

# BDP. Quadrangle

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## 265 Catherine Street, Ottawa

for  
Brigil

Project No. 21007  
Date 2023-05-15  
Issued for Zoning By-Law Amendment and Site Plan Approval

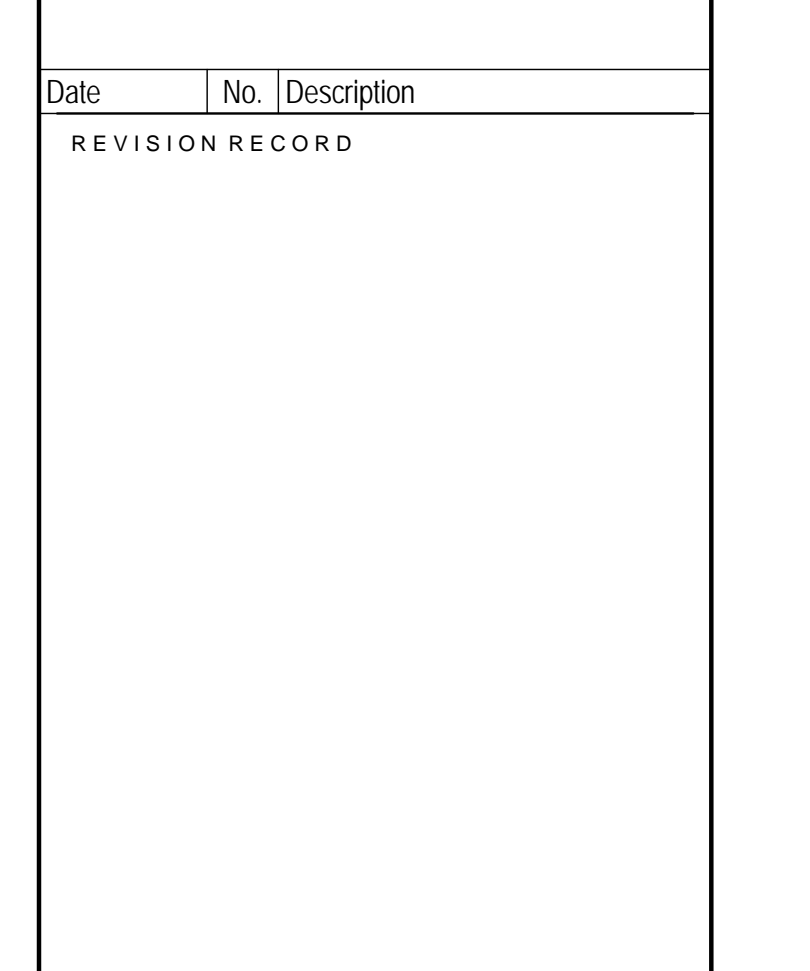
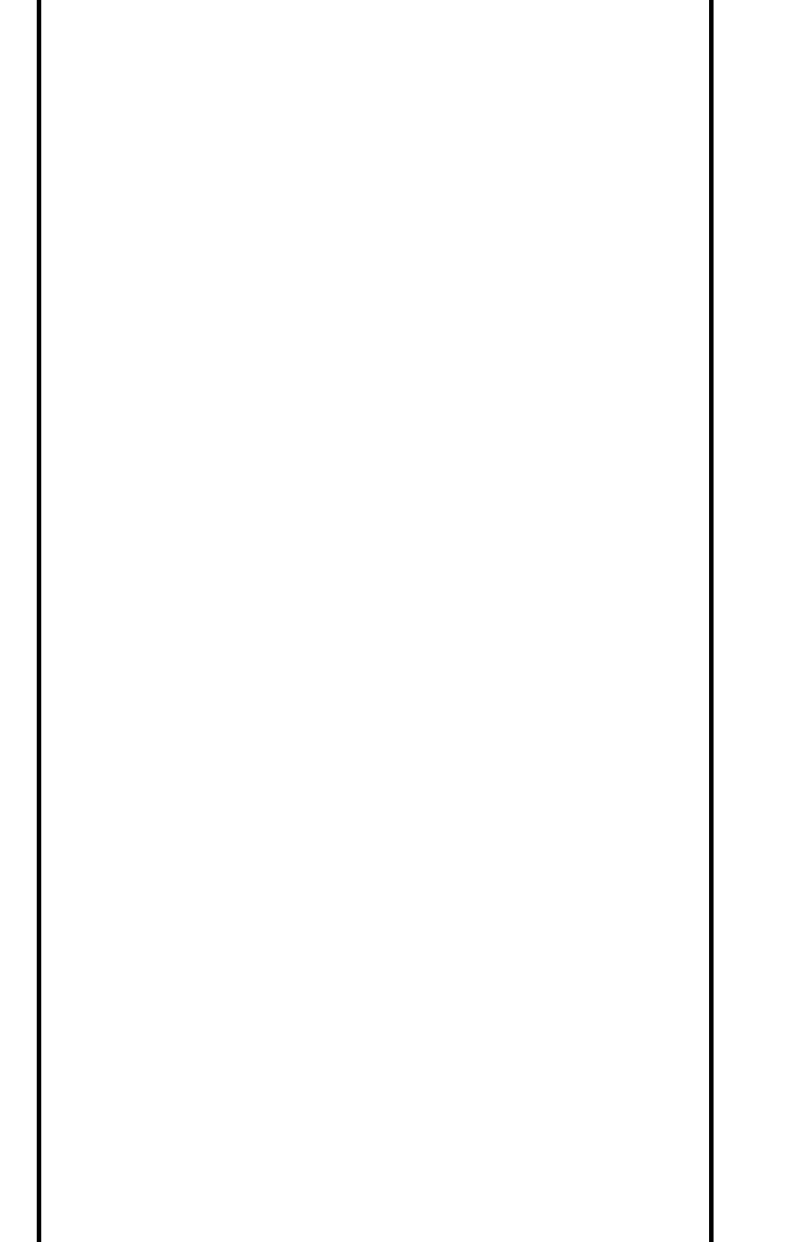
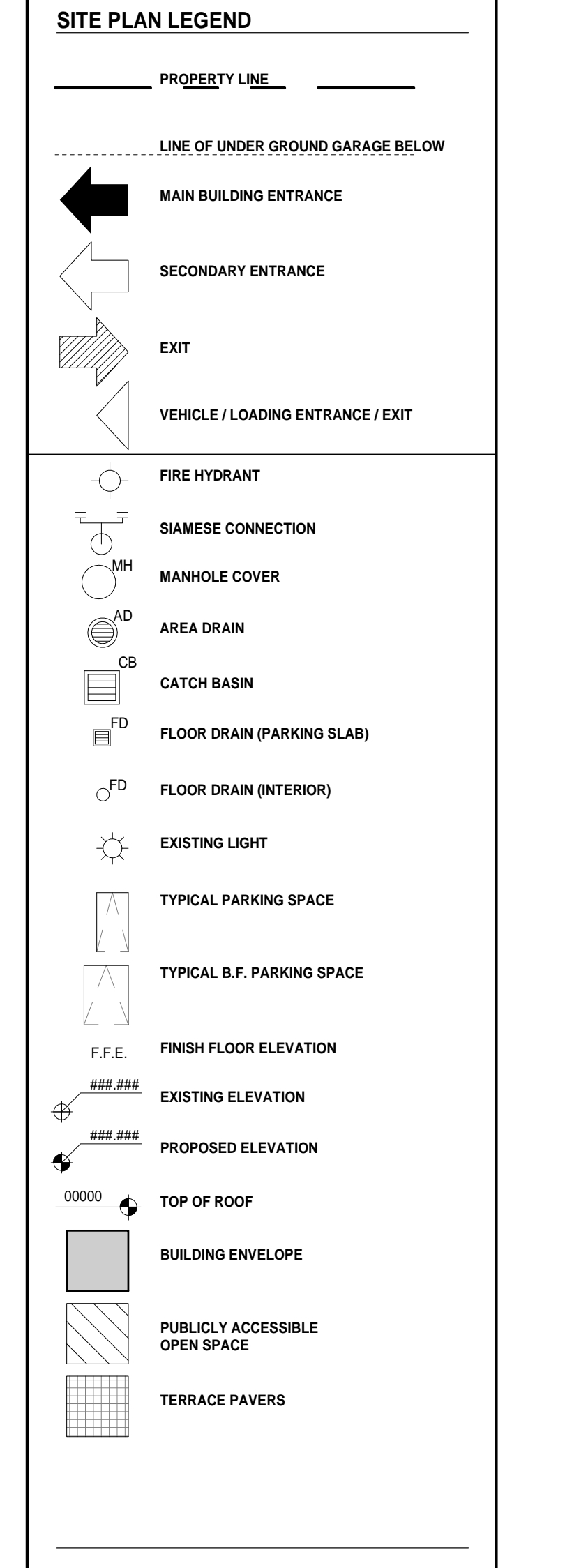
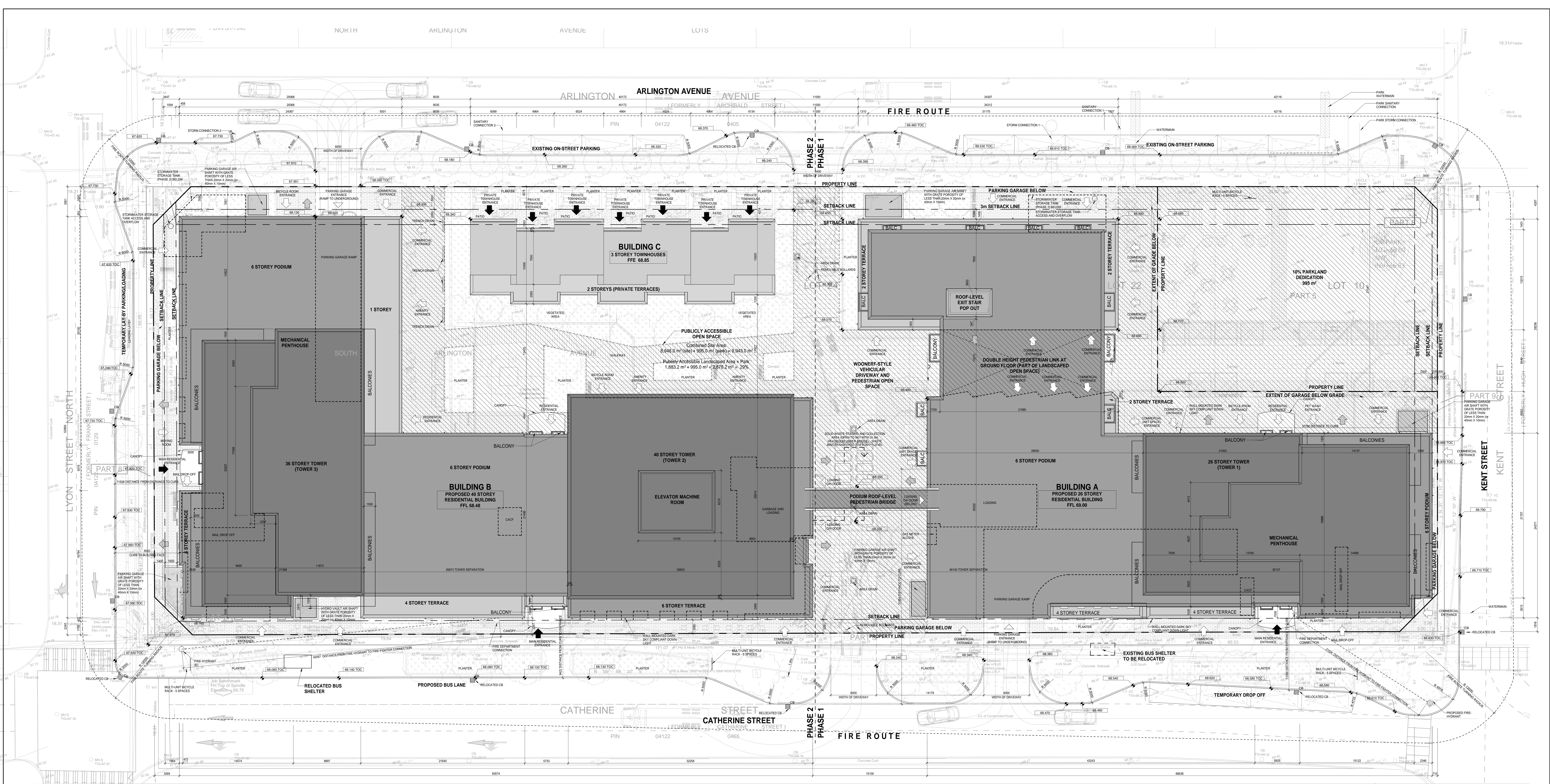
### ARCHITECTURAL DRAWINGS

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### LANDSCAPE ARCHITECT

NAK Design Strategies  
1285 Wellington Street,  
Ottawa, ON K1Y 3A8  
613 237 2345





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21007 1:150 RL R/L  
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Site Plan

**A102.S**

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**Notes & Legend**

○ Pn	Fire Hydrant
○ CW	Overhead Wires
□ CB	Catch Basin
□ CBH	Catch Basin Hole
○ CW-S	Maintenance Hole (Storm Sewer)
○ CW-S	Maintenance Hole (Sanitary)
○ CW-T	Maintenance Hole (Traffic)
○ CW	Maintenance Hole (Unidentified)
○ VC	Valve Chamber (Watermain)
HT	Hydro Transformer
○ TB	Unidentified Terminal Box
○ D	Diameter
○ EL	Location of Elevations
○ C	Top of Concrete Curb / CRW Elevation
○ C	Caststone
○ E	Electrical Outlet
○ LS	Light Standard
○ V	Gas Valve
○ U	Utility Pole
○ UHT	Hydro Transformer Mounted on Utility Pole
○ AT	Anchor
○ TSP	Traffic Signal Post
○ DT	Deciduous Tree

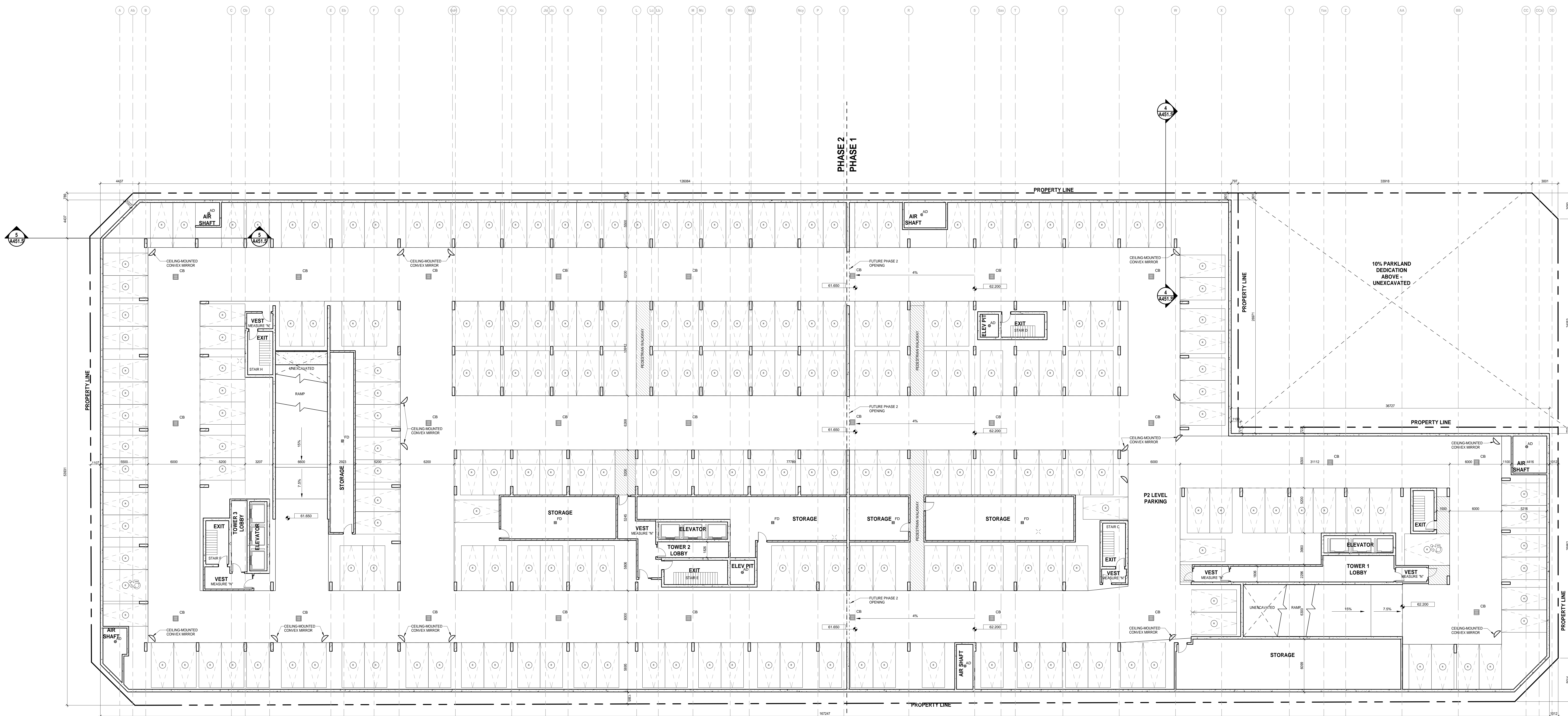
**ELEVATION NOTES**

1. Elevations shown are geoidic and are referred to the CGVD28 geoid datum, derived from City of Ottawa benchmark No. OT1729 having an elevation of 76.208 metres.

2. It is the responsibility of the user of this information to verify that the 46 benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Road centrelines were approved by the City of Ottawa July 11, 2011.

10/10/2023 08:54 PM

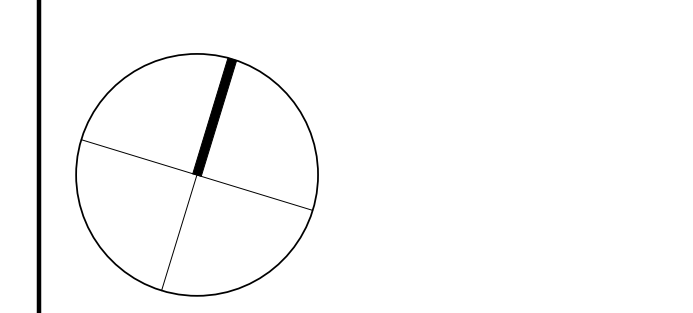


- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES UNLESS OTHERWISE NOTED:  
 - 2800mm WIDE X 5200mm LONG  
 - 3800mm WIDE X 5000mm LONG (ACCESSIBLE)
  - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
  - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

- PARKING LEGEND:**
- (A) AUTO SHARE PARKING SPACE
  - (R) RESIDENTIAL OCCUPANT PARKING SPACE
  - (V) SHARED VISITOR/COMMERCIAL PARKING SPACE
  - (L) BIKE LOCKER
  - (B) BIKE PARKING (STACKED)
  - (V) BIKE PARKING (VERTICAL)
  - (C) CONVEX MIRROR
  - (E) ELECTRIC VEHICLE
  - (AD) (FD) (CB) BRAND AREA DRAIN FLOOR DRAIN CATCH BASIN
  - (P) PAINTED LINES
  - (F) FIRE RATED BLANKHEAD
  - (S) TYPICAL
  - (S) SMALL CAR
  - (S) ACCESSIBLE
  - (S) DESIGN OF PUBLIC SPACES - ACCESSIBLE VISITOR - TYPE A
  - (S) DESIGN OF PUBLIC SPACES - ACCESSIBLE VISITOR - TYPE B

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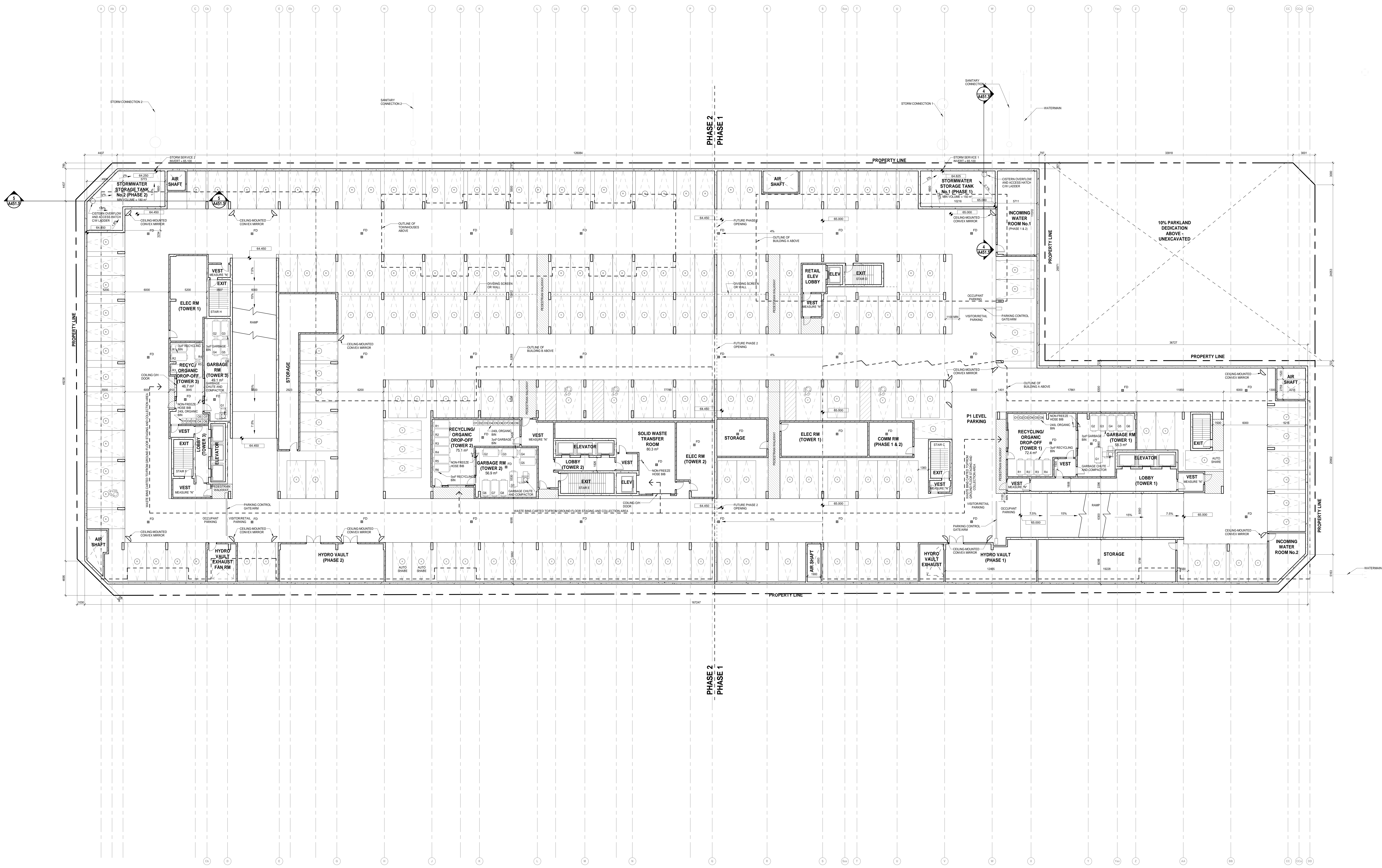
for  
 Brigil

21007 1:150 Auto/Checker  
 PROJECT SCALE DRAWN/REVIEWED

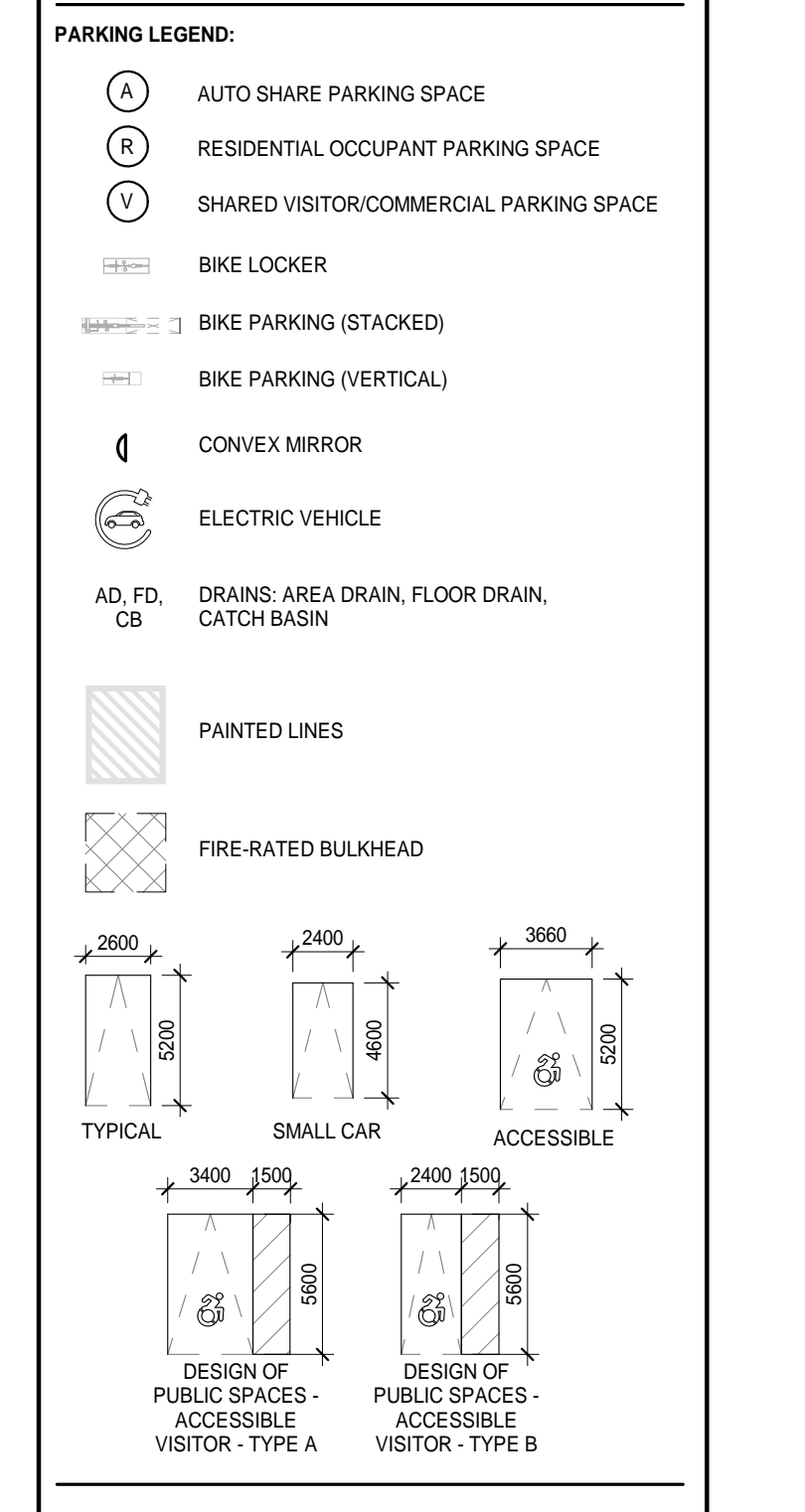
P2 Underground Floor Plan

**A103.S**

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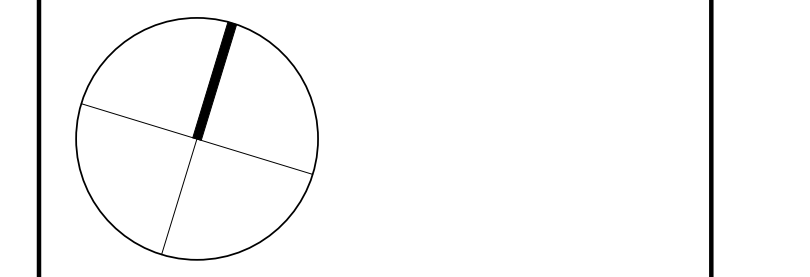


- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZE: UNLESS OTHERWISE NOTED:  
 - 2800mm WIDE X 5200mm LONG  
 - 3600mm WIDE X 5200mm LONG (ACCESSIBLE)
  2. MAINTAIN MINIMUM DRIVE ASLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
  3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.



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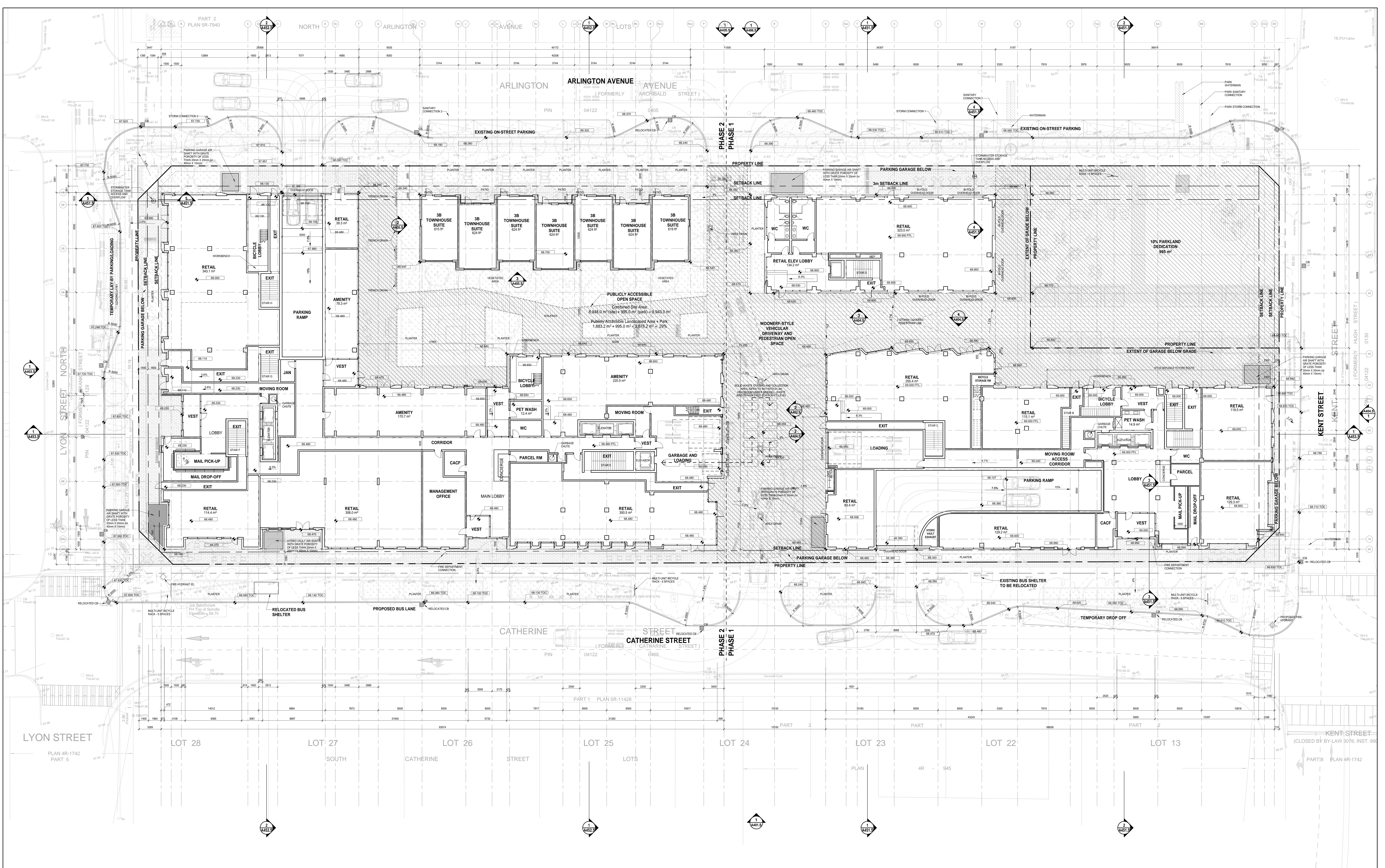
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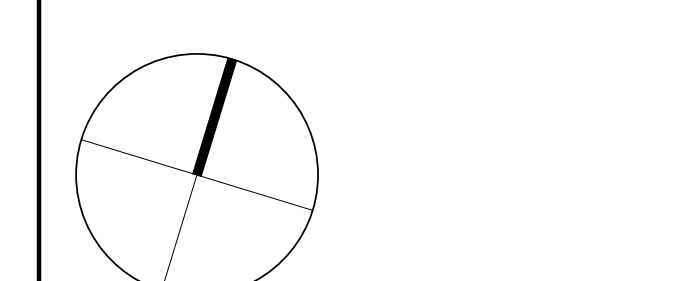
21007 1:150 RL R/L  
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P1 Underground Floor Plan

**A104.S**



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 Brigi  
 21007 1:150 GZ R/JL  
 PROJECT SCALE DRAWN/REVIEWED  
 Ground Floor Plan

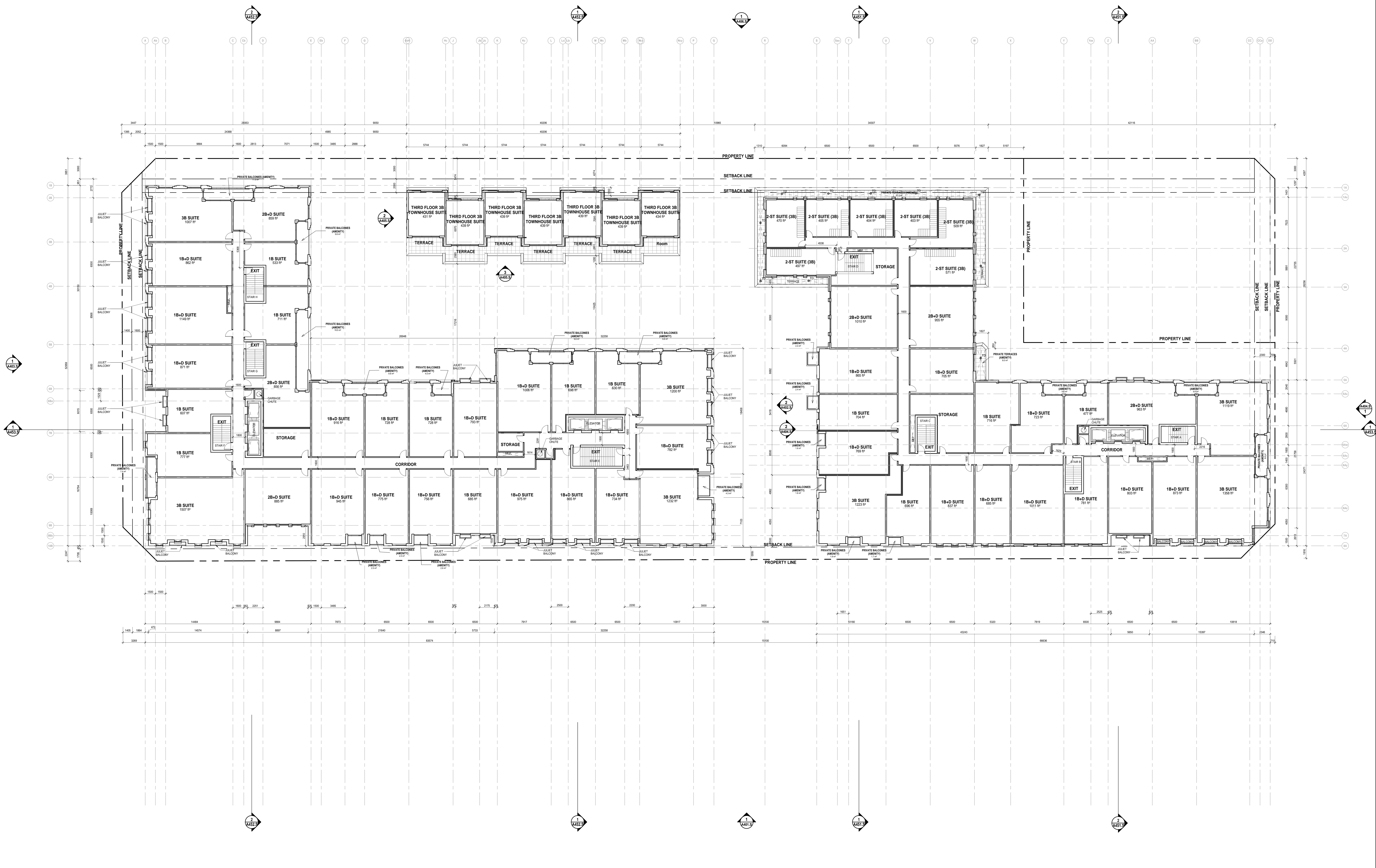
A200.S

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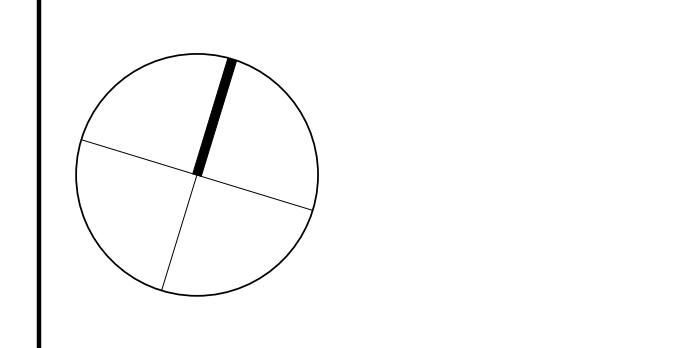






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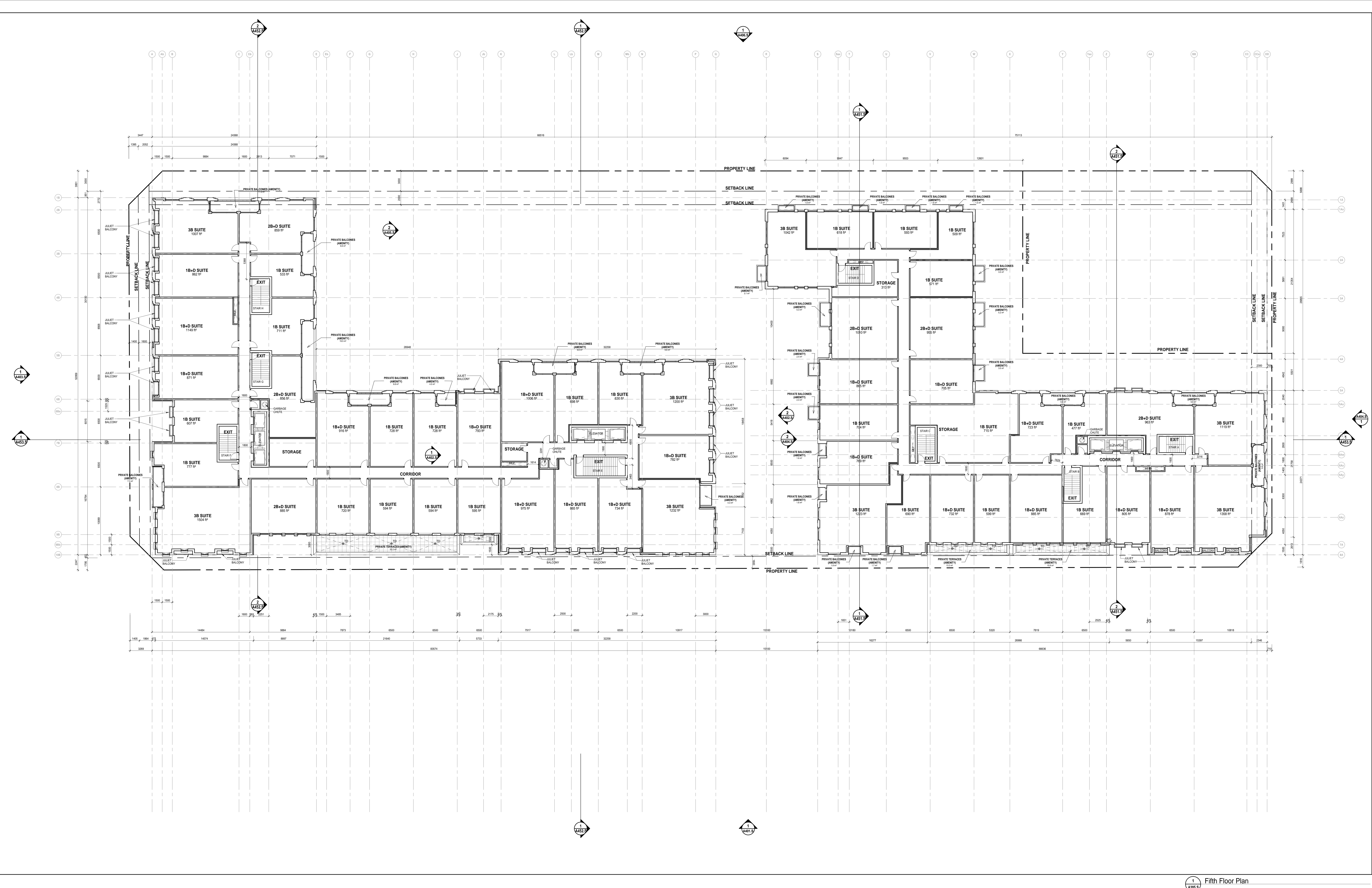
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Third Floor Plan

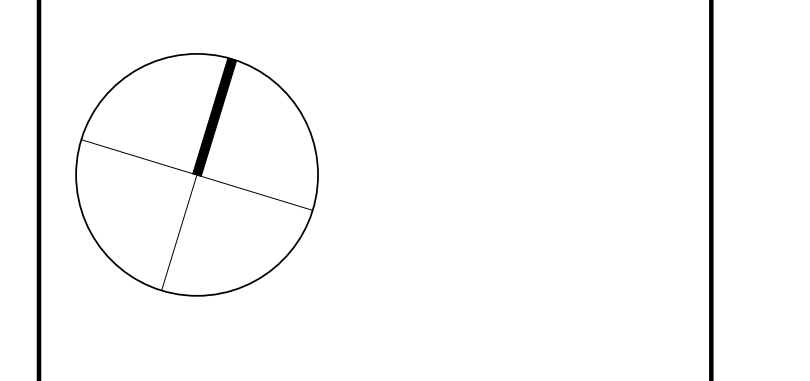
**A203.S**

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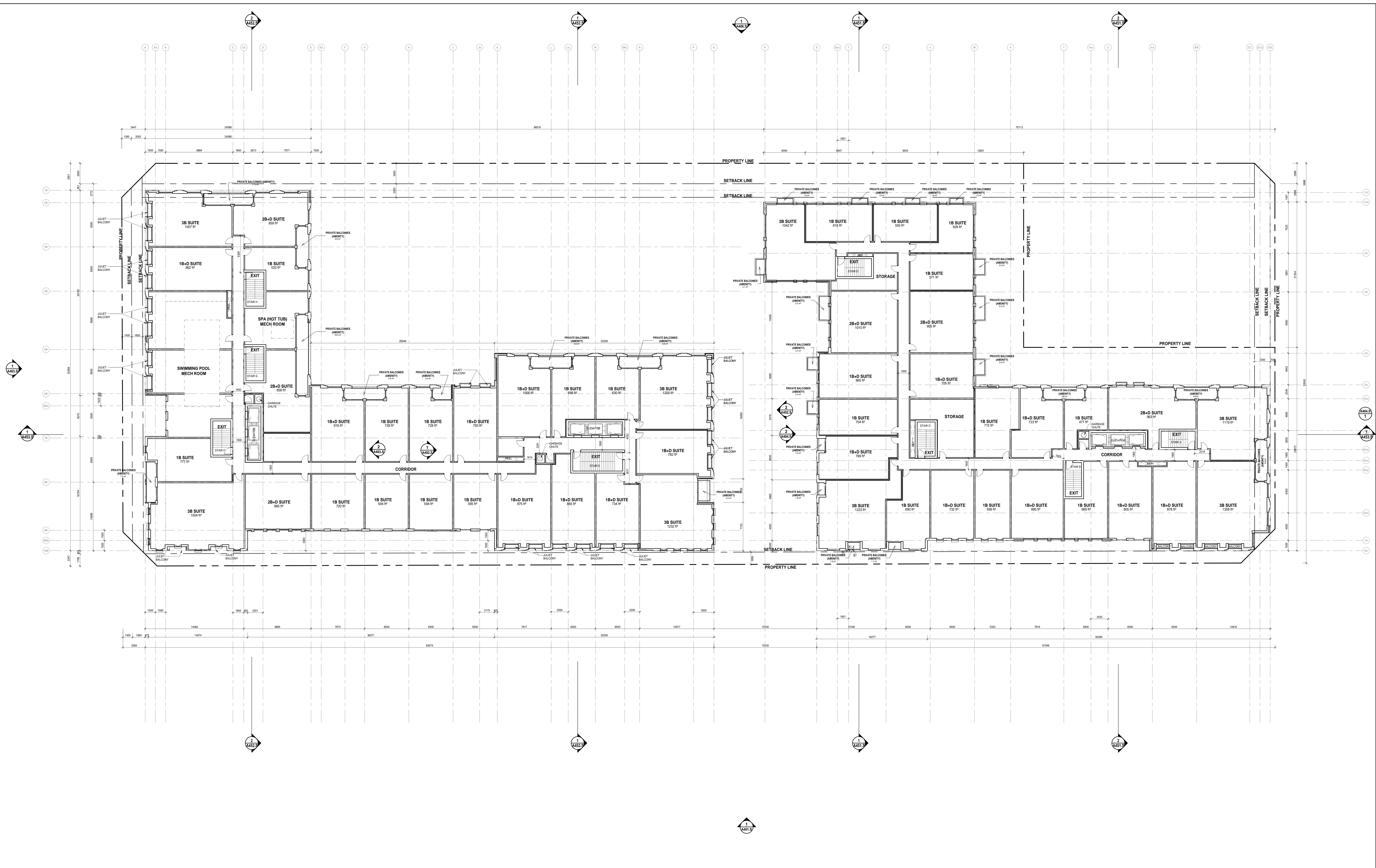
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Fifth Floor Plan

A205.S

1  
A205.S  
Fifth Floor Plan



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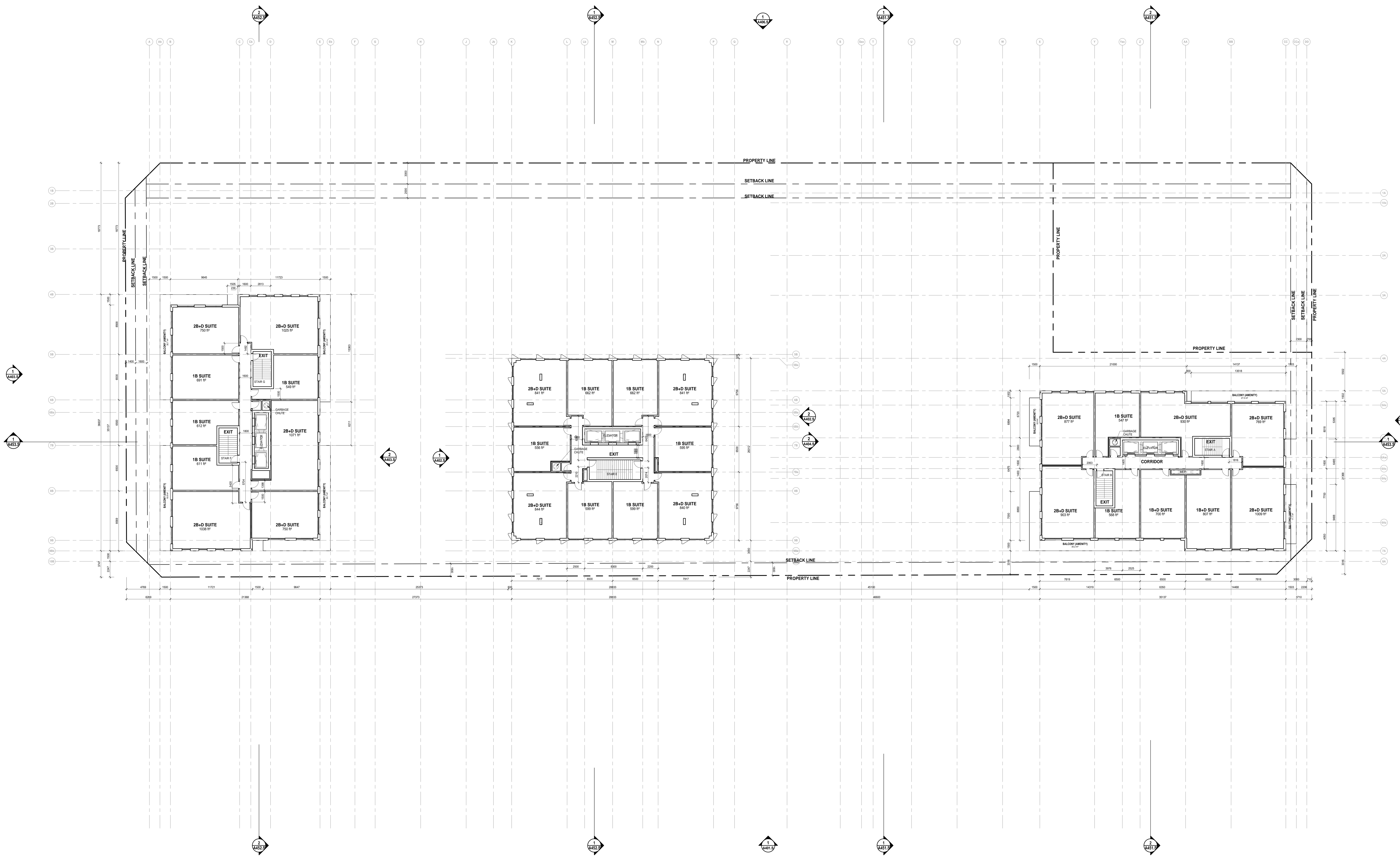
21007 1:150 GZ R.J.L.  
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Sixth Floor Plan

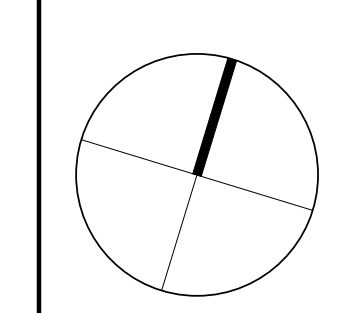
# A206.S

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Typical Tower Floor Plan

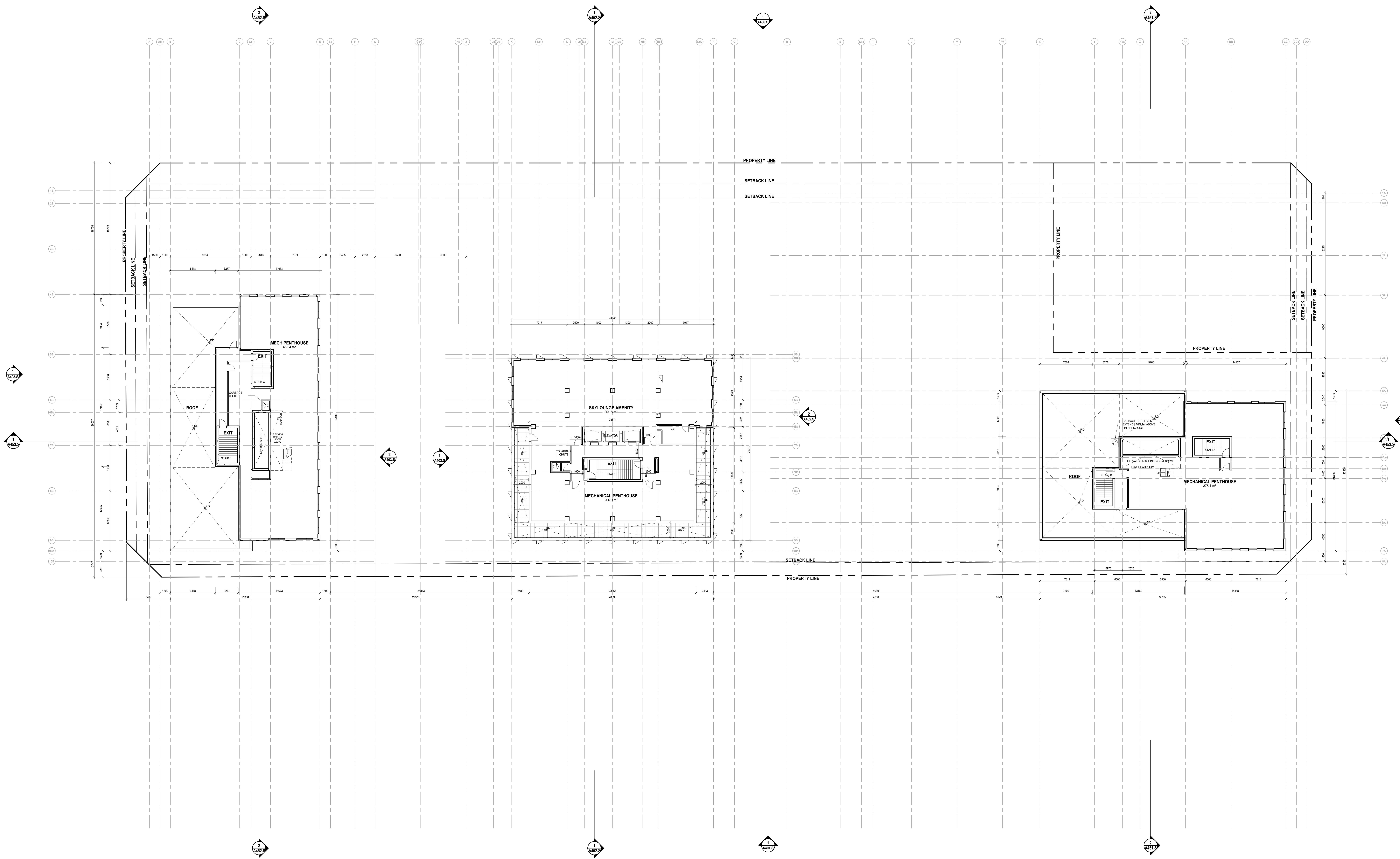
**A208.S**

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1 A208.S Typical Tower Floor Plan

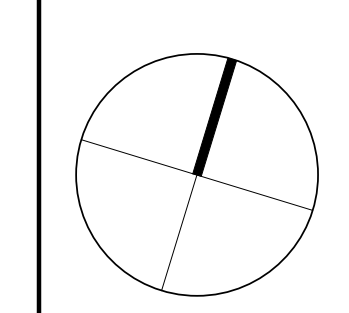
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Mechanical Penthouse Floor Plan

**A209.S**

1 Mechanical Penthouse Floor Plan

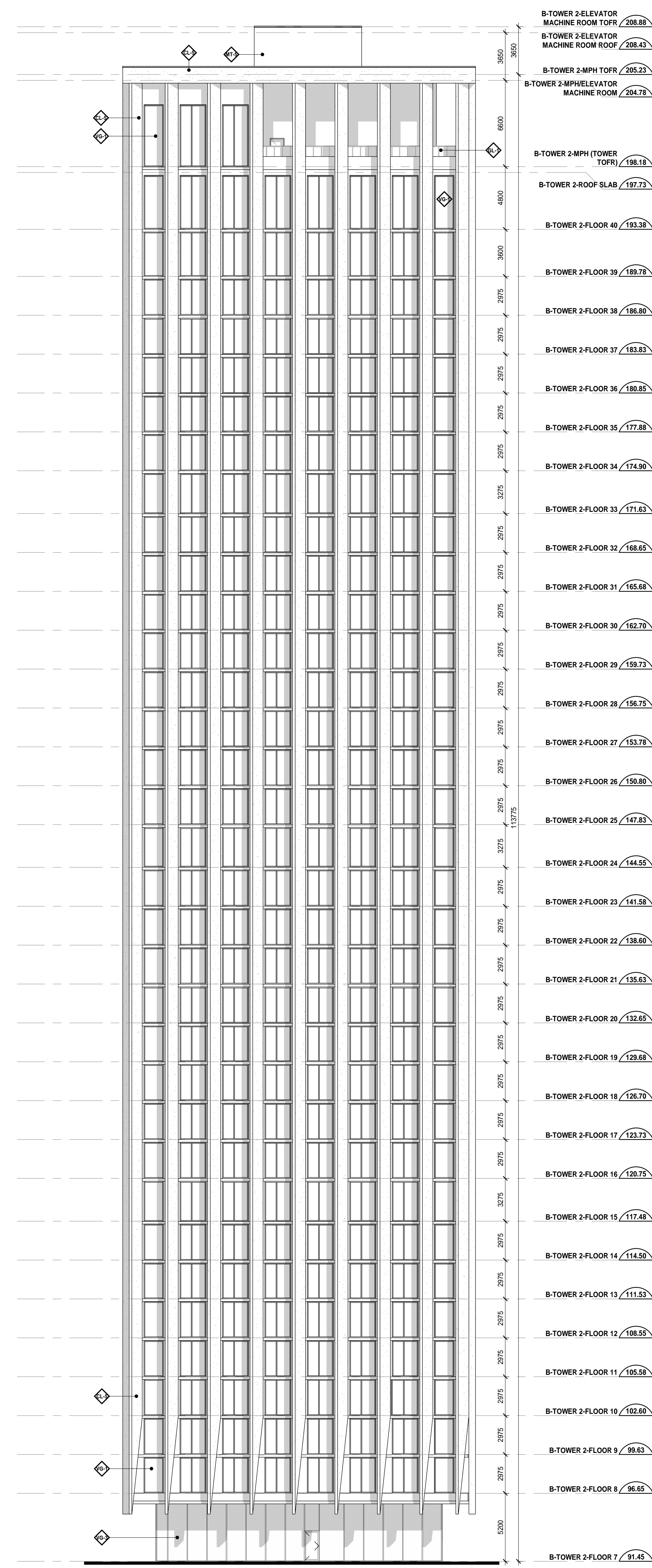
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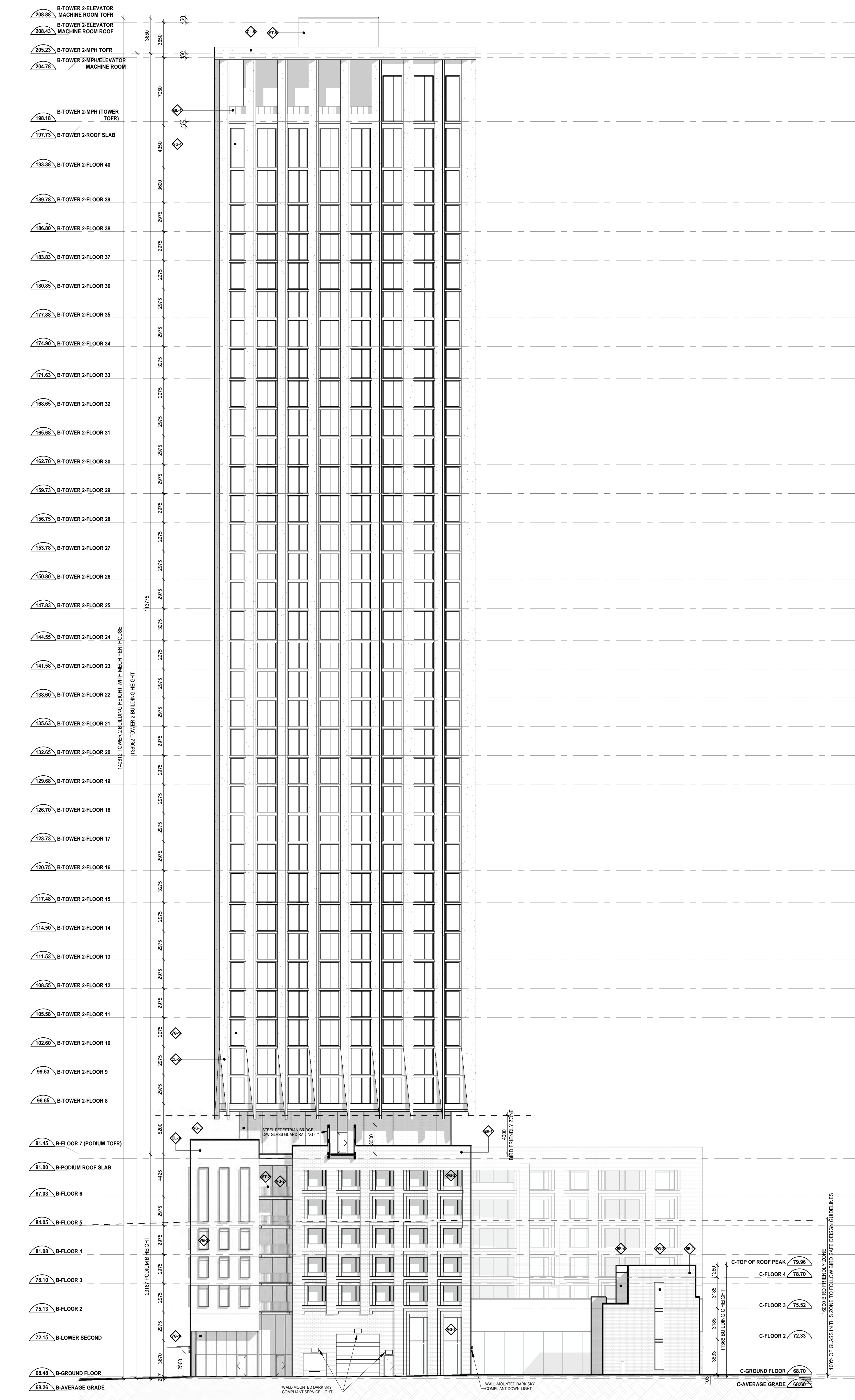








1 Tower 2 - West Elevation



2 Building B - East Elevation

- LEGEND:**
- ◆ BRICK - COLOUR 1
  - ◆ BRICK - COLOUR 2
  - ◆ BRICK - COLOUR 3
  - ◆ BRICK - COLOUR 4
  - ◆ CLADDING 1 - WHITE
  - ◆ CLADDING 2 - GREY
  - ◆ CLADDING 3 - OFF-WHITE
  - ◆ CLADDING 4 - GREY
  - ◆ CLADDING 5 - WHITE
  - ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 1
  - ◆ BALCONY AND TERRACE RAILING, HANDRAILS AND PROTECTIVE SCREEN, SUPPORT POSTS, HANDRAILS AND
  - ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 2
  - ◆ METAL FLASHING AND PARAPET CAP FLASHING
  - ◆ SHEET STEEL CLADDING SYSTEM
  - ◆ BALCONY SLAB EDGE COVER
  - ◆ WINDOW SYSTEM METAL SPANDREL, PROJECTING PANEL
  - ◆ WINDOW SYSTEM METAL SPANDREL, RECESSED PANEL
  - ◆ WINDOW SYSTEM METAL SPANDREL, RECESSED PANEL
  - ◆ RESIDENTIAL VISION GLASS - IGU
  - ◆ RESIDENTIAL VISION GLASS V6+ WITH BIRD FRIENDLY FRIT PATTERN
  - ◆ RETAIL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
  - ◆ SPANDREL GLASS - COLOUR 1
  - ◆ RAILING GLASS
  - ◆ RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
  - ◆ PRIVACY SCREEN GLASS
  - ◆ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
  - ◆ ARCHITECTURAL LOUVER

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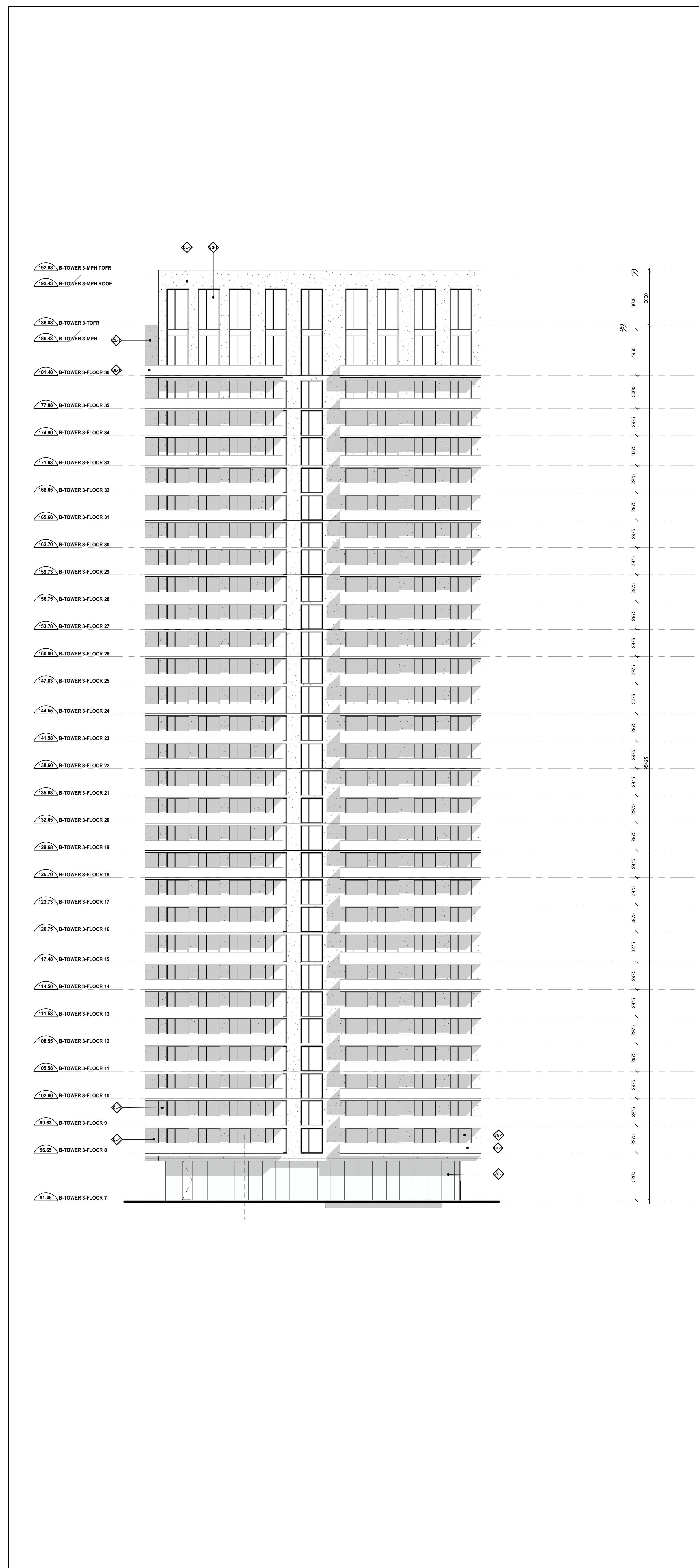
for Brigil

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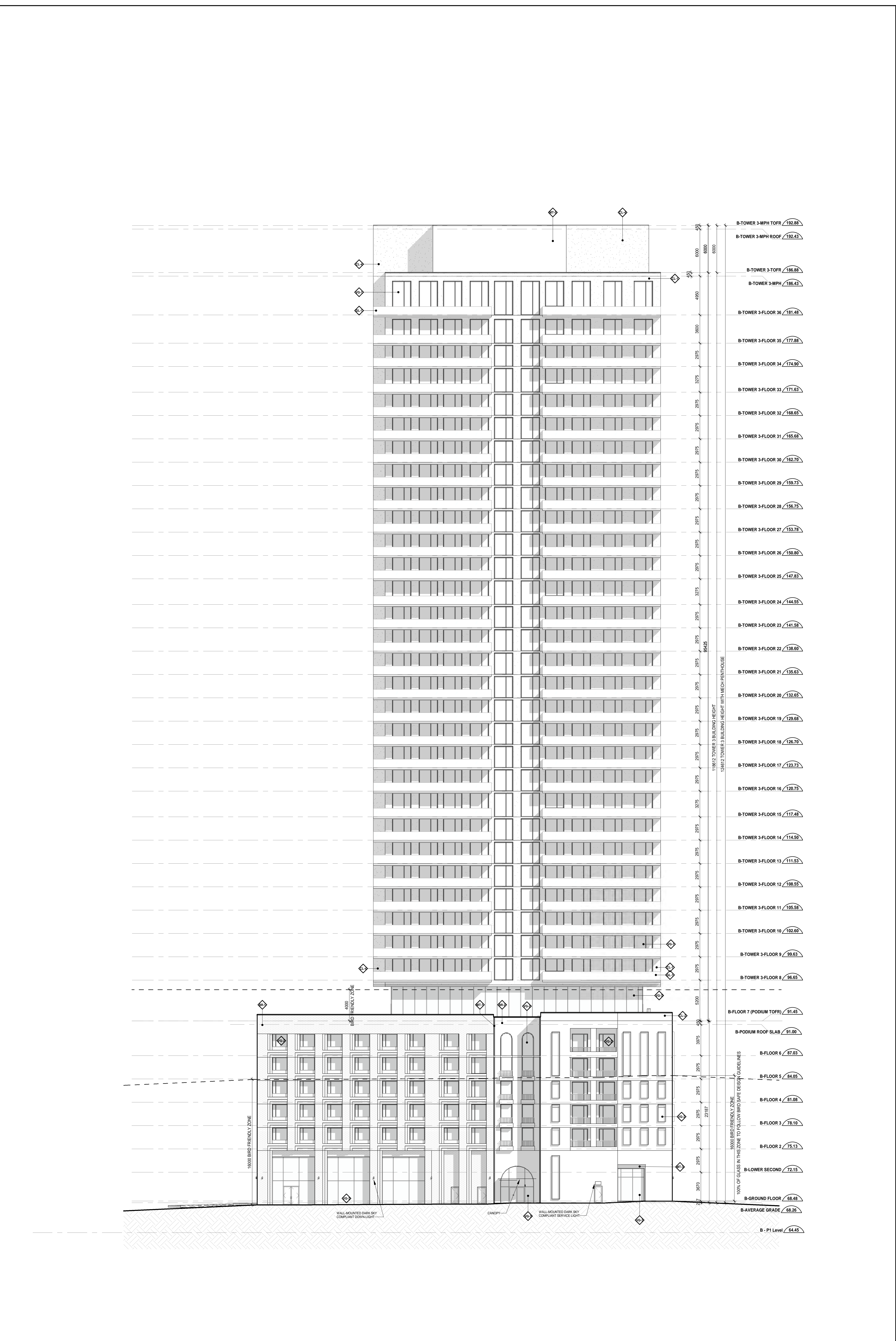
Building B Elevations

**A402.S**

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2 Tower 3 - East Elevation



1 Building B - West Elevation

**LEGEND:**

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- BRICK - COLOUR 3
- BRICK - COLOUR 4
- CLADDING 1 - WHITE
- CLADDING 2 - GREY
- CLADDING 3 - OFF-WHITE
- CLADDING 4 - GREY
- CLADDING 5 - WHITE
- PLATE ALUM CLADDING SYSTEM - COLOUR 1
- PLATE ALUM CLADDING SYSTEM - COLOUR 2
- METAL FLASHING AND PARAPET CAP FLASHING
- SHEET STEEL CLADDING SYSTEM
- BALCONY SLAB EDGE COVER
- WINDOW SYSTEM METAL SPANDREL PROJECTING PANEL
- WINDOW SYSTEM METAL SPANDREL RECESSED PANEL
- RESIDENTIAL VISION GLASS - IGU
- RESIDENTIAL VISION GLASS V5+ WITH BIRD FRIENDLY FRIT PATTERN
- RETAIL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
- SPANDREL GLASS - COLOUR 1
- RAILING GLASS
- RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
- PRIVACY SCREEN GLASS
- RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVRE
- ARCHITECTURAL LOUVRE

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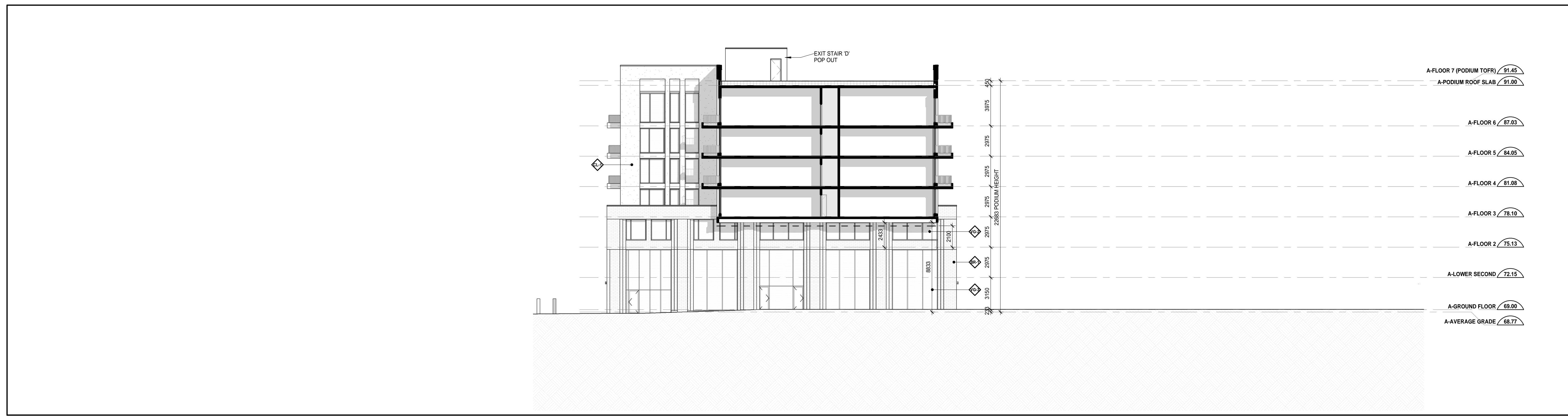
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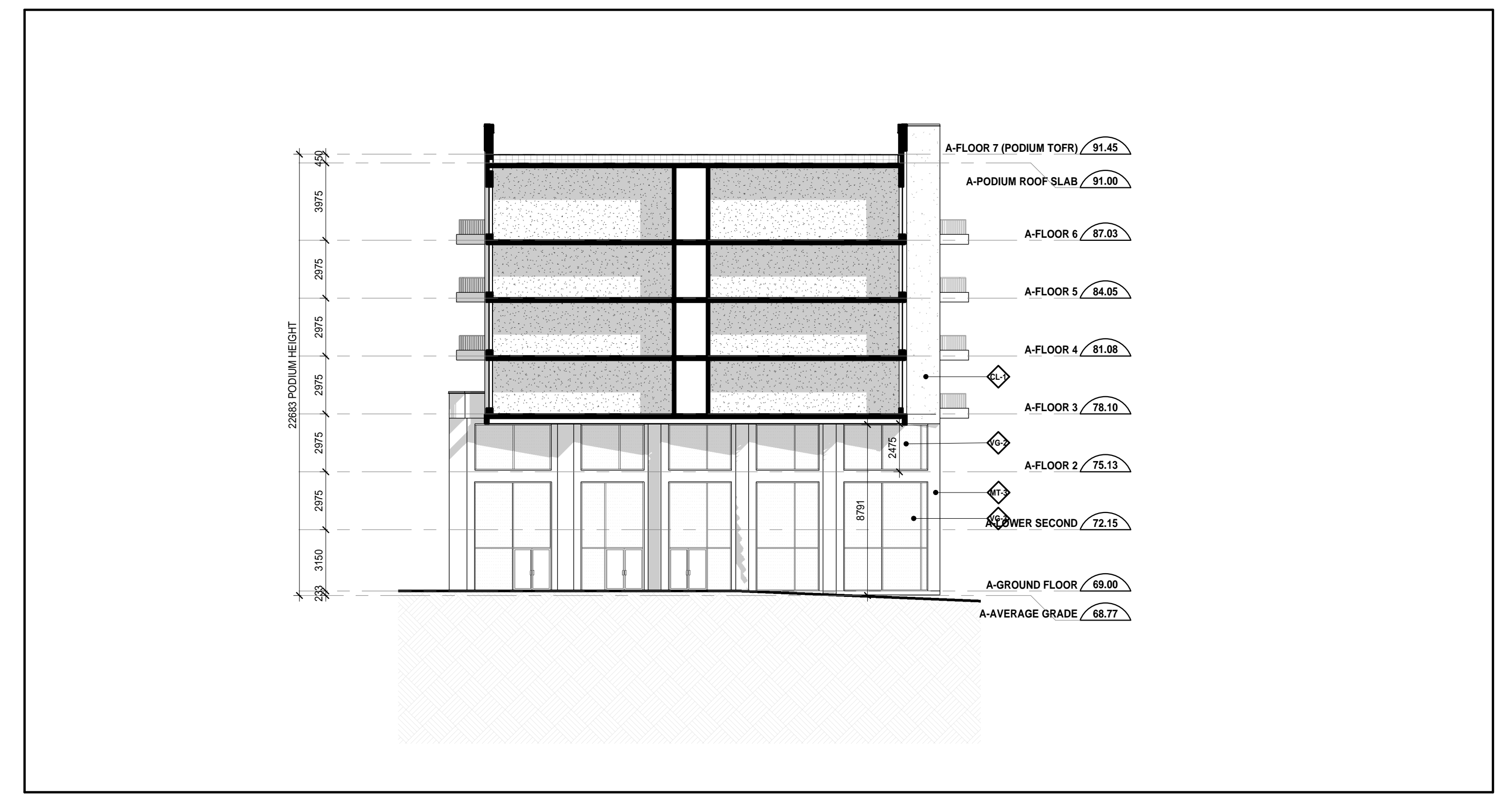
Building B Elevations 2

**A403.S**

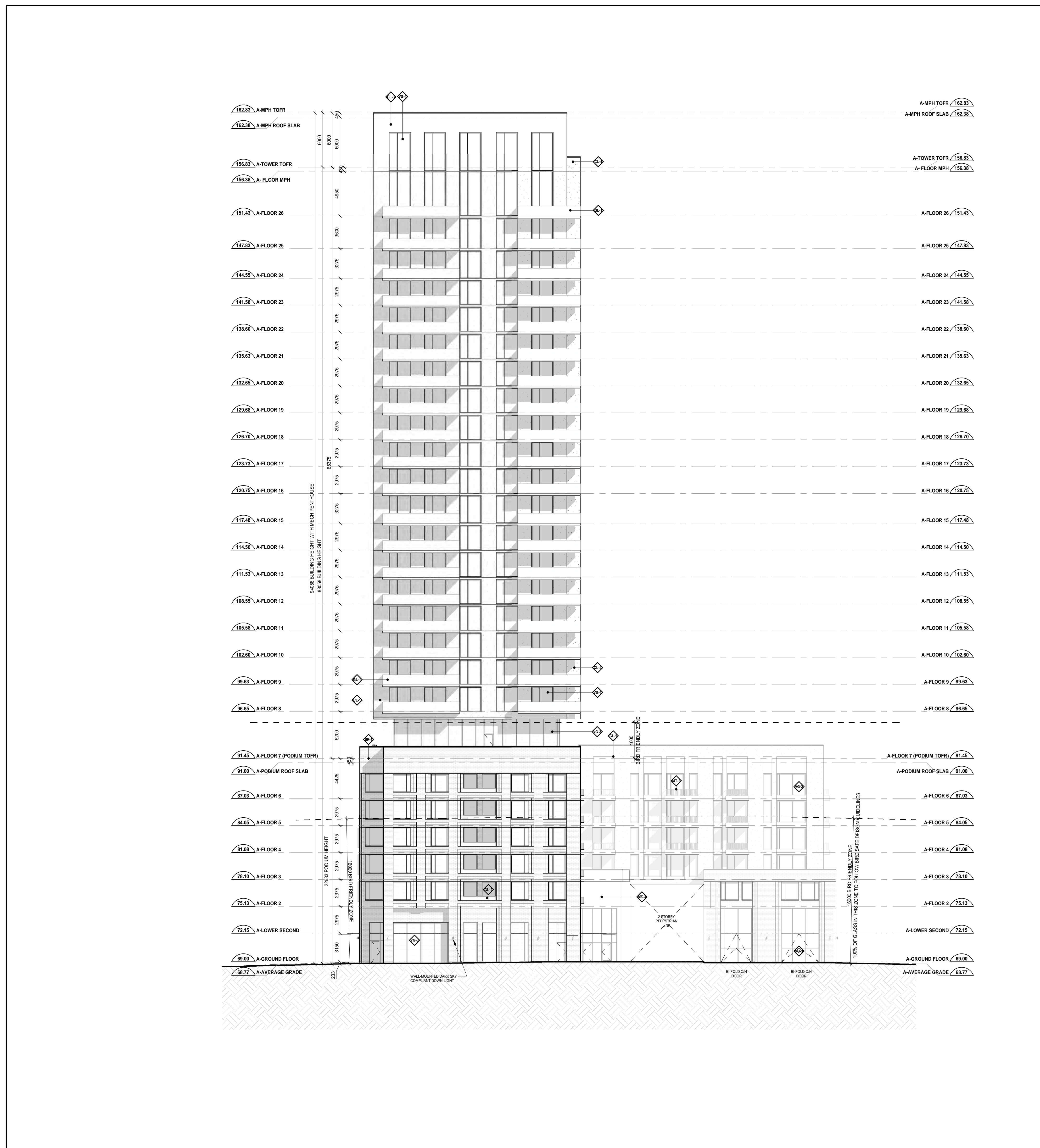
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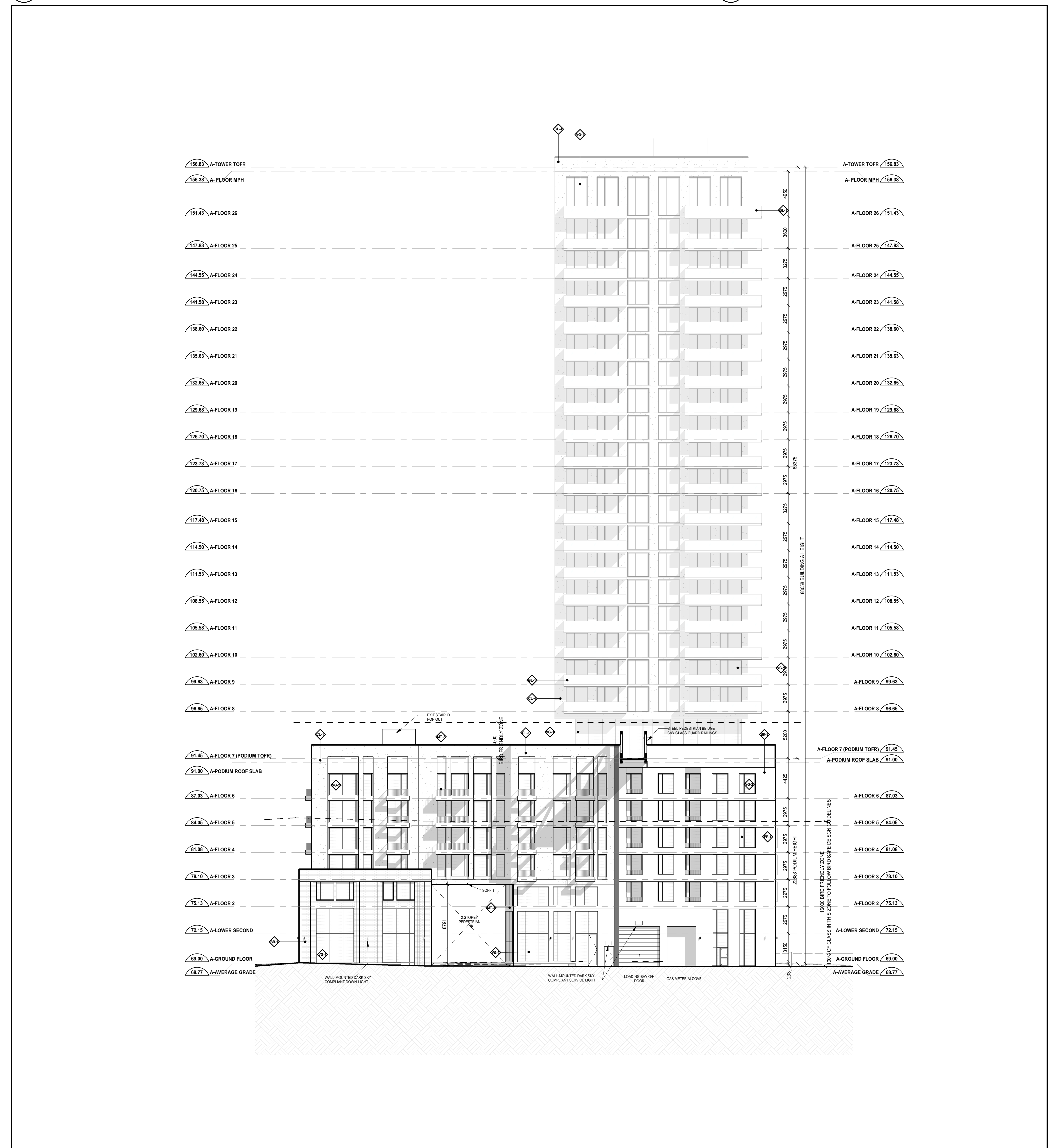
3 Building A - Market and Townhouse - South Elevation



4 Building A Artspace - North Elevation



1 EAST ELEVATION



2 Building A - West Elevation

- LEGEND:**
- ◆ BRICK - COLOUR 1
  - ◆ BRICK - COLOUR 2
  - ◆ BRICK - COLOUR 3
  - ◆ BRICK - COLOUR 4
  - ◆ CLADDING 1 - WHITE
  - ◆ CLADDING 2 - GREY
  - ◆ CLADDING 3 - OFF-WHITE
  - ◆ CLADDING 4 - GREY
  - ◆ CLADDING 5 - WHITE
  - ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 1
  - ◆ BALCONY AND TERRACE RAILING, HANDRAILS AND PROTECT SCREENS, SUPPORT POSTS, HANDRAILS AND
  - ◆ PLATE ALUM CLADDING SYSTEM - COLOUR 2
  - ◆ METAL FLASHING AND PARAPET CAP FLASHING
  - ◆ SHEET STEEL CLADDING SYSTEM
  - ◆ BALCONY SLAB EDGE COVER
  - ◆ WINDOW SYSTEM METAL SPANDREL, PROJECTING PANEL
  - ◆ WINDOW SYSTEM METAL SPANDREL, RECESSED PANEL
  - ◆ WINDOW SYSTEM METAL SPANDREL, RECESSED PANEL
  - ◆ RESIDENTIAL VISION GLASS - IGU
  - ◆ RESIDENTIAL VISION GLASS V6+ WITH BIRD FRIENDLY FRIT PATTERN
  - ◆ RETAIL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
  - ◆ SPANDREL GLASS - COLOUR 1
  - ◆ RAINWATER GLASS
  - ◆ RAINWATER GLASS WITH BIRD FRIENDLY FRIT PATTERN
  - ◆ PRIVACY SCREEN GLASS
  - ◆ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
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265 Catherine Street, Ottawa

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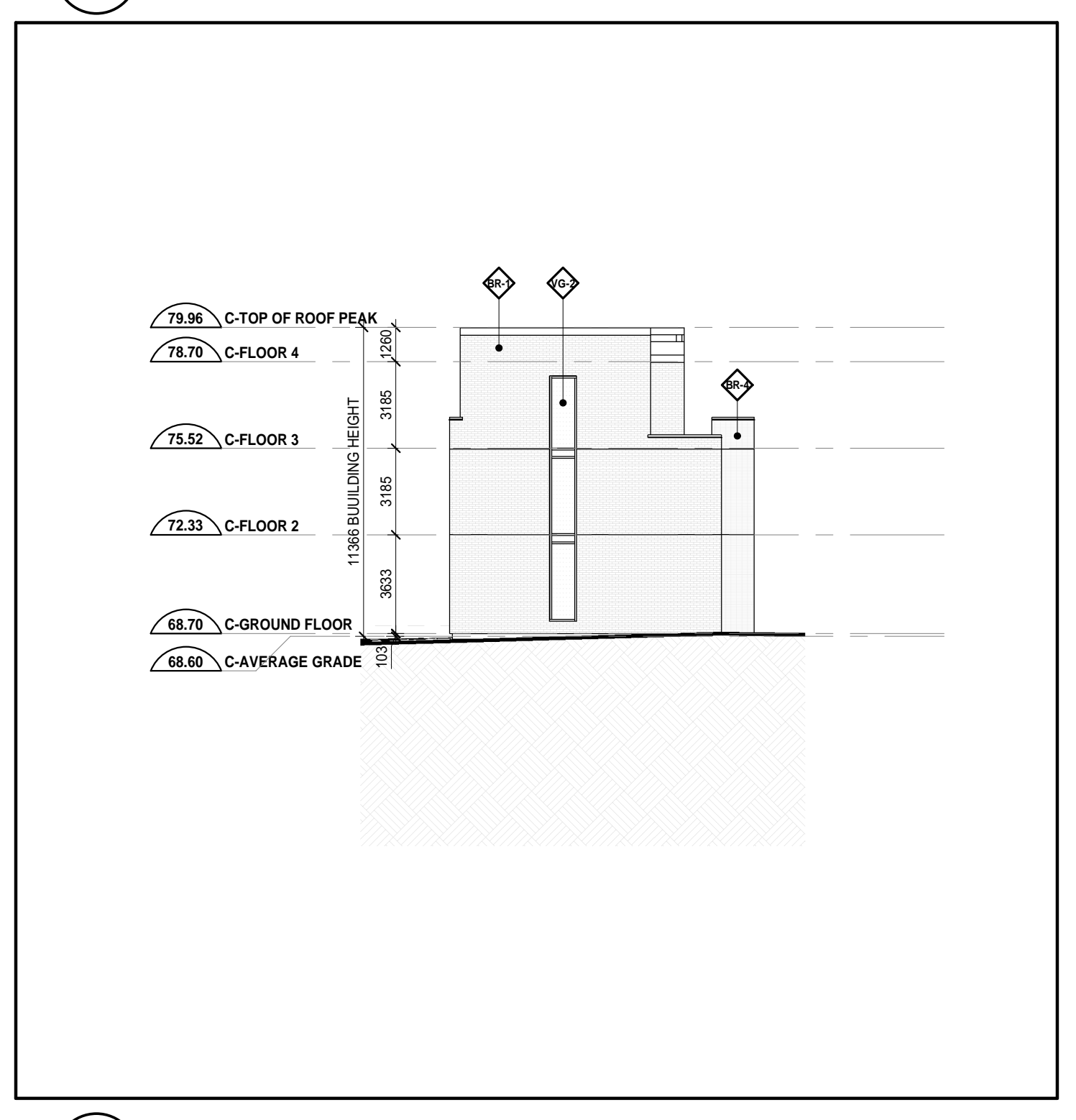
Building A Elevations

**A404.S**

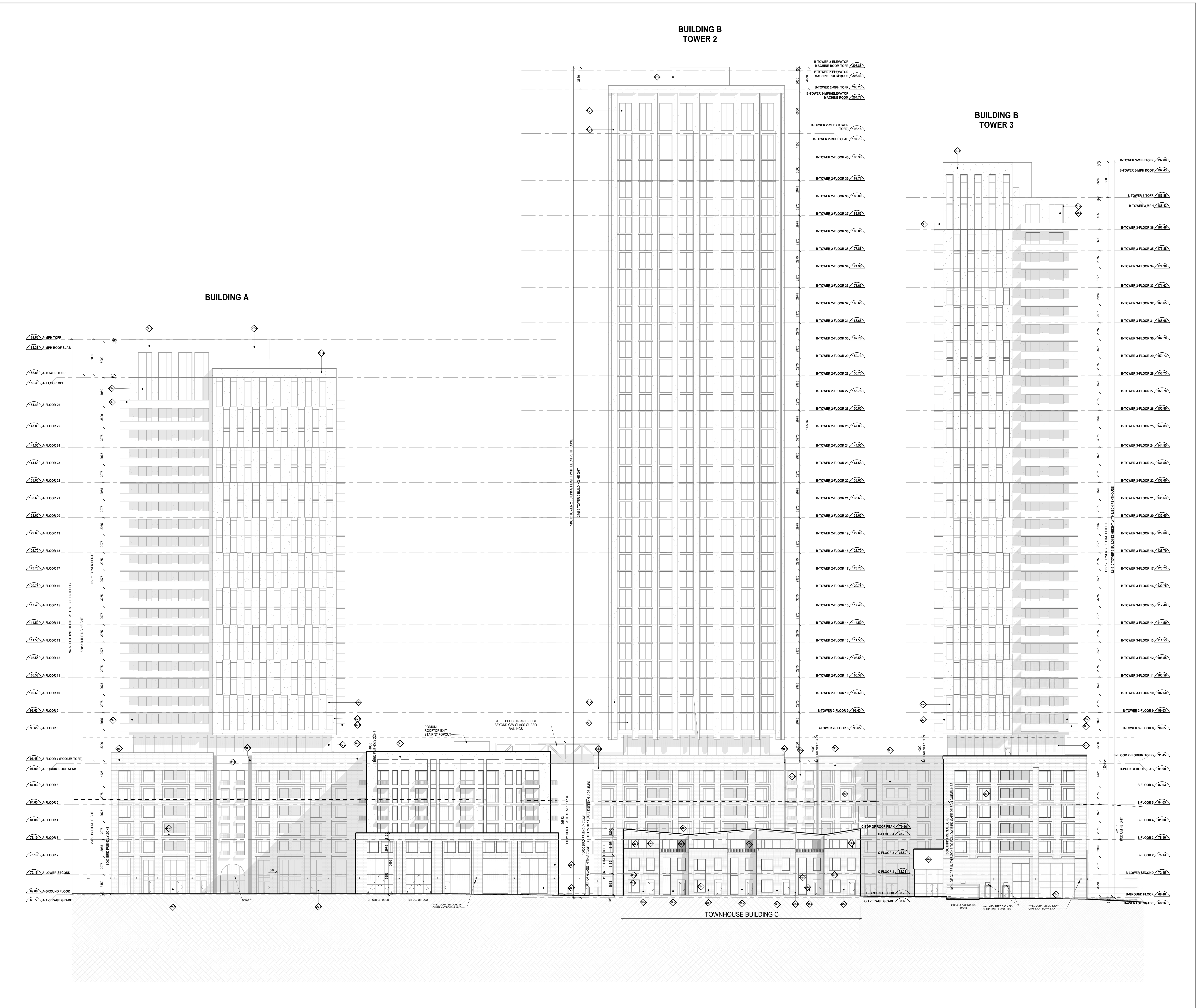
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3 Townhouses - South Elevation



2 Townhouses - West Elevation



1 North Elevation

**LEGEND:**

- ◆ BRICK - COLOUR 1
- ◆ BRICK - COLOUR 2
- ◆ BRICK - COLOUR 3
- ◆ BRICK - COLOUR 4
- ◆ CLADDING 1 - WHITE
- ◆ CLADDING 2 - GREY
- ◆ CLADDING 3 - OFF-WHITE
- ◆ CLADDING 4 - GREY
- ◆ CLADDING 5 - WHITE
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- ◆ BALCONY AND TERRACE RAILING HANDRAILS AND PRODUCT FINISHES SUPPORT POSTS, HANDRAILS AND
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- ◆ SHEET STEEL CLADDING SYSTEM
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- ◆ RETAIL VISION GLASS WITH BIRD FRIENDLY FRST PATTERN
- ◆ SPANDREL GLASS - COLOUR 1
- ◆ RAINING GLASS
- ◆ RAINING GLASS WITH BIRD FRIENDLY FRST PATTERN
- ◆ PRIVACY SCREEN GLASS
- ◆ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
- ◆ ARCHITECTURAL LOUVER

Date	No.	Description
2023-05-15	Zoning By-Law Amendment & Site-Plan Approval	

REVISION RECORD

Date	No.	Description
2023-05-15	Zoning By-Law Amendment & Site-Plan Approval	

ISSUE RECORD

Date	No.	Description
2023-05-15	Zoning By-Law Amendment & Site-Plan Approval	

**BDP. Quadrangle**

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 1701 Hwy. 7, Suite 2000, Toronto, ON M2V 0B8  
 T: 416-598-1200 www.bdpquadrangle.com

265 Catherine Street, Ottawa

for Brigil

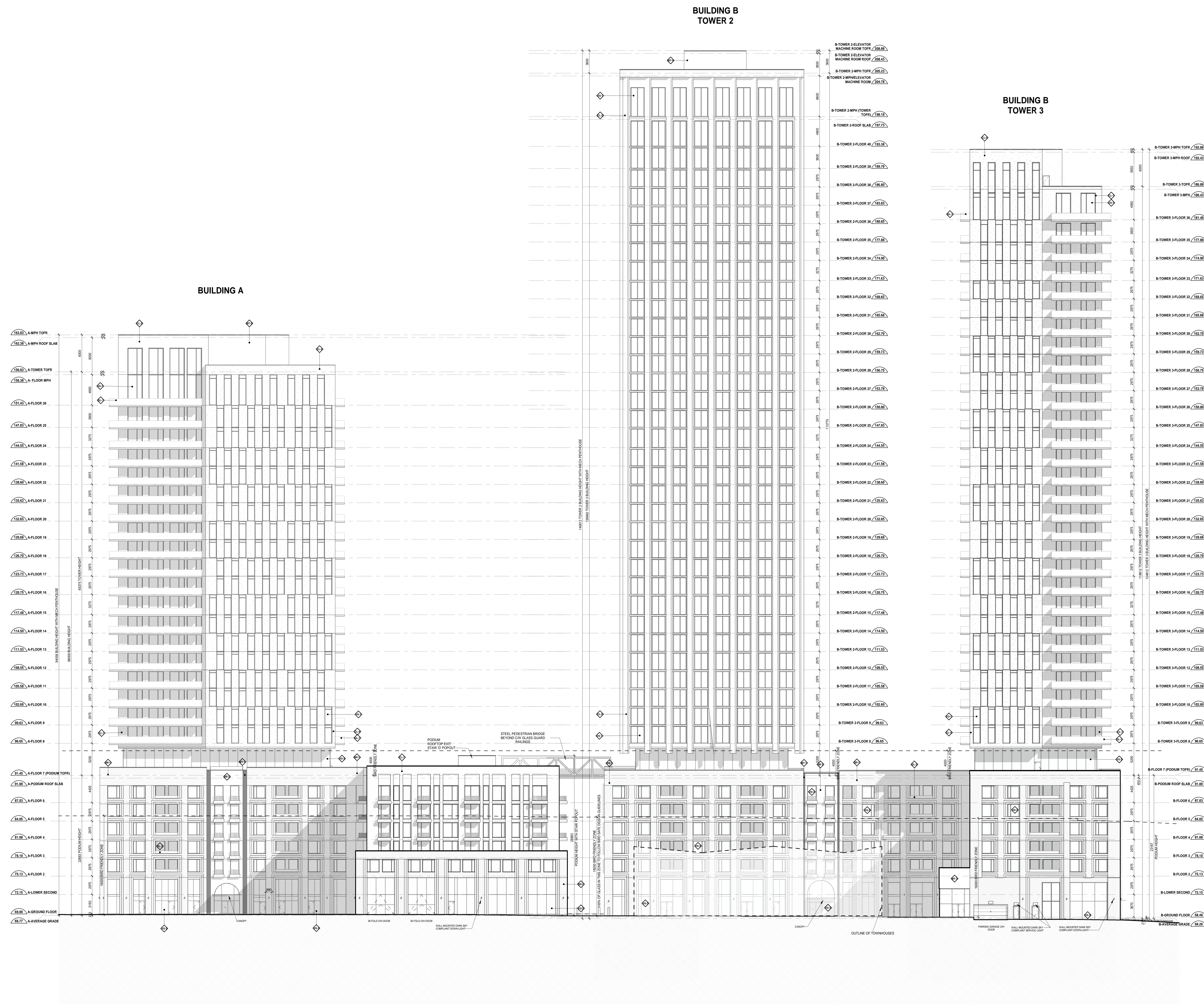
21007 1:200 GZ R/L  
 PROJECT SCALE DRAWN REVIEWED

North Elevation

**A405.S**

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14/07/2023 10:30 AM



- LEGEND:**
- ◊ BRICK - COLOUR 1
  - ◊ BRICK - COLOUR 2
  - ◊ BRICK - COLOUR 3
  - ◊ BRICK - COLOUR 4
  - ◊ CLADDING 1 - WHITE
  - ◊ CLADDING 2 - GREY
  - ◊ CLADDING 3 - OFF-WHITE
  - ◊ CLADDING 4 - GREY
  - ◊ CLADDING 5 - WHITE
  - ◊ PLATE ALUM CLADDING SYSTEM - COLOUR 1
  - ◊ BALCONY AND TERRACE RAILING, HANDRAILS AND PROTECT SCREENS, SUPPORT POSTS, HANDRAILS AND
  - ◊ PLATE ALUM CLADDING SYSTEM - COLOUR 2
  - ◊ METAL FLASHING AND PARAPET CAP FLASHING
  - ◊ SHEET STEEL CLADDING SYSTEM
  - ◊ BALCONY SLAB EDGE COVER
  - ◊ WINDOW SYSTEM METAL SPANDREL, PROJECTING PANEL
  - ◊ WINDOW SYSTEM METAL SPANDREL, RECESSED PANEL
  - ◊ WINDOW SYSTEM METAL SPANDREL, RECESSED PANEL
  - ◊ RESIDENTIAL VISION GLASS - IGU
  - ◊ RESIDENTIAL VISION GLASS V6+ WITH BIRD FRIENDLY FRIT PATTERN
  - ◊ RETAIL VISION GLASS WITH BIRD FRIENDLY FRIT PATTERN
  - ◊ SPANDREL GLASS - COLOUR 1
  - ◊ RAINGLASS
  - ◊ RAINGLASS WITH BIRD FRIENDLY FRIT PATTERN
  - ◊ PRIVACY SCREEN GLASS
  - ◊ RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVER
  - ◊ ARCHITECTURAL LOUVER

Date	No.	Description
2023-05-15	Zoning By-Law Amendment & Site-Plan Approval	

**REVISION RECORD**

No.	Description
1	ISSUE RECORD

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for  
Brigil

21007 1:200 GZ R/L  
PROJECT SCALE DRAWN REVIEWED

North Elevation - No Townhouses

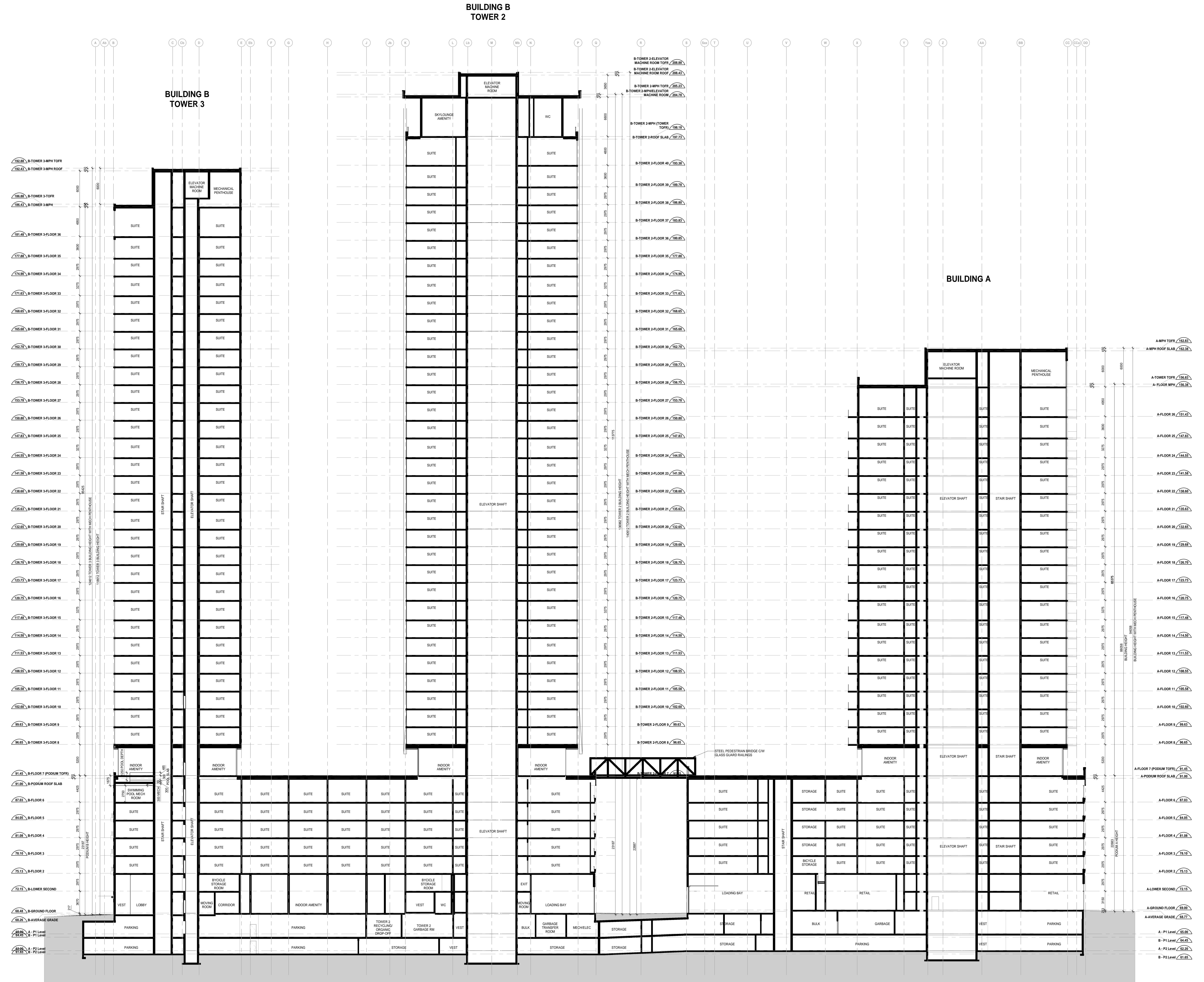
**A406.S**

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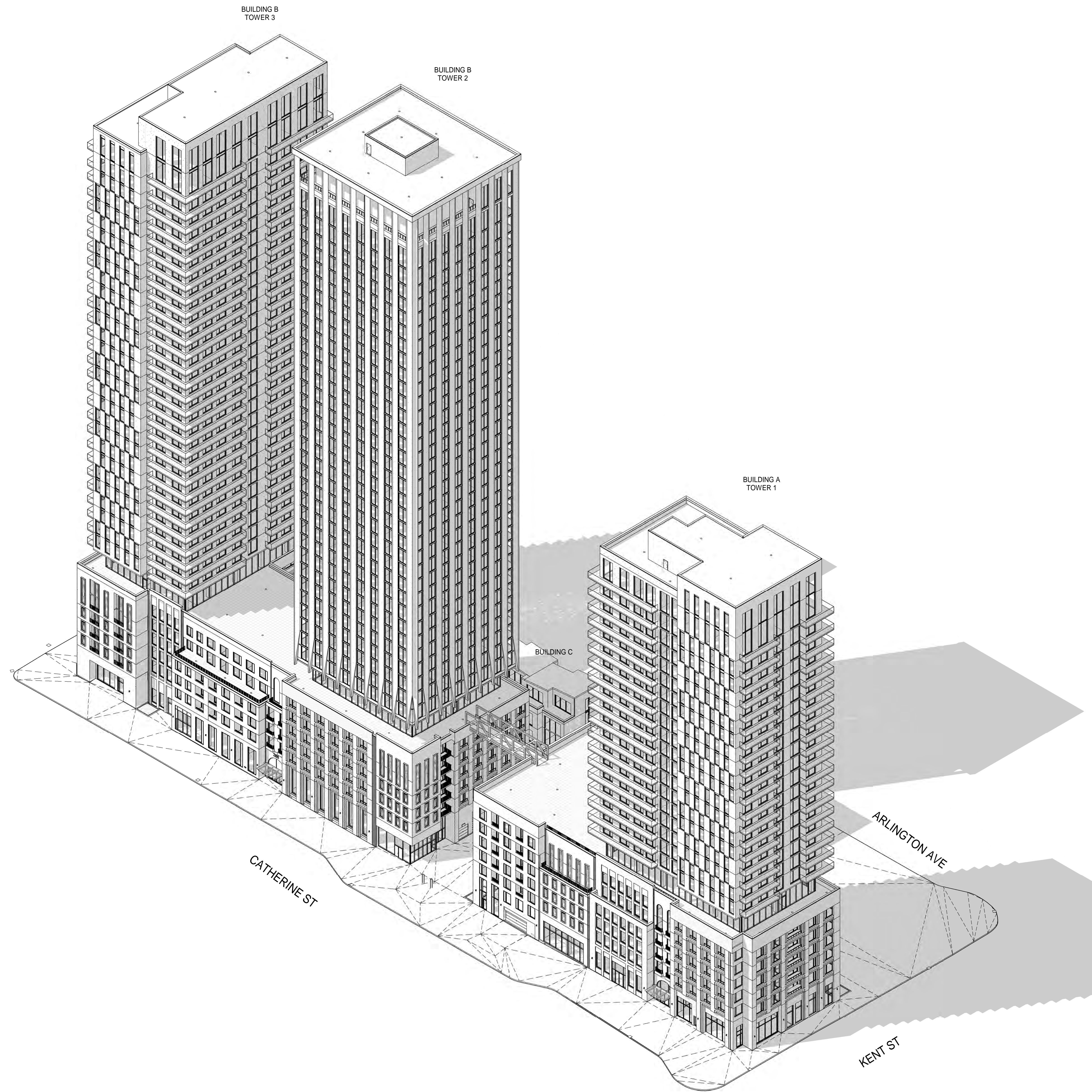
for  
Brigil

21007 1:200 AR R/LJ  
PROJECT SCALE DRAWN/REVIEWED

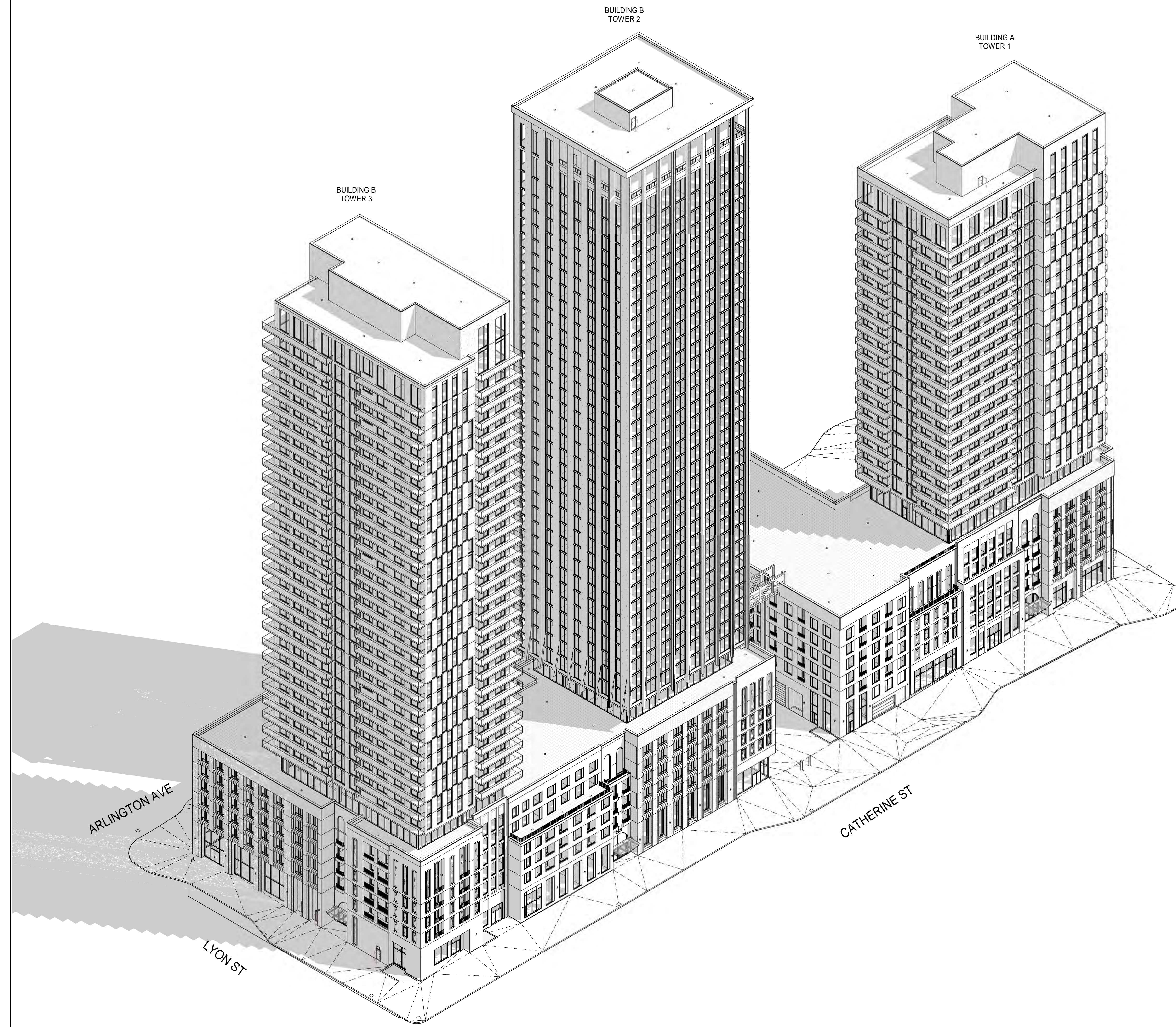
Building Section

**A453.S**

1  
4453.S Building A&B Section\_EW



1 South East View



2 South West View

Date	No.	Description
2023-05-15	Zoning By-Law Amendment & Site-Plan Approval	
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21007 PROJECT SCALE GZ R/JL  
DRAWN REVIEWED

3D View

**A475.S**

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