

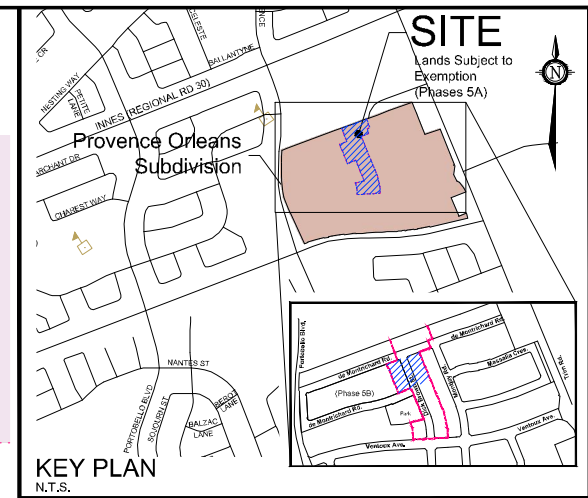
**LEGEND**

- Minimum Zoning Setback
- Sanitary Manhole
- Storm Manhole
- HYD  Hydrant
- Road Catchbasin
- Hydro Transformer
- Joint Utility Trench (JUT)
- CMB Community Mailbox
- GLB NAP Communications Vault
- Service Location (Wtr, San & Stm)
- SD Street Light Disconnect

**ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2582 - R3YY[2582]**  
**City of Ottawa By-Law 2008-250**

R3YY[2582] - Detached Dwellings	Current Zoning	Suggested Zoning	Provided
Minimum Lot Area (m <sup>2</sup> )	240m <sup>2</sup>	240m <sup>2</sup>	261.4m <sup>2</sup>
Minimum Lot Width (m)	9.0m	8.3m	8.3m
Minimum Front Yard (m)	6.0m	6.0m	6.0m
Minimum Rear Yard (m)	6.0m	6.0m	6.0m
Minimum Interior Side Yard (m)	1.8m Total (0.6m minimum on one side)	1.8m	1.8m
Driveway Coverage (%) Lots > 9m	50%	50%	50%
Driveway Coverage (%) Lots < 9m	50%	55%	55%

**NOTES:** An exemption to the private approach Bylaw will be required to allow driveway to exceed 50% of lot frontage. Proposed increase in driveway coverage to 55% shall only apply to lots less than 9m in width.



# CONCEPTUAL SITE PLAN

## PROVENCE ORLEANS SUBDIVISION - PHASE 5A

PART LOT 2, CON 9  
 Geographic Township of Cumberland  
 CITY OF OTTAWA

- NOTES:**
1. Current Zoning: R3YY[2582]
  2. 27' unit footprint based on preliminary product design & are shown for demonstration purposes. Actual units may vary.



No.	REVISION	DATE	BY
6.	ISSUED FOR REVIEW	JULY 30/24	RT
5.	REVISED PER COMMENTS	MAY 07/24	RT
4.	REVISED PER COMMENTS	APR 05/24	RT
3.	REVISED PER COMMENTS	MAR 04/24	TJM
2.	JUT ADDED	FEB 16/24	TJM
1.	ISSUED FOR CITY REVIEW	JAN 15/24	TJM

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ISSUED: **JULY 2024**

PROJECT No.: **117155**

DRAWING No.: **117155-PH5A-SP**

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