



2 LOCATION PLAN
SP-01 SCALE: NTS

SITE PLAN SYMBOLS LEGEND

| | | | |
|--|-------------------|--|---------------------------------|
| | BUILDING ENTRANCE | | FIRE DEPARTMENT CONNECTION |
| | BUILDING EXIT | | FIRE HYDRANT |
| | BICYCLE PARKING | | FIRE HYDRANT TO BE RELOCATED |
| | PROPERTY LINE | | EXISTING UTILITY POLE TO REMAIN |
| | SETBACK LINE | | EXISTING TOPOGRAPHY |
| | PAVERS | | |

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 2
REGISTERED PLAN 492
AND
PART OF BLOCK 4
REGISTERED PLAN 310595
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
STANTEC GEOMATICS LTD. 2023

1 SURVEY INFO
SCALE: 1 : 200

SITE PLAN NOTES

| | |
|----|---------------------------------------|
| 1 | ASPHALT |
| 2 | EXISTING STRUCTURE TO BE DEMOLISHED |
| 3 | CONCRETE SIDEWALK |
| 4 | REFER TO LANDSCAPE |
| 5 | DEPRESSED CURB |
| 6 | EXISTING RETAINING WALL |
| 7 | 2m HIGH WOOD PRIVACY FENCE |
| 8 | CANOPY/BUILDING ABOVE |
| 9 | CONCRETE |
| 10 | RAILING AROUND PARKING RAMP PERIMETER |
| 11 | REFER TO LANDSCAPE |
| 12 | PRIVATE TERRACE |
| 13 | CURB RAMP |
| 14 | ASPHALT CYCLE TRACK |

OWNER
INSIDE EDGE PROPERTIES
464 BANK STREET, SUITE 200
OTTAWA, ON, K2P 1Z3

ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST, SUITE 300
OTTAWA, ON, K1N 5K5

PLANNER
FOTENN PLANNING + DESIGN
396 COOPER ST SUITE, SUITE 300
OTTAWA, ON, K2P 2H7

CIVIL ENGINEER
LRL ENGINEERING
5430 CANOTEK RD
OTTAWA, ON, K1J 9G2

SURVEYOR
STANTEC GEOMATICS LTD.
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ON, K2C 0A9

LANDSCAPE ARCHITECT
GJA INC.
110 DIDSBURY ROAD, UNIT 9
OTTAWA, ON, K2T0C2

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ISSUE RECORD

| | | |
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| 9 | ISSUED FOR RE-ZONING | 2025-01-14 |
| 8 | ISSUED FOR COORDINATION | 2025-01-10 |
| 7 | ISSUED FOR COORDINATION | 2024-10-01 |
| 6 | ISSUED FOR COORDINATION | 2024-09-20 |
| 5 | ISSUED FOR RE-ZONING | 2024-07-05 |
| 4 | ISSUED FOR COORDINATION | 2024-06-27 |
| 3 | ISSUED FOR RE-ZONING | 2024-05-29 |
| 2 | ISSUED FOR COORDINATION | 2024-03-07 |
| 1 | ISSUED FOR COORDINATION | 2023-10-30 |



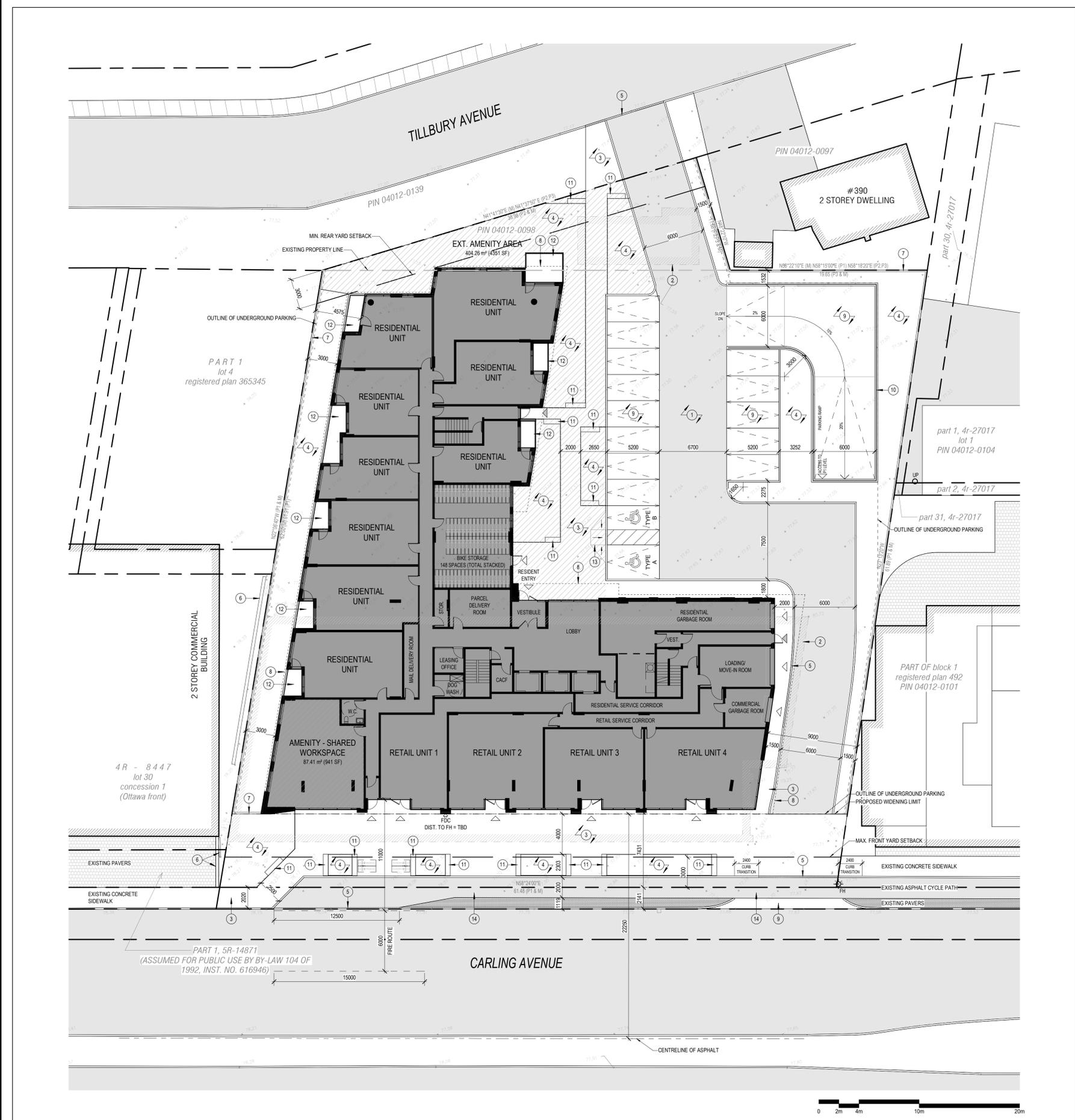
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Ottawa, ON K2A 0Y2

| PROJ | SCALE | DRAWN | REVIEWED |
|------|-------|-------|----------|
| 2213 | NOTED | JH/BH | RMK |

SITE PLAN

SP-01



1 SITE PLAN
SP-01 SCALE: 1 : 200

| UNIT COUNT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|-------------|------------|
| NAME | LVL 01 | LVL 02 | LVL 03 | LVL 04 | LVL 05 | LVL 06 | LVL 07 | LVL 08 | LVL 09 | LVL 10 | LVL 11 | LVL 12 | LVL 13 | LVL 14 | LVL 15 | LVL 16 | LVL 17 | LVL 18 | LVL 19 | LVL 20 | LVL 21 | LVL 22 | LVL 23 | LVL 24 | LVL 25 | LVL 26 | LVL 27 | LVL 28 | TOTAL COUNT | PERCENTAGE |
| 1-BED | 3 | 6 | 6 | 6 | 6 | 6 | 8 | 8 | 7 | 5 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 133 | 36% |
| 1-BED + DEN | 3 | 7 | 7 | 7 | 7 | 7 | 5 | 5 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 72 | 19% |
| 2-BED | 2 | 5 | 5 | 5 | 5 | 5 | 4 | 3 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 136 | 37% | |
| 2-BED + DEN | 1 | 1 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 4 | 1% | |
| STUDIO | 0 | 5 | 5 | 5 | 5 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 25 | 7% | |
| TOTAL | 9 | 24 | 24 | 24 | 24 | 24 | 18 | 18 | 16 | 9 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 370 | 100% | |

| RETAIL UNIT COUNT | | | |
|-------------------|---------------|-----------------------|-----------|
| NUMBER | UNIT TYPE | AREA | AREA (SF) |
| R1 | RETAIL UNIT 1 | 90.52 m ² | 974 SF |
| R2 | RETAIL UNIT 2 | 92.17 m ² | 992 SF |
| R3 | RETAIL UNIT 3 | 80.22 m ² | 864 SF |
| R4 | RETAIL UNIT 4 | 94.40 m ² | 1016 SF |
| TOTAL | | 357.32 m ² | 3846 SF |

| PARKING SCH. (VEHICLE) | |
|--------------------------|-------|
| TYPE | COUNT |
| RESIDENT | 152 |
| RETAIL/DROP-OFF AT-GRADE | 15 |
| VISITOR | 36 |
| TOTAL | 203 |

| PARKING SCH. (BICYCLE) | |
|------------------------|-------|
| LEVEL | COUNT |
| LEVEL P1 | 222 |
| AVG. PROPOSED GRADE | 4 |
| LEVEL 01 | 148 |
| TOTAL | 374 |

| RENTABLE AREA (RESIDENTIAL) | | | |
|-----------------------------|-------------------------|-----------|-------|
| LEVEL | AREA | AREA (SF) | TOTAL |
| LEVEL 01 | 591.76 m ² | 6370 SF | 9 |
| LEVEL 02 | 1439.11 m ² | 15490 SF | 24 |
| LEVEL 03 | 1439.11 m ² | 15490 SF | 24 |
| LEVEL 04 | 1439.11 m ² | 15490 SF | 24 |
| LEVEL 05 | 1405.80 m ² | 15132 SF | 24 |
| LEVEL 06 | 1405.80 m ² | 15132 SF | 24 |
| LEVEL 07 | 1053.94 m ² | 11346 SF | 18 |
| LEVEL 08 | 1053.94 m ² | 11346 SF | 18 |
| LEVEL 09 | 936.22 m ² | 10077 SF | 16 |
| LEVEL 10 | 557.69 m ² | 6003 SF | 9 |
| LEVEL 11 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 12 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 13 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 14 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 15 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 16 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 17 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 18 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 19 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 20 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 21 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 22 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 23 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 24 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 25 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 26 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 27 | 655.12 m ² | 7052 SF | 10 |
| LEVEL 28 | 655.12 m ² | 7052 SF | 10 |
| TOTAL | 23114.87 m ² | 248894 SF | 370 |

| GROSS FLOOR AREA (OBC) | | |
|------------------------|-------------------------|-----------|
| LEVEL | AREA | AREA (SF) |
| LEVEL 01 | 1628.99 m ² | 17534 SF |
| LEVEL 02 | 1626.46 m ² | 17507 SF |
| LEVEL 03 | 1626.46 m ² | 17507 SF |
| LEVEL 04 | 1626.46 m ² | 17507 SF |
| LEVEL 05 | 1593.15 m ² | 17148 SF |
| LEVEL 06 | 1593.15 m ² | 17148 SF |
| LEVEL 07 | 1231.48 m ² | 13256 SF |
| LEVEL 08 | 1231.48 m ² | 13256 SF |
| LEVEL 09 | 1187.00 m ² | 12777 SF |
| LEVEL 10 | 736.41 m ² | 7927 SF |
| LEVEL 11 | 736.41 m ² | 7927 SF |
| LEVEL 12 | 736.41 m ² | 7927 SF |
| LEVEL 13 | 736.41 m ² | 7927 SF |
| LEVEL 14 | 736.41 m ² | 7927 SF |
| LEVEL 15 | 736.41 m ² | 7927 SF |
| LEVEL 16 | 736.41 m ² | 7927 SF |
| LEVEL 17 | 736.41 m ² | 7927 SF |
| LEVEL 18 | 736.41 m ² | 7927 SF |
| LEVEL 19 | 736.41 m ² | 7927 SF |
| LEVEL 20 | 736.41 m ² | 7927 SF |
| LEVEL 21 | 736.41 m ² | 7927 SF |
| LEVEL 22 | 736.41 m ² | 7927 SF |
| LEVEL 23 | 736.41 m ² | 7927 SF |
| LEVEL 24 | 736.41 m ² | 7927 SF |
| LEVEL 25 | 736.41 m ² | 7927 SF |
| LEVEL 26 | 736.41 m ² | 7927 SF |
| LEVEL 27 | 736.41 m ² | 7927 SF |
| LEVEL 28 | 736.41 m ² | 7927 SF |
| TOTAL | 27338.48 m ² | 294247 SF |

| Site Statistics | | |
|-----------------------------|------------------------|--|
| Current Zoning Designation: | AM10 | |
| Lot Width: | 61.45m | |
| Total Lot Area: | 3949.9m ² | |
| Average Existing Grade: | 77.52m | |
| Gross Floor Area: | 27338.48m ² | |
| Building Area: | 1628.99m ² | |
| Floor Space Index: | 6.92 | |

| Proposed Development - 28 Storey High-Rise Apartment Building | | |
|---|--|--------------------------|
| No. of units | 370 Units | |
| Zoning Mechanism | Required | Provided |
| Minimum Lot Area | No Minimum | 3949.9m ² |
| Table 185 (a) | | |
| Minimum Lot Width | No Minimum | 61.45m |
| Table 185 (b) | | |
| Min. Front Yard Setback | No Minimum | 7.3m |
| Table 185 (c)(i) | | |
| Max. Front Yard Setback | 3m | 7.3m |
| Section 185 (10)(b)(i) | | |
| Corner Side Yard Setback | No Minimum | - |
| Table 185 (c)(ii) | | |
| Min. Rear Yard Setback | 3m | 3m |
| Table 185 (d)(i) | | |
| Min. Interior Side Yard Setback | No Minimum | 7.5m (East) 3m (West) |
| Table 185 (d)(ii) | | |
| Maximum Building Height | <20m from a rear lot abutting a R1, R2, R3: 11m >20m-30m from a rear lot abutting a R1, R2, R3, R4: 20m Otherwise: 30m | 28.7m 28.7m 66.0m |
| Section 185 (10)(j) | | |
| Total Amenity Area | 2220m ² | 4619m ² |
| Table 137(5)(i) | 6m ² /unit for 370 units | |
| Communal Amenity Area | 1110m ² | 1124m ² |
| Table 137(5)(ii) | Min. 50% of Total Amenity Area | |

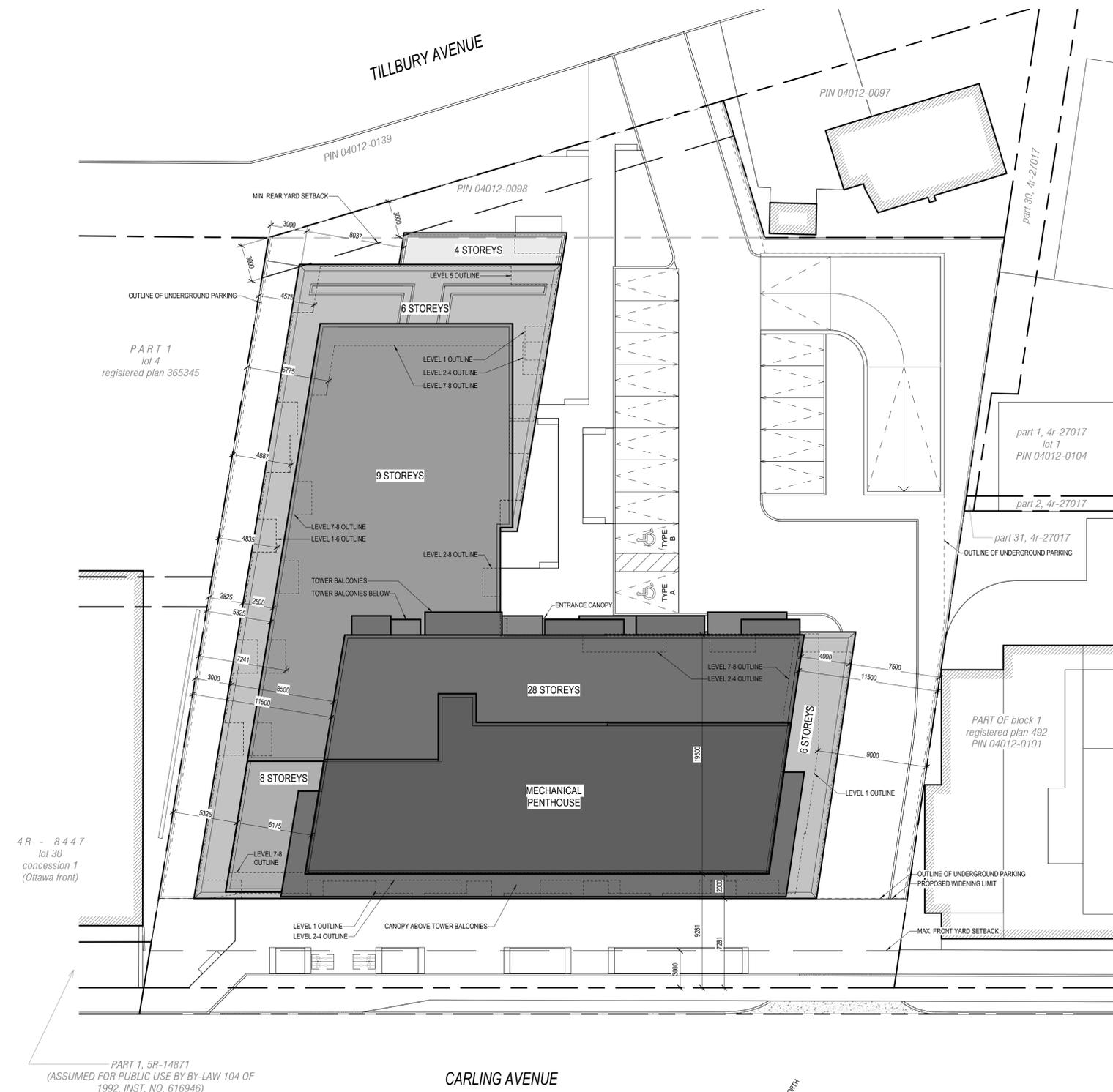
| Parking Requirements (Residential) | | |
|------------------------------------|--|------------|
| Minimum Parking Spaces | 161 Spaces 0 spaces for first 12 units - Section 101(4)(b) 0.5 spaces /unit for 358 units - Table 101(R15)(ii) -10% Section 101(8)(c) | 152 Spaces |
| Table 101 (Sch. 1A - Area A) | | |
| Minimum Visitor Parking Spaces | 36 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces /unit for 358 units - Table 102(ii) | 36 Spaces |
| Table 101 (Sch. 1A - Area A) | | |

| Parking Requirements (Retail) | | |
|-------------------------------|-------------------------------|-----------|
| Minimum Parking Spaces | 0 Spaces Section 101(4)(d) | 15 Spaces |
| Table 101 (Sch. 1A - Area A) | | |

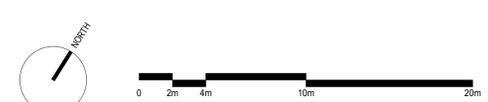
| Bicycle Parking Rates | | |
|--|--|------------|
| Minimum Bicycle Parking Spaces (Residents) | 185 Spaces 0.5 spaces /unit for 370 units(111A)(ii) | 370 Spaces |
| Table 111A (Sch. 1 - Area B) | | |
| Minimum Bicycle Parking Spaces (Retail) | 2 Spaces 1 space / 250m ² x 388m ² (111A)(ii) | 4 Spaces |
| Table 111A (Sch. 1 - Area B) | | |

| AMENITY SCHEDULE (COMMUNAL) | | | |
|-----------------------------|----------------------------|------------------------|-----------|
| LEVEL | NAME | AREA | AREA (SF) |
| LEVEL 01 | AMENITY - SHARED WORKSPACE | 87.41 m ² | 941 SF |
| LEVEL 01 | EXT. AMENITY AREA | 404.26 m ² | 4351 SF |
| LEVEL 09 | LEVEL 9 AMENITY ROOM | 77.92 m ² | 839 SF |
| LEVEL 09 | LEVEL 9 TERRACE (AMENITY) | 78.29 m ² | 843 SF |
| LEVEL 10 | LEVEL 10 TERRACE (AMENITY) | 380.85 m ² | 4099 SF |
| LEVEL 10 | LEVEL 10 AMENITY ROOM | 90.24 m ² | 971 SF |
| TOTAL | | 1118.96 m ² | 12045 SF |

| AMENITY SCHEDULE (PRIVATE) | | |
|----------------------------|------------------------|-----------|
| LEVEL | AREA | AREA (SF) |
| LEVEL 01 | 48.57 m ² | 521 SF |
| LEVEL 02 | 96.96 m ² | 1044 SF |
| LEVEL 03 | 101.32 m ² | 1081 SF |
| LEVEL 04 | 101.32 m ² | 1081 SF |
| LEVEL 05 | 132.18 m ² | 1423 SF |
| LEVEL 06 | 101.13 m ² | 1080 SF |
| LEVEL 07 | 228.95 m ² | 2464 SF |
| LEVEL 08 | 117.02 m ² | 1260 SF |
| LEVEL 09 | 130.38 m ² | 1403 SF |
| LEVEL 10 | 114.21 m ² | 1229 SF |
| LEVEL 11 | 130.21 m ² | 1402 SF |
| LEVEL 12 | 131.85 m ² | 1419 SF |
| LEVEL 13 | 125.95 m ² | 1356 SF |
| LEVEL 14 | 128.31 m ² | 1381 SF |
| LEVEL 15 | 131.85 m ² | 1419 SF |
| LEVEL 16 | 127.85 m ² | 1376 SF |
| LEVEL 17 | 128.31 m ² | 1381 SF |
| LEVEL 18 | 131.85 m ² | 1419 SF |
| LEVEL 19 | 128.31 m ² | 1381 SF |
| LEVEL 20 | 127.85 m ² | 1376 SF |
| LEVEL 21 | 130.21 m ² | 1402 SF |
| LEVEL 22 | 125.95 m ² | 1356 SF |
| LEVEL 23 | 131.85 m ² | 1419 SF |
| LEVEL 24 | 128.31 m ² | 1381 SF |
| LEVEL 25 | 127.85 m ² | 1376 SF |
| LEVEL 26 | 131.85 m ² | 1419 SF |
| LEVEL 27 | 125.95 m ² | 1356 SF |
| LEVEL 28 | 128.31 m ² | 1381 SF |
| TOTAL | 3465.48 m ² | 37625 SF |



1 SITE SETBACK PLAN
SCALE: 1:200



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- 2 ISSUED FOR COORDINATION 2024-03-07
- 1 ISSUED FOR COORDINATION 2023-10-30

ISSUE RECORD



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PROJ. SCALE DRAWN REVIEWED
2213 NOTED JH/BH RMK

PROJECT STATISTICS AND ZONING INFORMATION

SP-02



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FLOOR PLAN LEVEL 01

A101



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FLOOR PLAN LEVEL 02-04

A102



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FLOOR PLAN LEVEL 05-06

A103



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FLOOR PLAN LEVEL 07-08

A104



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| 2 | ISSUED FOR COORDINATION | 2024-03-07 |
| 1 | ISSUED FOR COORDINATION | 2023-10-30 |

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| PROJ | SCALE | DRAWN | REVIEWED |
|------|-------|-------|----------|
| 2213 | NOTED | JH/BH | RMK |

FLOOR PLAN LEVEL 09

A105



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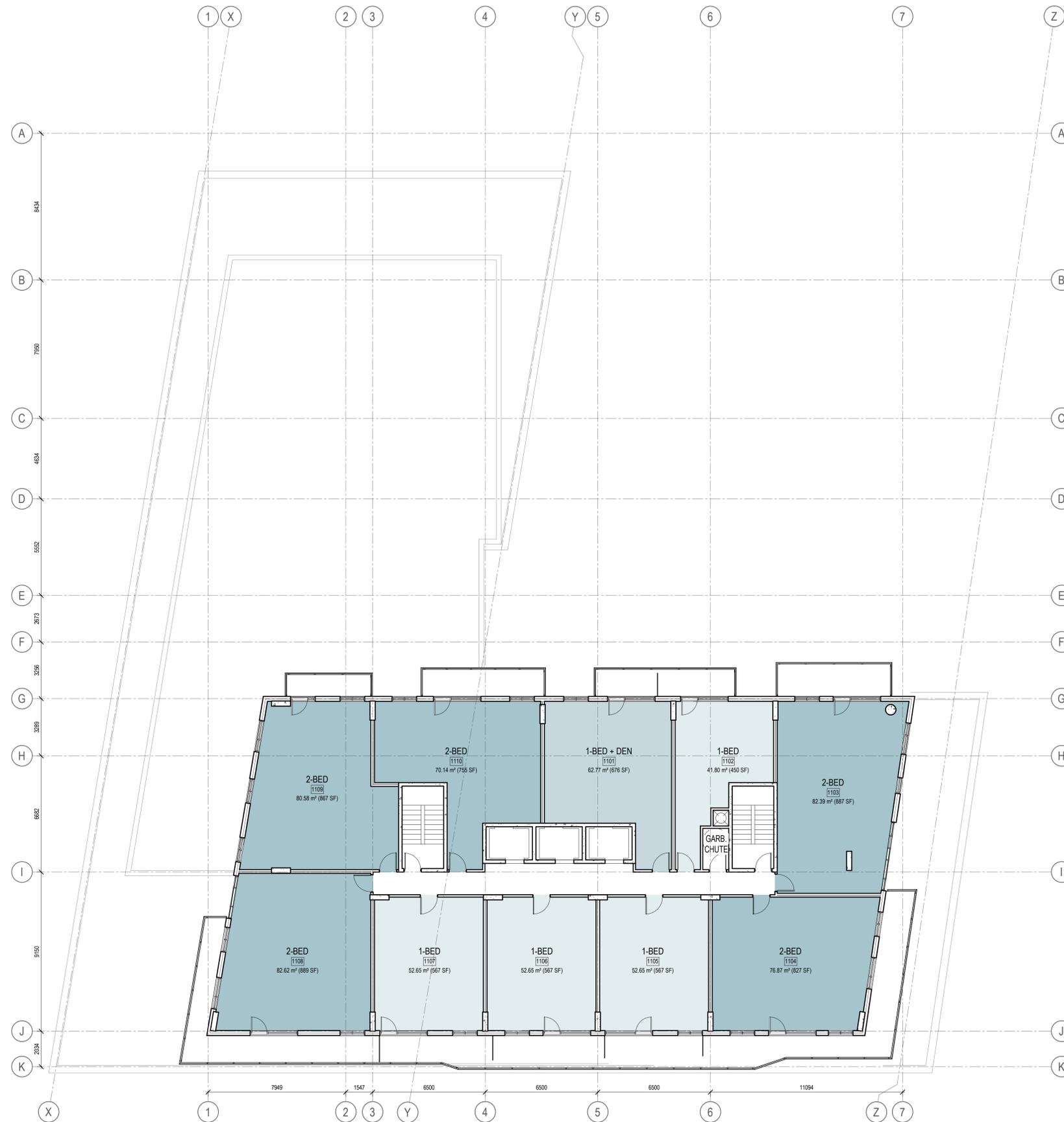
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FLOOR PLAN LEVEL 10

A106



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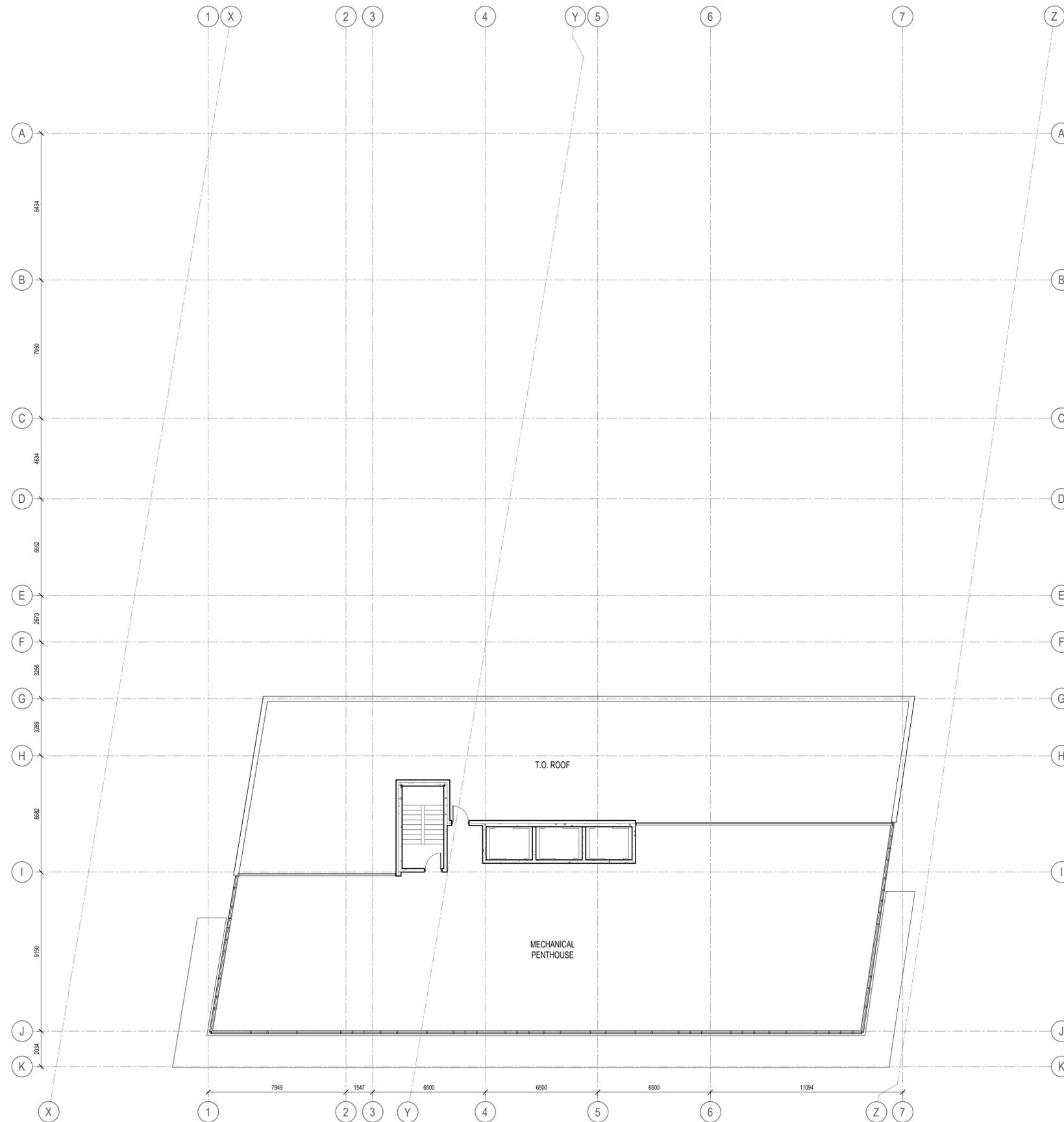
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FLOOR PLAN LEVEL 11-28

A107



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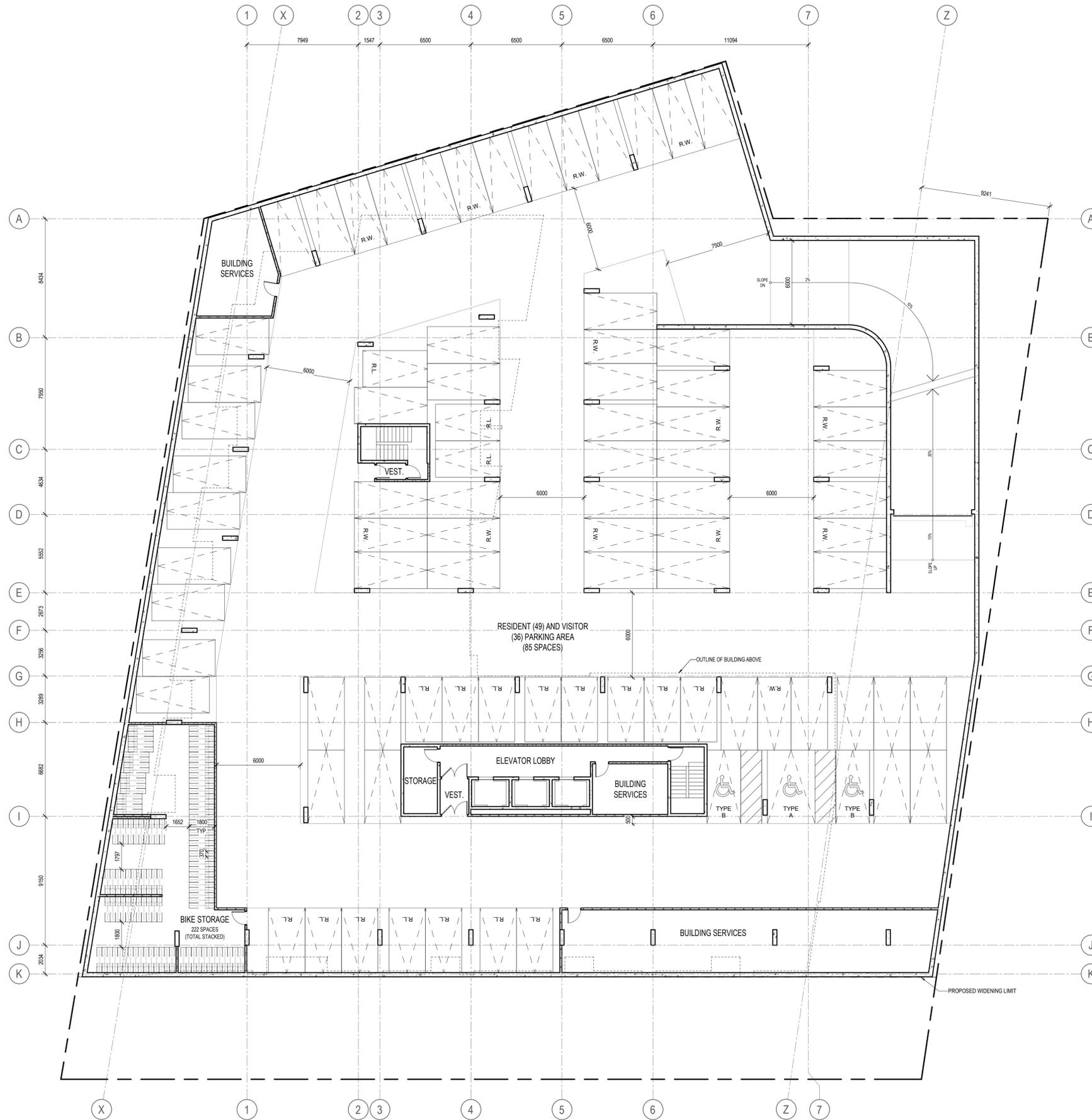
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ROOF/MECHANICAL PENTHOUSE PLAN

A108



1 FLOOR PLAN - LEVEL P1
A109 SCALE: 1 : 150

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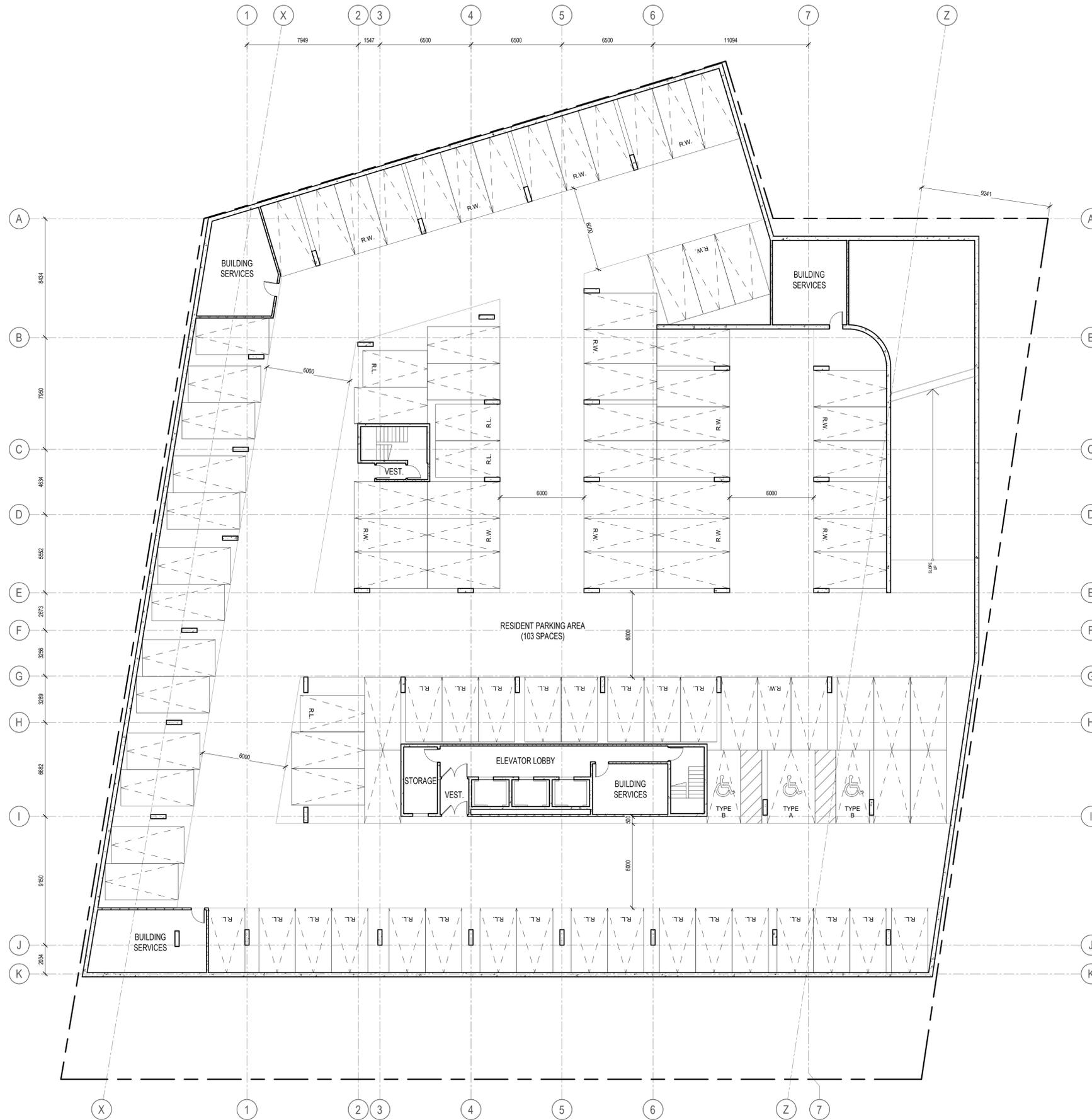
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FLOOR PLAN - PARKING
LEVEL P1

A109



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**FLOOR PLAN - PARKING
 LEVEL P2**

A110

CLADDING LEGEND:

| | | | |
|---|--------------------------|---|--|
| AL-1 ALUMINUM COMPOSITE PANEL BLACK | BR-1 BRICK MASONRY GREY | GL-1 ALUMINUM AND GLASS RAILING | SP-1 CURTAIN WALL SPANDREL PANEL BLACK |
| AL-2 ALUMINUM COMPOSITE PANEL SILVER-BLUE | BR-2 BRICK MASONRY BLACK | GL-2 ALUMINUM AND FRITTED GLASS RAILING | WD-1 WOOD SIDING CEDAR PLANKS |

ELEVATION NOTES

- ① ADDRESS PLAQUE
- ② WOOD LOUVRES
- ③ PROTRUDING BRICKWORK

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1 WEST ELEVATION
A201 SCALE: 1 : 200

2 SOUTH ELEVATION
A201 SCALE: 1 : 200

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ELEVATIONS

A201

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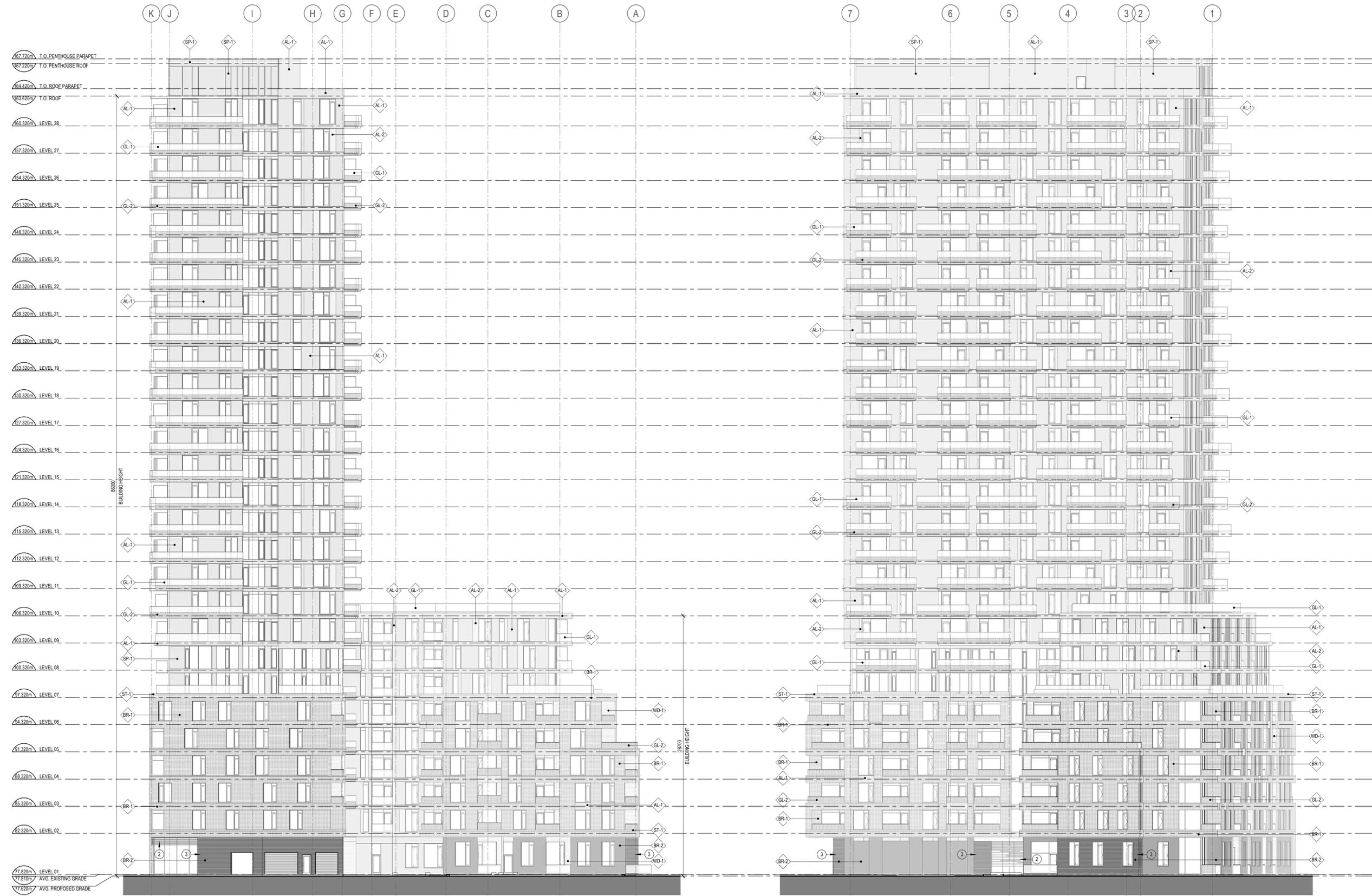
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2 EAST ELEVATION
SCALE: 1 : 200

1 NORTH ELEVATION
SCALE: 1 : 200

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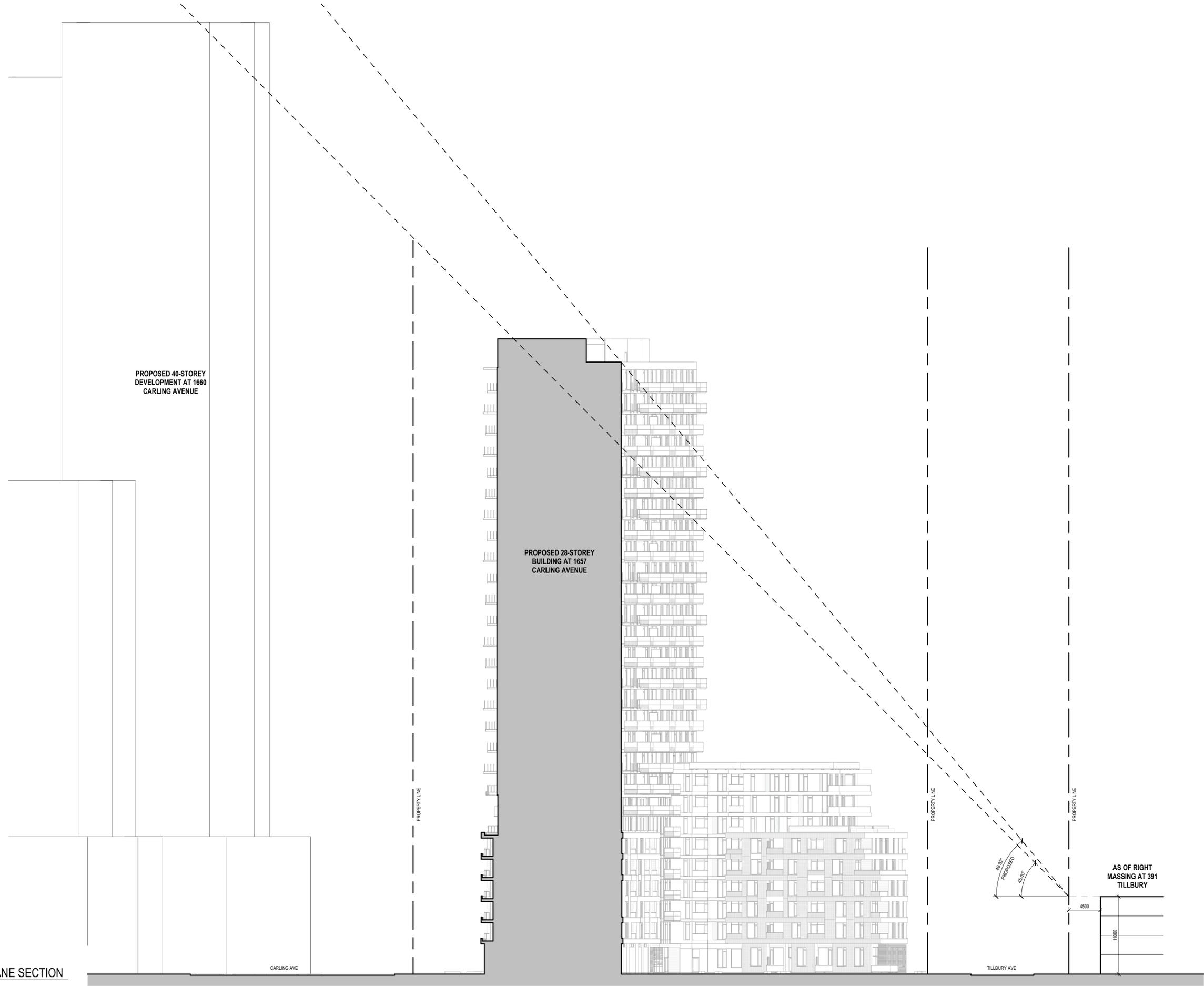
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ELEVATIONS

A202



PROPOSED 40-STOREY
DEVELOPMENT AT 1660
CARLING AVENUE

PROPOSED 28-STOREY
BUILDING AT 1657
CARLING AVENUE

AS OF RIGHT
MASSING AT 391
TILLBURY

1 ANGULAR PLANE SECTION
A203 SCALE: 1 : 250

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ANGULAR PLANE STUDY

A203