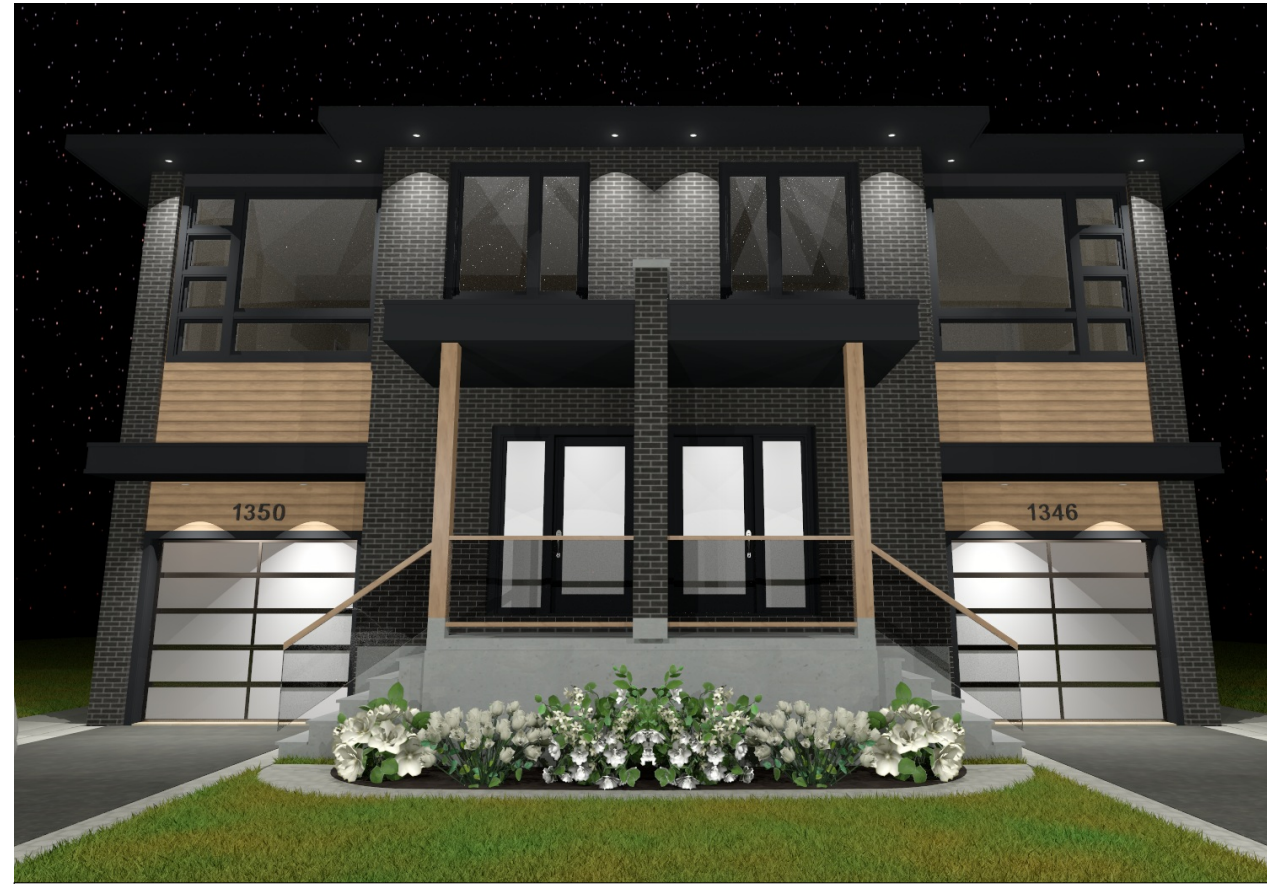




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STREET VIEW



NIGHT VIEW

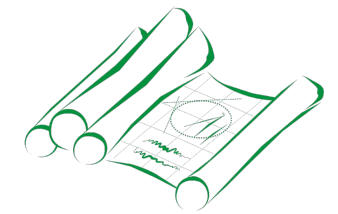
ANDREW CLARK HOMES

1346 & 1348 AVENUE Q
NEW 2 STOREY SEMI-DET. DWELLING W/ BASEMENT S.D.U.s

ZONING SET

DRAWING LEGEND

LABEL	TITLE
A1	SCHEDULE & RENDERS
A3	FLOOR PLANS
A4	FRONT ELEVATION
A5	RIGHT ELEVATION
A6	REAR ELEVATION
A7	LEFT ELEVATION
SP	SITE PLAN



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211-1390 PRINCE OF WALES DRIVE
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I BASSAM ELSARAJ REVIEW AND TAKE RESPONSIBILITIES FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE 2012 O.B.C. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

DESIGNER BCIN: 37385 FIRM BCIN: 40889

SIGNATURE OF MEMBER:

PROJECT TITLE:

ANDREW CLARK HOMES

1346 & 1348 AVENUE Q

OTTAWA, ONTARIO

PROJECT NUMBER:

2316

SQUARE FOOTAGE PER UNIT:

BASEMENT/FDN: 722 ft²

GROUND FLOOR: 783 ft²

SECOND FLOOR: 1,006 ft²

REVISION TABLE

NO.	DESCRIPTION	DATE
1	ZONING REV'S 1	2023-11-11

DRAWING TITLE:

SCHEDULE & RENDERS

GENERAL NOTES:

- DO NOT SCALE DIMENSIONS. READ DIMENSIONS ONLY.
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SCALE: AS SHOWN

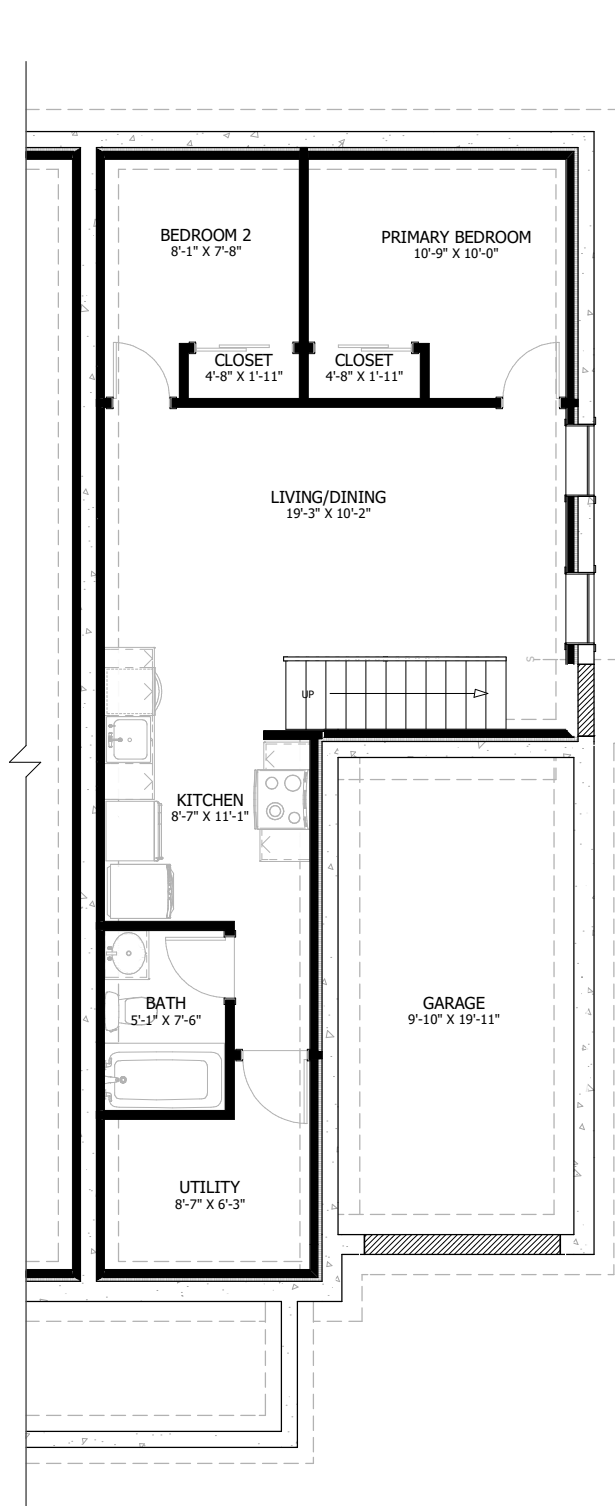
DRAWN BY: B.E.

DATE: 2023-11-11

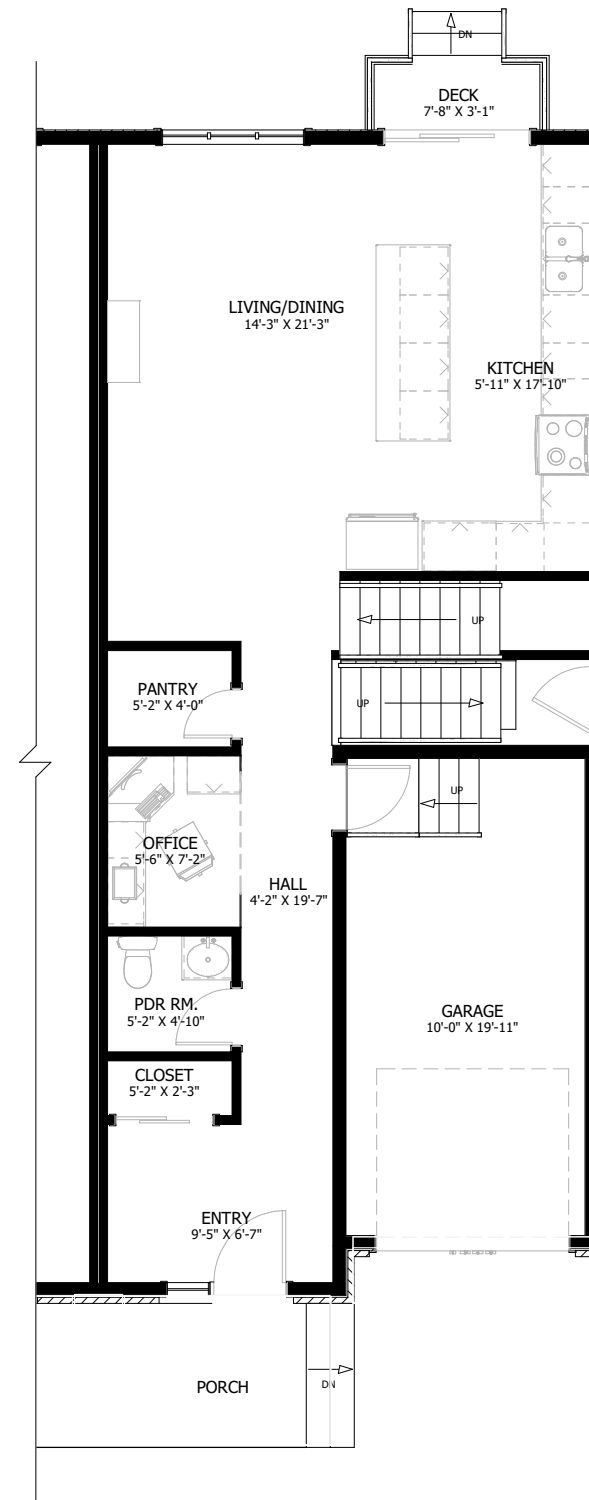
SHEET:

A1

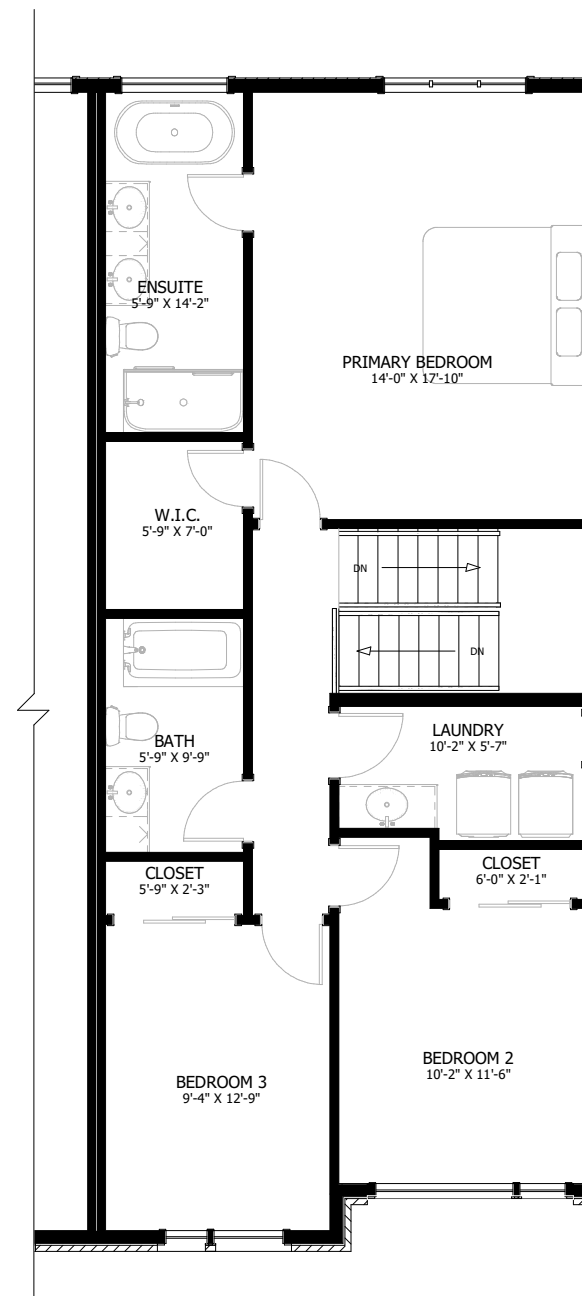
* SQUARE FOOTAGE INCLUDES PART OF BASEMENT THAT IS FINISHED
 ** NUMBER OF STEPS TO GRADE WILL DEPEND OF FINAL SITE CONDITIONS



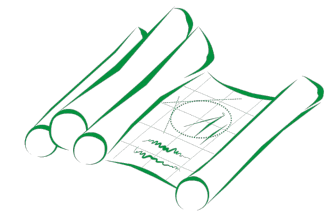
BASEMENT



1ST FLOOR



2ND FLOOR



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SIGNATURE OF MEMBER:

PROJECT TITLE:
ANDREW CLARK HOMES
 1346 & 1348 AVENUE Q OTTAWA, ONTARIO

PROJECT NUMBER: **2316**

SQUARE FOOTAGE PER UNIT:
 BASEMENT/FDN: 722 ft²
 GROUND FLOOR: 783 ft²
 SECOND FLOOR: 1,006 ft²

REVISION TABLE		
NO.	DESCRIPTION	DATE
1	ZONING REV'S 1	2023-11-11

DRAWING TITLE:
FLOOR PLANS

- GENERAL NOTES:
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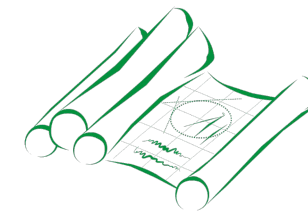
SCALE: AS SHOWN

DRAWN BY: B.E.

DATE: 2023-11-11

SHEET:

A3



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GROUND FLOOR: 783 ft²
SECOND FLOOR: 1,006 ft²

REVISION TABLE

NO.	DESCRIPTION	DATE
1	ZONING REV'S 1	2023-11-11

DRAWING TITLE:
FRONT ELEVATION

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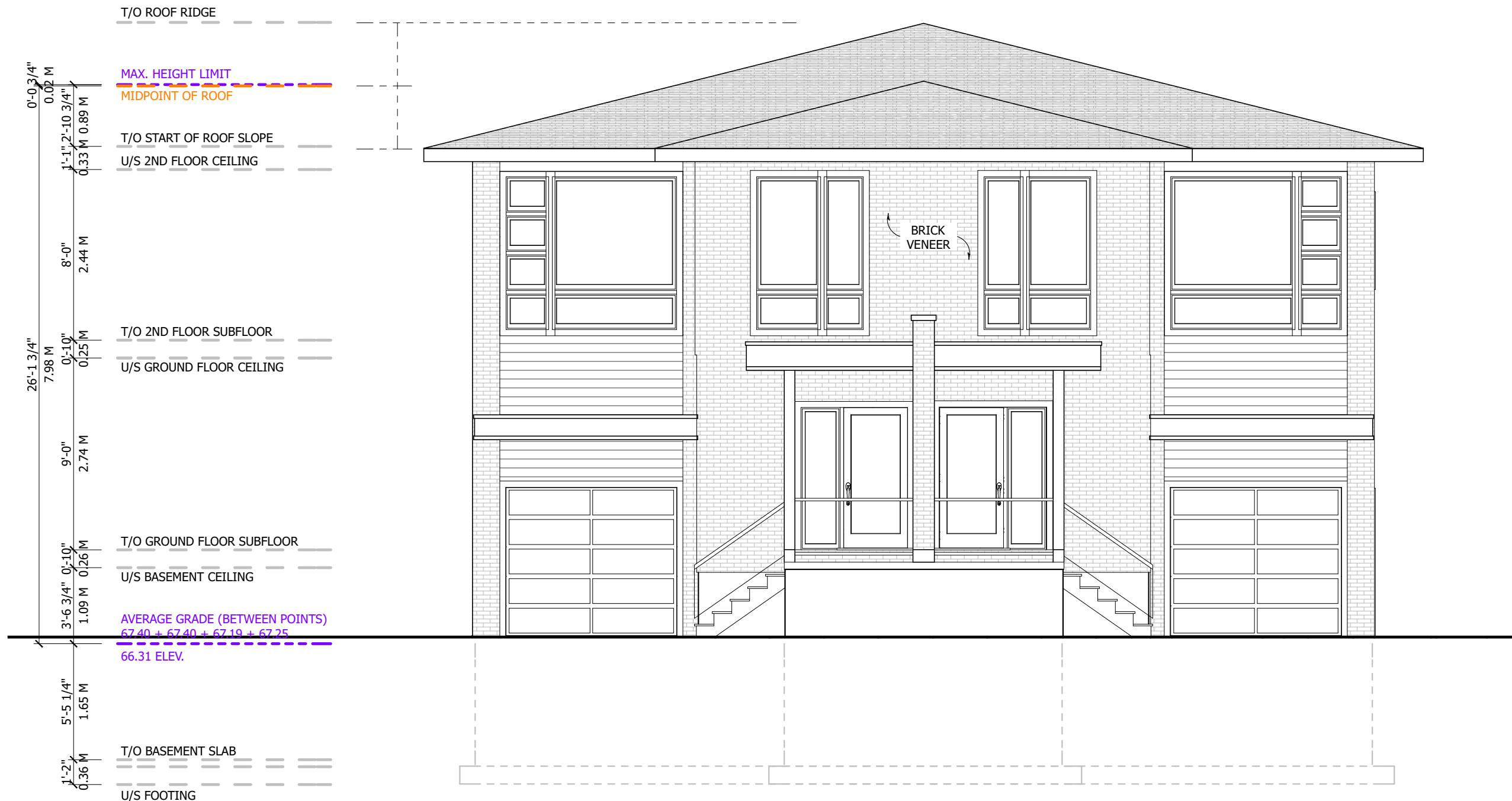
SCALE: AS SHOWN

DRAWN BY: B.E.

DATE: 2023-11-11

SHEET:

A4



1 FRONT ELEVATION
A3 3/16 IN = 1 FT



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SECOND FLOOR: 1,006 ft²

REVISION TABLE

NO.	DESCRIPTION	DATE
1	ZONING REV'S 1	2023-11-11

DRAWING TITLE:
RIGHT ELEVATION

- GENERAL NOTES:
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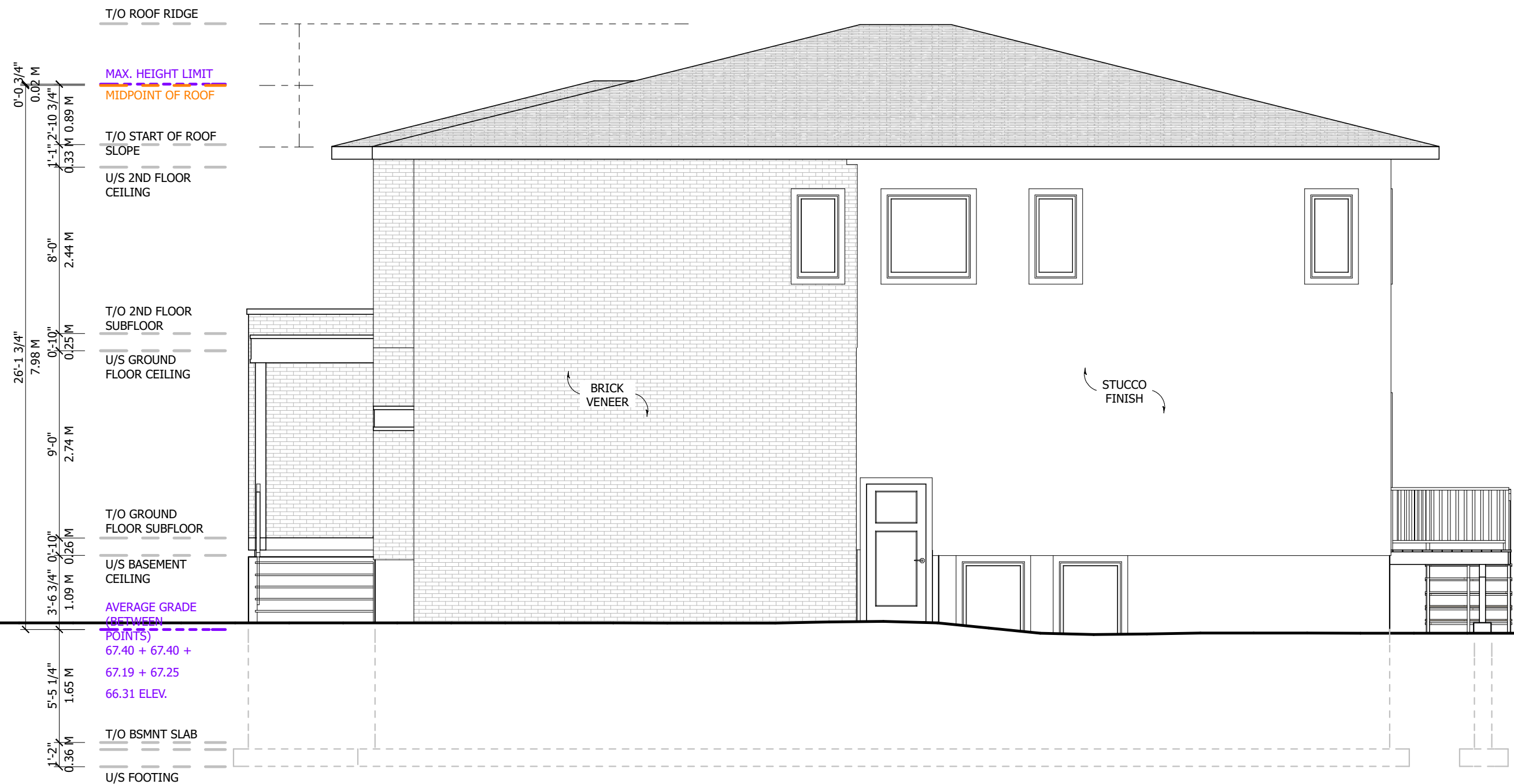
SCALE: AS SHOWN

DRAWN BY: B.E.

DATE: 2023-11-11

SHEET:

A5



1
A4 RIGHT ELEVATION
3/16 IN = 1 FT



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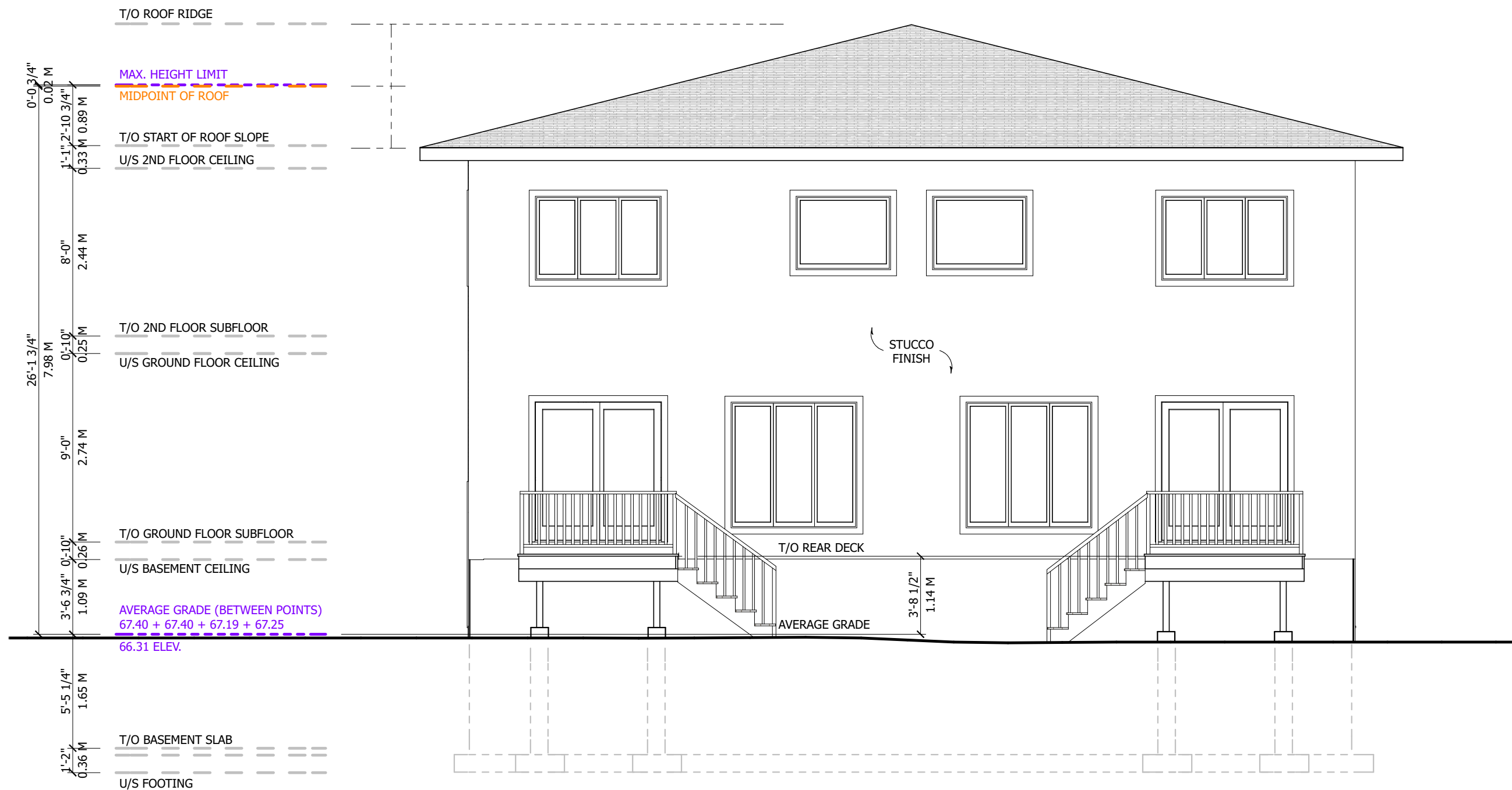
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REVISION TABLE

NO.	DESCRIPTION	DATE
1	ZONING REV'S 1	2023-11-11

DRAWING TITLE:
REAR ELEVATION

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1 REAR ELEVATION
A5 3/16 IN = 1 FT

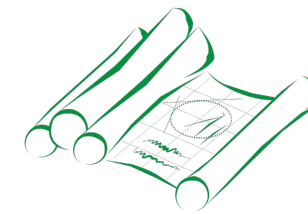
SCALE: AS SHOWN

DRAWN BY: B.E.

DATE: 2023-11-11

SHEET:

A6



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PROJECT NUMBER: **2316**

SQUARE FOOTAGE PER UNIT:
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GROUND FLOOR: 783 ft²
SECOND FLOOR: 1,006 ft²

REVISION TABLE

NO.	DESCRIPTION	DATE
1	ZONING REV'S 1	2023-11-11

DRAWING TITLE:
LEFT ELEVATION

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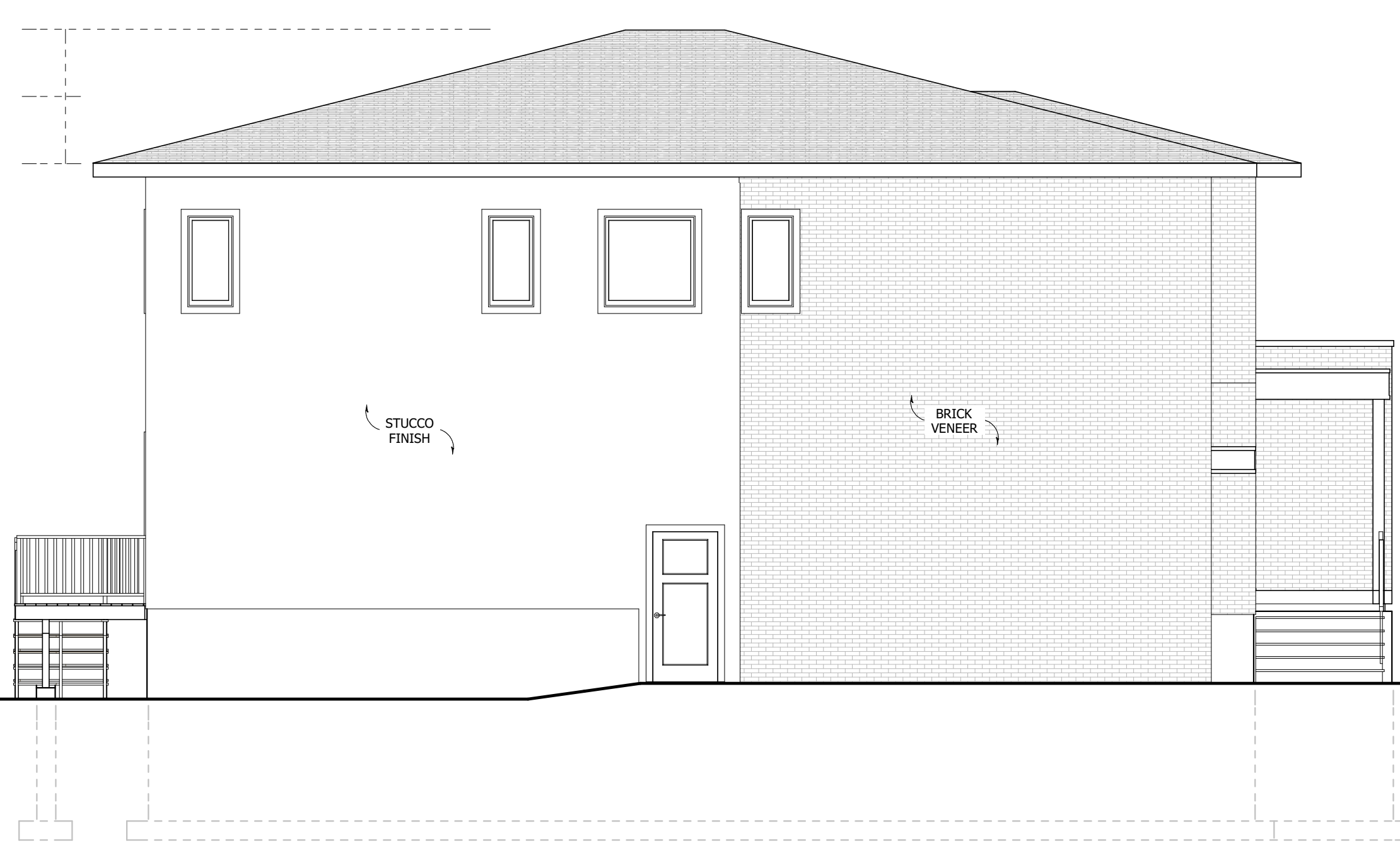
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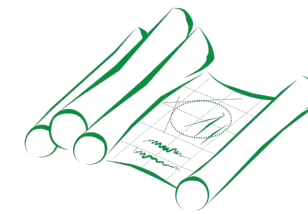
SHEET:

A7



T/O ROOF RIDGE
0'-0 3/4" 0.02 M
MAX. HEIGHT LIMIT
MIDPOINT OF ROOF
1'-1" 2'-10 3/4" 0.33 M 0.89 M
T/O START OF ROOF SLOPE
U/S 2ND FLOOR CEILING
8'-0" 2.44 M
T/O 2ND FLOOR SUBFLOOR
U/S GROUND FLOOR CEILING
26'-1 3/4" 7.98 M
0'-10" 0.25 M
9'-0" 2.74 M
T/O GROUND FLOOR SUBFLOOR
U/S BASEMENT CEILING
3'-6 3/4" 1.09 M
AVERAGE GRADE (BETWEEN POINTS)
67.40 + 67.40 +
67.19 + 67.25
66.31 ELEV.
T/O BSMNT SLAB
U/S FOOTING
1'-2" 0.36 M
5'-5 1/4" 1.65 M

1 LEFT ELEVATION
A6 3/16 IN = 1 FT



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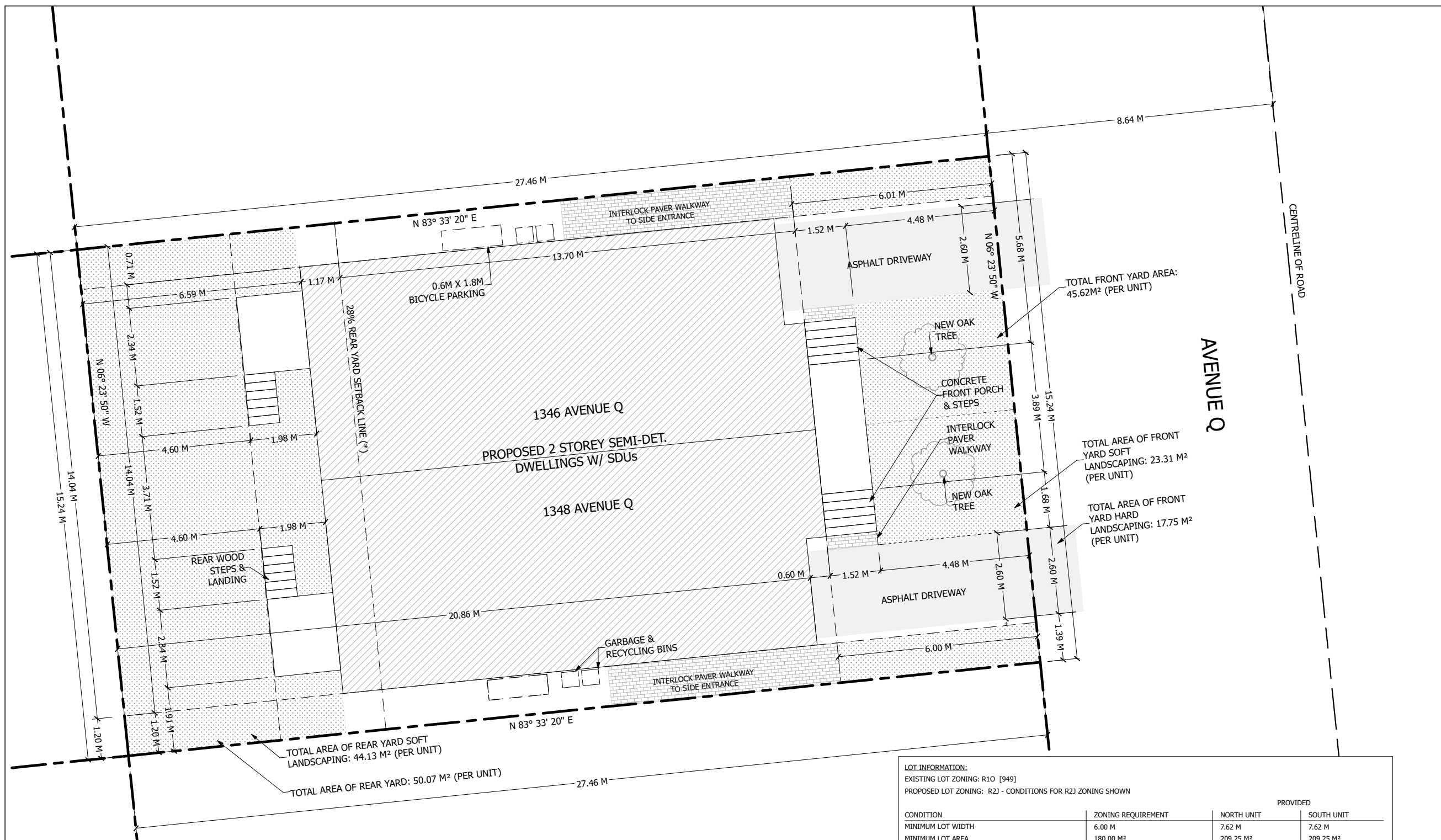
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REVISION TABLE		
NO.	DESCRIPTION	DATE
1	REVISED LOT DEPTH	2023-06-28
2	ZONING REV'S 1	2023-11-11

DRAWING TITLE:
SITE PLAN

GENERAL NOTES:

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LOT INFORMATION:
EXISTING LOT ZONING: R10 [949]
PROPOSED LOT ZONING: R2J - CONDITIONS FOR R2J ZONING SHOWN

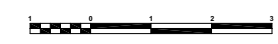
CONDITION	ZONING REQUIREMENT	PROVIDED	
		NORTH UNIT	SOUTH UNIT
MINIMUM LOT WIDTH	6.00 M	7.62 M	7.62 M
MINIMUM LOT AREA	180.00 M ²	209.25 M ²	209.25 M ²
MAXIMUM BUILDING HEIGHT	8.00 M MAX	7.98 M	7.98 M
MINIMUM FRONT SETBACK	6.00 M	6.00 M	6.00 M
MINIMUM REAR YARD SETBACK	7.67 M (28% OF LOT DEPTH) TABLE [144Biii]	6.59 M (24.00%)	6.59 M (24.00%)
MINIMUM REAR YARD AREA	(25% OF LOT AREA) 52.31 M ²	50.22 M ² (24.00%)	50.22 M ² (24.00%)
MINIMUM INTERIOR SETBACK	1.20 M	1.20 M (N) - 0.0 M (S)	0.0 M (N) - 1.20 M (S)
MIN. AGGREGATE FRONT YARD SOFT LANDSCAPING	(30% OF FRONT YARD) 13.72 M ²	25.21 M ²	25.21 M ²
MAXIMUM DRIVEWAY WIDTH	2.75 M	2.60 M	2.60 M

(*) MINOR VARIANCE REQUIRED



PART 1
PLAN OF
LOTS 735 AND 736
REGISTERED PLAN 320
CITY OF OTTAWA

1 SITE PLAN
SP 1 M = 125 M



SCALE: AS SHOWN
DRAWN BY: B.E.
DATE: 2023-11-11

SHEET:
SP