

2 LOCATION PLAN
SCALE: NTS

SITE PLAN SYMBOLS LEGEND

	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		FIRE HYDRANT TO BE RELOCATED
	PROPERTY LINE		EXISTING UTILITY POLE TO REMAIN
	SETBACK LINE		EXISTING TOPOGRAPHY
	PAVERS		
	R.L. REDUCED LENGTH PARKING SPACE (4600mm x 2600mm)		
	R.W. REDUCED WIDTH PARKING SPACE (5200mm x 2400mm)		

TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 2 REGISTERED PLAN 492 AND PART OF BLOCK 4 REGISTERED PLAN 310595 GEOGRAPHIC TOWNSHIP OF NEPEAN CITY OF OTTAWA STANTEC GEOMATICS LTD. 2023

3 SURVEY INFO
SCALE: 1 : 200

SITE PLAN NOTES

1	ASPHALT
2	EXISTING STRUCTURE TO BE DEMOLISHED
3	CONCRETE SIDEWALK
4	REFER TO LANDSCAPE
5	DEPRESSED CURB
6	EXISTING RETAINING WALL
7	2m HIGH WOOD PRIVACY FENCE
8	CANOPY/BUILDING ABOVE
9	CONCRETE
10	RAILING
11	REFER TO LANDSCAPE
12	PRIVATE TERRACE
13	CURB RAMP
14	ASPHALT CYCLE TRACK
15	PAINTED LINES

OWNER
INSIDE EDGE PROPERTIES
464 BANK STREET, SUITE 200
OTTAWA, ON, K2P 1Z3

ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST, SUITE 300
OTTAWA, ON, K1N 5K5

PLANNER
FOTENN PLANNING + DESIGN
396 COOPER ST SUITE, SUITE 300
OTTAWA, ON, K2P 2H7

CIVIL ENGINEER
LRL ENGINEERING
5430 CANOTEC RD
OTTAWA, ON, K1J 9G2

SURVEYOR
STANTEC GEOMATICS LTD.
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ON, K2C 0A9

LANDSCAPE ARCHITECT
GJA INC.
110 DIDSBURY ROAD, UNIT 9
OTTAWA, ON, K2T0C2

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3	ISSUED FOR RE-ZONING	2024-05-29
2	ISSUED FOR COORDINATION	2024-03-07
1	ISSUED FOR COORDINATION	2023-10-30

ISSUE RECORD

ONTARIO ASSOCIATION OF ARCHITECTS
ANNE M. KOOLWINE
LICENCE 7370



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2213	NOTED	JH/BH	RMK

SITE PLAN

SP-01

1 SITE PLAN
SCALE: 1 : 200

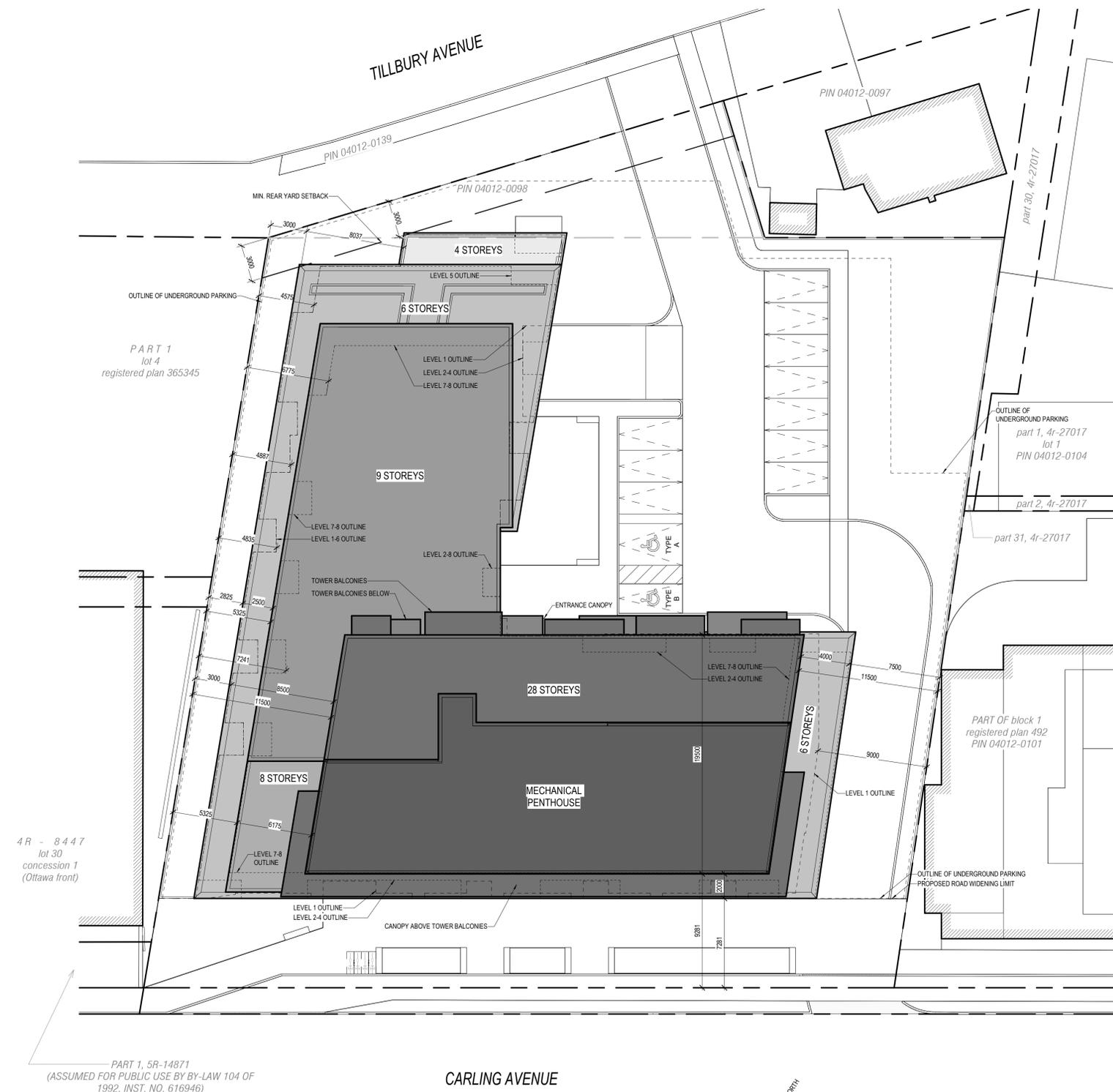


UNIT COUNT																														
NAME	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	LVL 07	LVL 08	LVL 09	LVL 10	LVL 11	LVL 12	LVL 13	LVL 14	LVL 15	LVL 16	LVL 17	LVL 18	LVL 19	LVL 20	LVL 21	LVL 22	LVL 23	LVL 24	LVL 25	LVL 26	LVL 27	LVL 28	TOTAL COUNT	PERCENTAGE
1-BED	3	6	6	6	6	6	8	8	7	5	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	133	36%
1-BED + DEN	2	7	7	7	7	7	5	5	5	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	71	19%
2-BED	2	5	5	5	5	5	5	5	3	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	137	37%	
2-BED + DEN	1	1	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	1%	
STUDIO	0	5	5	5	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	25	7%	
TOTAL	8	24	24	24	24	24	18	18	17	9	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	370	100%	

RETAIL UNIT COUNT			
NUMBER	UNIT TYPE	AREA	AREA (SF)
R1	RETAIL UNIT 1	90.52 m ²	974 SF
R2	RETAIL UNIT 2	92.17 m ²	992 SF
R3	RETAIL UNIT 3	80.22 m ²	864 SF
R4	RETAIL UNIT 4	94.40 m ²	1016 SF
TOTAL		357.32 m ²	3846 SF

PARKING SCH. (VEHICLE)		
LEVEL	TYPE	COUNT
LEVEL P2	RESIDENT (P2)	97
LEVEL P1	RESIDENT (P1)	57
LEVEL P1	VISITOR	30
AVG PROPOSED GRADE	RETAIL/DROP-OFF AT-GRADE	12
TOTAL		196

PARKING SCH. (BICYCLE)	
LEVEL	COUNT
LEVEL P1	222
AVG PROPOSED GRADE	4
LEVEL 01	148
TOTAL	374



Site Statistics		
Current Zoning Designation:	AM10	
Lot Width:	61.45m	
Total Lot Area:	3949.9m ²	
Average Existing Grade:	17.62m	
Proposed Development - 28 Storey High-Rise Apartment Building		
No. of units	370 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Area	No Minimum	3950m ²
Table 185 (a)		
Minimum Lot Width	No Minimum	61.5m
Table 185 (b)		
Min. Front Yard Setback	No Minimum	7.3m
Table 185 (c)(i)		
Max. Front Yard Setback	3m	7.3m
Section 185 (10)(b)(i)		
Corner Side Yard Setback	No Minimum	-
Table 185 (c)(ii)		
Min. Rear Yard Setback	3m	3m
Table 185 (c)(iii)		
Min. Interior Side Yard Setback	No Minimum	7.5m (East) 3m (West)
Table 185 (d)(i)		
Maximum Building Height	≤20m from a rear lot abutting a R1, R2, R3: 11m >20m-30m from a rear lot abutting a R1, R2, R3, R4: 20m Otherwise: 30m	29m 29m 86.6m
Section 185 (10)(j)		
Total Amenity Area	2220m ²	4683m ²
Table 123(5)(ii)	6m ² /unit for 370 units	
Communal Amenity Area	1110m ²	1114m ²
Table 123(5)(iii)	Min. 50% of Total Amenity Area	
Parking Requirements (Residential)		
Minimum Parking Spaces	161 Spaces 0 spaces for first 12 units - Section 101(4)(b) 0.5 spaces /unit for 358 units - Table 101(R15)(ii) - 10% Section 101(8)(c)	154 Spaces
Table 101 (Sch. 1A - Area Y)		
Minimum Visitor Parking Spaces	30 Spaces Section 102(3)	30 Spaces
Table 101 (Sch. 1A - Area Y)		
Parking Requirements (Retail)		
Minimum Parking Spaces	0 Spaces Section 101(4)(d)	12 Spaces
Table 101 (Sch. 1A - Area Y)		
Bicycle Parking Rates		
Minimum Bicycle Parking Spaces (Residents)	185 Spaces 0.5 spaces /unit for 370 units [111A)(b)(i)]	370 Spaces
Table 111A (Sch. 1 - Area B)		
Minimum Bicycle Parking Spaces (Retail)	2 Spaces 1 space / 250m ² x 388m ² [111A)(b)(i)]	4 Spaces
Table 111A (Sch. 1 - Area B)		

AMENITY SCHEDULE (COMMUNAL)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL P1	BIKE REPAIR (AMENITY)	6.74 m ²	73 SF
LEVEL 01	AMENITY - SHARED WORKSPACE	87.41 m ²	941 SF
LEVEL 01	EXT. AMENITY AREA 1	215.92 m ²	2324 SF
LEVEL 01	EXT. AMENITY AREA 2	82.83 m ²	892 SF
LEVEL 01	EXT. AMENITY AREA 3	290.15 m ²	3119 SF
LEVEL 10	LEVEL 10 AMENITY ROOM	90.24 m ²	971 SF
LEVEL 10	LEVEL 10 TERRACE (AMENITY)	380.85 m ²	4099 SF
TOTAL		1114.14 m ²	11992 SF

AMENITY SCHEDULE (PRIVATE)		
LEVEL	AREA	AREA (SF)
LEVEL 01	45.18 m ²	486 SF
LEVEL 02	96.98 m ²	1044 SF
LEVEL 03	101.32 m ²	1091 SF
LEVEL 04	101.32 m ²	1091 SF
LEVEL 05	132.18 m ²	1423 SF
LEVEL 06	101.13 m ²	1089 SF
LEVEL 07	228.95 m ²	2464 SF
LEVEL 08	117.02 m ²	1260 SF
LEVEL 09	208.68 m ²	2246 SF
LEVEL 10	114.21 m ²	1229 SF
LEVEL 11	130.21 m ²	1402 SF
LEVEL 12	131.85 m ²	1419 SF
LEVEL 13	125.95 m ²	1366 SF
LEVEL 14	128.31 m ²	1381 SF
LEVEL 15	131.85 m ²	1419 SF
LEVEL 16	127.85 m ²	1376 SF
LEVEL 17	128.31 m ²	1381 SF
LEVEL 18	131.85 m ²	1419 SF
LEVEL 19	128.31 m ²	1381 SF
LEVEL 20	127.85 m ²	1376 SF
LEVEL 21	130.21 m ²	1402 SF
LEVEL 22	125.95 m ²	1366 SF
LEVEL 23	131.85 m ²	1419 SF
LEVEL 24	128.31 m ²	1381 SF
LEVEL 25	127.85 m ²	1376 SF
LEVEL 26	131.85 m ²	1419 SF
LEVEL 27	125.95 m ²	1366 SF
LEVEL 28	128.31 m ²	1381 SF
TOTAL	3669.59 m ²	39423 SF

RENTABLE AREA (RESIDENTIAL)			
LEVEL	AREA	AREA (SF)	TOTAL
LEVEL 01	539.57 m ²	5808 SF	8
LEVEL 02	1439.11 m ²	15490 SF	24
LEVEL 03	1439.11 m ²	15490 SF	24
LEVEL 04	1439.11 m ²	15490 SF	24
LEVEL 05	1405.80 m ²	15132 SF	24
LEVEL 06	1405.80 m ²	15132 SF	24
LEVEL 07	1053.94 m ²	11346 SF	18
LEVEL 08	1053.94 m ²	11346 SF	18
LEVEL 09	1014.14 m ²	10916 SF	17
LEVEL 10	557.69 m ²	6003 SF	9
LEVEL 11	655.12 m ²	7052 SF	10
LEVEL 12	655.12 m ²	7052 SF	10
LEVEL 13	655.12 m ²	7052 SF	10
LEVEL 14	655.12 m ²	7052 SF	10
LEVEL 15	655.12 m ²	7052 SF	10
LEVEL 16	655.12 m ²	7052 SF	10
LEVEL 17	655.12 m ²	7052 SF	10
LEVEL 18	655.12 m ²	7052 SF	10
LEVEL 19	655.12 m ²	7052 SF	10
LEVEL 20	655.12 m ²	7052 SF	10
LEVEL 21	655.12 m ²	7052 SF	10
LEVEL 22	655.12 m ²	7052 SF	10
LEVEL 23	655.12 m ²	7052 SF	10
LEVEL 24	655.12 m ²	7052 SF	10
LEVEL 25	655.12 m ²	7052 SF	10
LEVEL 26	655.12 m ²	7052 SF	10
LEVEL 27	655.12 m ²	7052 SF	10
LEVEL 28	655.12 m ²	7052 SF	10
TOTAL	23140.40 m ²	249081 SF	370

GROSS FLOOR AREA (OBC)		
LEVEL	AREA	AREA (SF)
LEVEL 01	1624.94 m ²	17490 SF
LEVEL 02	1626.46 m ²	17507 SF
LEVEL 03	1626.46 m ²	17507 SF
LEVEL 04	1626.46 m ²	17507 SF
LEVEL 05	1593.15 m ²	17149 SF
LEVEL 06	1593.15 m ²	17149 SF
LEVEL 07	1231.48 m ²	13256 SF
LEVEL 08	1231.48 m ²	13256 SF
LEVEL 09	1187.00 m ²	12777 SF
LEVEL 10	736.41 m ²	7927 SF
LEVEL 11	736.41 m ²	7927 SF
LEVEL 12	736.41 m ²	7927 SF
LEVEL 13	736.41 m ²	7927 SF
LEVEL 14	736.41 m ²	7927 SF
LEVEL 15	736.41 m ²	7927 SF
LEVEL 16	736.41 m ²	7927 SF
LEVEL 17	736.41 m ²	7927 SF
LEVEL 18	736.41 m ²	7927 SF
LEVEL 19	736.41 m ²	7927 SF
LEVEL 20	736.41 m ²	7927 SF
LEVEL 21	736.41 m ²	7927 SF
LEVEL 22	736.41 m ²	7927 SF
LEVEL 23	736.41 m ²	7927 SF
LEVEL 24	736.41 m ²	7927 SF
LEVEL 25	736.41 m ²	7927 SF
LEVEL 26	736.41 m ²	7927 SF
LEVEL 27	736.41 m ²	7927 SF
LEVEL 28	736.41 m ²	7927 SF
TOTAL	27332.33 m ²	294293 SF

GROSS FLOOR AREA (OBC) PARKING		
LEVEL	AREA	AREA (SF)
LEVEL P2	3209.83 m ²	34551 SF
LEVEL P1	3209.83 m ²	34551 SF
TOTAL	6419.66 m ²	69103 SF

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| 2 | ISSUED FOR COORDINATION | 2024-03-07 |
| 1 | ISSUED FOR COORDINATION | 2023-10-30 |

ISSUE RECORD



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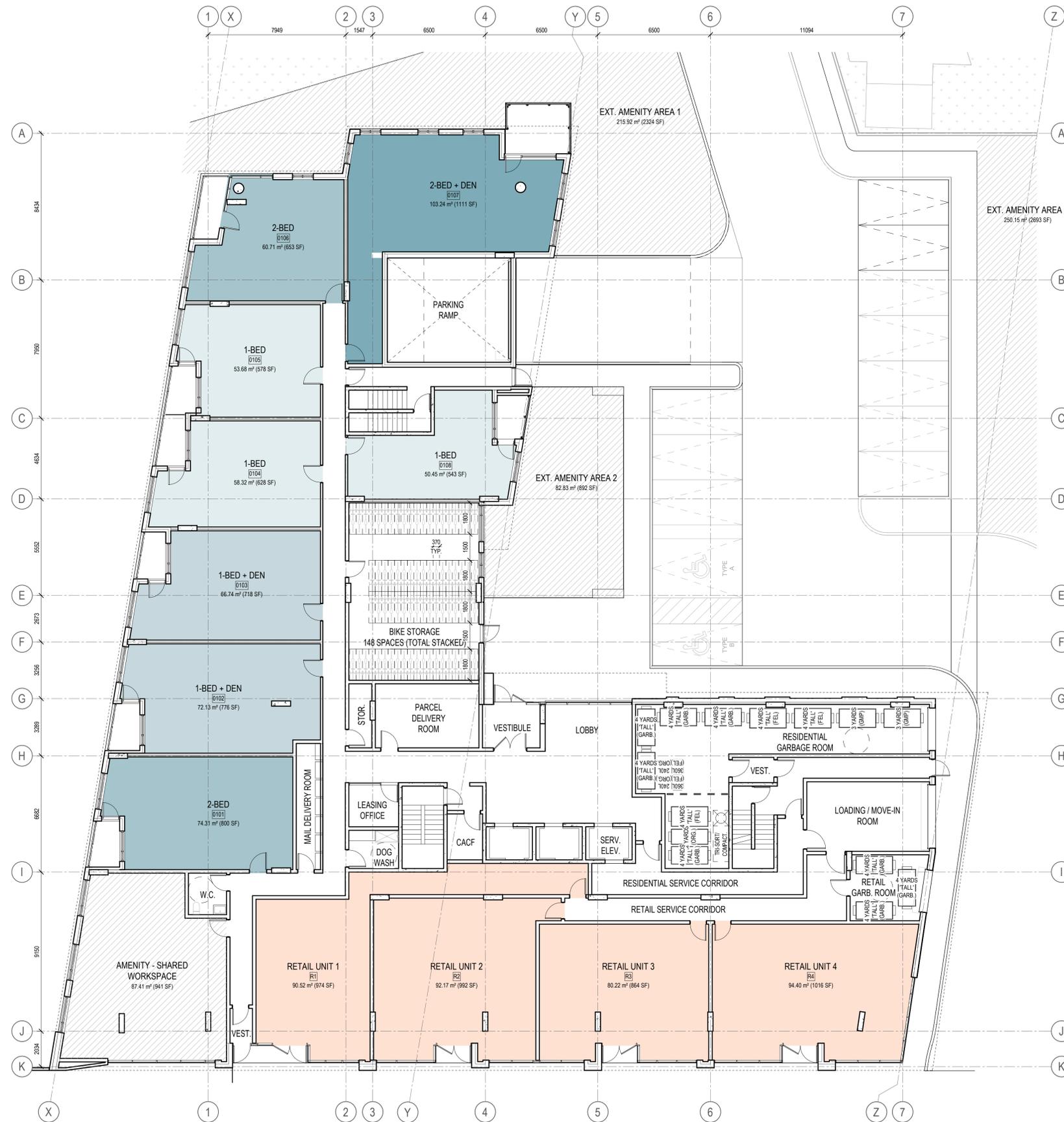
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2213					

PROJECT STATISTICS AND ZONING INFORMATION

SP-02





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FLOOR PLAN LEVEL 01

A101



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FLOOR PLAN LEVEL 02-04

A102



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FLOOR PLAN LEVEL 05-06

A103



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FLOOR PLAN LEVEL 07-08

A104



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FLOOR PLAN LEVEL 09

A105



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FLOOR PLAN LEVEL 10

A106



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5	REISSUED FOR RE-ZONING	2024-07-05
4	ISSUED FOR COORDINATION	2024-06-27
3	ISSUED FOR RE-ZONING	2024-05-29
2	ISSUED FOR COORDINATION	2024-03-07
1	ISSUED FOR COORDINATION	2023-10-30

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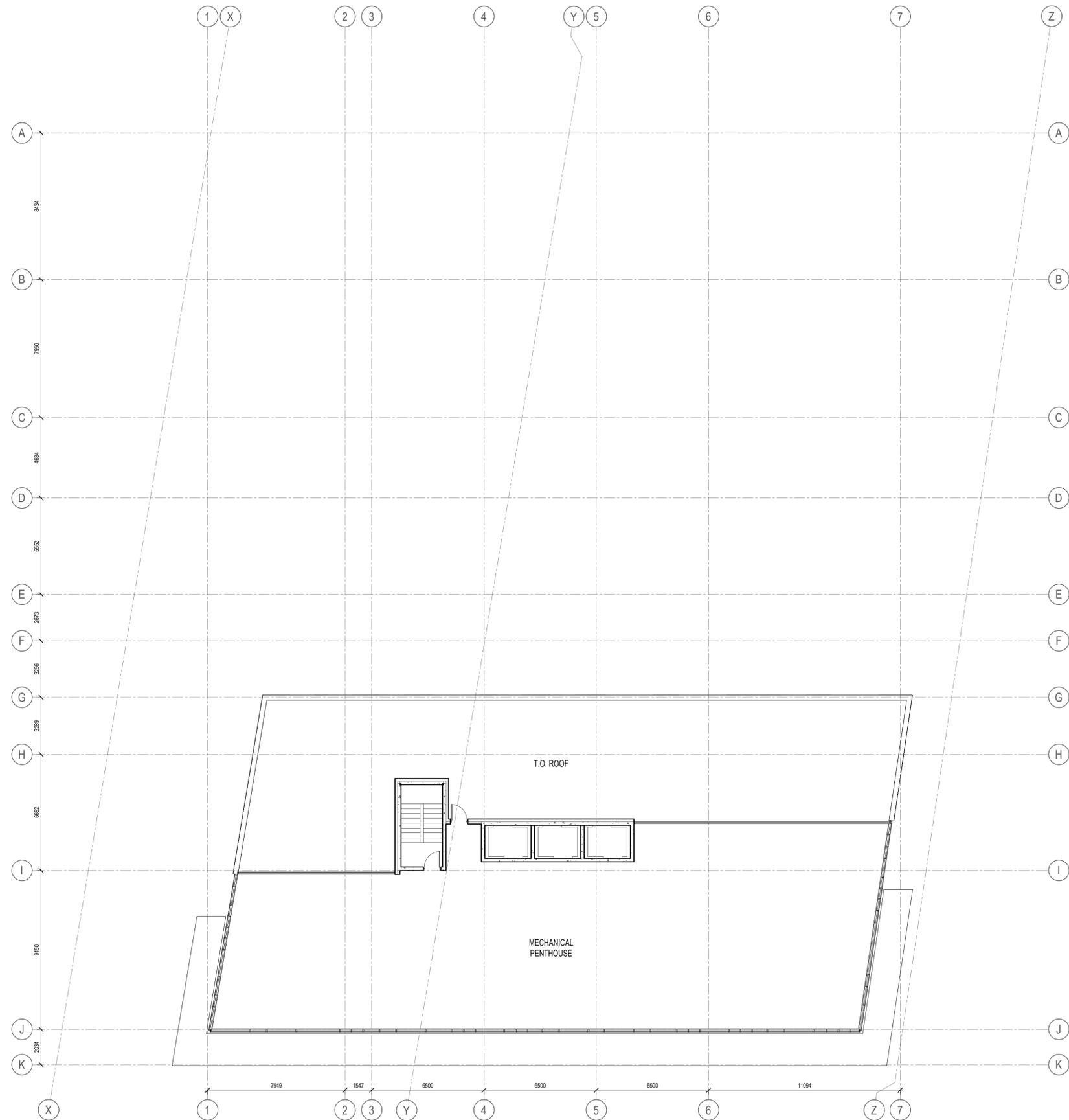
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PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

FLOOR PLAN LEVEL 11-28

A107



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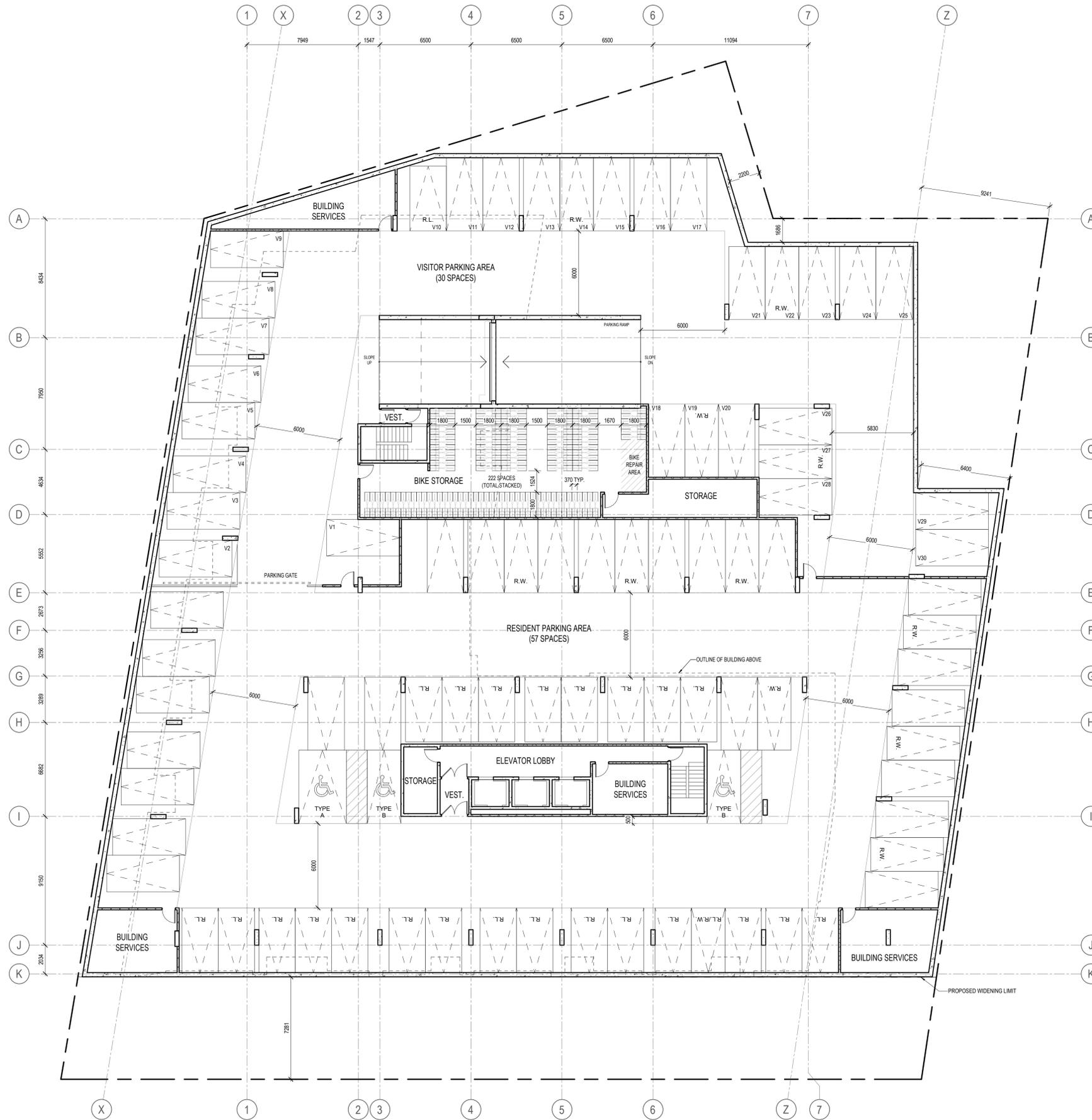
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ROOF/MECHANICAL PENTHOUSE PLAN

A108



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FLOOR PLAN - PARKING
LEVEL P1

A109

CLADDING LEGEND:

AL-1 ALUMINUM COMPOSITE PANEL BLACK	BR-1 BRICK MASONRY GREY	GL-1 ALUMINUM AND GLASS RAILING	SP-1 CURTAIN WALL SPANDREL PANEL BLACK
AL-2 ALUMINUM COMPOSITE PANEL SILVER-BLUE	BR-2 BRICK MASONRY BLACK	GL-2 ALUMINUM AND FRITTED GLASS RAILING	WD-1 WOOD SIDING CEDAR PLANKS

ELEVATION NOTES

- ① ADDRESS PLAQUE
- ② WOOD LOUVRES
- ③ PROTRUDING BRICKWORK

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1 WEST ELEVATION
A201 SCALE: 1 : 200

2 SOUTH ELEVATION
A201 SCALE: 1 : 200

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ELEVATIONS

A201

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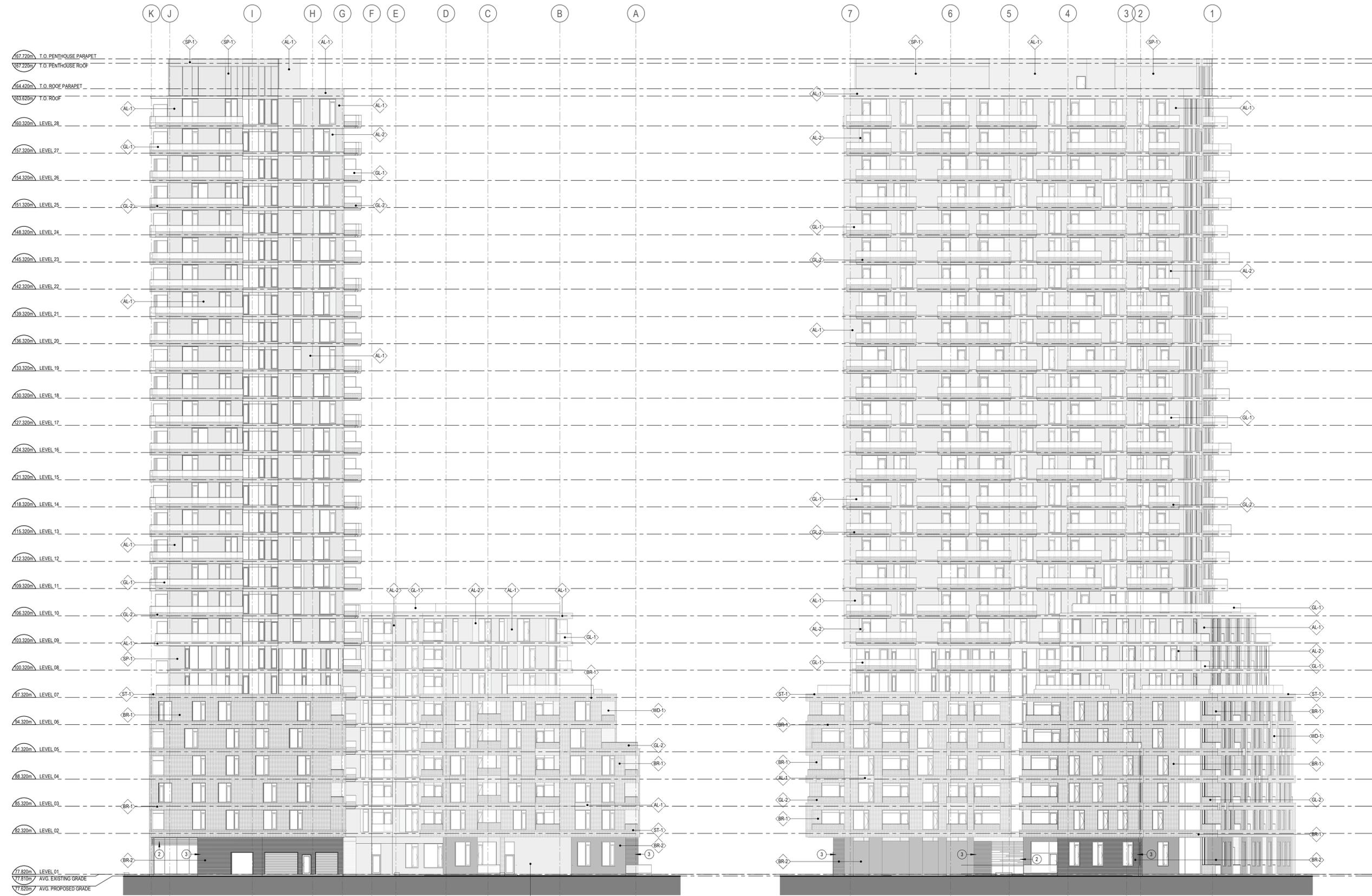
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2 EAST ELEVATION
A202 SCALE: 1 : 200

1 NORTH ELEVATION
A202 SCALE: 1 : 200

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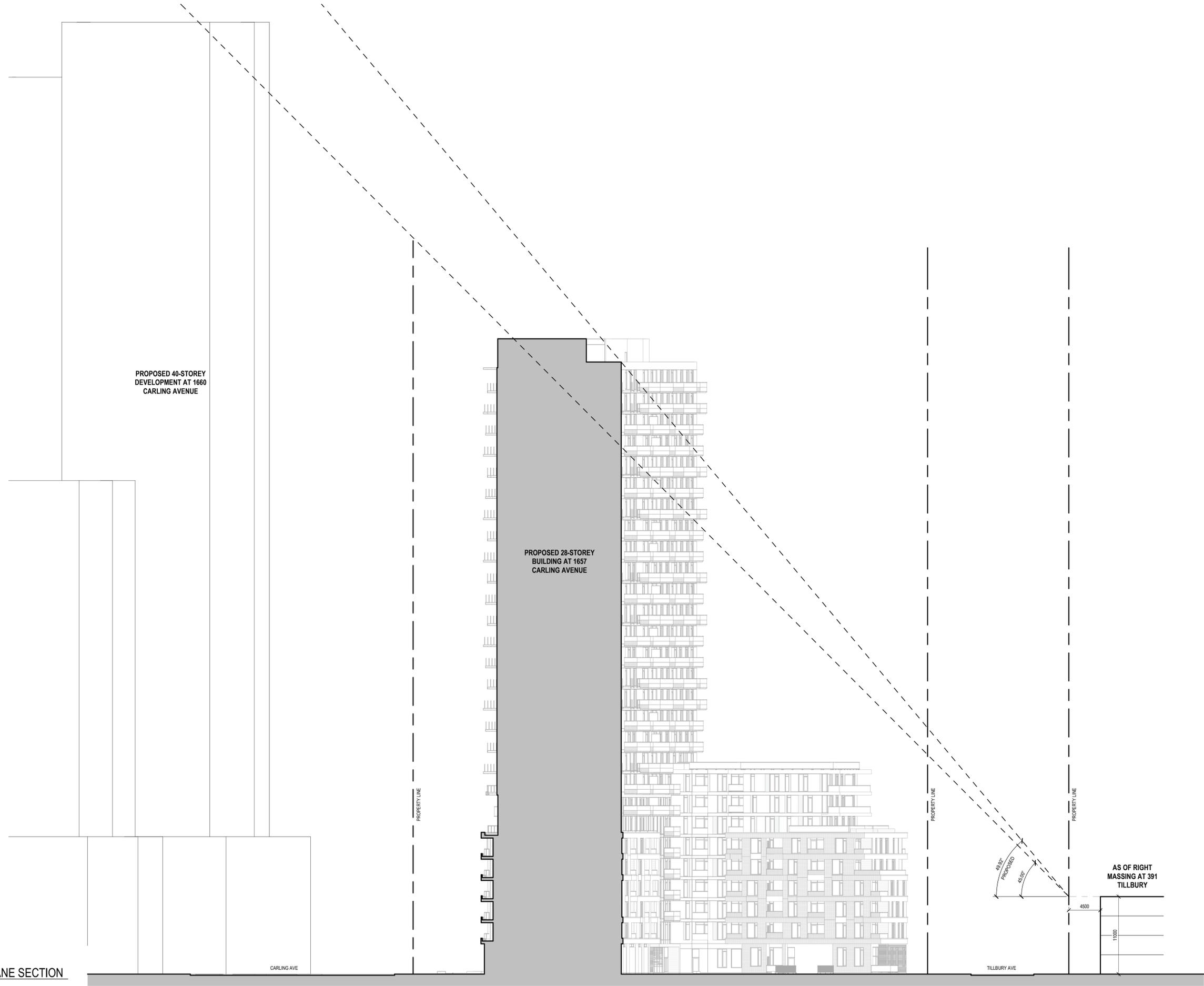
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ELEVATIONS

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ANGULAR PLANE STUDY

A203