SEE FINISHES
- P-3 - MOLD RESISTANT GYPSUM BOARD
- F-GL - SIGN BOX GLAZING BY SIGNAGE SUPPLIER.

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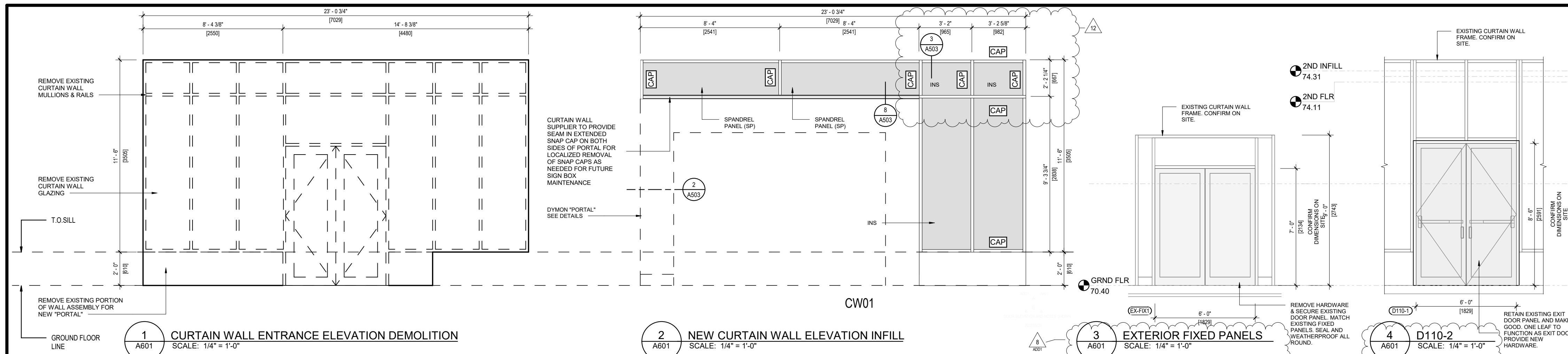
PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
GROUND FLOOR CEILING
PLAN

DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A210
SCALE	REVIEWED		
As indicated	Checker		

ARCHITECTURAL

1 GROUND FLOOR CEILING PLAN
 SCALE: 3/32" = 1'-0"



DOOR HARDWARE LEGEND

ELECTRICAL ROOM DOOR - SPECIFIC HARDWARE

- VON DUPRIN 22 SERIES EXIT DEVICES OR EQUIVALENT
- DOOR LOCK MUST BE A RIM CYLINDER
- NO DEADBOLT
- PULL HANDLE: VON DUPRIN 210MLZ200L OR EQUIVALENT
- DOOR SIGNAGE: SEE STD. 35-43 AND STD. 35-44 FOR INSTALLATION OF WARNING LABELS
- UNSEED HOLES TO BE PERMANENTLY SEALED
- NOTES ABOVE ANY DOOR HARDWARE MODIFIED MUST BE VERIFIED AND APPROVED WITH BY LOCAL HYDRO COMPANY

GENERAL DOOR NOTES:

- CONFIRM DOOR SWING DIRECTION WITH FLOOR PLANS
- ALL PAINT AND STAIN COLOURS TO BE CONFIRMED BY DYMON
- GO TO PROVIDE SHOP DWG'S CUT SHEETS FOR ALL DOOR HARDWARE TO BE APPROVED BY DYMON PROJECT MANAGER PRIOR TO ORDERING
- ALL DOOR GLAZING TO BE CLEAR TEMPERED, U.N.O
- GO TO CALCULATE DOOR & FRAME QUANTITIES
- UNC. ALUMINUM CURTAIN WALL FRAMING COLOUR TO BE DURANAR SUNSTORM UC1102ZF (PEWTER) ON EXTERIOR SIDE AND CLEAR ANODIZED ON INTERIOR SIDE
- EXT. ALUMINUM DOORS AND SLIDERS TO BE DURANAR SUNSTORM UC1102ZF (PEWTER) ON EXTERIOR SIDE
- INT. ALUMINUM DOORS AND SLIDERS TO BE CLEAR ANODIZED ON BOTH SIDES
- SLIDING DOOR R.O. TO BE CONFIRMED BY SUPPLIER BEFORE FRAMING
- DOOR FRAME THROAT TO MATCH ADJACENT WALL THICKNESS FOR ALL RATED AND NON-RATED WALLS, EXCEPT FOR DOORS OCCURRING @ IMP LOCATIONS
- ALL WD DOORS TO BE 1-3/4" SOLID CORE WHITE OAK VENEER
- UNC. STAIN FINISH: ROYAL CITY PAINTS: PFW-3375-0
- REFER TO MASTER FINISH SCHEDULE, SPEC SECTION 09 00 00, FOR DOOR AND FRAME PAINT COLOURS.

90MIN RATED DOORS

PER O.B.C. SECTION 3.1.8.15. ALL 90MIN RATED DOORS AT ALL LEVELS MUST POSSESS THE TEMPERATURE RISE LIMIT OF 250 DEGREES CELSIUS AFTER 1 HOUR.

MASTER KEYS

ONE MASTER KEY REQUIRED FOR ALL INTERIOR AND EXTERIOR HOLLOW METAL DOORS IN BUILDING. PROVIDE ONE SEPARATE MASTER KEY FOR ALL INTERIOR AND EXTERIOR ALUMINUM DOORS INCLUDING SWING DOORS AND SLIDERS. DYMON TO CONFIRM QUANTITY REQUIRED FOR EACH MASTER KEY.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
ALUM	ALUMINUM
BAR	1 1/2" METAL HAT CHANNELS @ 8.5" o.c.
BS	BENT STEEL FRAME
BULK	BULKHEAD
CC	CORRIDOR COATING
CHR	STAINLESS STEEL CHECKER PLATE
CONC	POURED CONCRETE
CPT	CABINET
CT	CERAMIC TILE
EXP	EXPOSED (SEE CEILING PLANS)
EXPT	EPOXY PAINT & HARDENER
FIN	FINISH
GALV	GALVANIZED
GB	GYPSUM BOARD
GWG	GEORGIAN WIRED GLASS
HLM	HOLLOW METAL
INHM	INSULATED HOLLOW METAL
IN ST	INSULATED STEEL
INS	INSULATED GLAZED THERMOPLANE LOW E CLEAR GLASS UNITS
LD	LOCKER COATING
MAT	MATERIAL
MDF	MEDIUM DENSITY FIBERBOARD
NRP	NON-REMOVABLE PIN
PT	PORCELAIN TILE
PD	PEDESTAL
PF	PRE-FINISHED
PLY	PLYWOOD
PMCS	PRE-FINISHED METAL CEILING SYSTEM
PMWS	PRE-FINISHED METAL WALL SYSTEM
PRE	PRE-FABRICATED
P	PAINT
RUB	RUBBER
SB	SIGN BOX
SP	GLAZED SPANDREL PANEL
STN	STAIN
STR	STRUCTURE
TEMP	TEMPERED GLASS
TPS	THERMALLY-BROKEN PRESSED STEEL FRAME
WD	WOOD

GENERAL NOTES

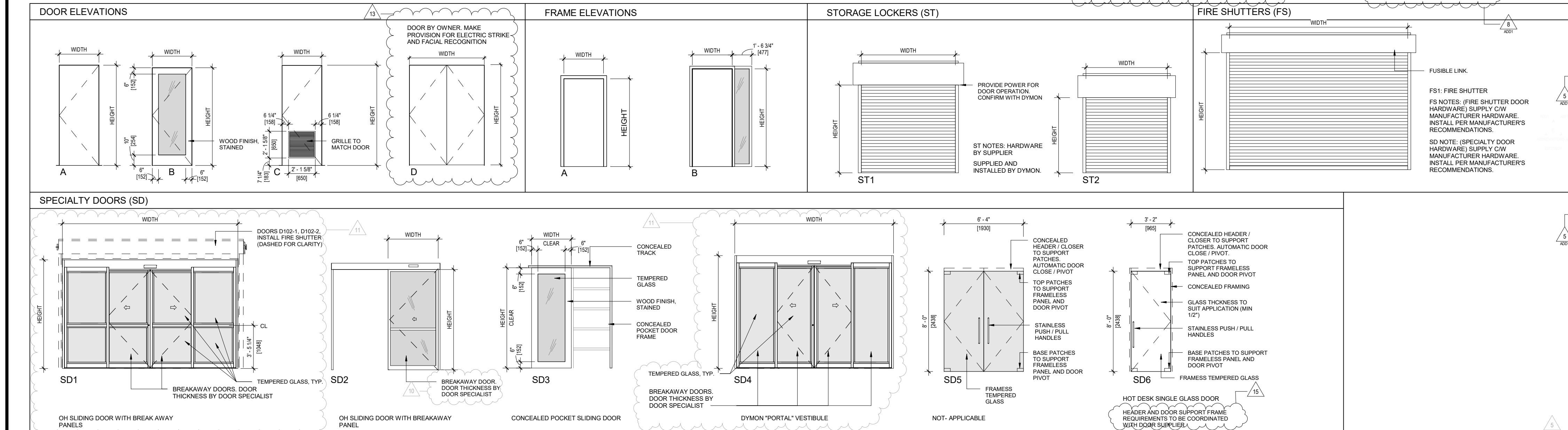
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ACTUAL NORTH

ONARIO ASSOCIATION OF ARCHITECTS
DRESSSEN CARDINAL ARCHITECTS INC.
LICENCE 5910



601 DOOR HARDWARE SCHEDULE

DOOR#	WEATHERSTRIP	TERMINALLY BUSHEN THRESHOLD	SWEEP	CLOSER	FINISH	FRAMING (SIGNAGE)	UP/HIGH RISE	SILENCER	WALL MOUNTED DOOR STOP	FLOOR MOUNTED DOOR STOP	FREE BOLT LOCK BOX	SLIDING DOOR EDGE PULL	FLUSH PULL	EXIT DEVICE PANGLOSS	PULL OFF SET TO PULL	POWER DOOR OPERATOR	SMARTPHONE ACCESS	FACIAL RECOGNITION	PARAD READER	SINGLE CYLINDER DEPENDANT	EVEREST ROOM LOCKSET	EVEREST LOCKSET	EVEREST PRIVACY SET	EVEREST PASSAGE SET	ELECTRIC STRIKE	OVERHEAD COIL DOOR	SPRINKLER SET	PUSH PULL	1/2" FULCRUM BOLT	PUSH BAR	Notes	HARDWARE		
D101-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.4	SD VS-EX
D101-2	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.4	SD VS-RC
D102-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.1	(none)
D103-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	B.BRD
D104-3	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.HT.DSK
D105-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.IT
D106-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.STIF
D109-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.VLT
D109-2	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.VV
D110-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.EXT
D111-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	BY SUPPLIER
D111-2	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	RE-USE EXST
D112-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.LOB-DR.A
D114-1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.WIN
D114-2	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	SEE SD.6	A.WIN

601-DOOR SCHEDULE

WT	FROM ROOM NAME	TO ROOM NAME	EXT./INT.	HEIGHT	WIDTH	THICKNESS	DOOR MATERIAL	FINISH	ELEVATION	TYPE	FRAME MATERIAL	FINISH	ELEVATION	GLAZING TYPE	GLAZING COLOUR	TRANSP.	FRM (mm)	NOTES
D101-1	VESTIBULE	VESTIBULE	Exterior	9'-0"	12'-8"	0'-1 3/4"	AL	AN	-	SD4	AL	AN	-	INS	INS	-	-	SD: SEE NOTES (SD4)
D101-2	DYMON RECEPTION	VESTIBULE	Interior	9'-0"	12'-8"	0'-1 3/4"	AL	AN	-	SD4	AL	AN	-	TEMP	TEMP	-	-	SD: SEE NOTES (SD4)
D102-1	DYMON RECEPTION	EXISTING DRIVE-AISLE	Interior	8'-8"	14'-0"	0'-1 3/4"	AL	AN	-	SD1	AL	AN	-	TEMP	TEMP	-	-	SD: SEE NOTES (SD1)
D103-1	DYMON RECEPTION	BOARDROOM	Interior	8'-0"	3'-2"	0'-1 3/4"	WD	STN1	B	SLAB	HM	P	B	TEMP	TEMP	-	-	SD: SEE NOTES (SD1)
D104-3	DYMON RECEPTION	HOT DESK	Interior	8'-0"	3'-2"	0'-0 1/2"	TEMP	-	SD6	SLAB	HM	P	B	TEMP	TEMP	-	-	SD: SEE NOTES (SD6)
D105-1	IT ROOM	STAFF ROOM	Interior	8'-0"	3'-2"	0'-1 3/4"	HM	P	C	SLAB	HM	P	A	-	-	-	-	SEE 4/A601
D106-1	DYMON RECEPTION	STAFF ROOM	Interior	8'-0"	3'-2"	0'-1 3/4"	WD	STN1	A	SLAB	HM	P	A	-	-	-	-	SD: SEE NOTES (SD2)
D109-1	EXISTING STORAGE	VAULT	Interior	8'-0"	3'-2"	0'-1 3/4"	HM	P	A	SLAB	HM	P	A	-	-	-	45-MIN	RE-USE EXISTING
D109-2	VIEW. RM	VAULT	Interior	8'-0"	3'-2"	0'-1 3/4"	HM	P	A	SLAB	HM	P	A	-	-	-	-	MODIFY HARDWARE
D110-1	NEW SELF STORAGE	VAULT	Exterior	8'-6"	6'-0"	0'-1 3/4"	-	-	-	-	-	-	-	-	-	-	-	SUPPLIED BY OWNER
D111-1	EXISTING STORAGE	EXISTING DRIVE-AISLE	Interior	7'-0"	8'-5 7/8"	0'-1 3/4"	AL	AN	-	SD2	AL	AN	-	TEMP	TEMP	-	-	BY SUPPLIER
D111-2	EXISTING STORAGE	EXISTING DRIVE-AISLE	Interior	8'-0"	3'-2"	0'-1 3/4"	HM	P	A	SLAB	HM	P	A	-	-	-	60-MIN	RE-USE EXST
D112-1	SPRINKLER	EXISTING DRIVE-AISLE	Exterior	8'-0"	3'-2"	0'-1 3/4"	-	-	-	-	-	-	-	-	-	-	-	MODIFY HARDWARE
D114-1	RETAIL	DYMON RECEPTION	Interior	8'-0"	6'-0"	0'-1 3/4"	-	-	-	D	HM	P	A	-	-	-	-	SUPPLIED BY OWNER
D114-2	RETAIL	NEW SELF STORAGE	Interior	8'-0"	3'-2"	0'-1 3/4"	IN.HM	P	A	SLAB	IN.HM	P	A	-	-	-	45-MIN	BY SUPPLIER

601-ROOM FINISH SCHEDULE. SEE SKA 010 FOR FINISH SPECIFICATIONS

NUMBER	NAME	STYLE	MATERIAL	FLOOR FINISH	BASE FINISH	NORTH WALL FINISH	EAST WALL FINISH	SOUTH WALL FINISH	WEST WALL FINISH	CEILING FINISH	NOTES
101	VESTIBULE	VESTIBULE	CONC	PD-1	GB PLY	F-GL	-	-	GB PLY	F-GL	F-GL: GLASS BY SIGNAGE SUPPLIER
102	DYMON RECEPTION	RECEPTION	CONC	PT-1 & PT-2	PT	PT-1 (B2)	GB	P	GB	P	PT-1, PT-2 (SEE FINISHES PLAN) P-1, P-2 (SEE RCP'S)
102.1	KITCHEN DISPLAY	RECEPTION DISPLAY	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	WALL PANEL: STN1
103	BOARDROOM	BOARDROOM	CONC	CT-1	1" MDF (B1)	P	GB	P	GB	P	
104	HOT DESK	HOT DESK	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	
105	IT ROOM	IT ROOM	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	
106	STAFF ROOM	STAFF ROOM	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	
107	JEWEL BOX	JEWEL BOX	CONC	EXPT - PC-1	PMWS GB	PMWS GB	PMWS GB	PRE P	PMWS GB	PRE P	
108	VIEW. RM	VIEWING ROOM	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	
109	VAULT	VAULT	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	
110	NEW SELF STORAGE	SELF-STORAGE	CONC	EXPT - CC-1/LC-1	PMWS	PRE	PMWS	PRE	PMWS	PRE	
111	EXISTING ELEVATOR LOBBY	MATCH EXISTING	CONC	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MAKE GOOD AT INTERFACE WITH NEW MATERIALS
112	SPRINKLER	IT ROOM	CONC	PT-1	PT	PT-1 (B2)	GB	P	GB	P	
113	EXIT STAIR 3	EXIT STAIRS	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	MAKE GOOD IF DAMAGED DURING CONTRACT
114	RETAIL	(none)	-	-	-	-	-	-	-	-	
115	MECH	(none)	-	-	-	-	-	-	-	-	
116	CONDENSOR	(none)	-	-	-	-	-	-	-	-	
118	EXIT STAIR 2	EXIT STAIRS	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	MAKE GOOD IF DAMAGED DURING CONTRACT
201	SECOND FLOOR SELF STORAGE	SELF-STORAGE	CONC	EXPT - CC-1/LC-1	PMWS	PRE	PMWS	PRE	PMWS	PRE	PMWS BY DYMON CORRIDOR (EXP) CEILING. SEE RCP'S
EX1	EXISTING DRIVE-AISLE	EXISTING (N/A)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	MAKE GOOD IF DAMAGED DURING CONTRACT
EX2	EXISTING STORAGE	EXISTING STORAGE	CONC	EXPT - LC-1	PMWS	PRE	PMWS	PRE	PMWS	PRE	SEE SCOPE OF WORK (CORRIDORS TO STORAGE)

CLIENT
DYMON SELF-STORAGE
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PROJECT TITLE
DYMON 4338 INNES ROAD
FIT-UP & RENOVATION

DRAWING TITLE
DOOR, WINDOW, & INTERIOR SCHEDULE

DATE	DRAWN	JOB NO.	DRAWING NO.
NOV 2022	GL	3387	A601
SCALE	REVIEWED		
As indicated	Checker		

ARCHITECTURAL