

1657 CARLING AVENUE

DESIGN BRIEF

05 July 2024





View Looking North

BUILDING MASSING

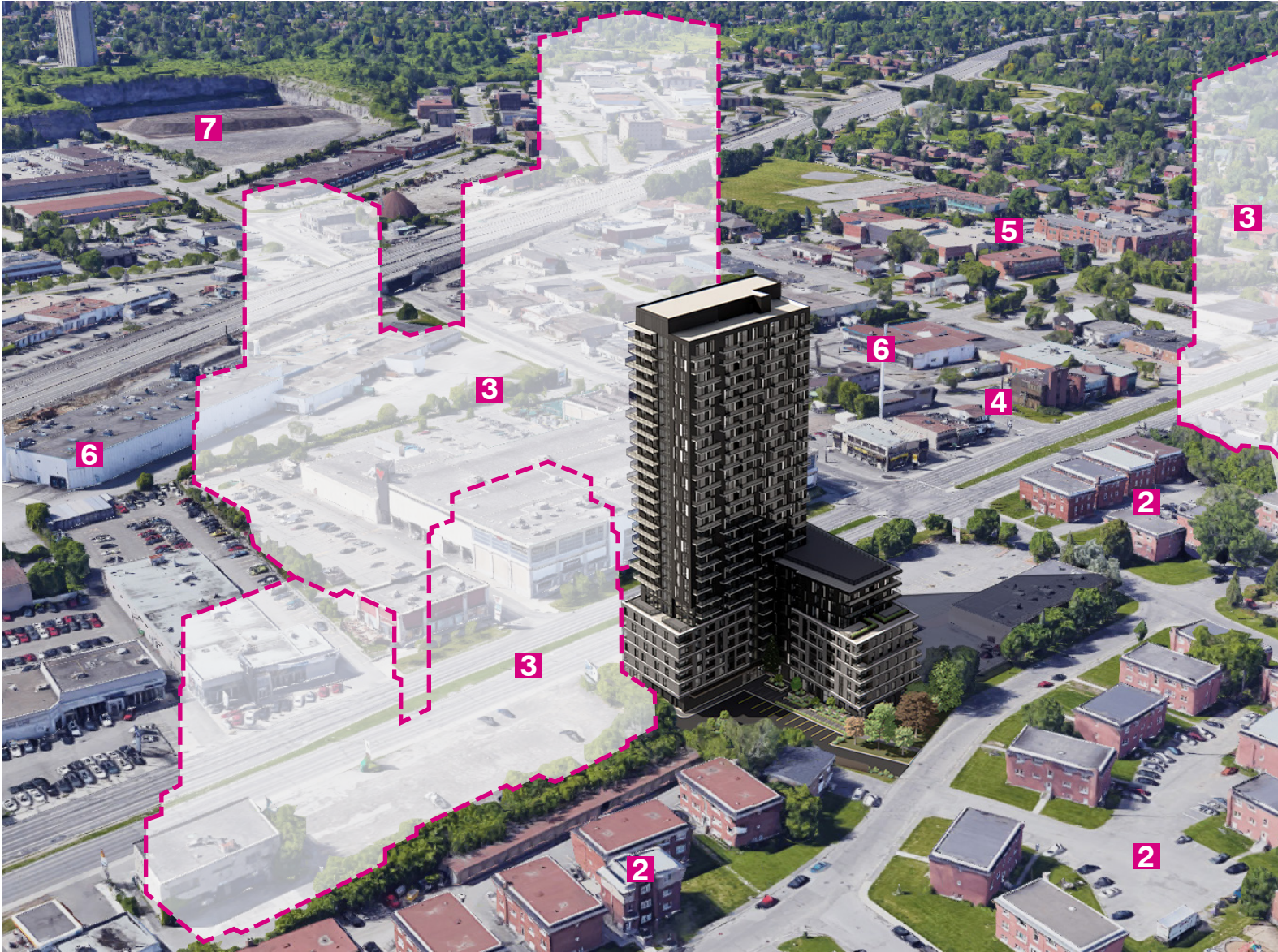
The project is situated on a prominent parcel facing Carling Avenue, a significant thoroughfare in the area, designated as an Arterial Road. To the North, it is bordered by the Highland Park neighborhood, characterized by a variety of low to mid-density residential buildings, including a mix of detached and semi-detached houses, as well as low-rise apartment buildings.

To the south, the project is adjacent to the Carlingwood West community, predominantly featuring commercial and industrial buildings tight with the 417 Queensway. Across the street is the site of the old Canadian Tire Center. There is a planned development for multiple buildings on this property including a 40 storey tower.

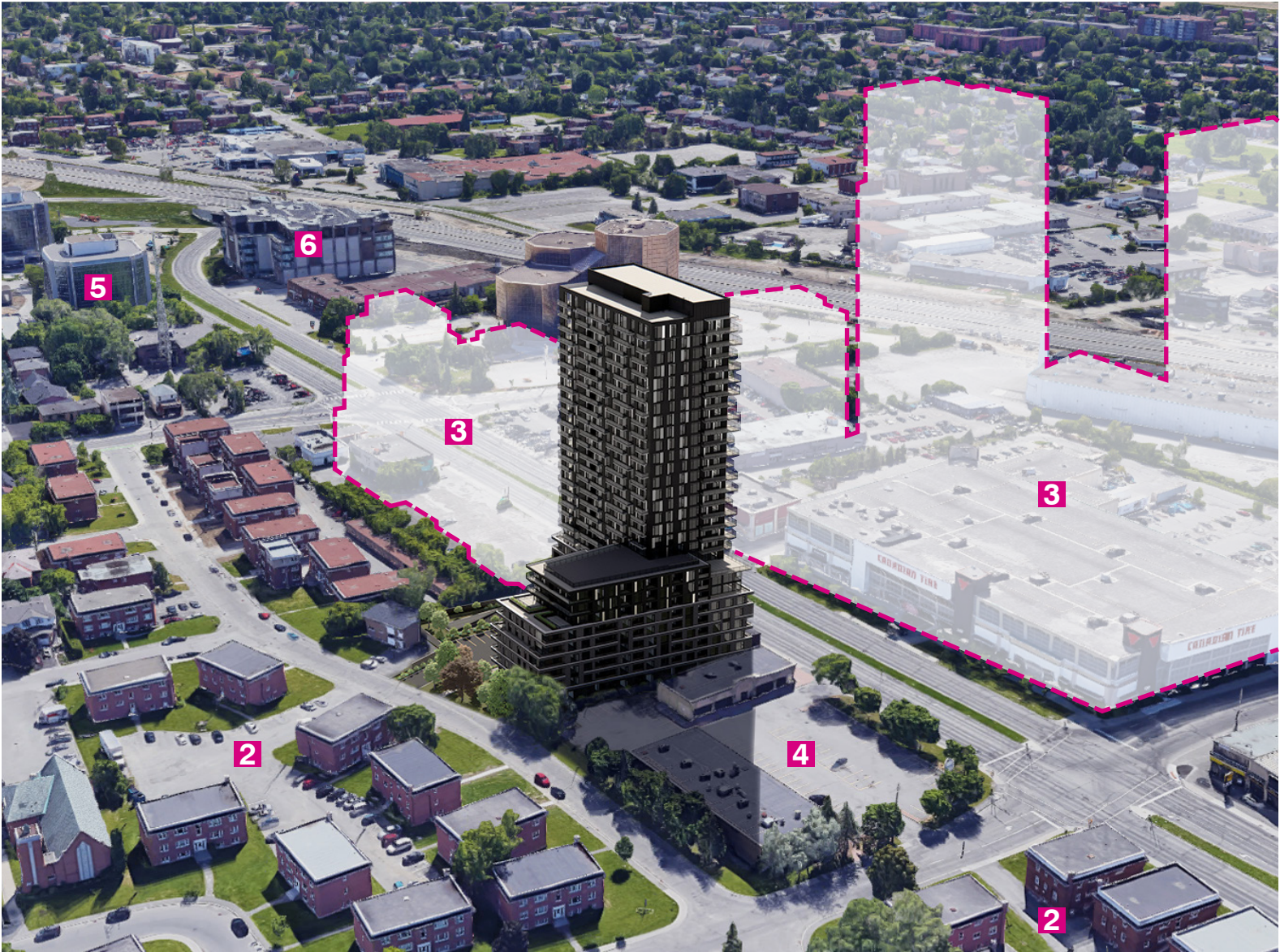
The project site is adjacent to an 18 storey development under construction. Across the street, there are a variety of commercial and industrial properties such as restaurants and car repair shops that also face Carling Avenue.

Situated within an area of Carling seeing much development, this project has the opportunity to set a precedent, showcasing a good balance of housing density and integrated amenity/commercial spaces.

- LEGEND**
- 1 Low-density Residential
 - 2 Low-Rise Multi-unit Residential Bld
 - 3 Future/Under Construction High-Rise
 - 4 Commercial Building
 - 5 Office Building
 - 6 Industrial Building
 - 7 Historic Frazer-Duntile Quarry



View Looking South



View Looking East

- LEGEND**
- 1 Low-density Residential
 - 2 Low-Rise Multi-unit Residential Bld
 - 3 Future/Under Construction High-Rise
 - 4 Commercial Building
 - 5 Office Building
 - 6 Industrial Building
 - 7 Historic Frazer-Duntile Quarry



1657 CARLING AVENUE VIEWS FROM CARLING AVENUE
| 2213 | SCALE N.T.S.



1657 CARLING AVENUE VIEW FROM CARLING AVENUE (SOUTH ELEVATION)
| 2213 | SCALE N.T.S.



1657 CARLING AVENUE VIEW FROM CARLING AVENUE
| 2213 | SCALE N.T.S.



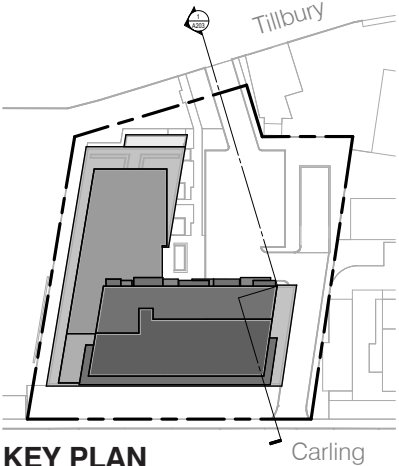
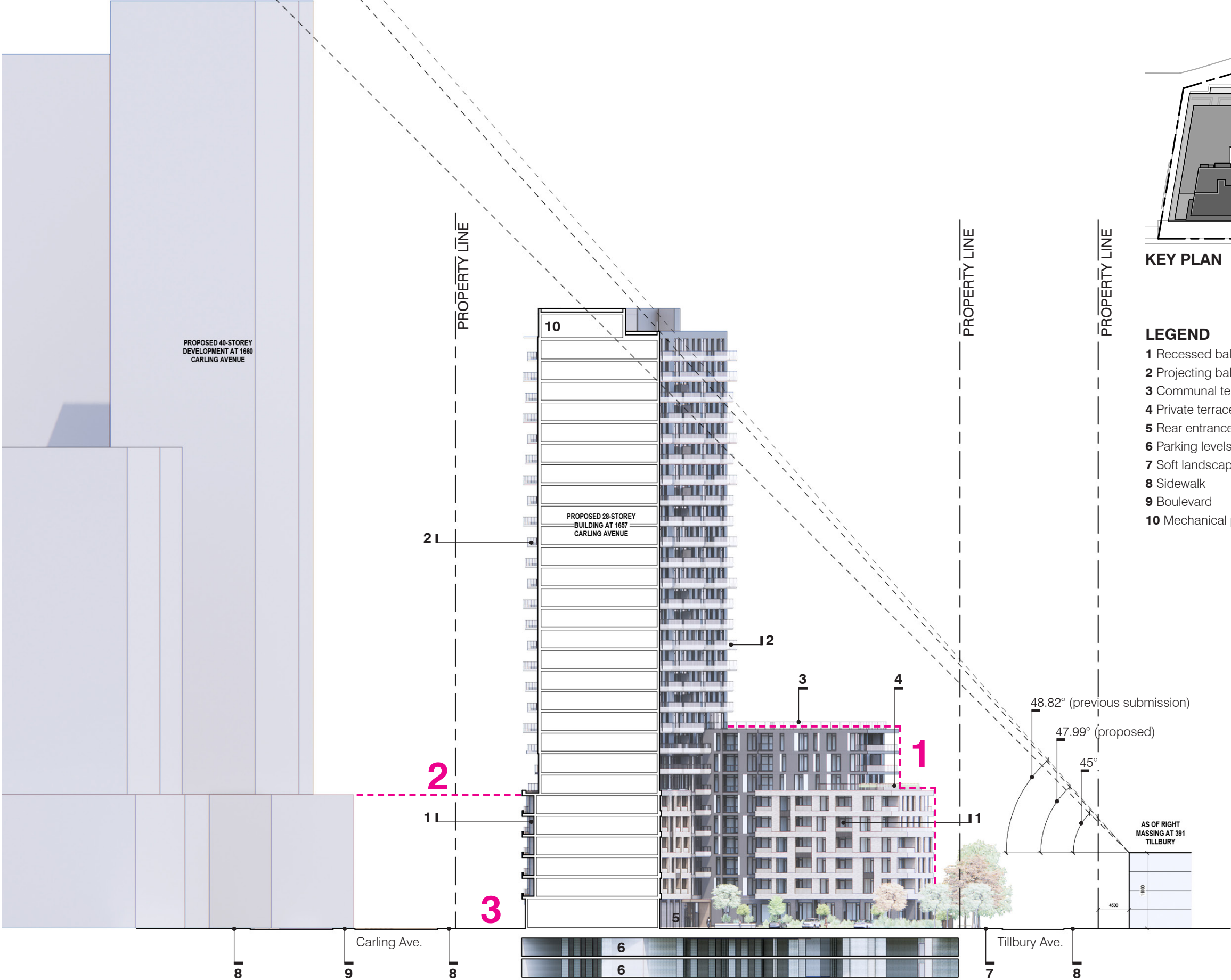
1657 CARLING AVENUE VIEW OF REAR OF BUILDING FROM THE NORTH/NORTH-EAST
| 2213 | SCALE N.T.S.



1657 CARLING AVENUE VIEW FROM TILLBURY AVENUE LOOKING EAST
| 2213 | SCALE N.T.S.



1657 CARLING AVENUE VIEW FROM TILLBURY AVENUE LOOKING SOUTH-WEST
| 2213 | SCALE N.T.S.



KEY PLAN

LEGEND

- 1 Recessed balconies (Levels 2 to 6)
- 2 Projecting balconies (Levels 7 to 30)
- 3 Communal terrace
- 4 Private terrace
- 5 Rear entrance
- 6 Parking levels
- 7 Soft landscaping
- 8 Sidewalk
- 9 Boulevard
- 10 Mechanical penthouse

BUILDING TRANSITION

Our project takes a considered approach to introducing greater height and density to this growing area of the city, implementing specific design strategies to ensure a seamless integration with the existing surroundings.

Measure 1 - Stepping Down Towards Tillbury

The building features a descending design, with a 9-story section that steps down to 6 and then 4 stories as it nears the residential zone to the north.

This gradual reduction in height, accentuated by a sequence of terraces, helps the building transition from the high-rise 28-story tower at the south to the lower residential context to the north.

Measure 2 - Podium Alignment on Carling

We've designed a 6-story podium that aligns with the new development to the east, and zoning requirements for the area.

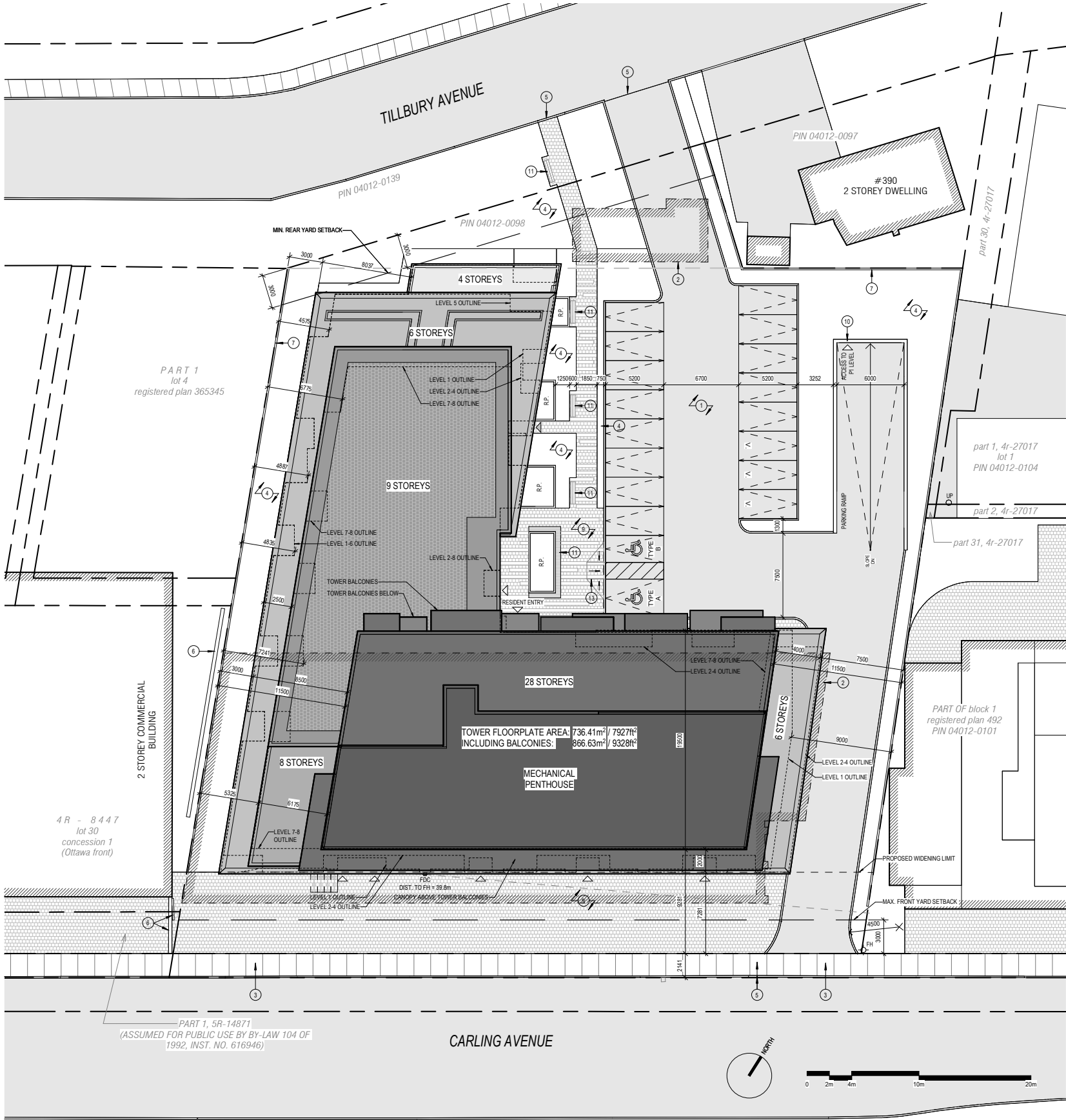
This creates a visual connection between our building and the emerging street profile, anchoring it firmly within the current and anticipated developments along Carling Avenue.

Measure 3 - Open Ground Floor

At the ground level, the project features retail spaces with a clear height of 4.5 meters, enhancing the openness at street level. This elevated design choice clearly defines the building's base and encourages street interaction, bolstering the active commercial presence along Carling.

Further enriching the pedestrian experience, the development incorporates direct pathways across the site, which are complemented by thoughtful landscaping and planting to ensure seamless and inviting access at the street level.

These strategies are employed to ensure the new building integrates with the community and enhances the existing urban landscape, carefully balancing its prominent stature with the established scale and character of the area.



SITE PLAN SYMBOLS LEGEND

BUILDING ENTRANCE

BUILDING EXIT

BICYCLE PARKING

PROPERTY LINE

SETBACK LINE

INTERLOCKING STONE PAVERS

FDC
FIRE DEPARTMENT CONNECTION

FH
FIRE HYDRANT

UP
EXISTING UTILITY POLE TO REMAIN

R.P.
RAISED PLANTER

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 2
REGISTERED PLAN 492
AND
PART OF BLOCK 4
REGISTERED PLAN 310995
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STANTEC GEOMATICS LTD. 2023

- SITE PLAN NOTES**
- 1

ASPHALT
- 2

EXISTING STRUCTURE TO BE DEMOLISHED
- 3

CONCRETE SIDEWALK
- 4

SOFT LANDSCAPING
- 5

DEPRESSED CURB
- 6

EXISTING RETAINING WALL
- 7

2m HIGH WOOD PRIVACY FENCE
- 8

CANOPY/BUILDING ABOVE
- 9

HARD LANDSCAPING
- 10

RAILING AROUND PARKING RAMP PERIMETER
- 11

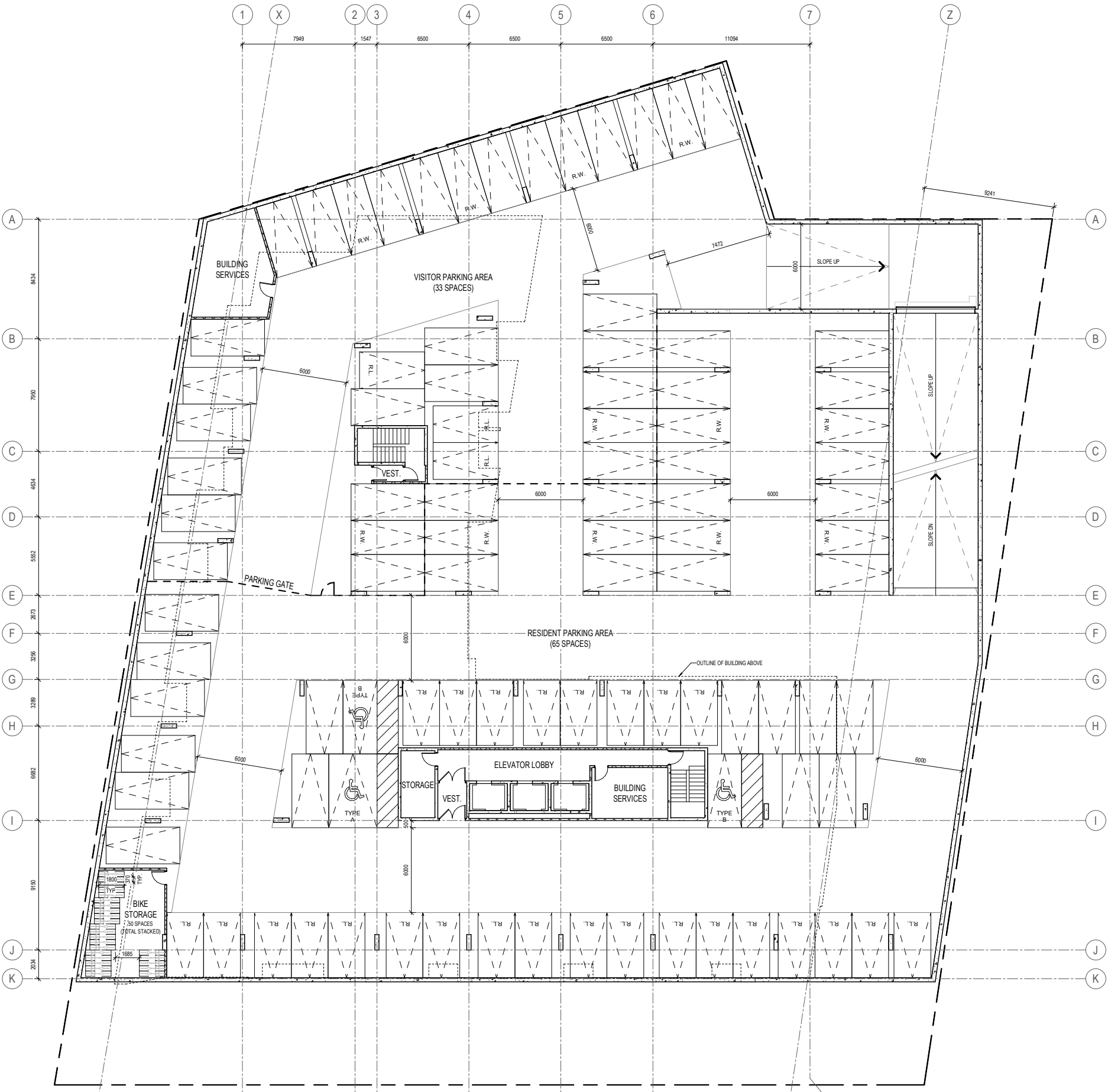
BENCH
- 12

PRIVATE TERRACE
- 13

CURB RAMP

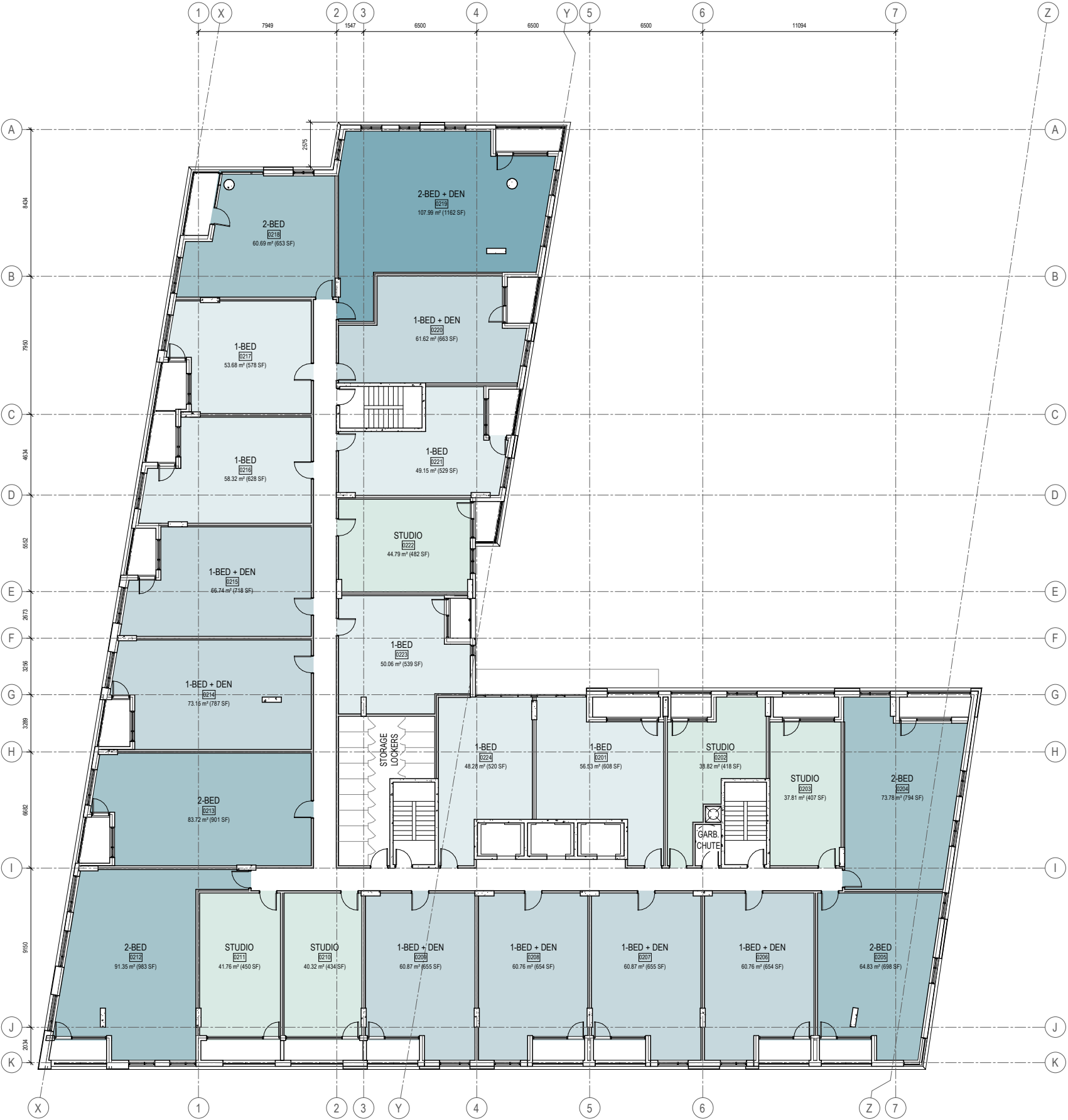


1657 CARLING AVENUE FLOOR PLAN - GROUND FLOOR / CONCEPTUAL LANDSCAPE PLAN
| 2213 | SCALE 1:350



1657 CARLING AVENUE FLOOR PLAN - TYPICAL PARKING LEVEL
| 2213 | SCALE N.T.S.







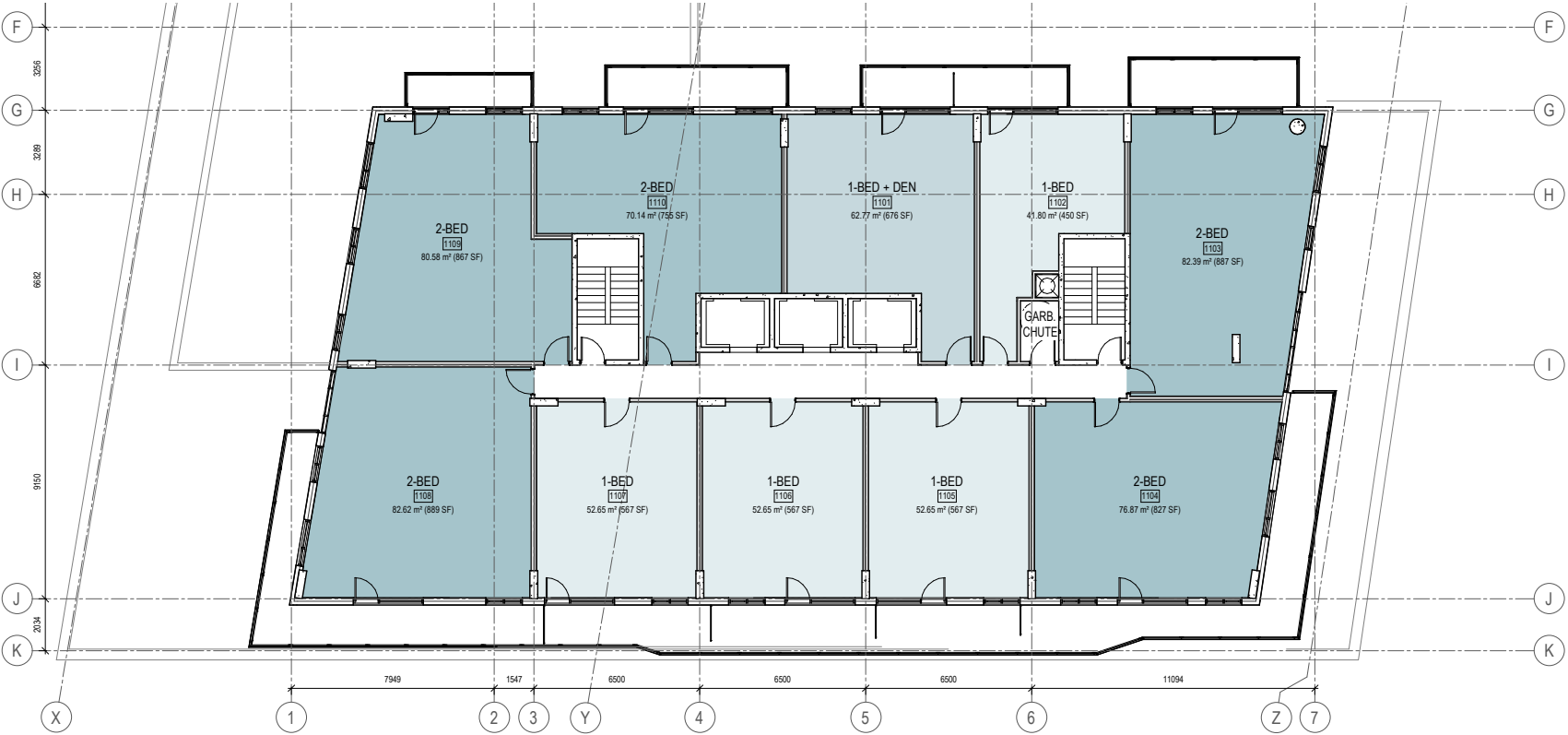
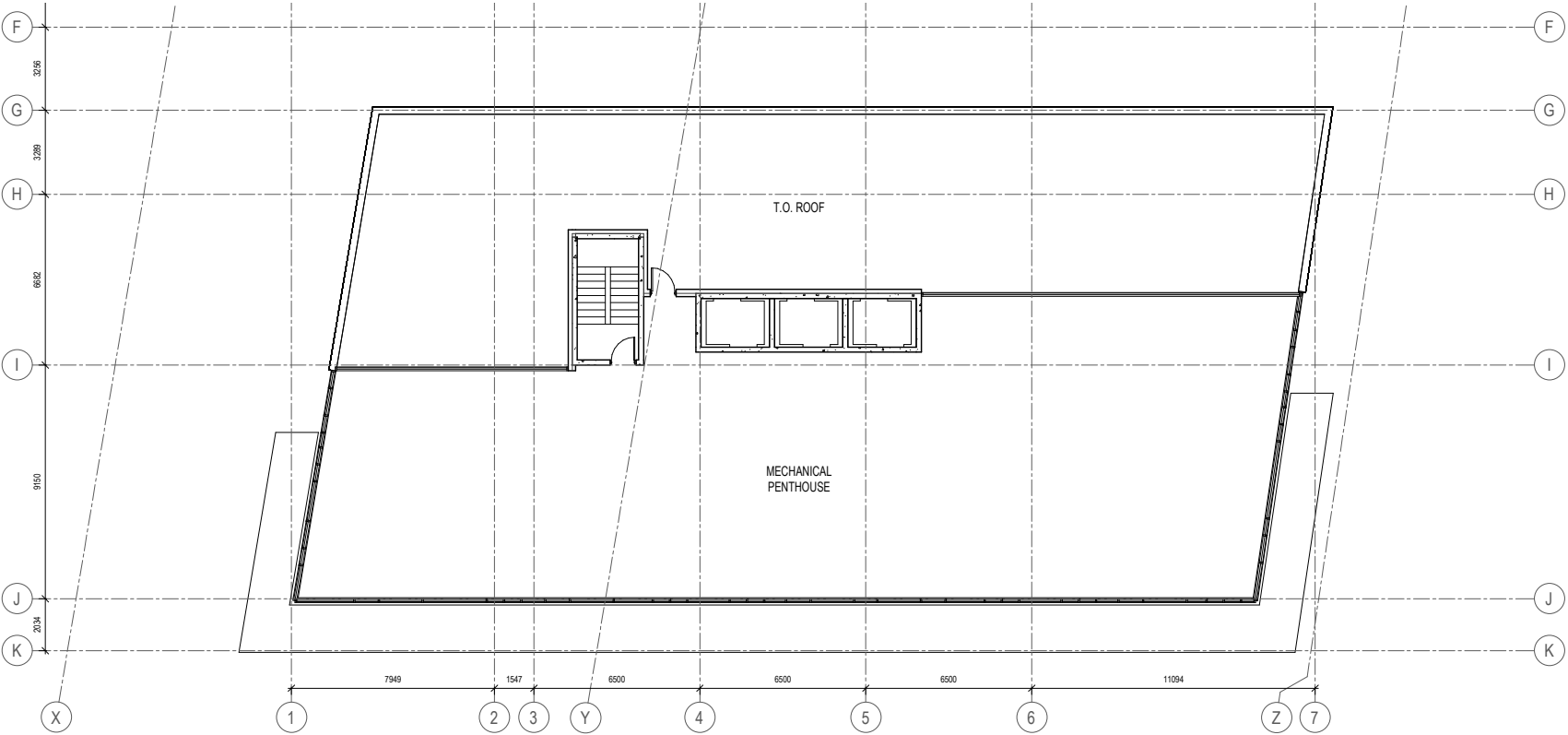


1657 CARLING AVENUE FLOOR PLAN - LEVEL 7-8
| 2213 | SCALE N.T.S.

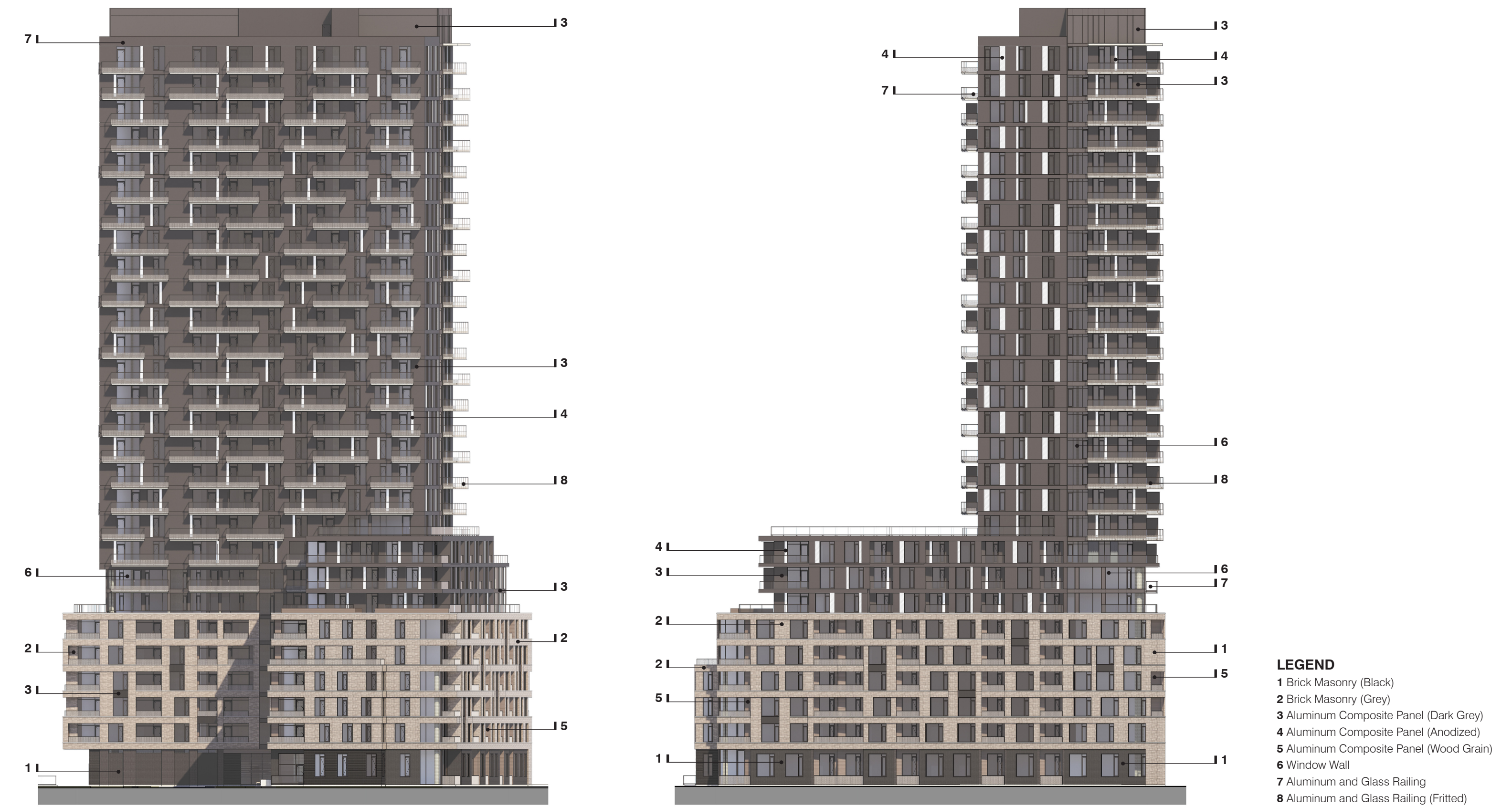




1657 CARLING AVENUE FLOOR PLAN - LEVEL 10
| 2213 | SCALE N.T.S.









SUSTAINABILITY

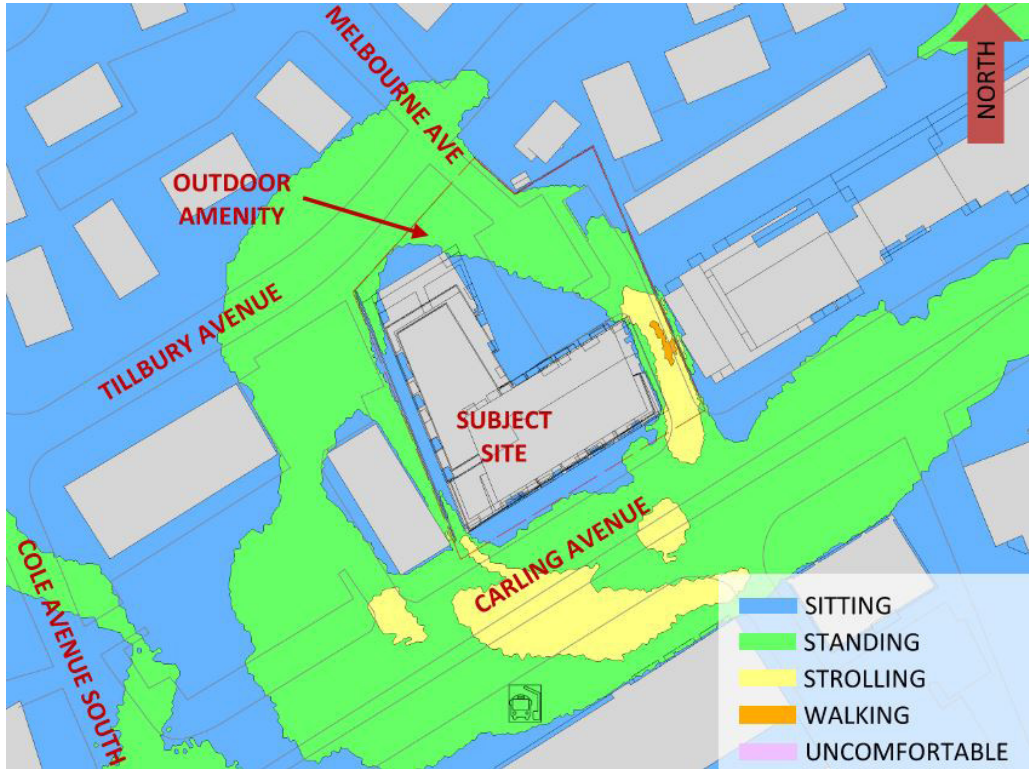
While not targeting specific energy use targets, this project does offer a number of sustainable design features simply by the nature of its design, and its location within the city. The building will make use of an energy model to ensure that it exceeds the energy use requirements of the Ontario Building Code.

Suites will have high efficiency HVAC units offering on demand heating and cooling at all months of the year. The project will be using high efficiency appliances and all lighting will use LED luminaires which, combined, will result in a significant reduction in the electrical demand for the building.

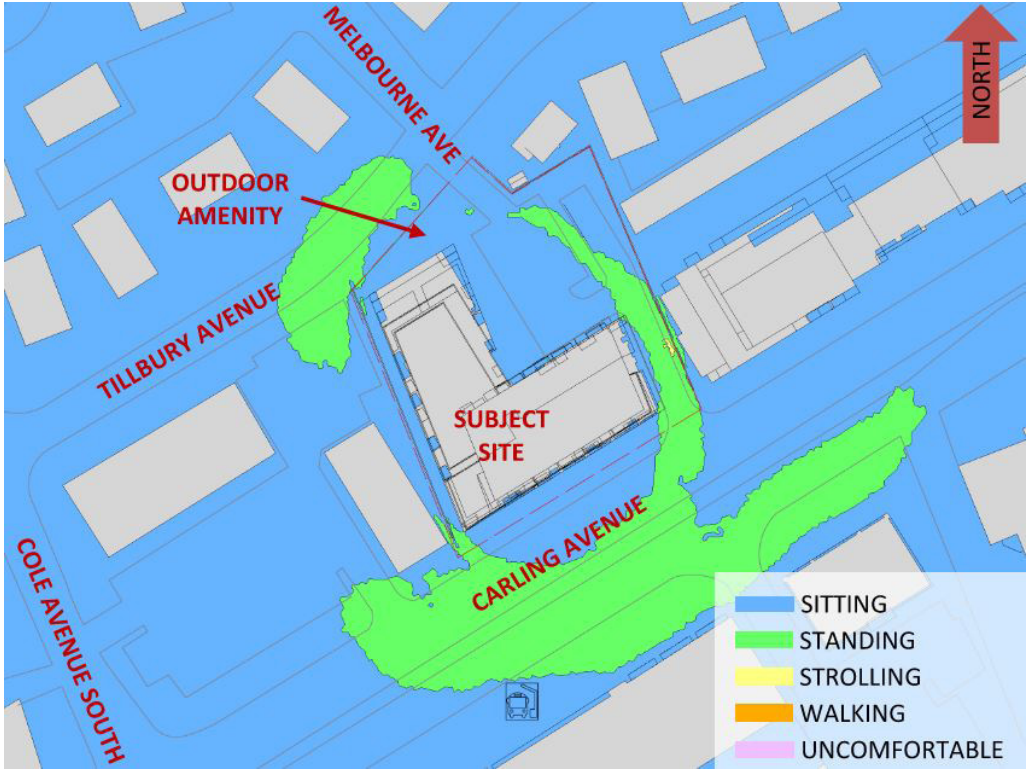
Building envelope design will exceed code requirements for insulation values and the glazing system will also exceed code requirements. The roofing membrane will have a light colour, increasing reflectivity and reducing heat island effects. Projecting balconies along the south elevation will help to reduce indoor thermal heat gain during the summer months, while allowing daylight in the winter.

All resident parking is underground. By reducing surface parking, we are ensuring a greater amount of soft landscaping which will reduce the surface run-off created by this development. In addition, a cistern will be included in the design to ensure a storm water flow-rate that will not overwhelm existing infrastructure. The proposed development includes extensive planting, with enough soil volume to ensure healthy tree growth.

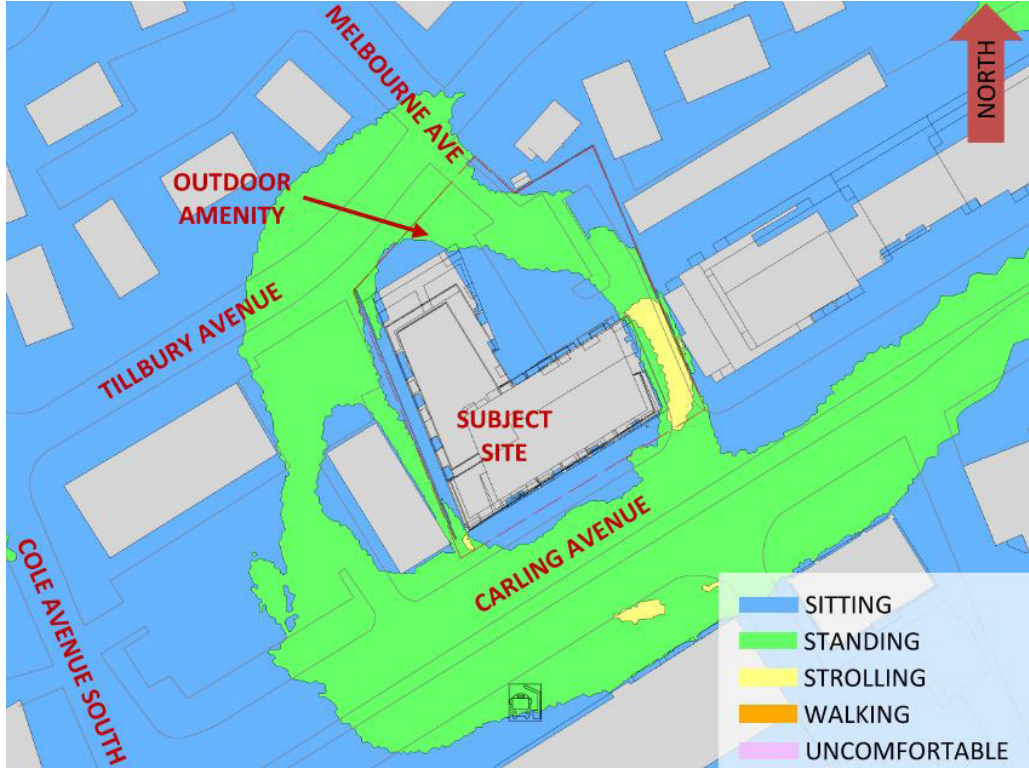
The project will include outboard insulation on the exterior walls, which creates a more cohesive thermal barrier and reduces thermal bridges through the exterior walls, as well as durable cladding materials, all of which installed using a ‘rain screen’ design, ensuring that these cladding materials will perform well over the long term and will not require replacement.



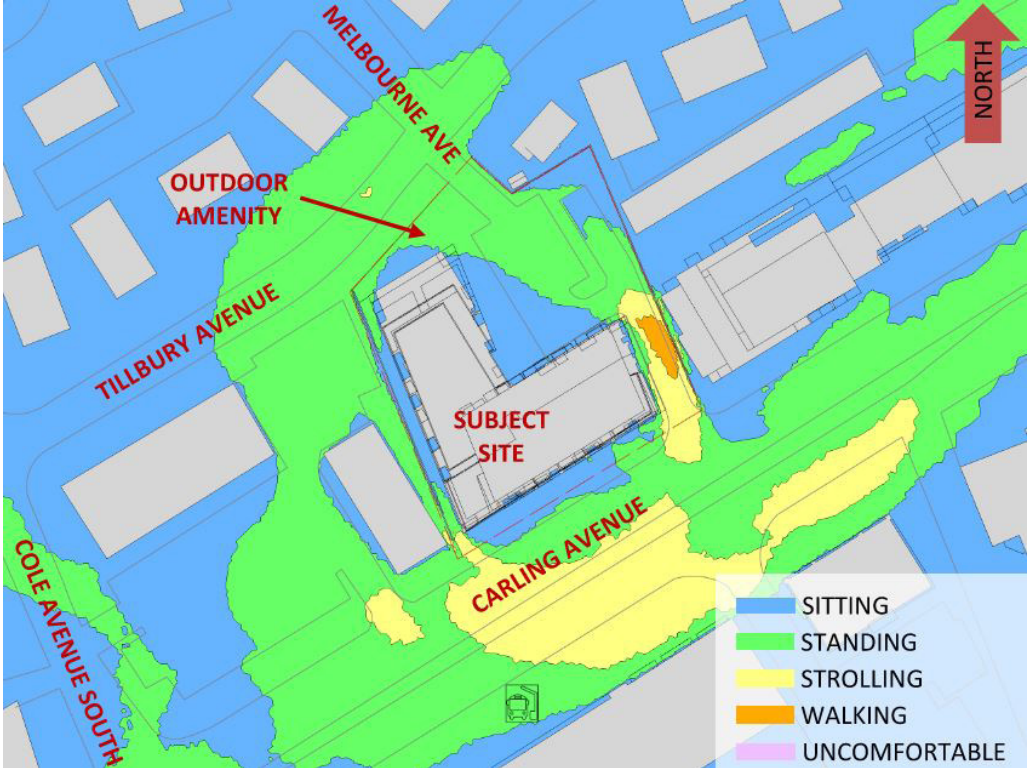
SPRING



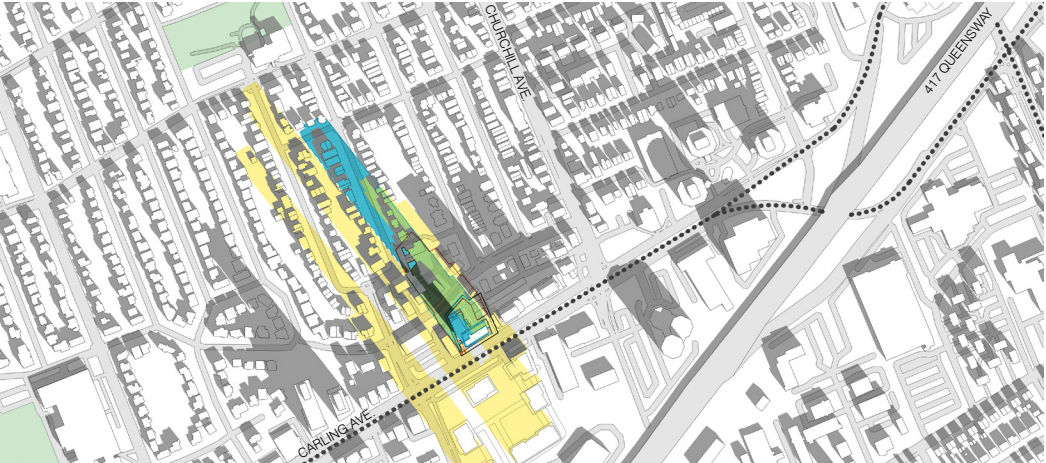
SUMMER



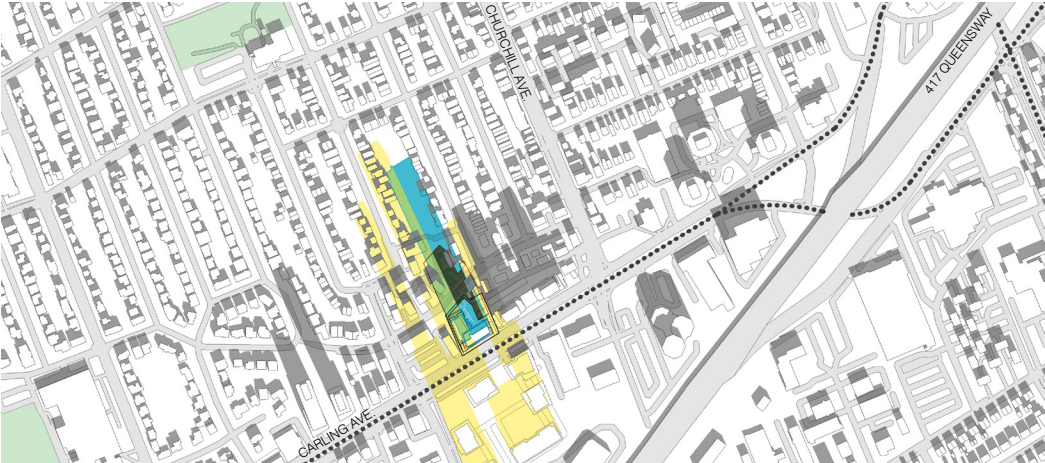
AUTUMN



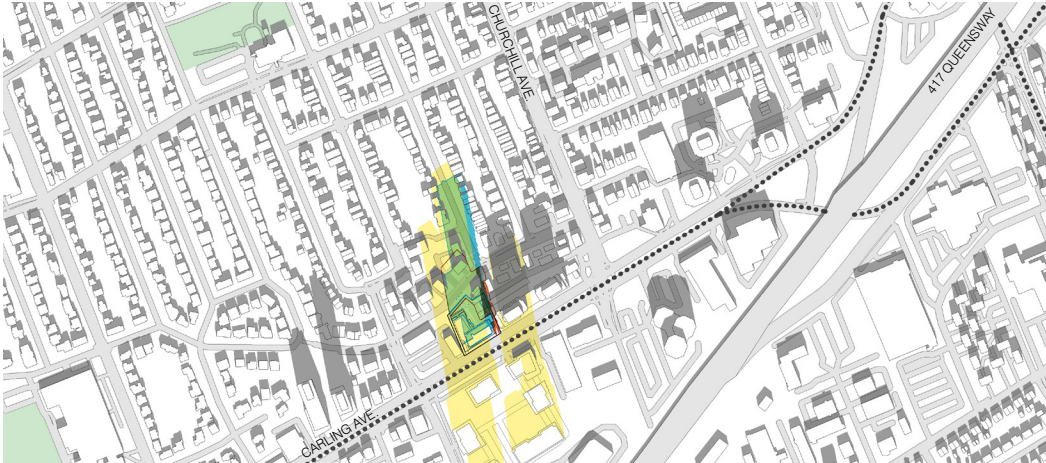
WINTER



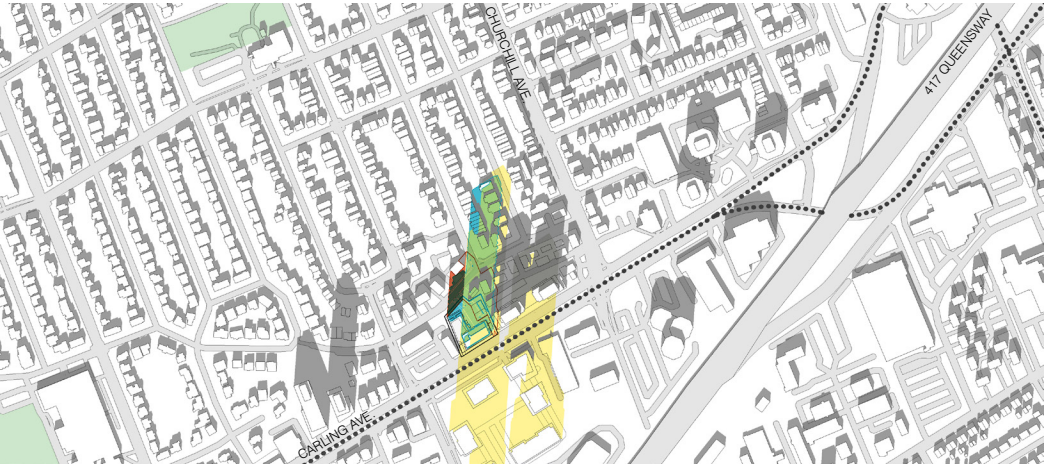
DEC 21 - 9:00 AM



DEC 21 - 10:00 AM



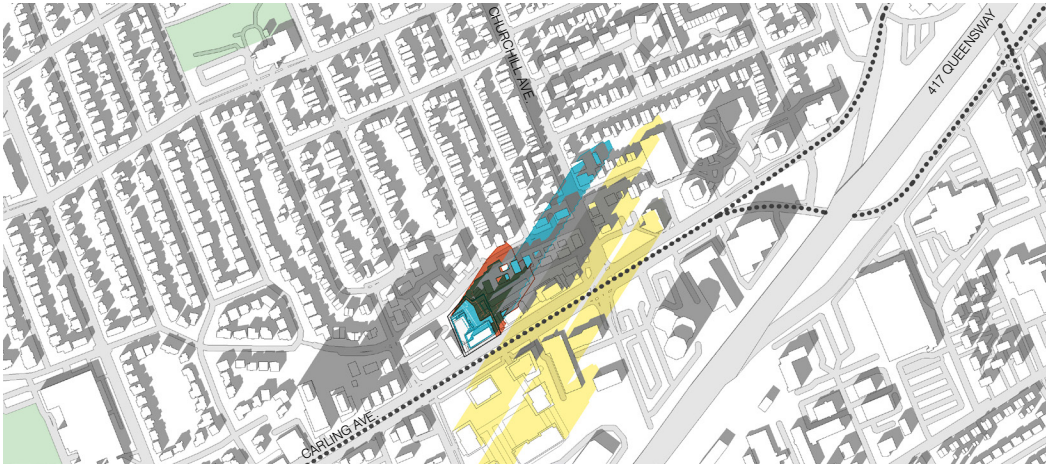
DEC 21 - 11:00 AM



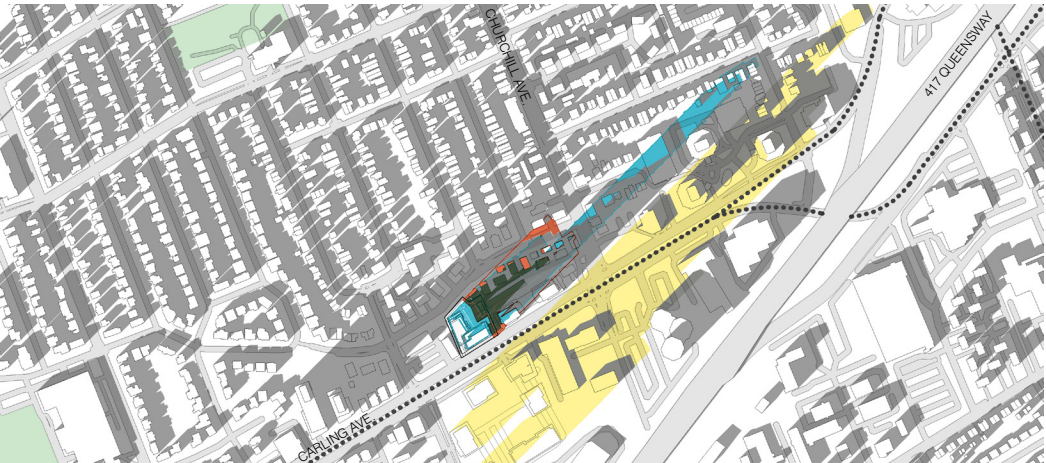
DEC 21 - 12:00 PM



DEC 21 - 1:00 PM



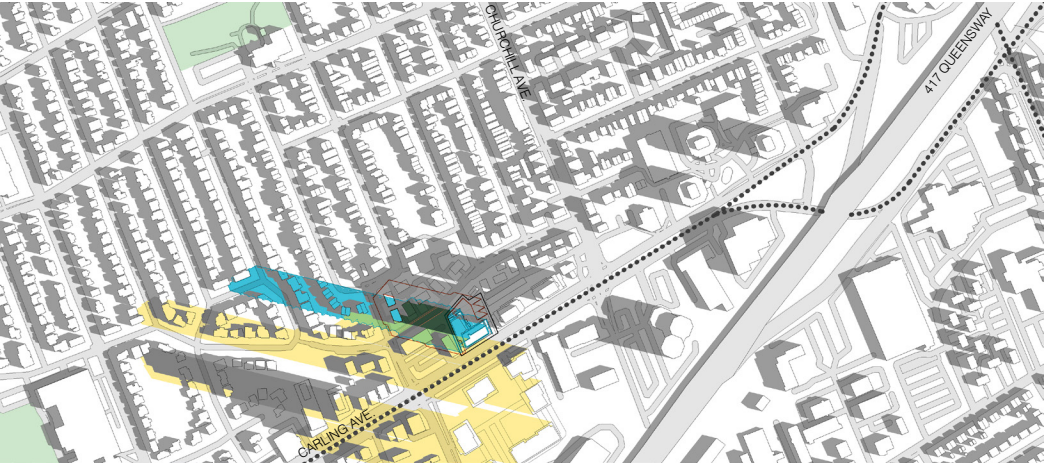
DEC 21 - 2:00 PM



DEC 21 - 3:00 PM

LEGEND

- As-of-Right Shadow/Outline
- Proposed Project Shadow Outline
- New Net Shadow
- Shadow from Proposed Development at 1660 Carling Avenue
- Overlap of Proposed Project Shadow and Shadow from 1660 Carling
- Overlap of Proposed Project Shadow and As-of-Right Shadow
- Public Park
- Arterial Mainstreet



SEP 21 - 8:00 AM



SEP 21 - 9:00 AM



SEP 21 - 10:00 AM



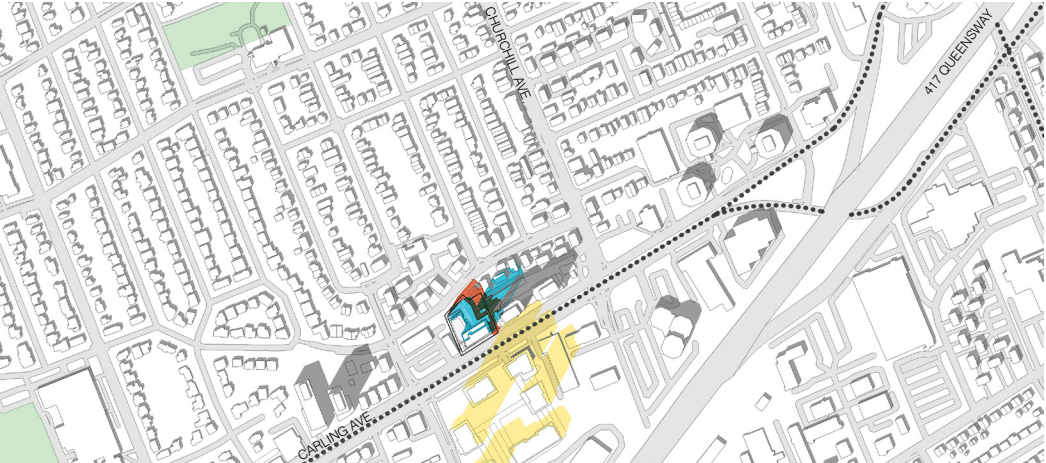
SEP 21 - 11:00 AM



SEP 21 - 12:00 PM



SEP 21 - 1:00 PM



SEP 21 - 2:00 PM



SEP 21 - 3:00 PM

LEGEND

As-of-Right Shadow/Outline

Proposed Project Shadow Outline

New Net Shadow

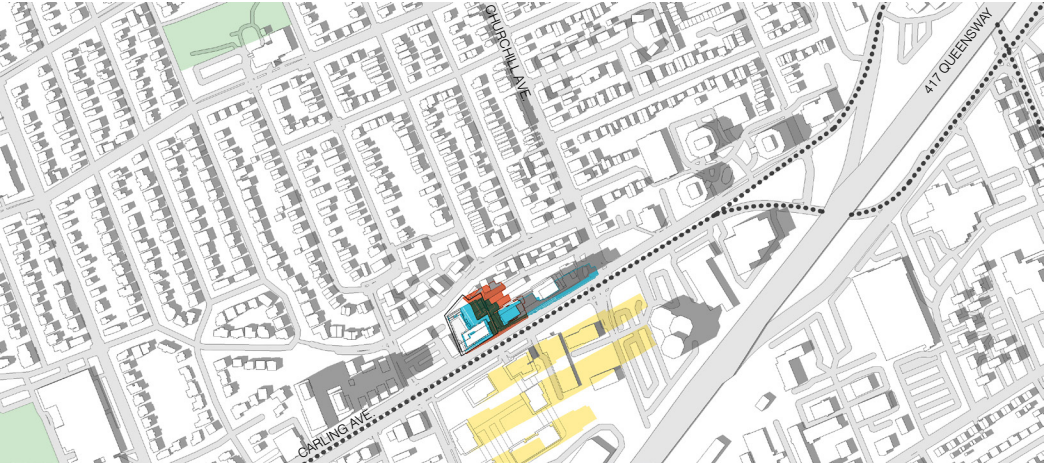
Shadow from Proposed Development at 1660 Carling Avenue

Overlap of Proposed Project Shadow and Shadow from 1660 Carling

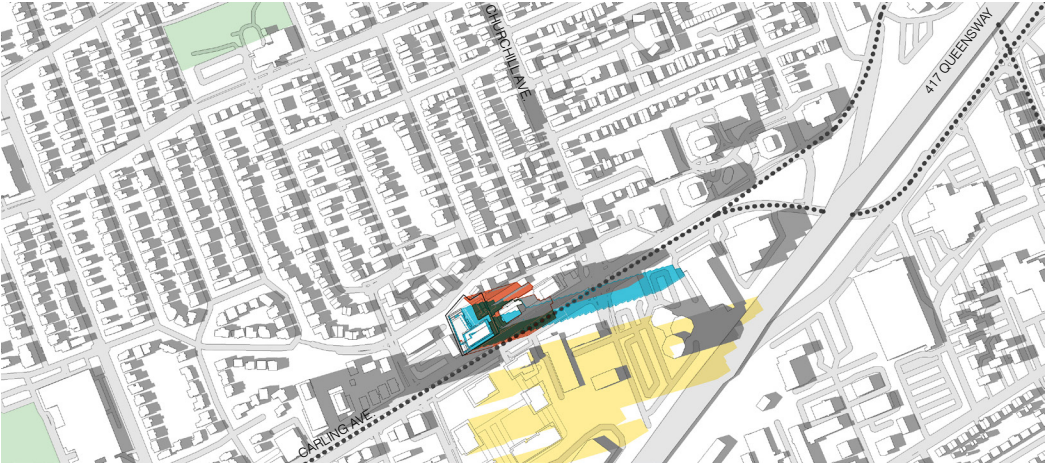
Overlap of Proposed Project Shadow and As-of-Right Shadow

Public Park

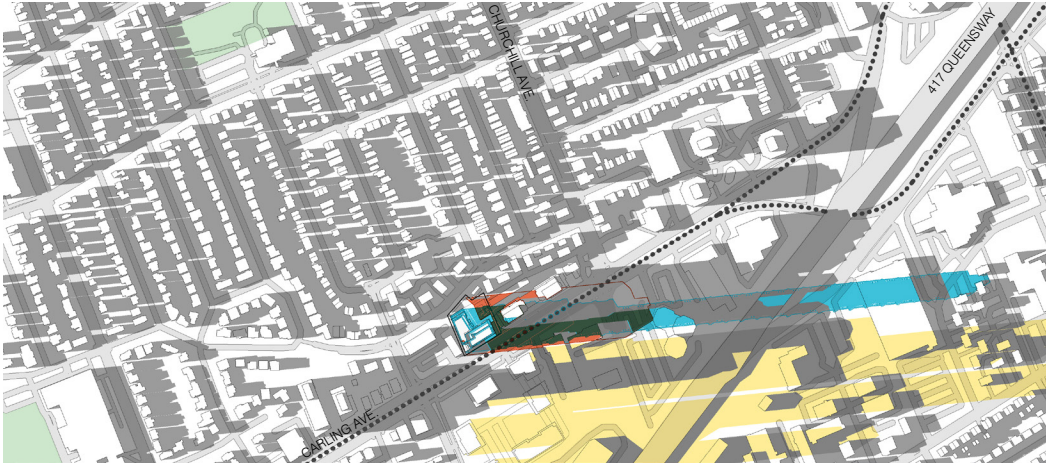
Arterial Mainstreet



SEP 21 - 4:00 PM



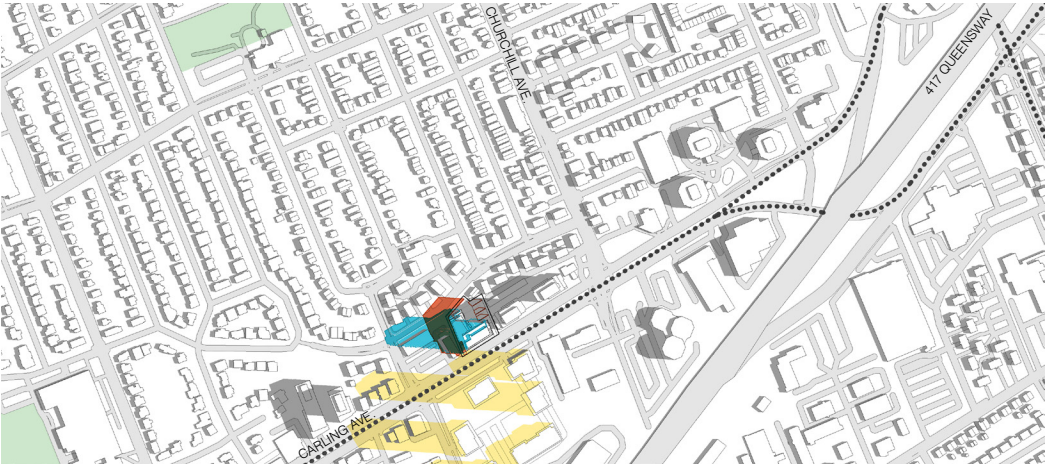
SEP 21 - 5:00 PM



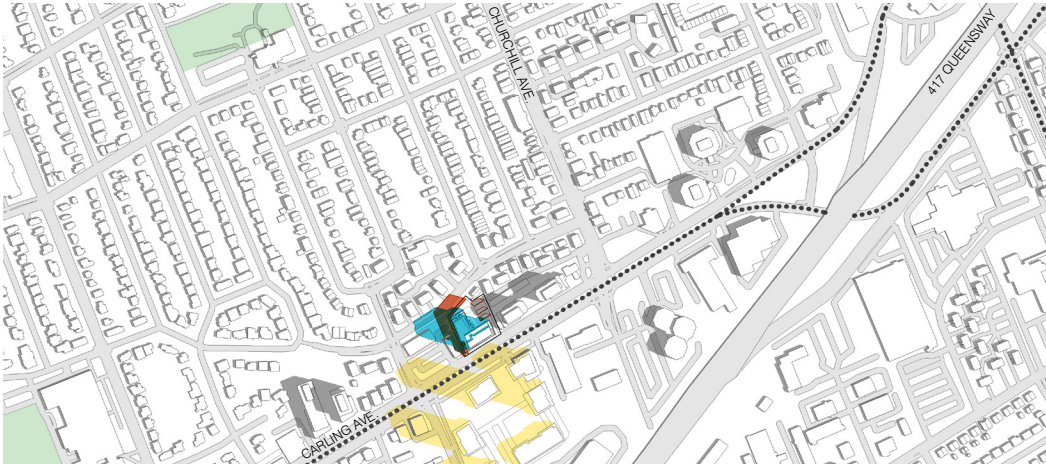
SEP 21 - 6:00 PM



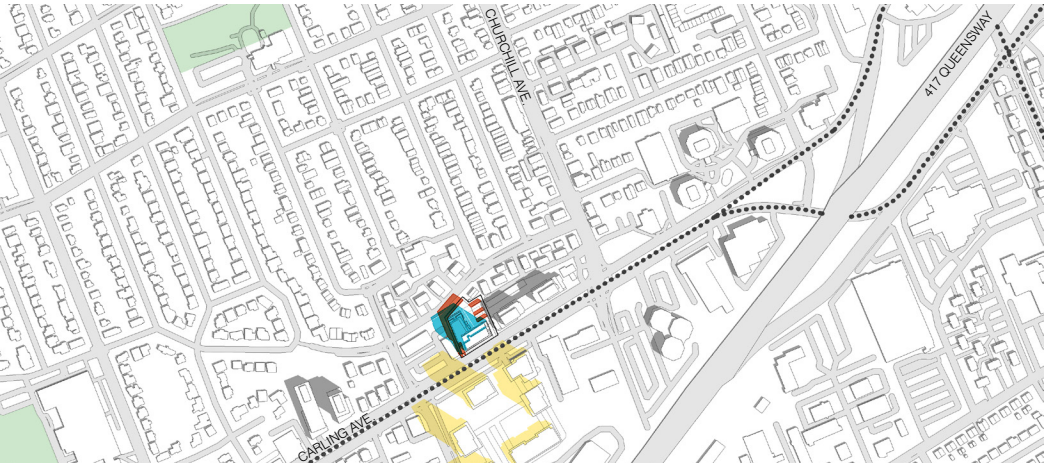
JUN 21 - 8:00 AM



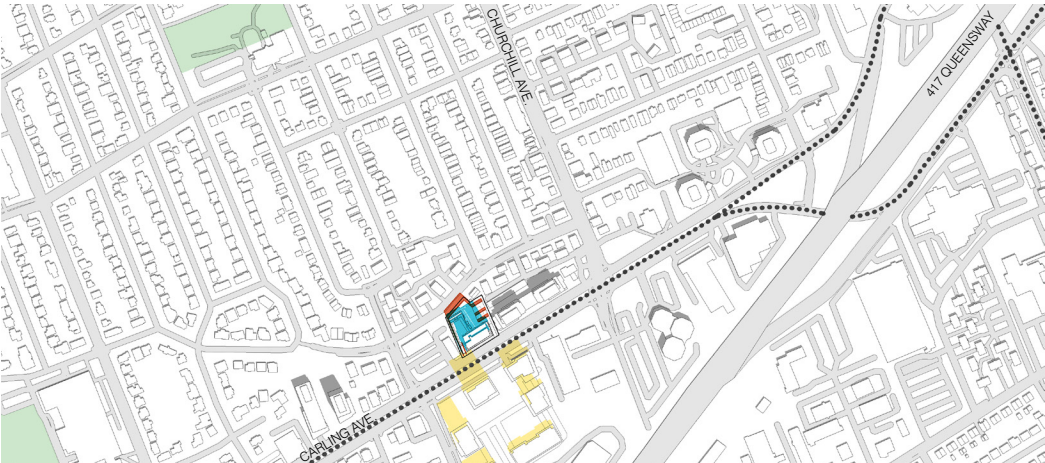
JUN 21 - 9:00 AM



JUN 21 - 10:00 AM



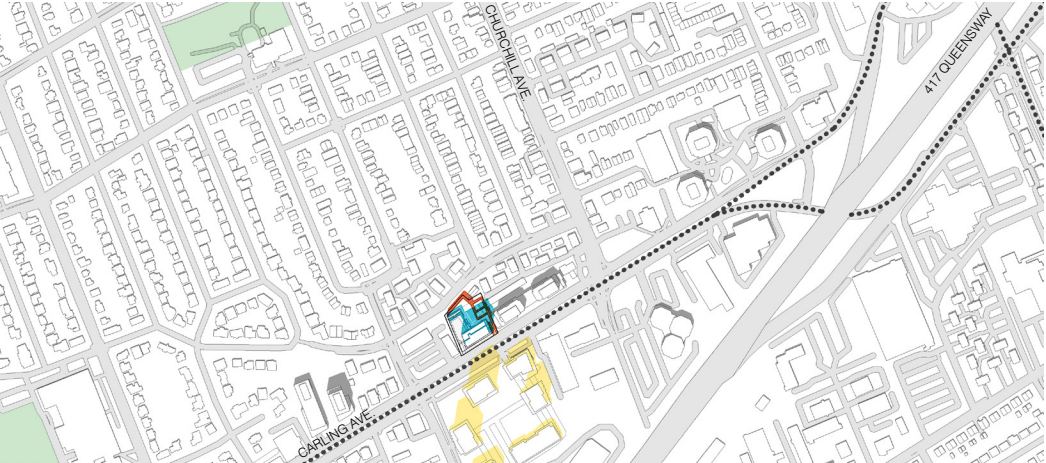
JUN 21 - 11:00 AM



JUN 21 - 12:00 PM

LEGEND

- As-of-Right Shadow/Outline
- Proposed Project Shadow Outline
- New Net Shadow
- Shadow from Proposed Development at 1660 Carling Avenue
- Overlap of Proposed Project Shadow and Shadow from 1660 Carling
- Overlap of Proposed Project Shadow and As-of-Right Shadow
- Public Park
- Arterial Mainstreet



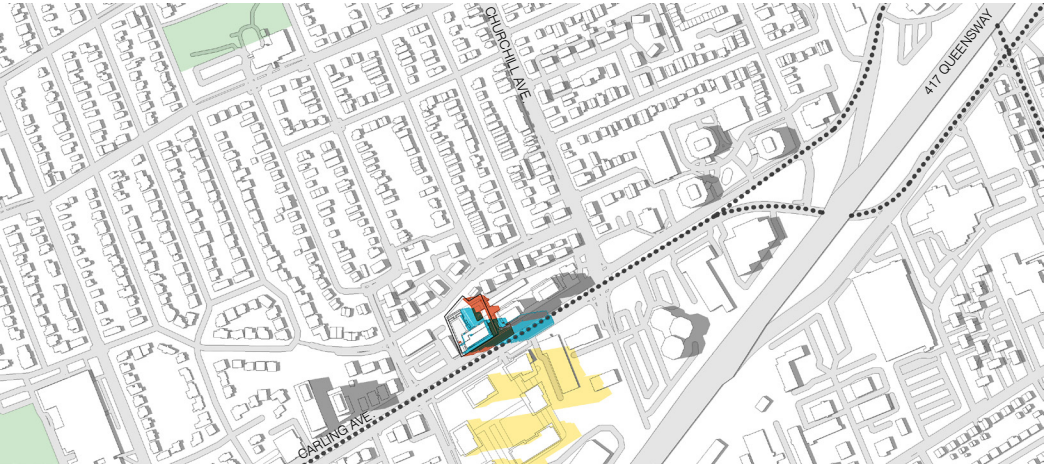
JUN 21 - 1:00 PM



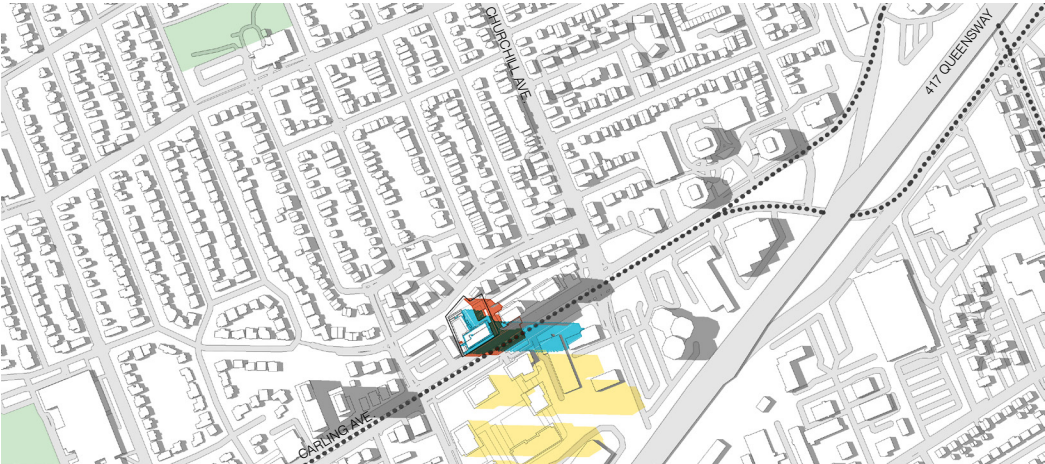
JUN 21 - 2:00 PM



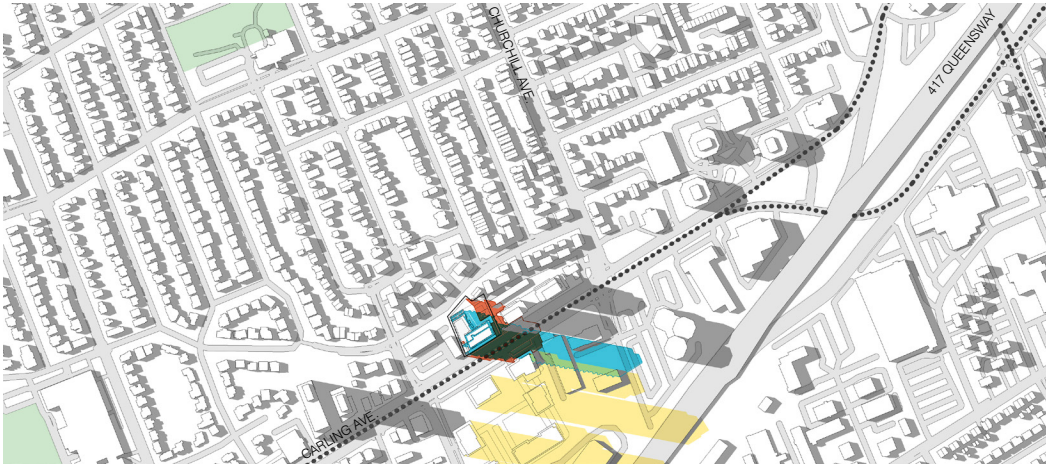
JUN 21 - 3:00 PM



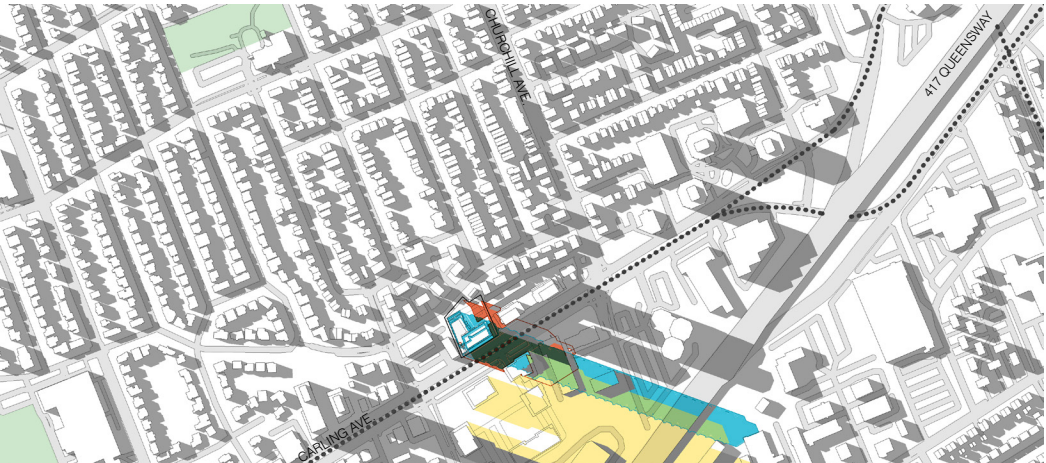
JUN 21 - 4:00 PM



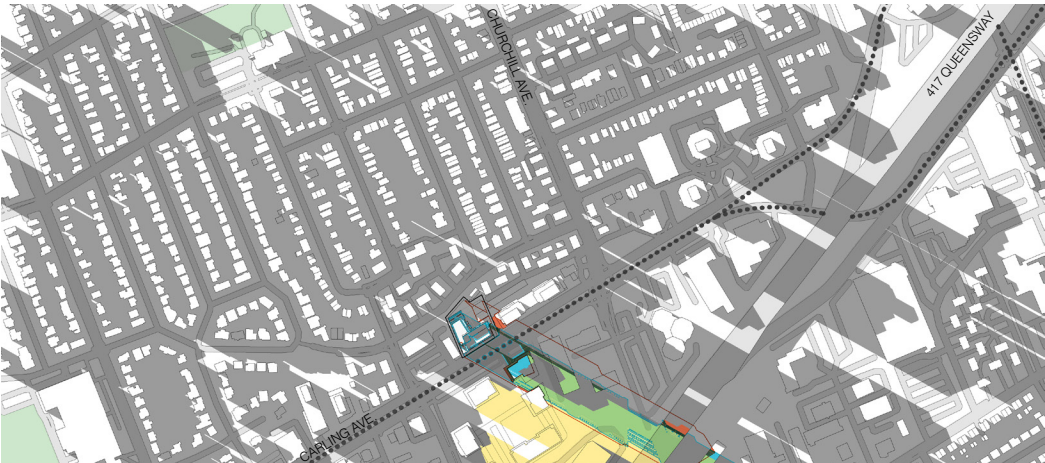
JUN 21 - 5:00 PM



JUN 21 - 6:00 PM



JUN 21 - 7:00 PM



JUN 21 - 8:00 PM

LEGEND

- As-of-Right Shadow/Outline
- Proposed Project Shadow Outline
- New Net Shadow
- Shadow from Proposed Development at 1660 Carling Avenue
- Overlap of Proposed Project Shadow and Shadow from 1660 Carling
- Overlap of Proposed Project Shadow and As-of-Right Shadow
- Public Park
- Arterial Mainstreet