

CITY OF OTTAWA ZONING BY-LAW

ZONING MECHANISM (R3Z - PUD)	PROVISION	PROVIDED
MINIMUM LOT WIDTH	18.0m	96.0m
MINIMUM LOT AREA	1,400m ²	12,294.4m ²
MAXIMUM BUILDING HEIGHT	AS PER DWELLING TYPE, DWELLING TYPE NOT PERMITTED	9.16m
MINIMUM FRONT YARD SETBACK	3.0m	3.5m
MINIMUM REAR YARD SETBACK	6.0m	3.5m
MINIMUM INTERIOR YARD SETBACK	6.0m	2.6m
MINIMUM REQUIRED VEHICLE PARKING SPACES (AREA C OF SCHEDULE 1A)	RESIDENTIAL: 1.2 PER DWELLING UNIT VISITOR: 0.2 PER DWELLING UNIT	120 20
MINIMUM DRIVEWAY WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM AISLE WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM PARKING SPACE DIMENSIONS	LENGTH: 5.2m WIDTH: 2.6m	LENGTH: 5.2m WIDTH: 2.6m
MINIMUM WIDTH OF LANDSCAPED AREA AROUND A PARKING LOT	ABUTTING A STREET: 3.0m NOT ABUTTING A STREET: 1.5m	3.0m 2.6m
MINIMUM REQUIRED LANDSCAPED AREA WITHIN A PARKING LOT	15%	>15%
OUTDOOR REFUSE COLLECTION	MIN. SETBACK FROM A PUBLIC STREET: 9.0m MIN. SETBACK FROM ANY LOT LINE: 3.0m SCREENING MIN. HEIGHT: 2.0m	>9.0m >3.0m 2.0m
MINIMUM WIDTH OF PRIVATE WAY	6.0m	6.0m
MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY	NOTWITHSTANDING ANY FRONT YARD SETBACK REQUIREMENT ASSOCIATED WITH ANY ZONE OR SUBZONE, THE MINIMUM SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY IS 1.8m	3.5m
MINIMUM SEPARATION AREA BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT	3m	3m



CLIENT NAME: THE BERGE HOMES

NOTES:

- ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANINGS AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

UNIT COUNT
STACKED TOWNS: 100 UNITS

WASTE MANAGEMENT
GARBAGE: 0.251 YARDS PER UNIT
RECYCLING (FIBRE): 0.062 YARDS PER UNIT
RECYCLING (GMP): 0.018 YARDS PER UNIT
GARBAGE: 24 YARDS REQUIRED
RECYCLING (FIBRE): 7 YARDS REQUIRED
RECYCLING (GMP): 2 YARDS REQUIRED

SEAL: ONTARIO ASSOCIATION OF ARCHITECTS
S.J. LAWRENCE ARCHITECT INCORPORATED
442

NO.	DATE	REVISION
04	2023.06.13	ISSUED FOR SFC
05	2023.03.20	RE-ISSUED FOR PRE-CONSULT
07	2023.03.14	ISSUED FOR REVIEW
06	2023.02.22	RE-ISSUED FOR PRE-CONSULT
08	2023.02.14	ISSUED FOR REVIEW
04	2023.01.19	ISSUED FOR REVIEW
03	2022.11.22	ISSUED FOR PRE-CONSULT
02	2022.11.18	ISSUED FOR REVIEW
01	2022.11.09	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
19 DEAKIN STREET SUITE 209 OTTAWA, ONTARIO K2E 6B7
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THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT: OLD SECOND LINE DEVELOPMENT
1150 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE: SITE PLAN

DRAWN BY: D.T. CHECKED BY: S.J.L.
2023.06.13 PROJECT DATE

JOB NUMBER: SL-1026-22 SCALE: 1:250
SHEET NUMBER: A1.0

APPLICATION #

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME HEADINGS AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
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NOTES:

1. DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWING 5000 BY OTHER CONSULTANT.
2. REFER TO DMS, ADO & SDO FOR CONSTRUCTION NOTES.
3. FRAMER TO VERIFY ALL BEAM LENGTHS ON-SITE AGAINST AS-BUILT CONDITIONS PRIOR TO FABRICATION.
4. PROVIDE SOUND ATTENUATION BATT INSULATION IN STUD CAVITY FOR SOUNDPROOFING AROUND WALLS IN ALL MECHANICAL, UTILITY, BATHROOMS, AND STAMP ROOM.
5. PROVIDE ADJUSTABLE SEALANT @ TOP & BOTTOM OF HOOD PLATES.
6. FOR CONCRETE FOOTINGS SEE PLANSCHEDULE.
7. FOUNDATION WALLS TO BE MIN. 10" C/N 10M @ 16" VERT + DVLS. 10M @ 24" HEP + HIGH HEP ADD'L AT TOP. HOOK HORIZONTAL AT CORNERS C/N 4-18M VERTS ADD'L. PROVIDE CLASS 'B' LAPS. FC 28MPG CLASS F.2 - TYP.

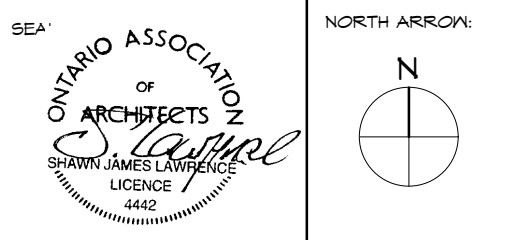
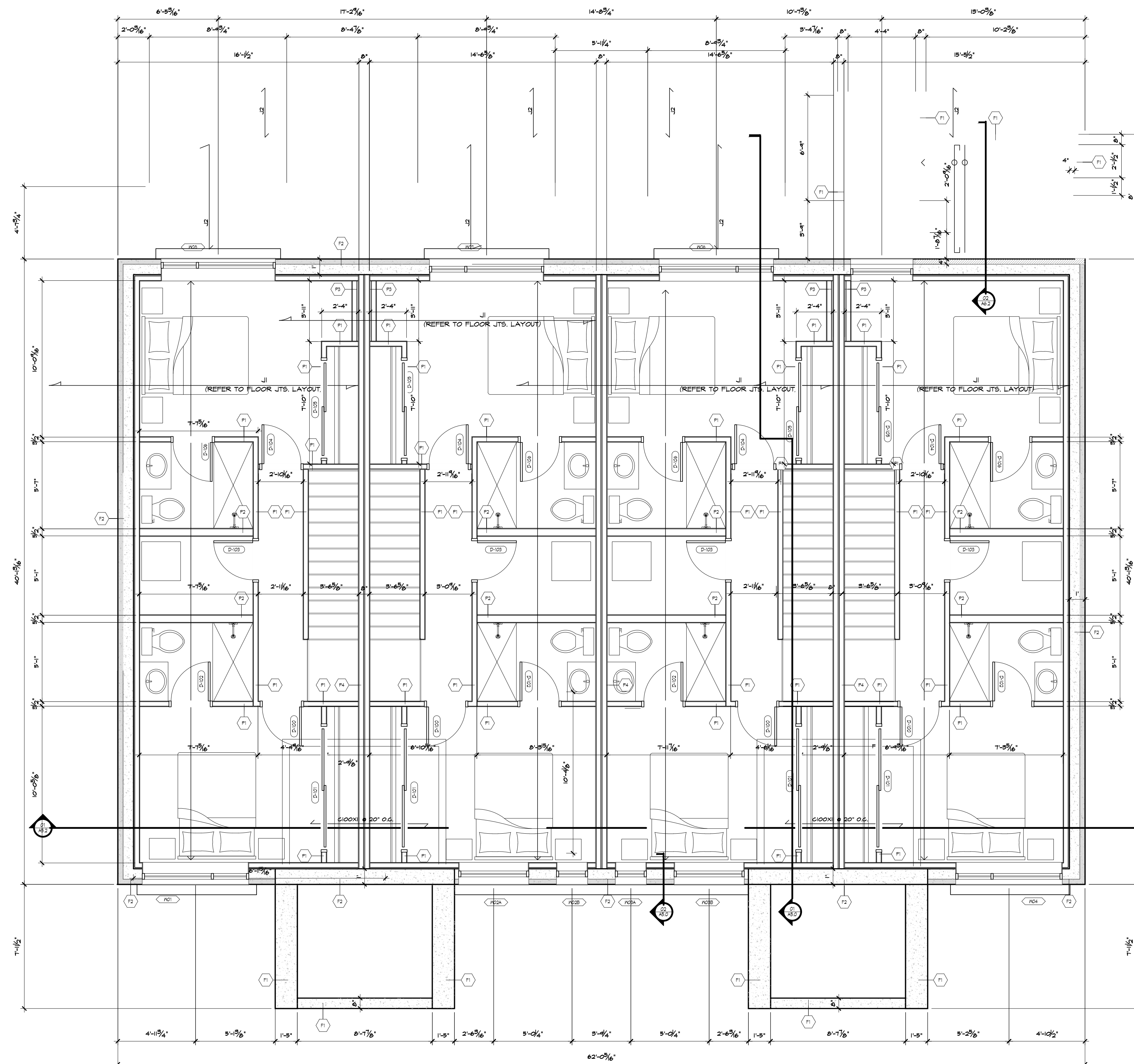
LEGEND:

- POINT LOAD (REFER TO ROOF TRUSS LAYOUT)
- GIRDER TRUSS (REFER TO ROOF TRUSS LAYOUT)
- ALL GIRDERS TO HAVE PS UNLESS NOTED OTHERWISE

CONCRETE HALL PAD FOOTINGS
 F1. PAD FOOTING, 4.5' X 4.5' X 12" C/N 5-18M BEH + HOOK TO TOP
 F2. STRIP FOOTING, 5" WIDE X 12" DEEP C/N 5-18M BOT CONT
 F3. STRIP FOOTING, 4" WIDE X 12" DEEP C/N 5-18M BOT CONT
 F4. 5'-5" X 1' RETAINING WALL FOOTING C/N 5-18M BOT CONT + 18M @ 8" TIEB SHORT (HOOK TOP BARS TO BOT)

DESIGN BEARING CAPACITIES:
 -75 kPa @ SLS
 -100 kPa @ ULS

PROVIDE MIN SOIL COVER AT ALL FOUNDATIONS OR EQUIVALENT COVER FROM RIGID INSULATION



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03	2023.06.13	ISSUED FOR SPG
02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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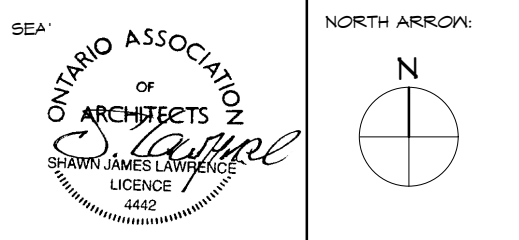
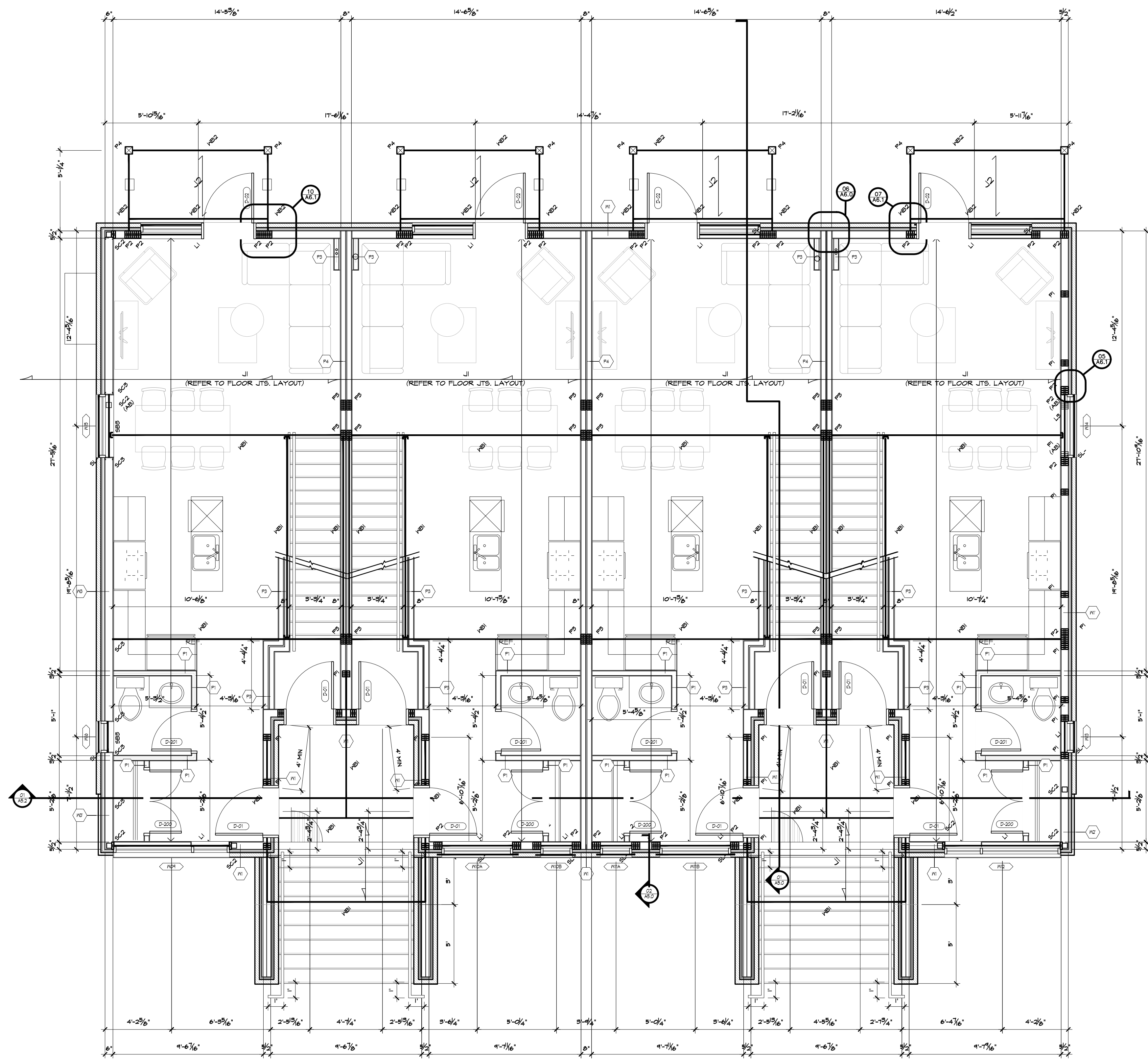
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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
BASEMENT FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.04.14
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
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 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



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01	2023.05.30	ISSUED FOR REVIEW

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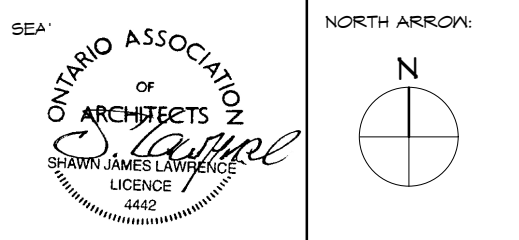
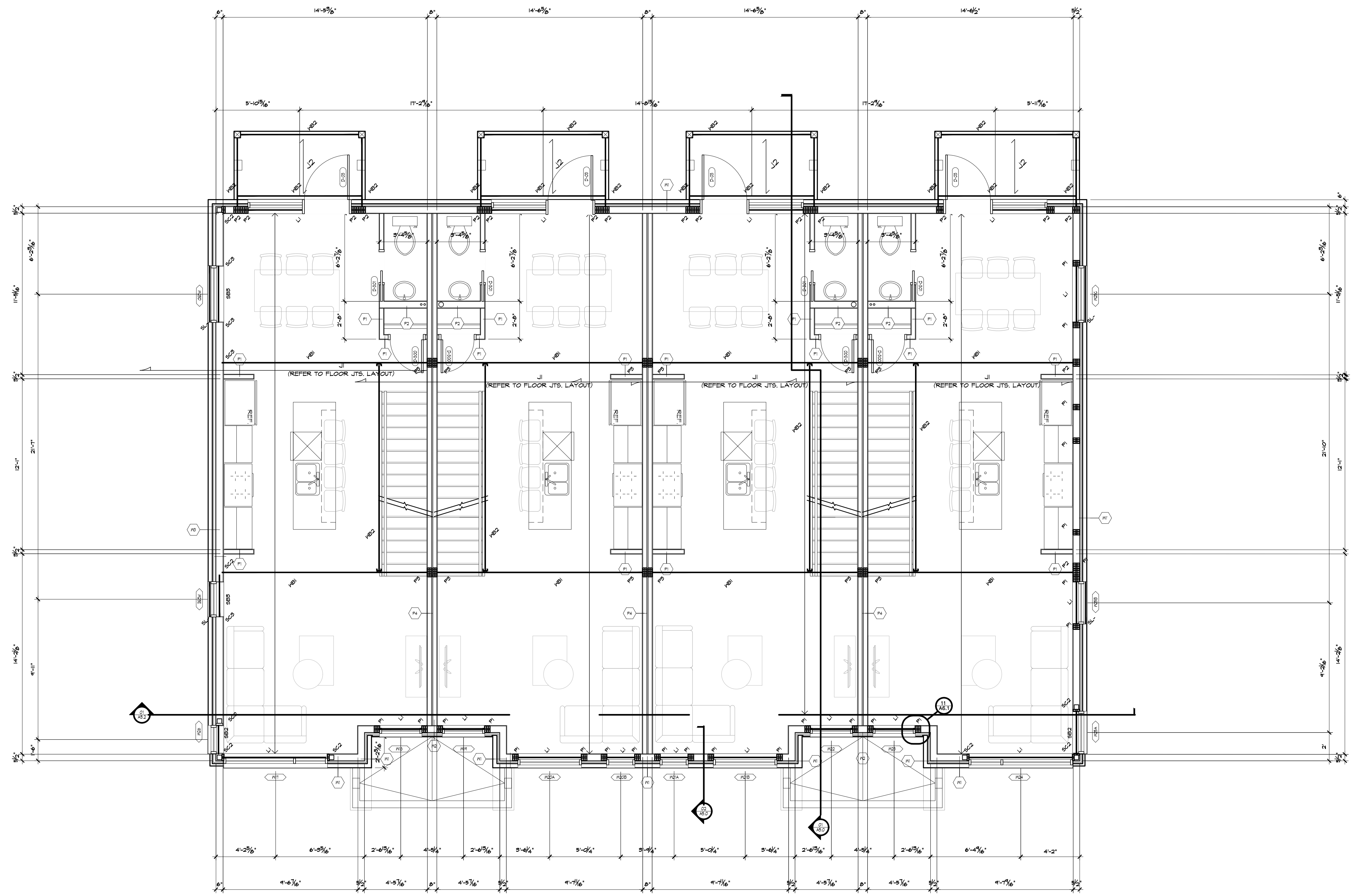
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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

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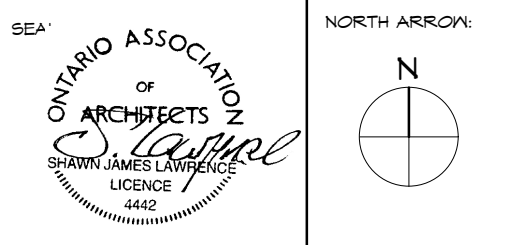
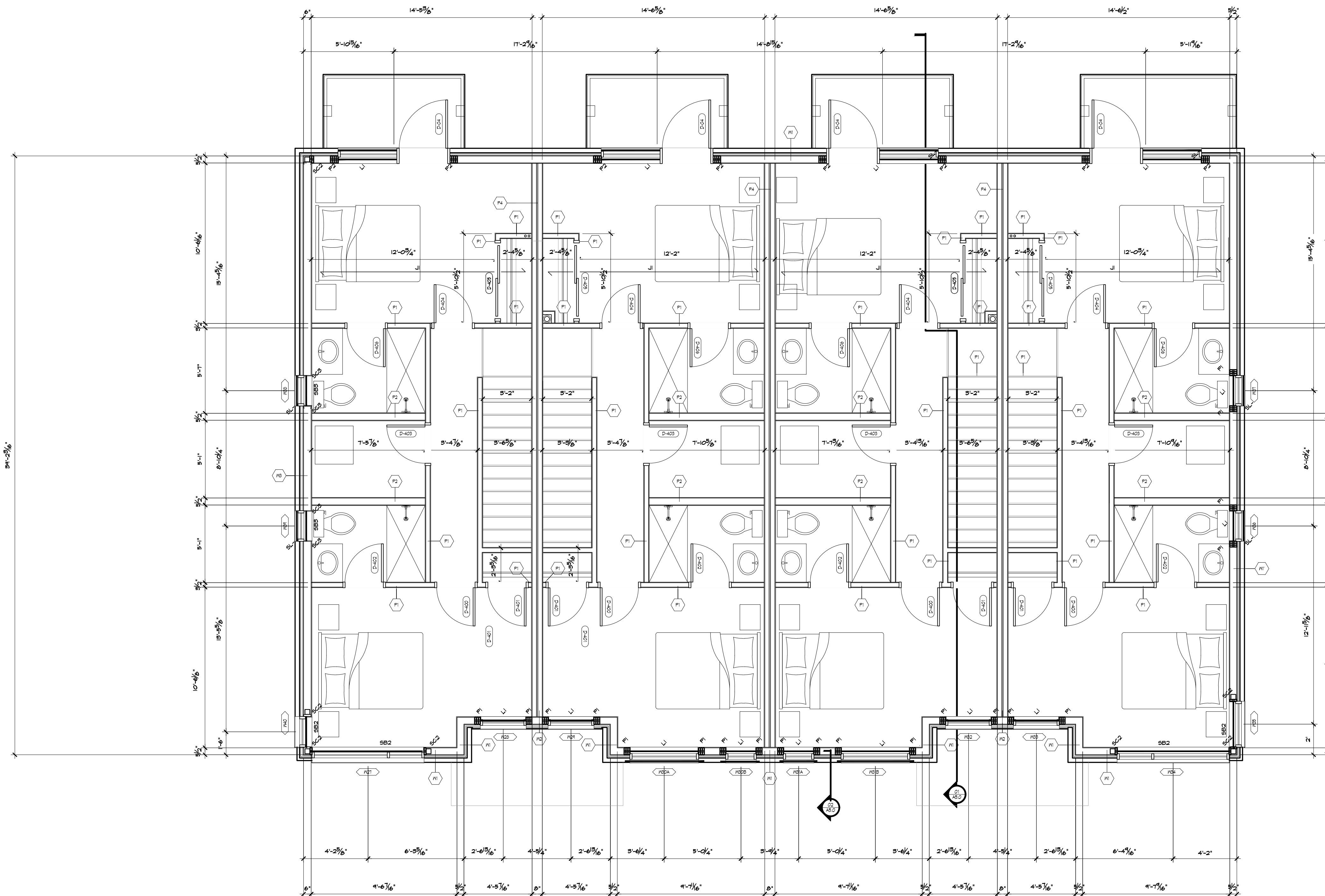
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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
SECOND FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

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01	2023.05.30	ISSUED FOR REVIEW

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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	

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EXTERIOR FINISH LEGEND

- 1 CEMENT FINISH ON ALL EXPOSED FOUNDATION TO 6" BELOW GRADE
- 2 CONTEMPORARY BRICK VENEER - TBD
- 3 STONE VENEER - PERMACON LEXA B
- 4 PRECAST CONCRETE SILL
- 5 FIBER-CEMENT LAP SIDING (SMOOTH)
- 6 FIBER-CEMENT PANELS - KOL, TBD
- 7 WALL SCOTCH
- 8 PRE-FINISHED METAL FASCIA & VENTED SOFFIT - BLACK
- 9 PRE-FINISHED METAL FLASHING - BLACK
- 10 MIN. 40 YEAR ASPHALT SHINGLES - TBD
- 11 RIDGE VENT C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES
- 12 MAIN VENTS C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES

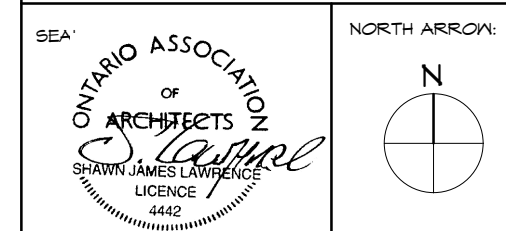
NOTE:
 ALL COLOUR & FINISH SELECTIONS TO BE COORDINATED, FINALIZED & APPROVED BY OWNER.



01 EAST (FRONT) ELEVATION - BLOCK 2
 A3.0 SCALE: 3/16" = 1'-0"



02 EAST (FRONT) ELEVATION - MASSING
 A3.0 SCALE: 3/16" = 1'-0"



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02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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PROJECT:
 OLD SECOND LINE DEVELOPMENT
 1150 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
 ELEVATIONS

DRAWN BY: B.L. CHECKED BY: S.J.L.

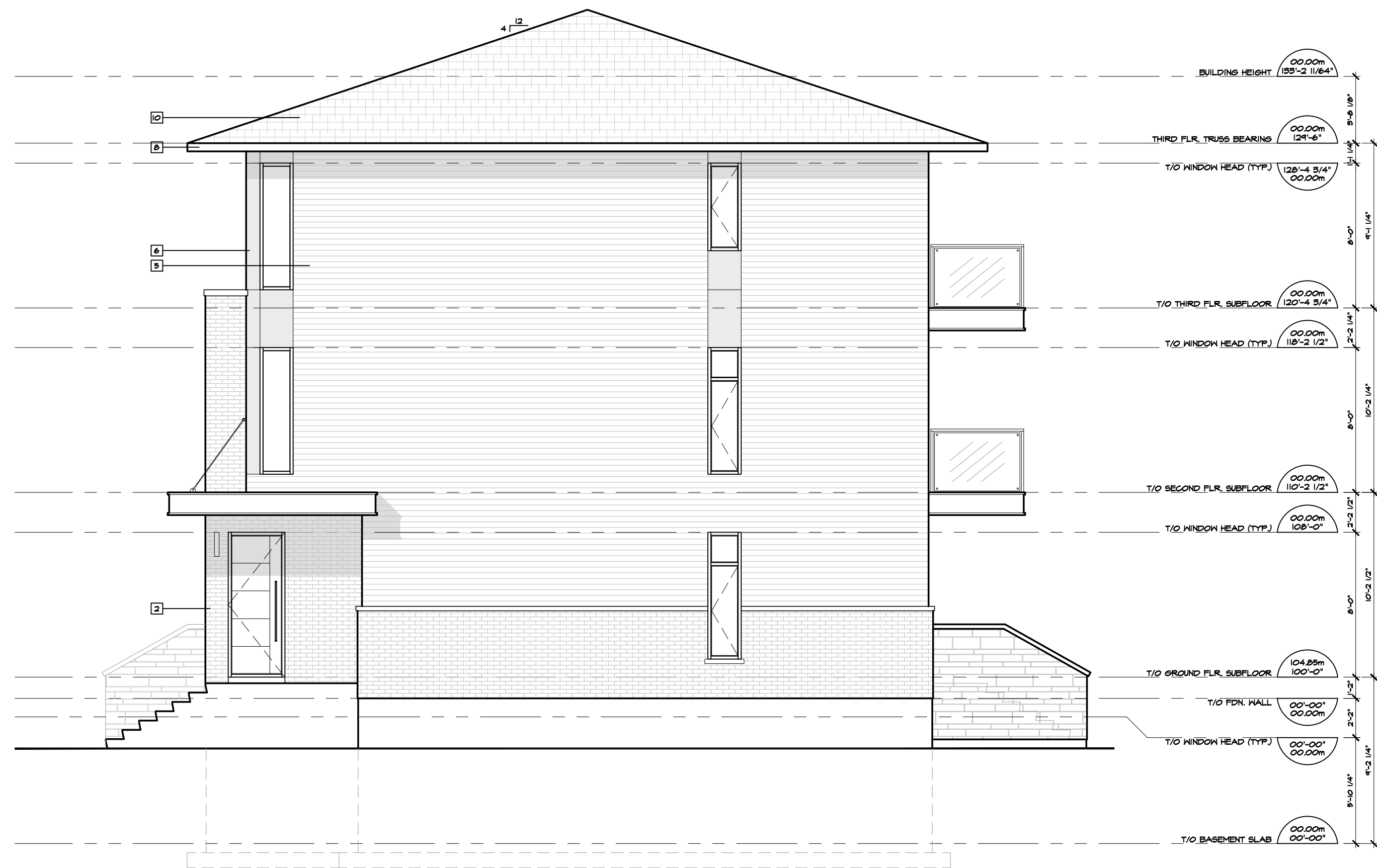
PLOT DATE: 2023.06.12 PROJECT DATE: 2022.04.19

JOB NUMBER: SL-10266-22 SCALE: AS SHOWN

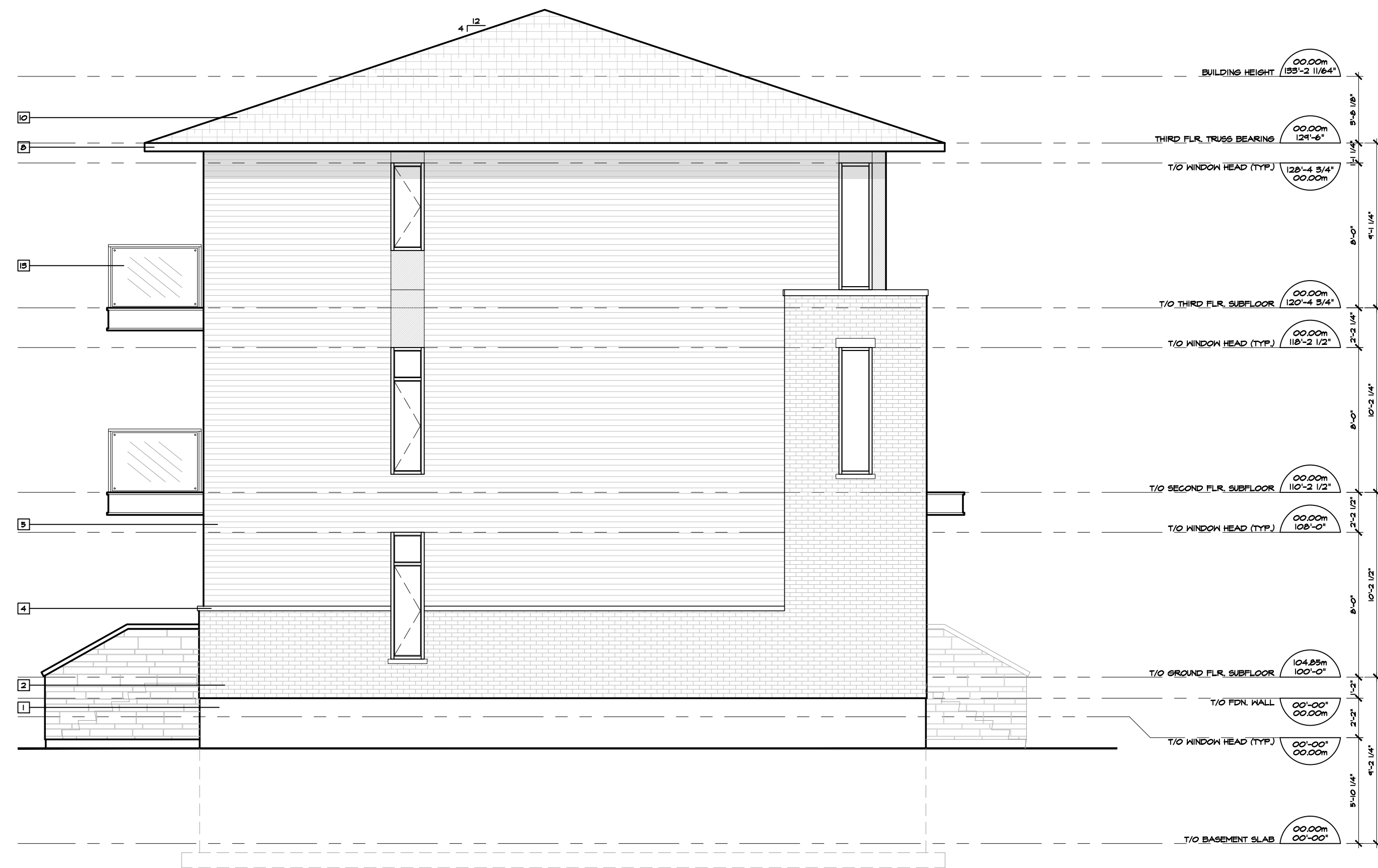
SHEET NUMBER:



01 WEST (REAR) ELEVATION - BLOCK 2
A3.1 SCALE: 3/16" = 1'-0"



02 NORTH (SIDE) ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



03 SOUTH (SIDE) ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

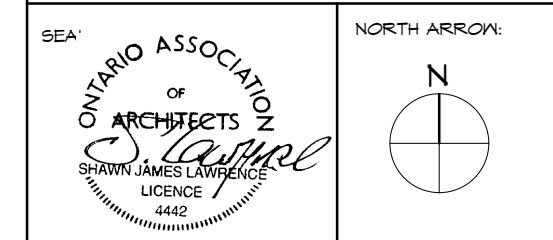
CLIENT NAME: **THE BERGE HOMES**

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- EXTERIOR FINISH LEGEND**
- 1) GEMENT FINISH ON ALL EXPOSED FOUNDATION TO 6" BELOW GRADE
 - 2) CONTEMPORARY BRICK VENEER - TBD
 - 3) STONE VENEER - PERMACON LEXA B
 - 4) PRECAST CONCRETE SILL
 - 5) FIBER-CEMENT LAP SIDING (SMOOTH)
 - 6) FIBER-CEMENT PANELS - KOL, TBD
 - 7) WALL SCOEING
 - 8) PRE-FINISHED METAL FASCIA & VENTED SOFFIT - BLACK
 - 9) PRE-FINISHED METAL FLASHING - BLACK
 - 10) MIN. 40 YEAR ASPHALT SHINGLES - TBD
 - 11) RIDGE VENT C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES
 - 12) MAIN VENTS C/A BUS & BIRD SCREEN - COLOUR TO MATCH SHINGLES
 - 13) 42" GLASS GUARDRAIL

NOTE:
ALL COLOUR & FINISH SELECTIONS TO BE COORDINATED, FINALIZED & APPROVED BY OWNER.



NO.	DATE	REVISION
03	2023.06.13	ISSUED FOR SPC
02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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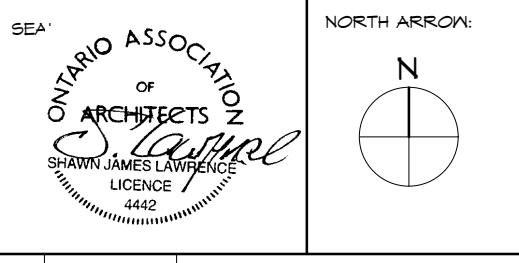
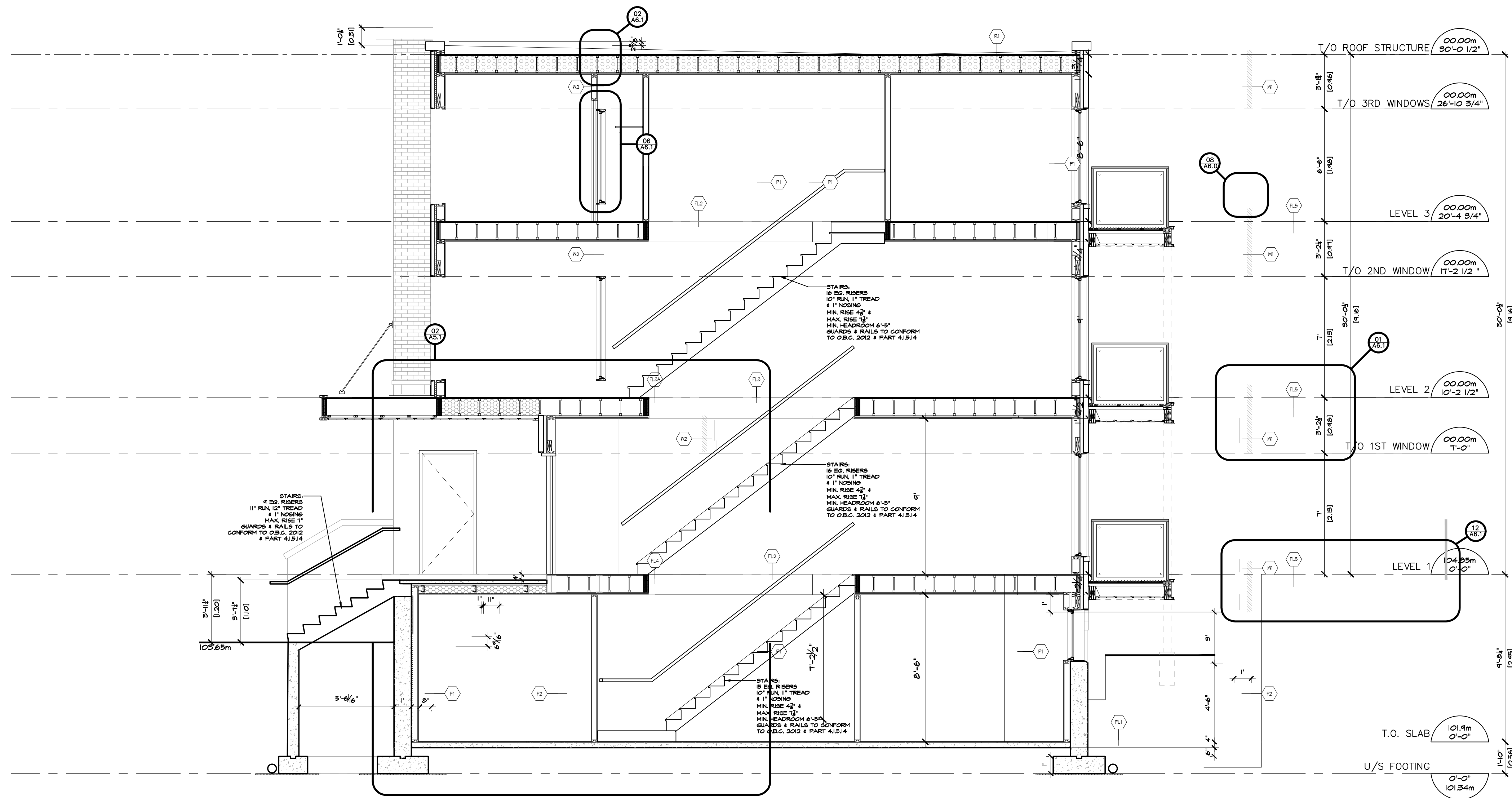


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PROJECT:
OLD SECOND LINE DEVELOPMENT
1150 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: B.L. CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12 PROJECT DATE: 2022.04.19
JOB NUMBER: SL-1026-22 SCALE: AS SHOWN
SHEET NUMBER:



No.	DATE	REVISION
03	2023.06.13	ISSUED FOR SPG
02	2023.06.09	ISSUED FOR REVIEW
01	2023.05.30	ISSUED FOR REVIEW

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PROJECT:
OLD SECOND LINE DEVELOPMENT
 1190 OLD SECOND LINE ROAD, OTTAWA, ON

SHEET TITLE:
BUILDING SECTION

DRAWN BY: B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2023.06.12	PROJECT DATE: 2022.09.19
JOB NUMBER: SL-1026-22	SCALE: AS SHOWN
SHEET NUMBER:	