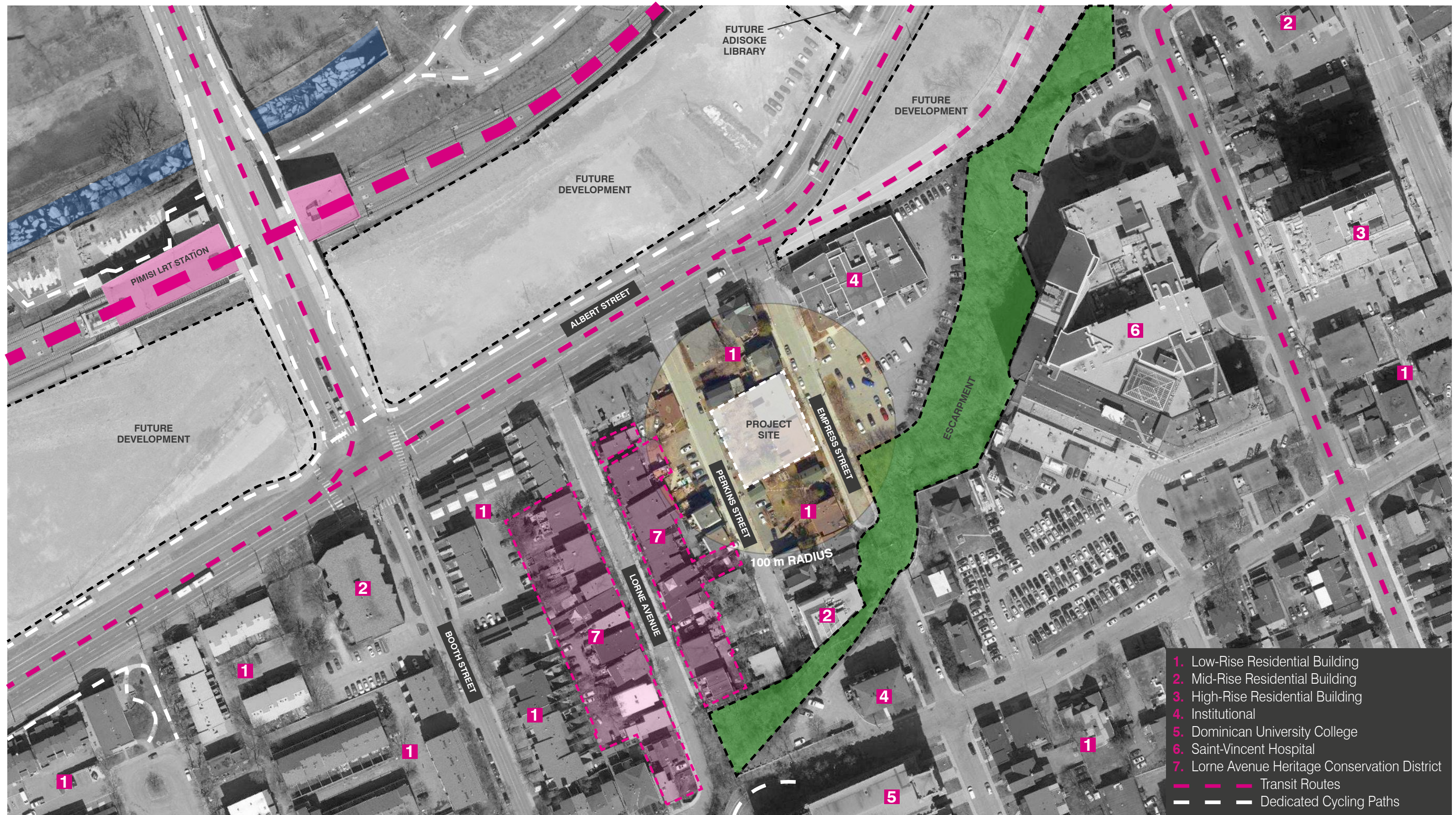


10 EMPRESS AVENUE

DESIGN BRIEF R1

21 December 2023



10 EMPRESS AVENUE CONTEXTUAL ANALYSIS PLAN

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View Looking South

BUILDING MASSING

The project is positioned on a mid-block parcel fronting Empress Street, a quiet cul-de-sac that serves as a linkage between the emerging LeBreton Flats development and the culturally rich Chinatown to the south, further connected by a pedestrian stair.

Spanning a through-lot, the property boasts frontages on both Empress Street and Perkins Street. While Empress Street radiates a strong heritage character, Perkins Street embodies a more utilitarian environment, marked by open spaces, an uneven architectural rhythm, and numerous garage and driveway access points.

Nestled in this somewhat secluded pocket of Centertown-West, just adjacent to the Lorne Avenue Heritage Conservation District to the west, the vicinity predominantly showcases low-rise residential structures, interspersed with heritage-designated homes that enrich the area's distinct character.

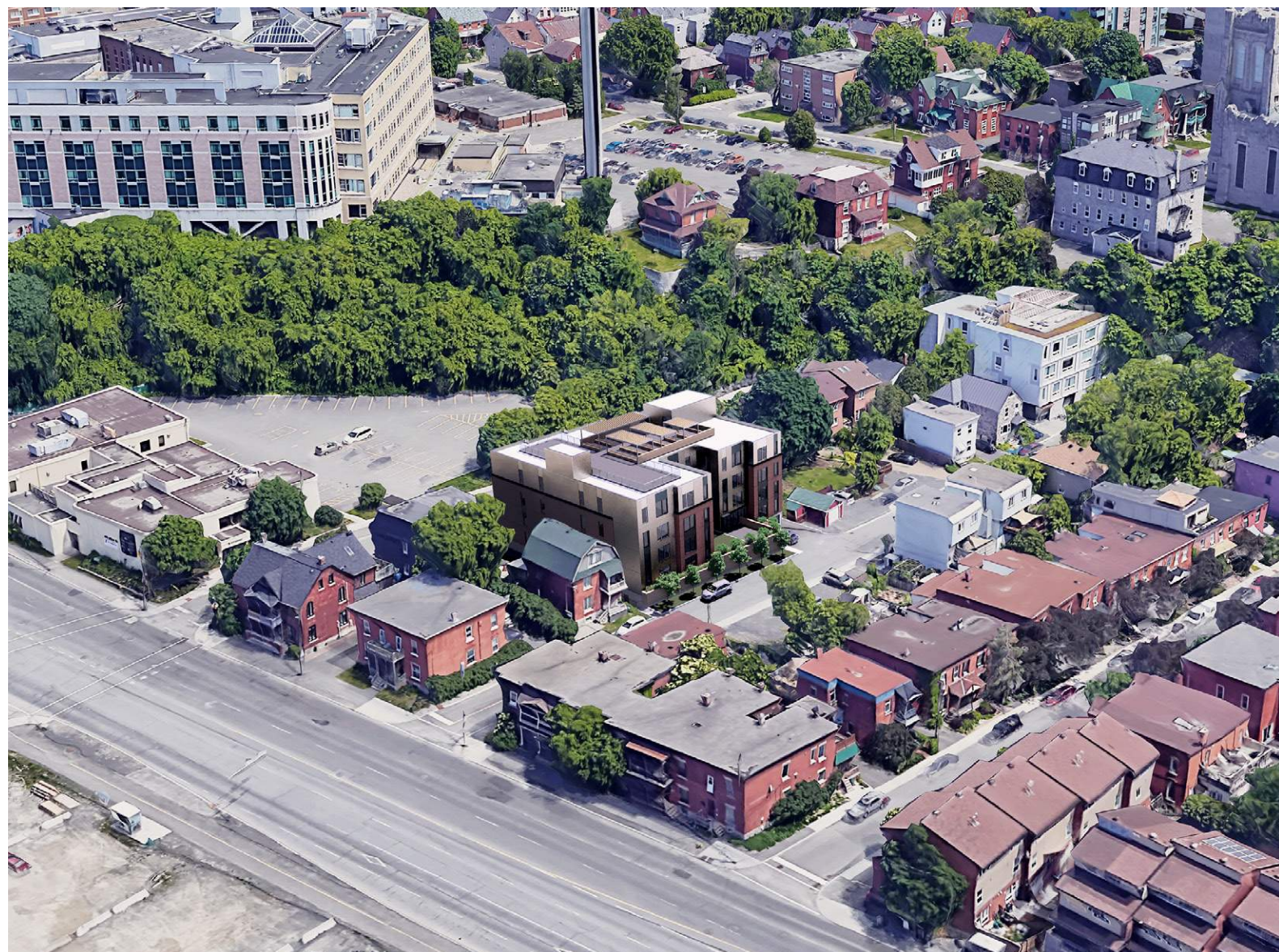
To the North, the area finds its boundary with LeBreton Flats - a future-centric region set to fuse high-rise residential, mixed-use buildings, and institutional spaces in an urban tapestry.

To the South/West, the area is bordered with the eclectic vibes of both Chinatown and Little Italy, characterized by a blend of commercial properties, single-family dwellings, and low-rise developments.

Lastly, the dynamic Centertown and downtown district lie to the East, offering a contrasting urban backdrop to this unique project location.

LEGEND

- 1 Low-rise residential buildings
- 2 Mid-rise residential buildings
- 3 Commercial
- 4 Institutional
- 5 Lorne Avenue Heritage Conservation District



View Looking East



View Looking North

10 EMPRESS AVENUE BUILDING MASSING - AERIAL VIEWS

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10 EMPRESS AVENUE VIEW FROM EMPRESS AVENUE

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10 EMPRESS AVENUE VIEW FROM EMPRESS AVENUE

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10 EMPRESS AVENUE VIEW FROM PERKINS STREET

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10 EMPRESS AVENUE VIEW FROM PERKINS STREET

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EMPRESS ELEVATION



AERIAL VIEW



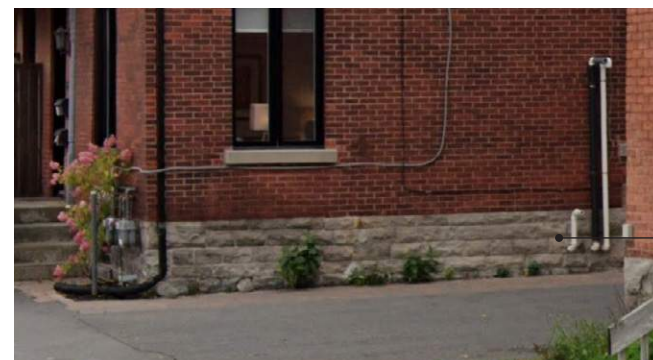
PERKINS ELEVATION



698 ALBERT STREET



694 ALBERT STREET



684 ALBERT STREET

CORNICE LINE

STRING COURSE

BLIND TRANSOM

STONE FOUNDATION

BUILDING TRANSITION

Recognizing the significance of our project's location, straddling the intersection of various distinct zones, the architectural approach prioritizes integration into the urban fabric through a number of measures.

Measure 1 - Empress Street Facade

Situated in an area known for its heritage character, we've designed the building to respect and reflect the existing architectural language of the area. Our aim is not just to fit in, but to complement — ensuring our building becomes an integral part of the streetscape rather than an anomaly. The project incorporates a strategic material transition at the fourth level, both to differentiate the building's vertical segments and to harmonize with neighboring low-rise residences. This design choice, combined with purposeful setbacks in the front facade, cohesively integrates the building into the varied scales of Empress Street.

Measure 2 - Perkins Street Alignment

On Perkins Street, influenced by its more utilitarian character, we've tailored our design approach. The orientation of our drive aisle here resonates with the street's existing functional rhythm. The project integrates a thoughtfully designed open amenity area, enriching the building's relationship with its context. The deliberate articulation of brick and steel materials echoes the architectural patterns prevalent along Perkins Street, allowing the new structure to harmoniously merge with the existing urban fabric.

Measure 3 - Materiality & Classic Detailing

Material choice and detailing have been pivotal in achieving our design objectives. Drawing inspiration from the neighboring Lorne Avenue Heritage Conservation District and surrounding heritage-designated buildings, we've incorporated classic materials and detailing such as soldier brick coursing and accentuated cornice lines. These elements speak to the area's history while juxtaposing them with contemporary design features. This synthesis not only anchors our building in its historical context but also symbolizes the architectural evolution of Centertown-West.



View of Amenity Area and Landscaping on Perkins Street

PLANNING

Staff are generally supportive of the proposed development and the sought after amendments in principle, understanding that site design will be further refined through future pre-consultation and Site Plan Control processes.

We appreciate the city staff's support for the proposed development.

Staff also appreciate the provision for 1:1 bicycle parking spaces per unit. Please explore opportunities to improve access to the bicycle parking room, as well as at-grade bicycle parking spaces for visitors.

We have added 2 visitor parking spaces at grade. Please see revised Site Plan.

Discussion with the neighbour to the south will be required to acknowledge the accessory structure which encroaches onto the subject property.

Noted

Please clarify the sought after exception to reduce visitor parking, as it appears you are overproviding on required parking spaces in the underground garage. If the spot outside is to be the only visitor parking space – please be advised that Part 4.0 Section 106 of the zoning by-law outlines undersized parking spaces cannot constitute a required visitor parking space.

Noted. We have revised the outdoor parking space to serve as a resident parking space.

Table 3B of the Official Plan outlines targets for large household dwelling units. Within the Downtown Transect and Neighbourhood designation, there is a target of 25% large-household dwelling units within low-rise built form.

Acknowledged. We have endeavored to include a diverse mix of unit typologies to align with the Official Plan's target of 25% large-household dwelling units within the Downtown Transect and Neighbourhood designation.

Please provide more information on the rooftop amenity area. Ensure that it is in-keeping with the provisions contained within Table 55.

We confirm that our rooftop amenity area adheres to the minimum setbacks from exterior walls as indicated in Table 55. Please see revised Roof Plan. This area on rooftop pavers includes seating and lounging spaces, as well as a dedicated planting area with prefabricated raised planters for community gardening.

Please ensure documents submitted in Phase 3 are prepared to the Terms of Reference on the City's website.

Noted

URBAN DESIGN

This proposal does not run along or does not meet the threshold in one of the City's Design Priority Areas and need not attend the City's UDRP. Staff will be responsible for evaluating the Urban Design Brief and providing design direction.

Noted

Providing a frontage to Perkins Street: We recommend considering the provision of direct accesses to the two units facing Perkins street on the first-floor northwest corner (similar to the units facing Empress) and replace the wood cladding with brick and guard which allows visual connection to Perkins to help the Perkins elevation read as a frontage and allow more visibility to, and interaction with, the street.

We appreciate this recommendation and have implemented direct access to the units from Perkins Street. Additionally, we've replaced the planter wall along Perkins with a red brick and metal guard to enhance street visibility and interaction.

Perkins landscaped area: We recommend some mitigation measure to protect the relationship between the semi-public outdoor amenity and the privacy of the adjacent unit.

We will introduce landscaping elements to balance the semi-public outdoor amenity's openness with the adjacent unit's privacy. Further details will be refined in collaboration with a landscape architect.

Trees: We recommend providing trees where possible on both street frontages.

Understood. We can confirm that there is adequate soil volume and area for significant tree planting along Perkins and Empress frontages, and we will finalize the specifics in collaboration with a landscape architect.

An Urban Design Brief is a required submittal and has already been prepared, however:

- a. The Urban Design Brief submittal requires a section which addresses these pre-consultation comments.

Noted. Please see the revised Design Brief including this section.

This is an exciting project in an area full of potential. We look forward to helping you achieve its goals with the highest level of design resolution. We are happy to assist and answer any questions regarding the above. Good luck.

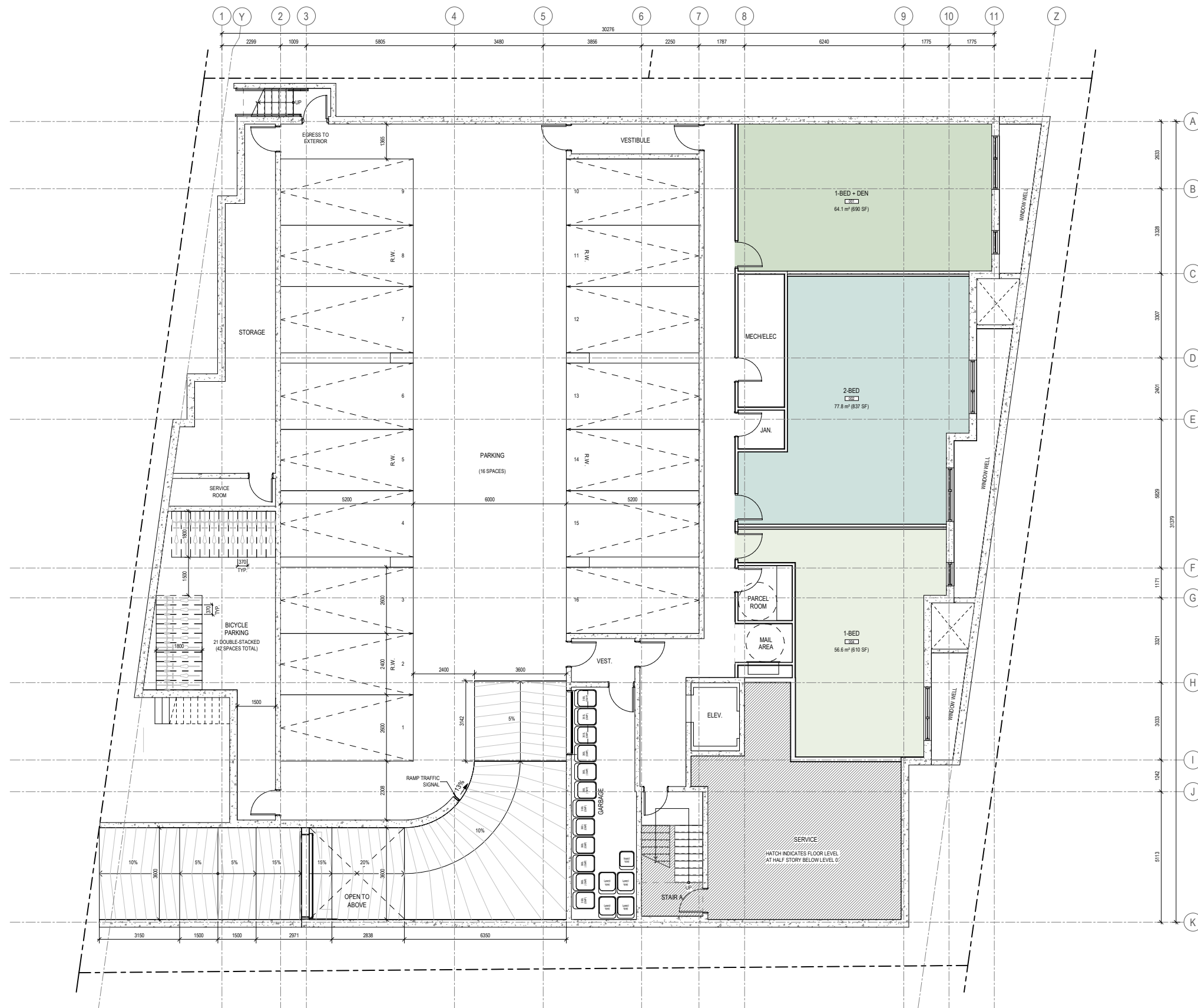
We appreciate the support for the project and value the ongoing collaboration between the design team and the city.



- LEGEND**
- 1 SOFT LANDSCAPING
 - 2 RAISED PLANTER
 - 3 SIDEWALK
 - 4 PAVERS
 - 5 WINDOW WELL
 - 6 EXISTING BUILDING
 - 7 PROPOSED BUILDING
 - 8 RAMP TO UNDERGROUND PARKING
 - 9 AMENITY AREA
 - 10 AMENITY ROOM
 - 11 RESIDENTIAL SUITE
 - 12 MAIN LOBBY
 - 13 MAIL/PARCEL ROOM

10 EMPRESS AVENUE RENDERED SITE PLAN / CONCEPTUAL LANDSCAPE PLAN

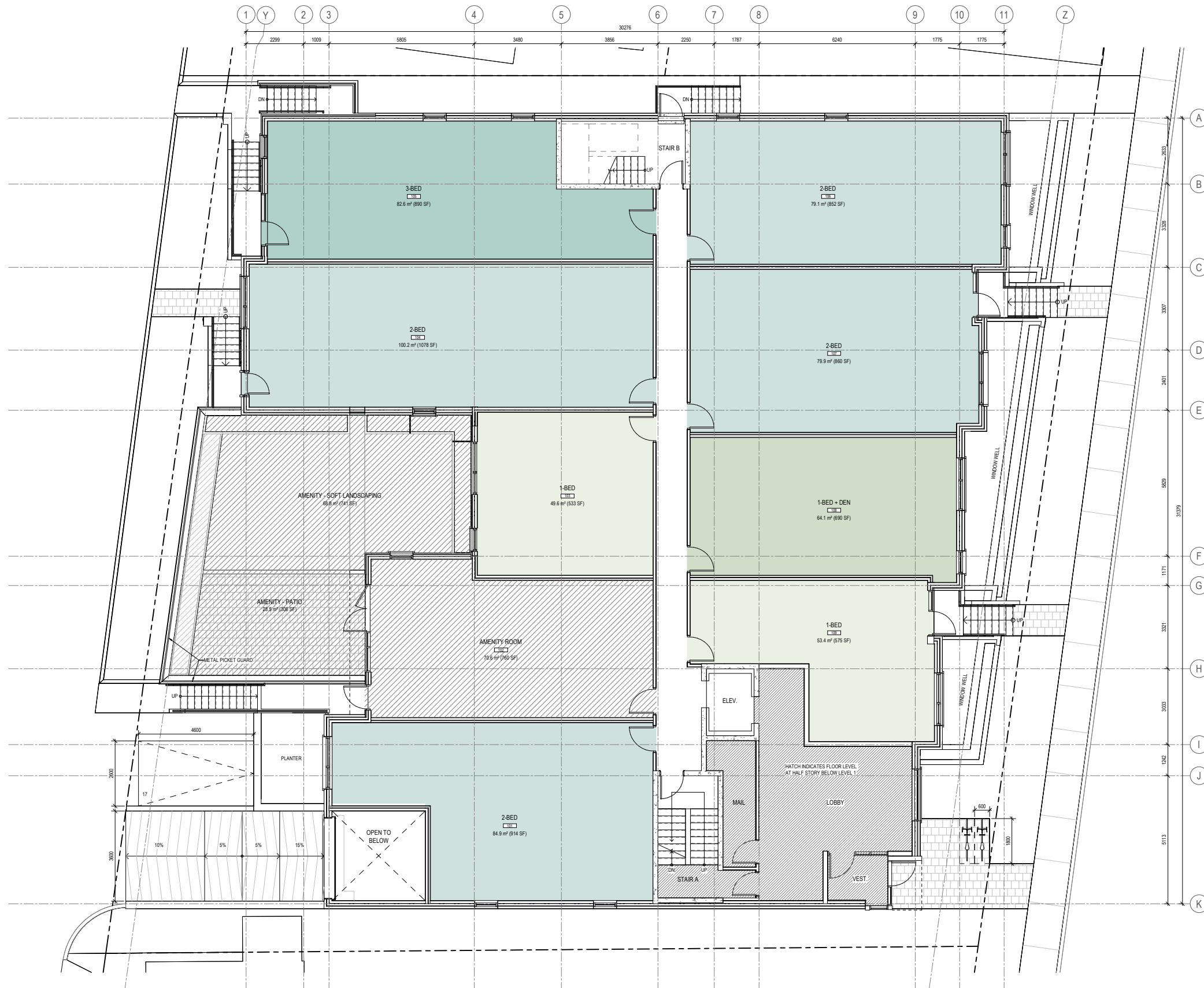
| 2214 | SCALE NTS



10 EMPRESS AVENUE FLOOR PLAN - PARKING LEVEL

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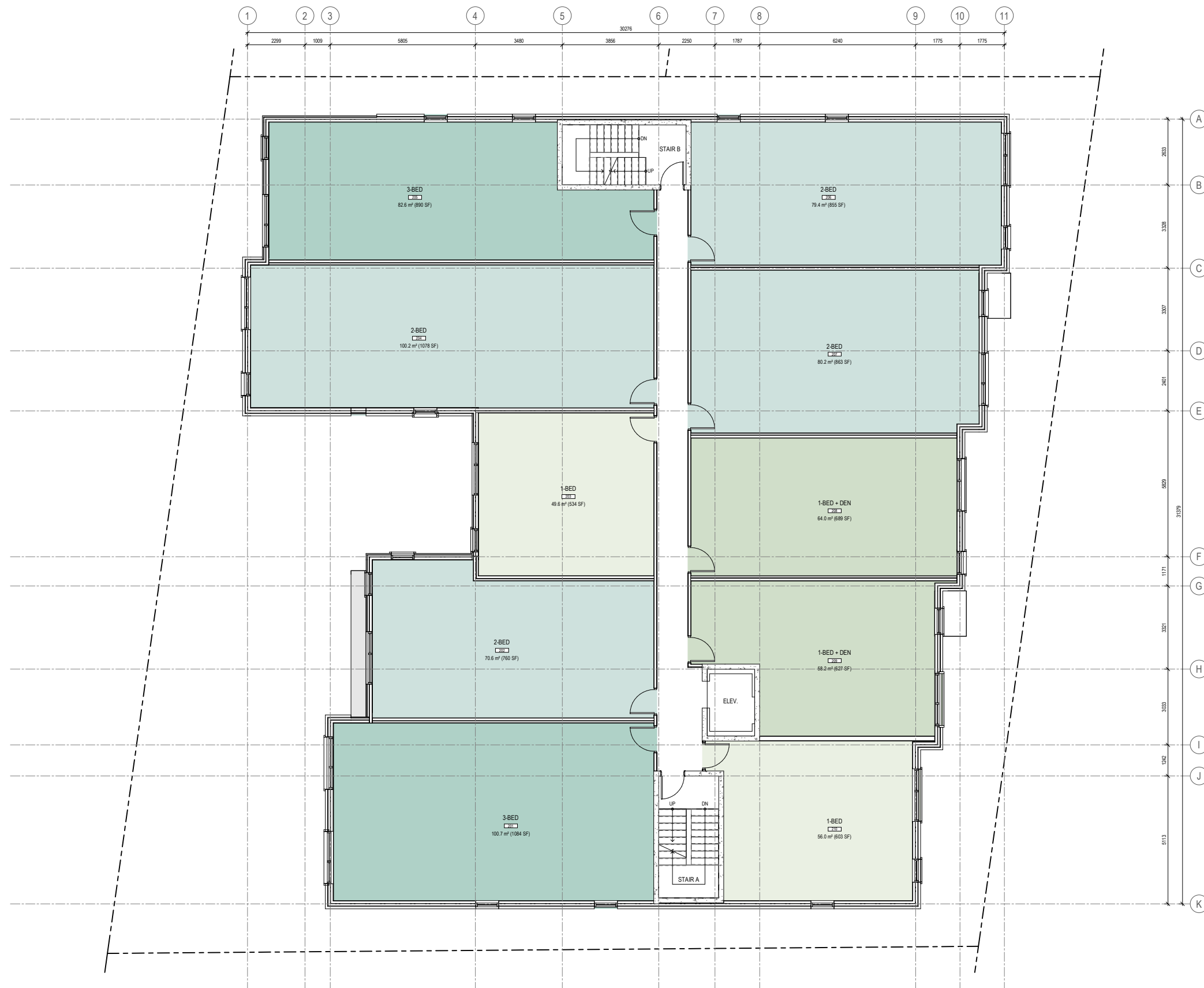
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10 EMPRESS AVENUE FLOOR PLAN - GROUND FLOOR

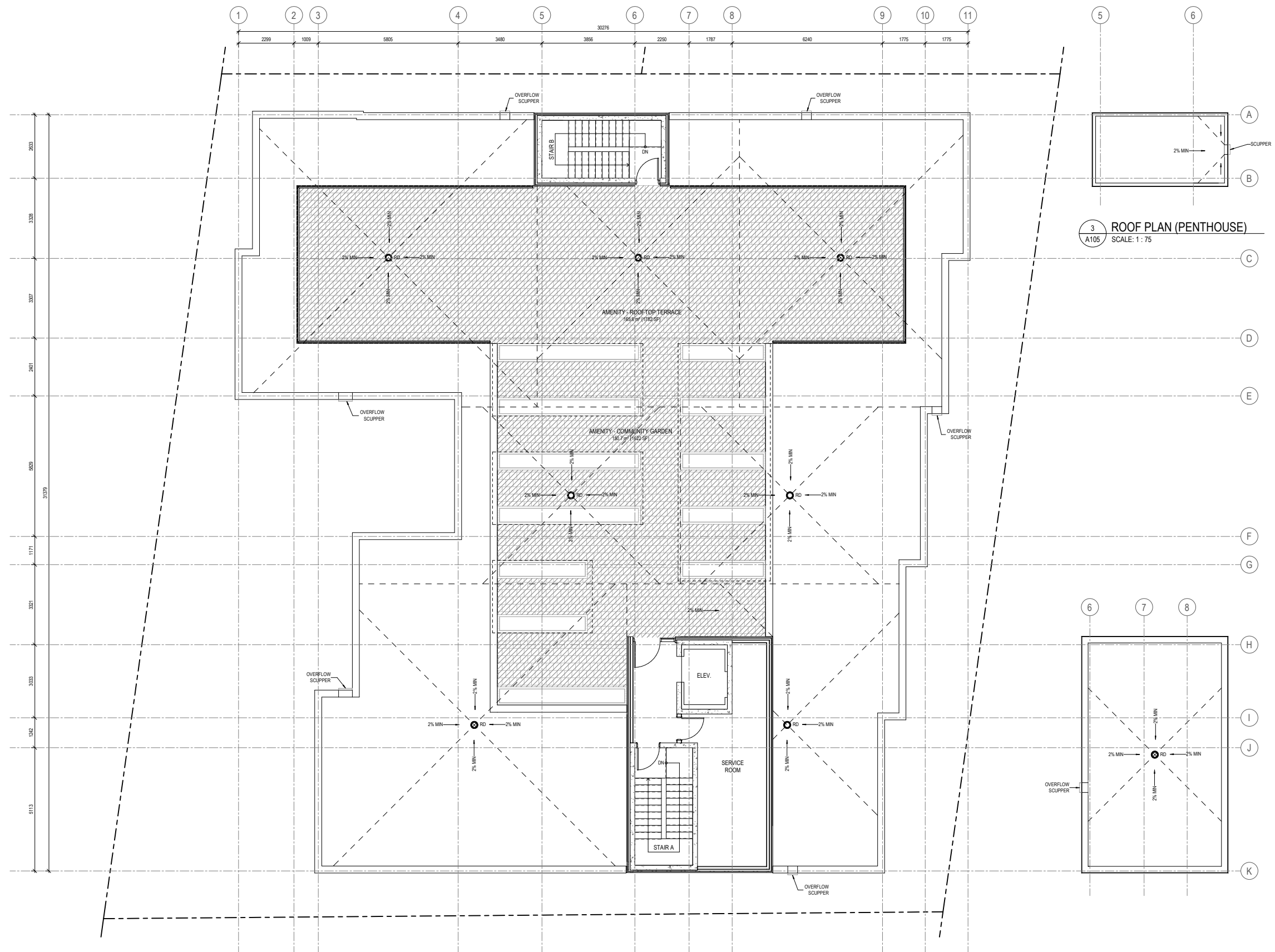
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10 EMPRESS AVENUE FLOOR PLAN - LEVEL 2-4

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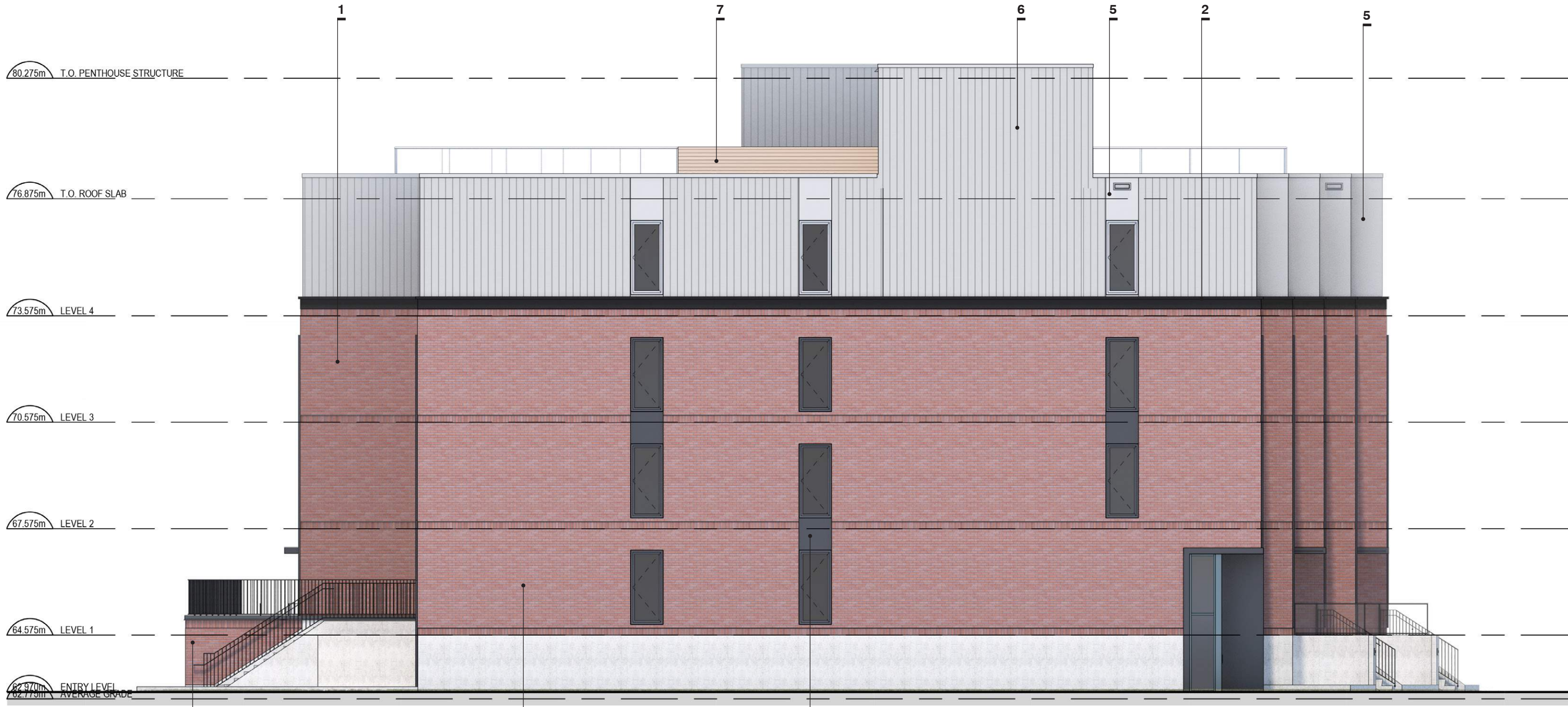
LEGEND

- 1 Brick Masonry (Red)
- 2 Precast Concrete Cornice (Black)
- 3 Aluminum Composite Panel (Black)
- 4 Aluminum Composite Panel (Blue Grey)
- 5 Aluminum Composite Panel (Grey)
- 6 Steel Cladding (Grey Vertical Planks)
- 7 Wood Planks (Cedar Finish)

10 EMPRESS AVENUE BUILDING DESIGN - EAST ELEVATION

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LEGEND

- 1 Brick Masonry (Red)
- 2 Precast Concrete Cornice (Black)
- 3 Aluminum Composite Panel (Black)
- 4 Aluminum Composite Panel (Blue Grey)
- 5 Aluminum Composite Panel (Grey)
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- 7 Wood Planks (Cedar Finish)

10 EMPRESS AVENUE BUILDING DESIGN - SOUTH ELEVATION

| 2214 | SCALE NTS

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LEGEND

- 1** Brick Masonry (Red)
- 2** Precast Concrete Cornice (Black)
- 3** Aluminum Composite Panel (Black)
- 4** Aluminum Composite Panel (Blue Grey)
- 5** Aluminum Composite Panel (Grey)
- 6** Steel Cladding (Grey Vertical Planks)
- 7** Wood Planks (Cedar Finish)

10 EMPRESS AVENUE BUILDING DESIGN - WEST ELEVATION

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LEGEND

- 1** Brick Masonry (Red)
- 2** Precast Concrete Cornice (Black)
- 3** Aluminum Composite Panel (Black)
- 4** Aluminum Composite Panel (Blue Grey)
- 5** Aluminum Composite Panel (Grey)
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10 EMPRESS AVENUE BUILDING DESIGN - NORTH ELEVATION

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VIEW OF COMMUNAL AMENITY AREA

SUSTAINABILITY

The project is participating in the Federation of Canadian Municipalities' Green Municipal Fund and is aiming to achieve a net-zero carbon building through the use of well designed building systems, and energy modelling.

- All resident parking is underground. By eliminating surface parking, we are ensuring a greater amount of soft landscaping which will reduce the surface run-off created by this development. In addition, the flat roof will provide an opportunity for storm water storage, and a cistern is included in the design to ensure a storm water flow-rate that will not overwhelm existing infrastructure.
- The project will include outboard insulation on the exterior walls, which creates a more cohesive thermal barrier and reduces thermal bridges through the exterior walls. Thermal Bridging calculations will be conducted to verify this.
- The project will be using only durable cladding materials, all of which installed using a 'rain screen' design, ensuring that these cladding materials will perform well over the long term and will not require replacement.
- The project will be using high efficiency appliances. All lighting will use LED luminaires which, combined, will result in a significant reduction in the electrical demand for the building.
- The installation of electric car charging stations is being explored.
- The roofing membrane will have a light colour, increasing reflectivity. In addition, extensive planting and greenery on the roofs will reduce the heat island effect of the building.
- Energy modelling will be completed to ensure the building complies with OBC SB-10 and will help the design team in choosing design improvements to reach compliance of a Total Energy Use Intensity of 120kWh/m².

**HERITAGE**

The development at 10 Empress Road, located in a mature neighborhood west of downtown Ottawa, has been influenced by the architectural character of its surroundings. Positioned near the evolving LeBreton Flats area, which will soon host the city's central library, this project strives for a balance between historical resonance and contemporary requirements.

Classic Detailing

Observing neighboring historical buildings, our design incorporates elements reminiscent of classical architecture. Cornice lines, brick string courses, blind transoms, and stone-inspired concrete foundations have been incorporated to align with the architectural traditions of the district.

Materiality

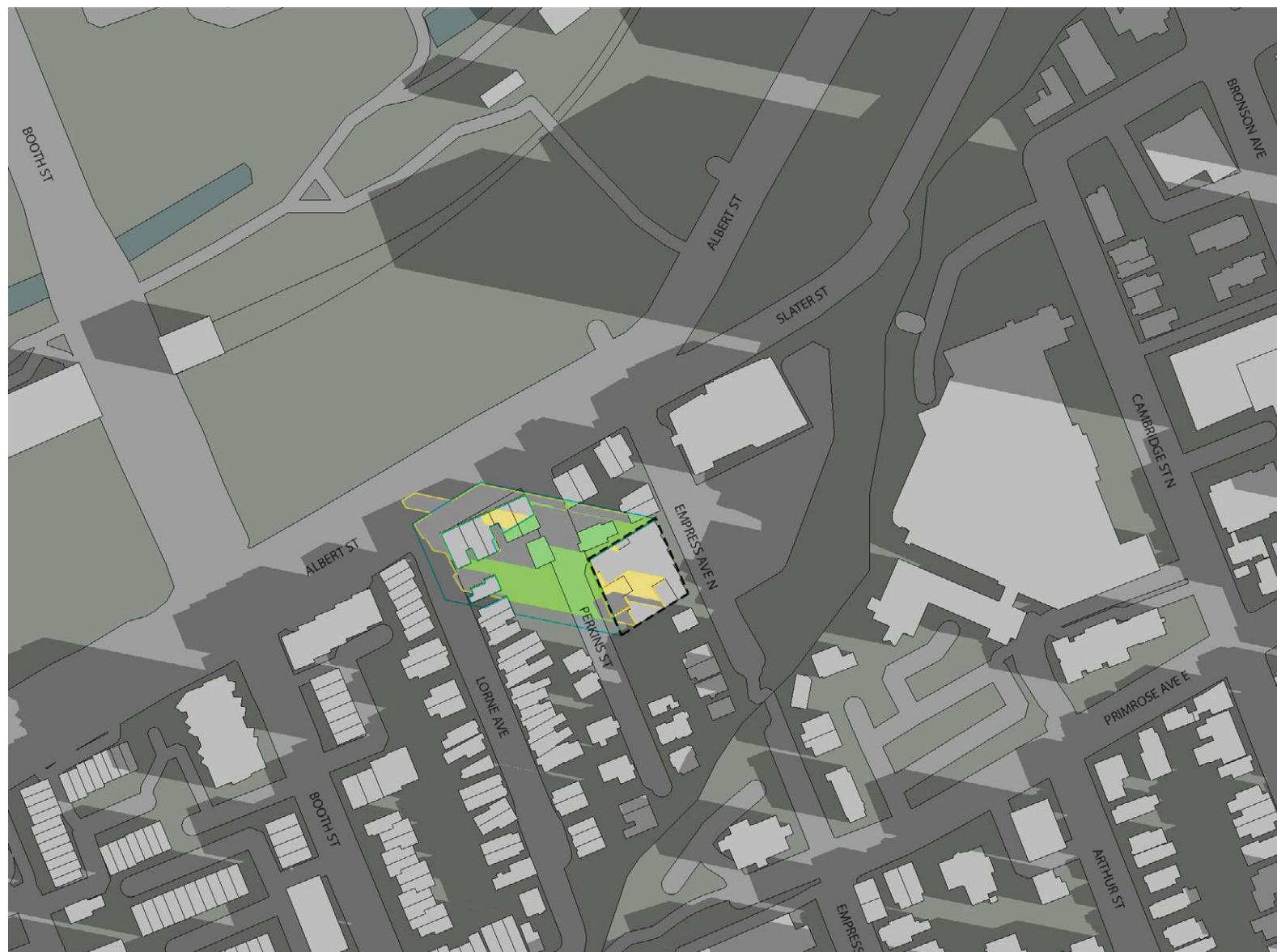
The choice of red brick for the facade aligns with the materials frequently found within the Centertown-West area, reflecting a continuity with the local architectural style.

Massing and Architectural Language

The building's facade has been articulated into distinct bays, drawing from the rhythmic patterns of nearby heritage structures. This segmentation not only allows the structure to better integrate into its environment but also imparts a sense of identity to its tenants.

Given its unique position with frontages on both Empress and Perkins Streets, the design responds differently to each context. The Perkins Street side, with its utilitarian nature, incorporates materials like corrugated steel and colored panels, offering a contrast to the more traditional frontage on Empress Street.

In its entirety, the project aims to integrate modern housing needs while acknowledging and drawing from the architectural heritage of its location.



SEP 21 - 8:00 AM



SEP 21 - 10:00 AM

LEGEND

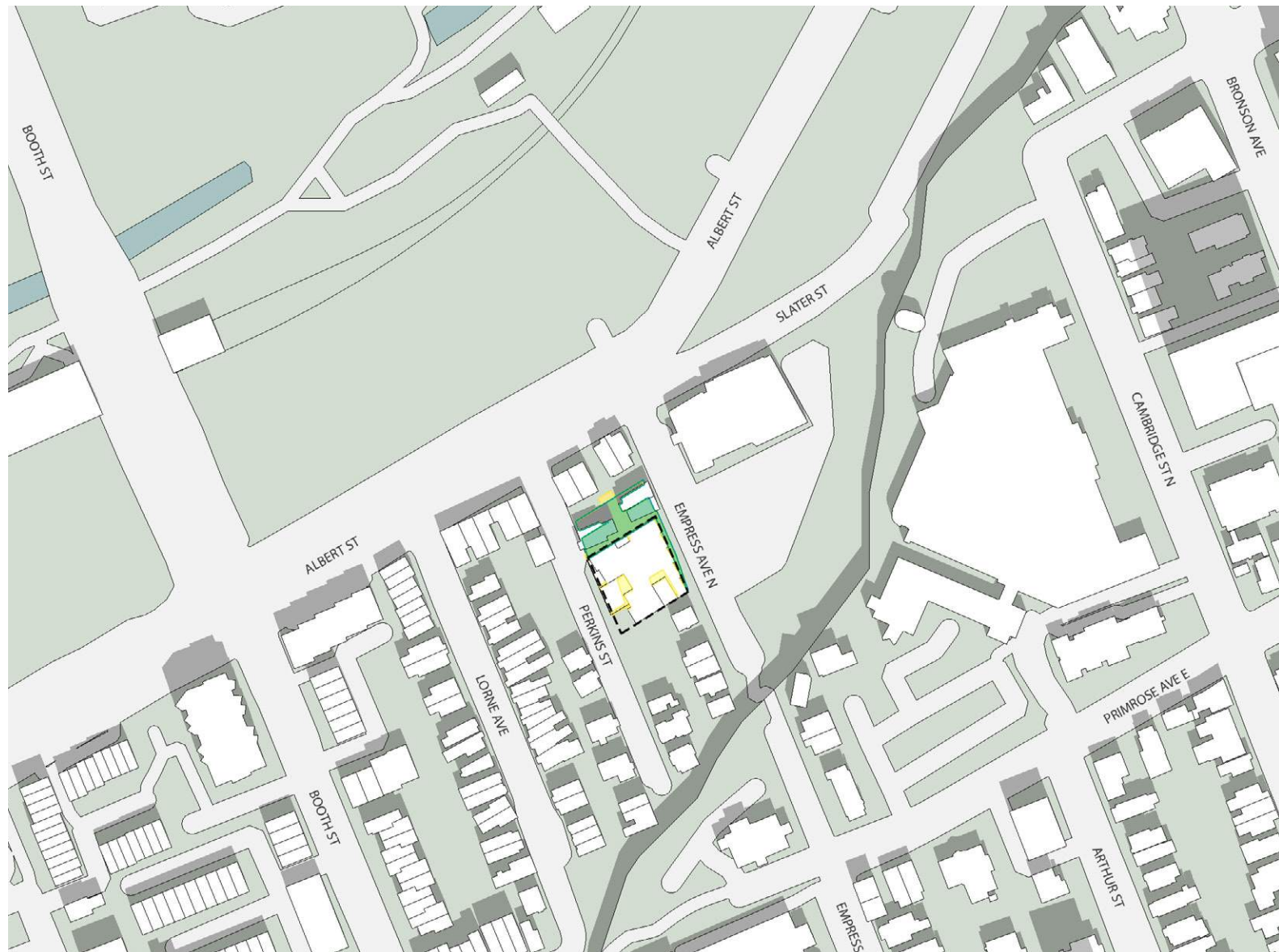
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- As of Right Massing
- As of Right Shadow Outline
- As of Right Shadow
- New Net Shadow



10 EMPRESS AVENUE SHADOW ANALYSIS - SEP 21 - 8:00 AM / 10:00 AM

| 2214 | SCALE 1:2000

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SEP 21 - 12:00 PM



SEP 21 - 2:00 PM

LEGEND

- Proposed Massing/Shadow Outline
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10 EMPRESS AVENUE SHADOW ANALYSIS - SEP 21 - 12:00 PM / 2:00 PM

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SEP 21 - 4:00 PM



SEP 21 - 6:00 PM

LEGEND

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- New Net Shadow



10 EMPRESS AVENUE SHADOW ANALYSIS - SEP 21 - 4:00 PM / 6:00 PM

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DEC 21 - 9:00 AM



DEC 21 - 11:00 AM

LEGEND

- Proposed Massing/Shadow Outline
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- New Net Shadow



10 EMPRESS AVENUE SHADOW ANALYSIS - DEC 21 - 9:00 AM / 11:00 AM

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DEC 21 - 1:00 PM



DEC 21 - 3:00 PM

LEGEND

- Proposed Massing/Shadow Outline
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- New Net Shadow



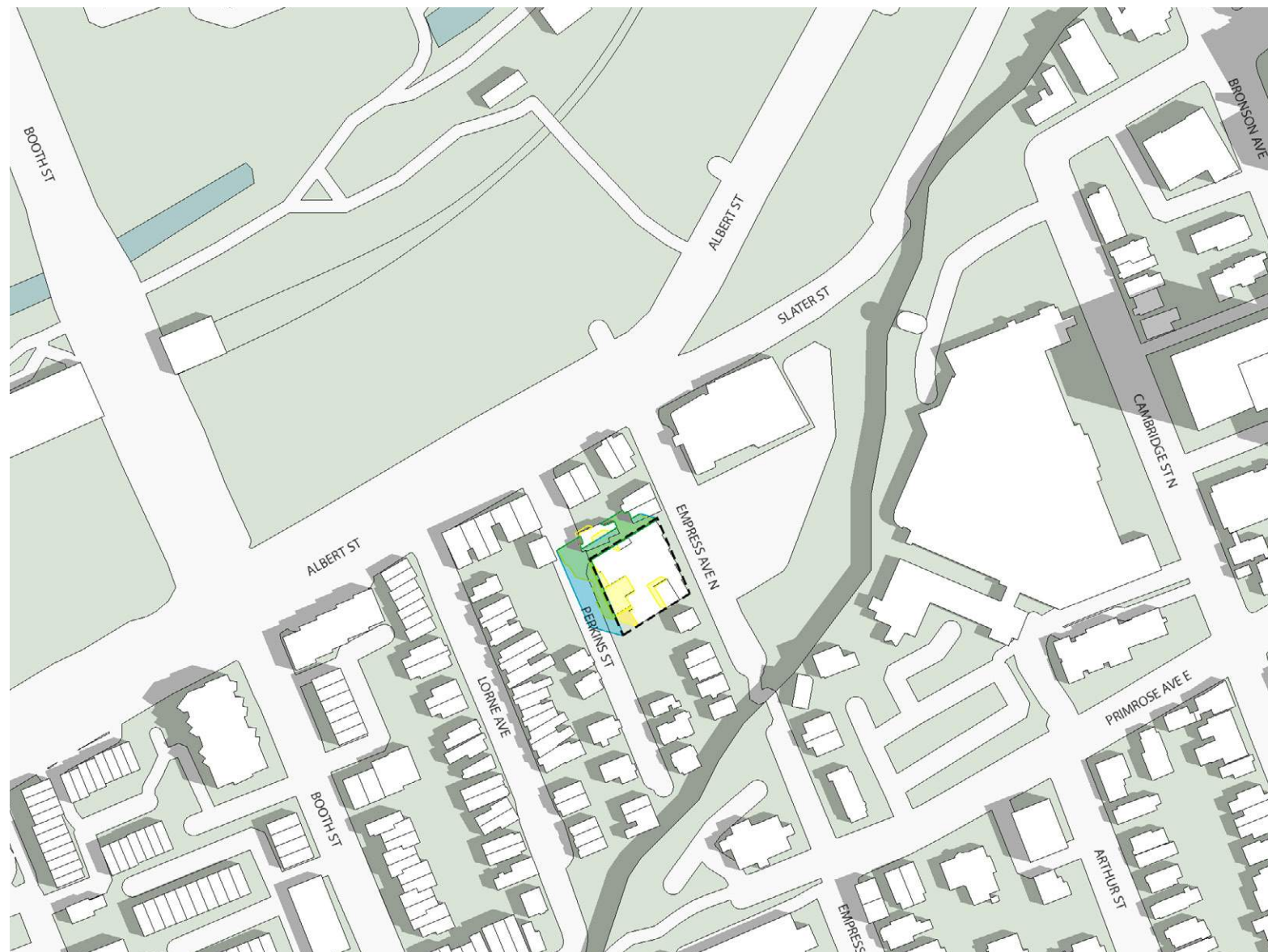
10 EMPRESS AVENUE SHADOW ANALYSIS - DEC 21 - 1:00 PM / 3:00 PM

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JUN 21 - 8:00 AM



JUN 21 - 10:00 AM

- LEGEND**
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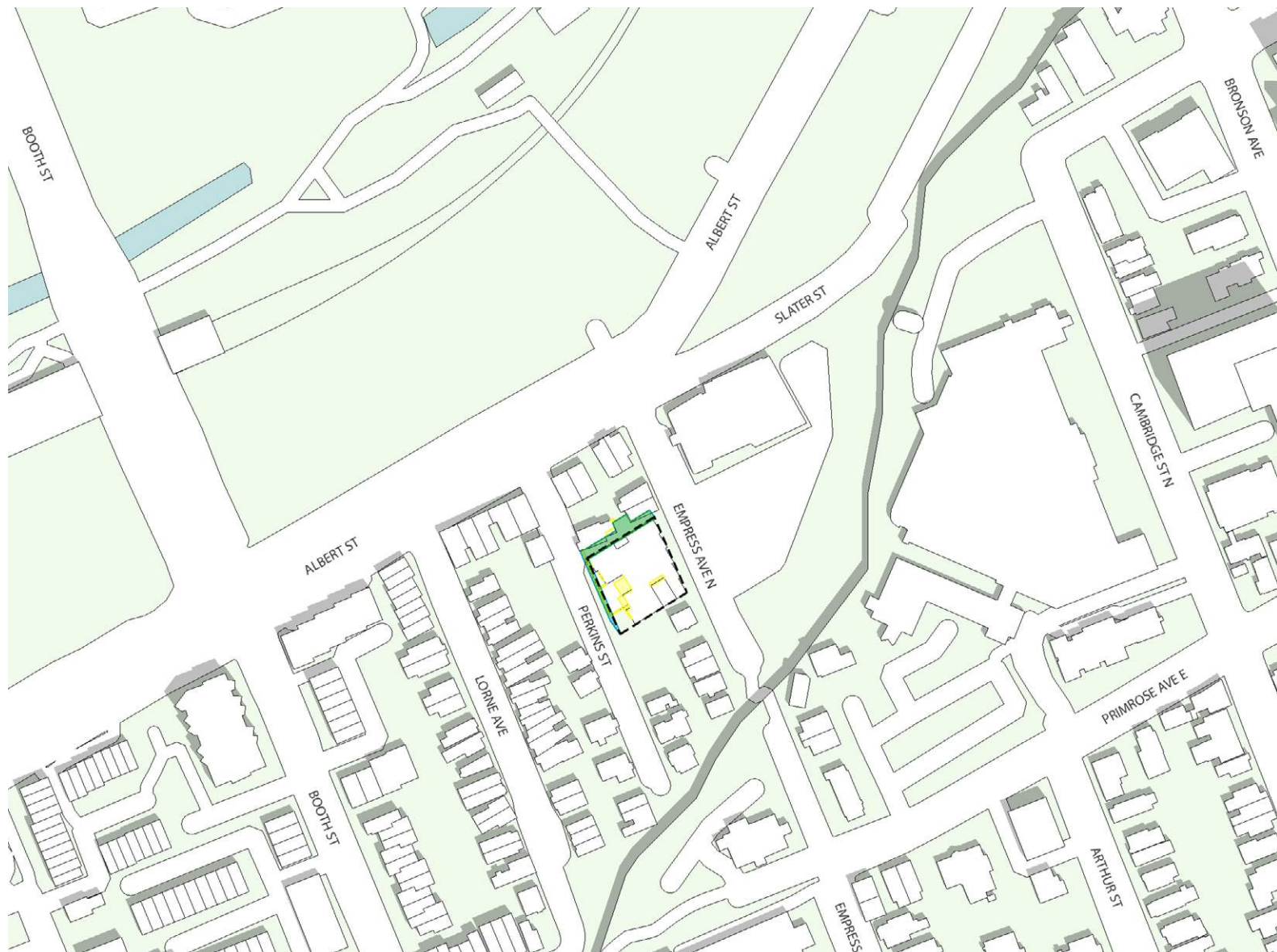


10 EMPRESS AVENUE SHADOW ANALYSIS - JUN 21 - 8:00 AM / 10:00 AM

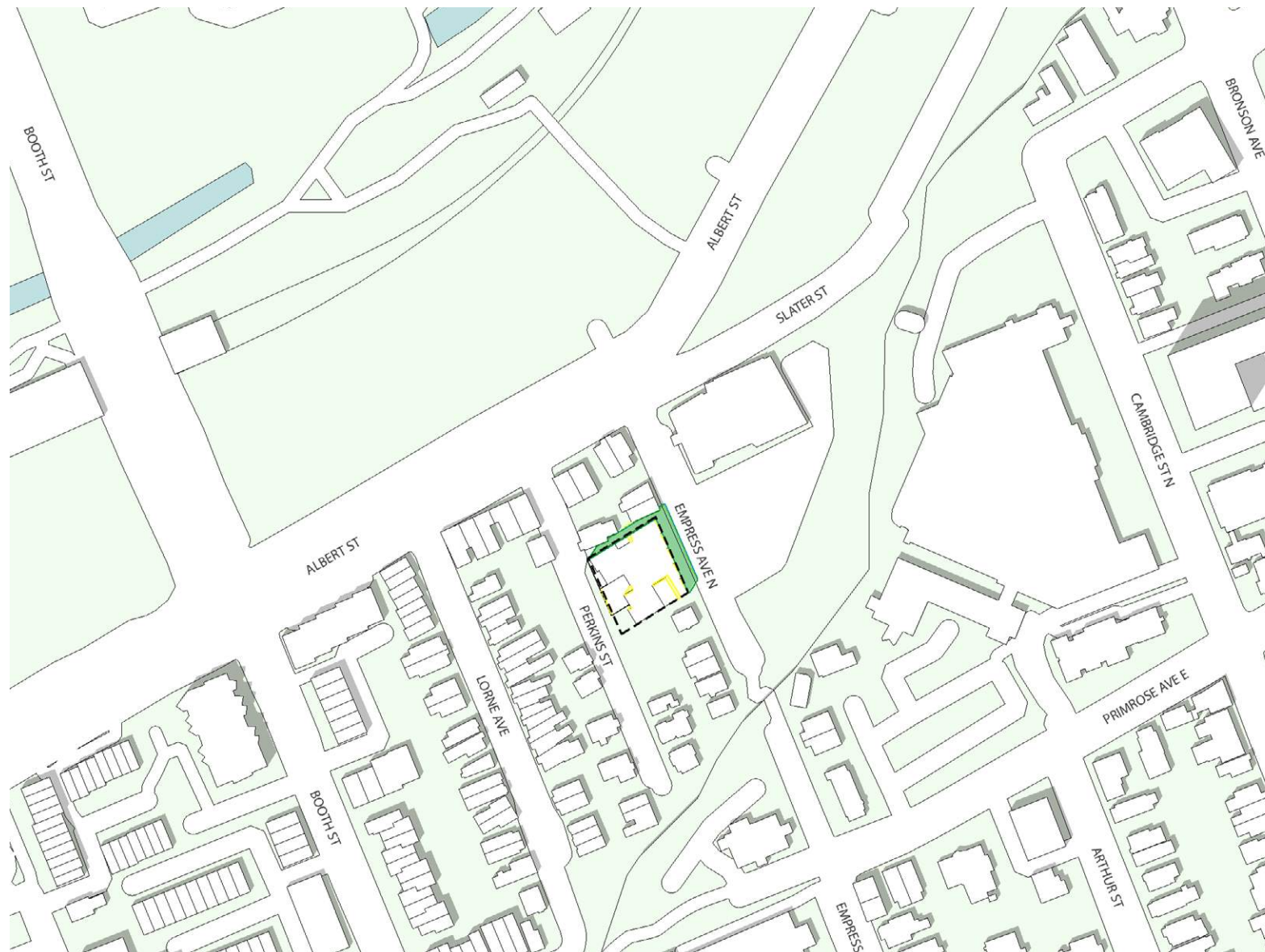
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JUN 21 - 12:00 PM



JUN 21 - 2:00 PM

LEGEND

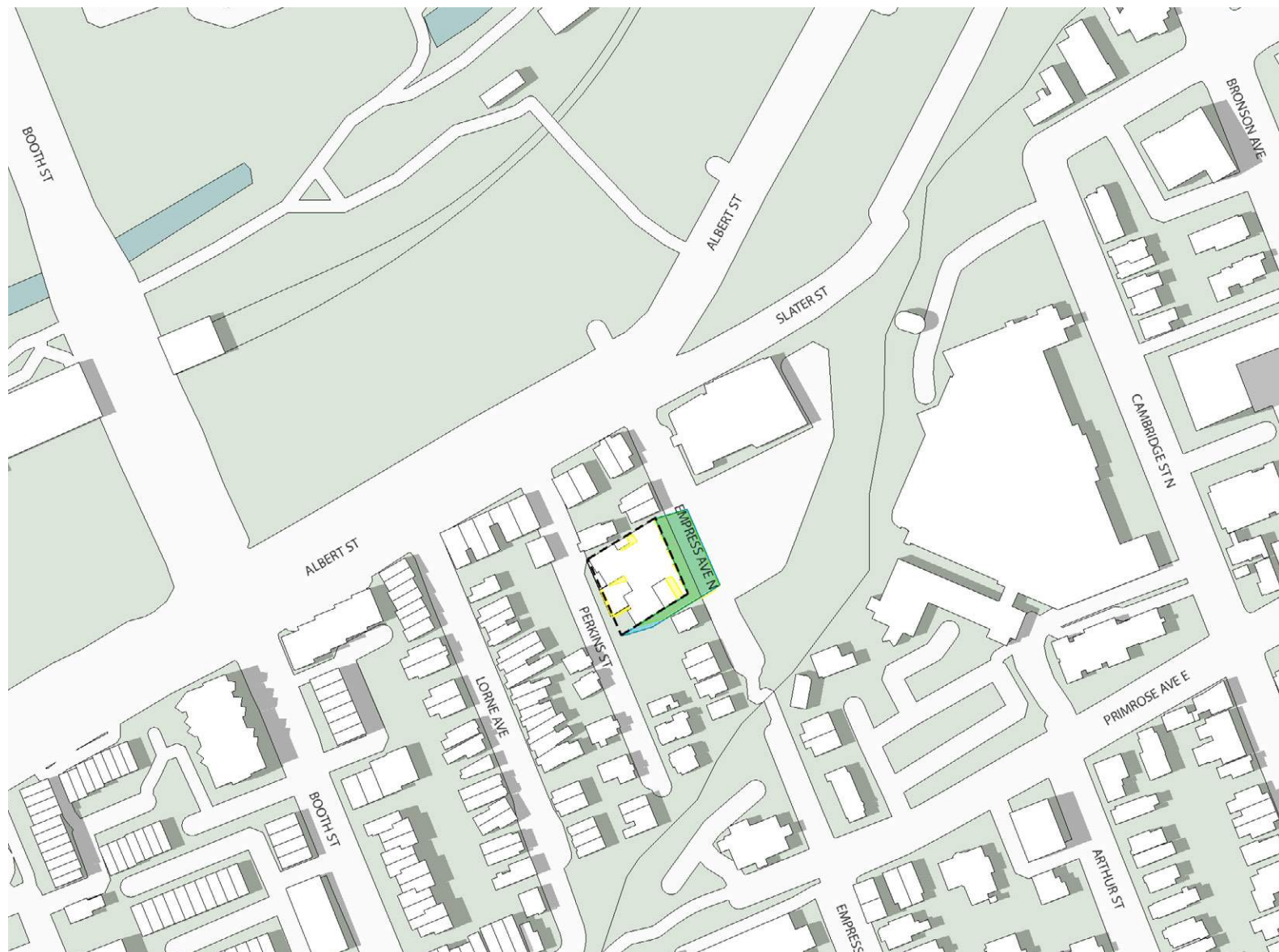
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10 EMPRESS AVENUE SHADOW ANALYSIS - JUN 21 - 12:00 PM / 2:00 PM

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JUN 21 - 4:00 PM



JUN 21 - 6:00 PM

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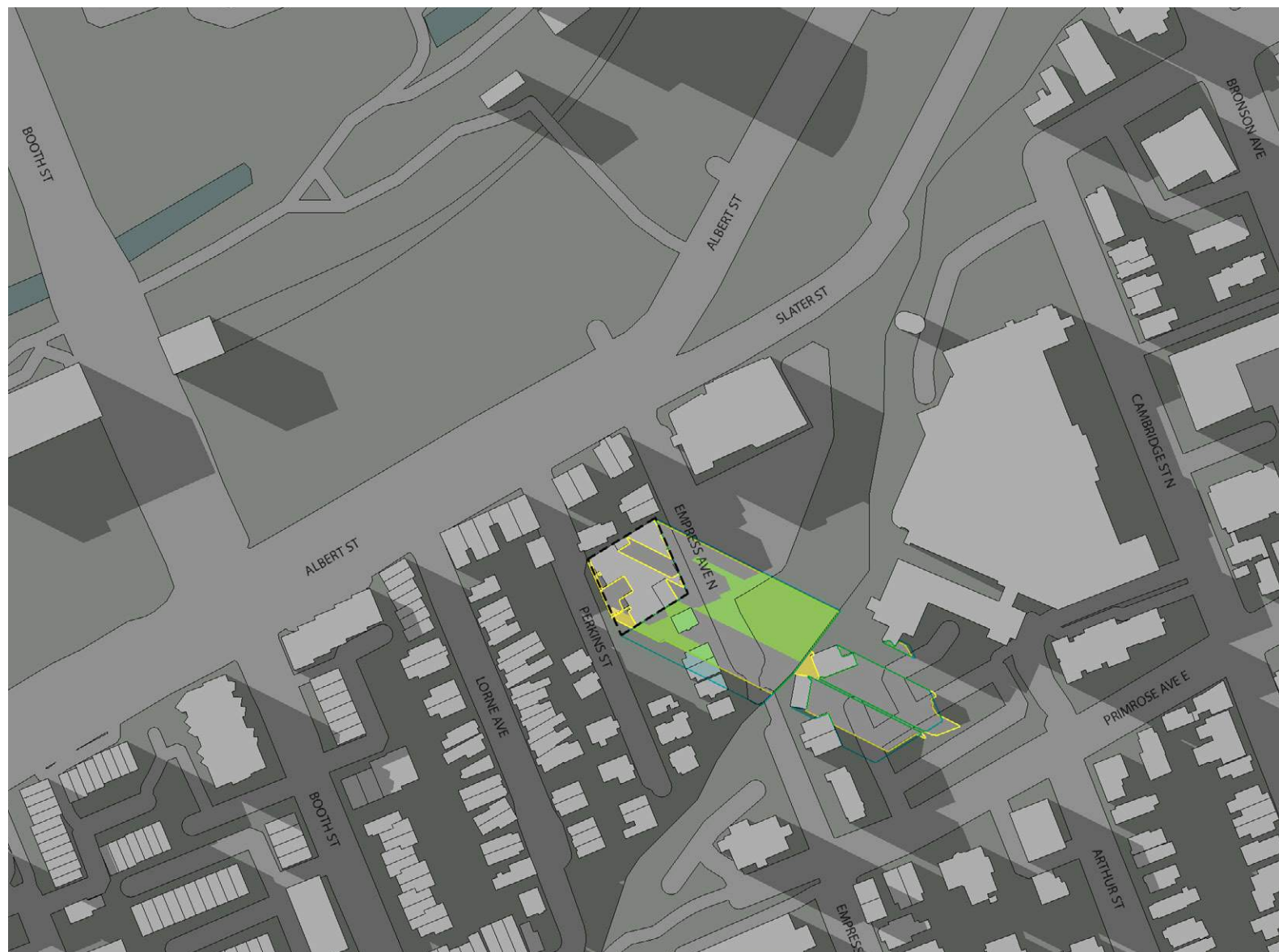


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JUN 21 - 8:00 PM



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