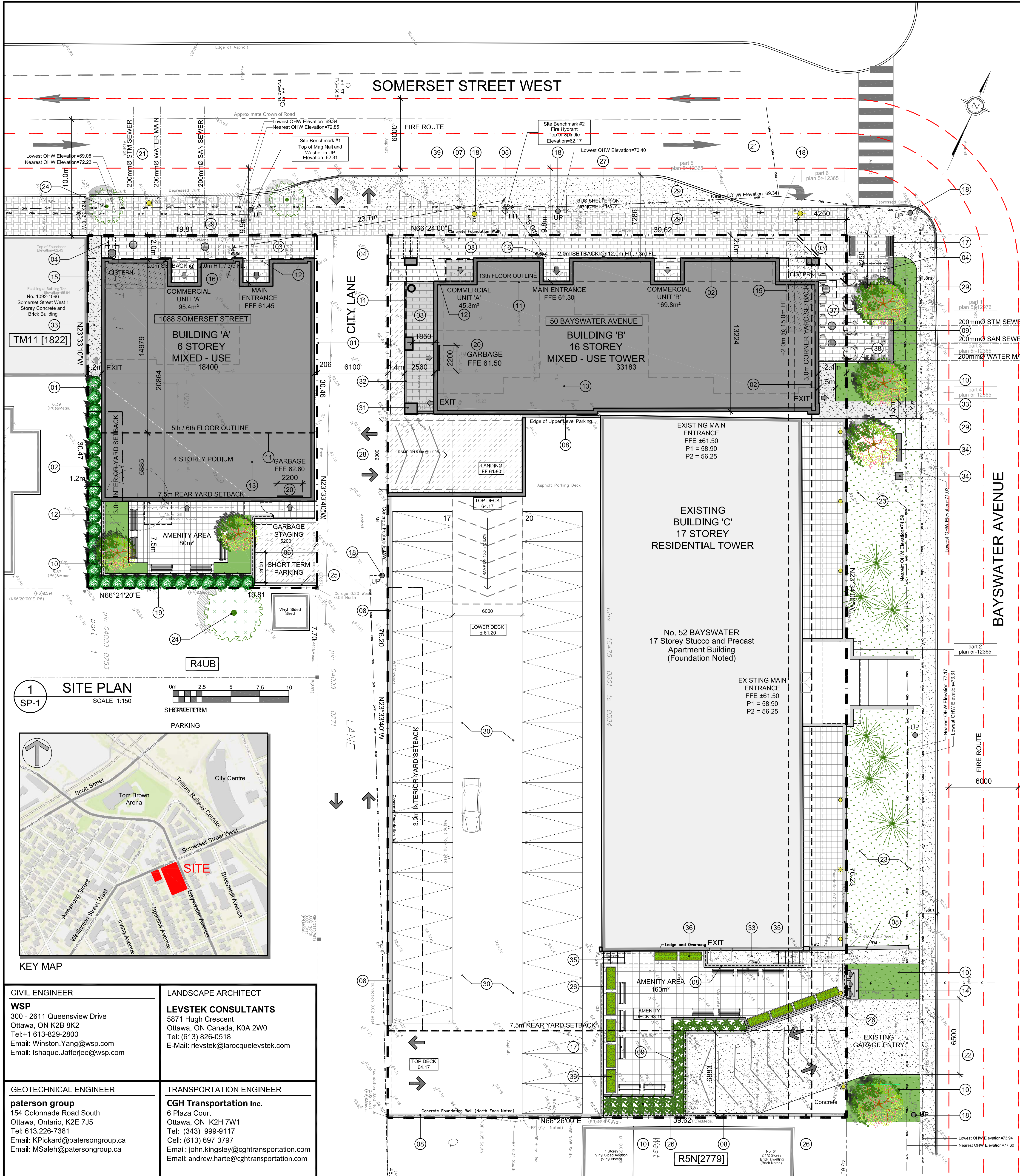




PROJECT DEVELOPER

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SURVEYOR

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Email: EdH@aovtld.com

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF SURVEY OF
OTTAWA-CARLETON STANDARD CONDOMINIUM
PLAN No. 475 and
PART OF LOTS 1 AND 2 IN BLOCK Q
East Spadina Avenue
REGISTERED PLAN 73
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

SITE PLAN SYMBOLS

EXISTING CITY PAVERS TO REMAIN
CONCRETE UNIT PAVERS SURFACE
CONCRETE WALK / DRIVING SURFACE
ASPHALT DRIVEWAY
SOFT LANDSCAPING
BIKE RACK
TWO WAY VEHICLE CIRCULATION
MAIN ENTRANCE
COMMERCIAL DOOR / FIRE EXIT
PROPERTY LINE
CITY STREET LIGHTING

DRAWING NOTES

- PROPERTY LINE
- EXISTING TM11 BUILDING SETBACKS
- UNIT PAVERS ON PRIVATE BOULEVARD
- BICYCLE PARKING SPACE WITH RACK
- EXISTING FIRE HYDRANT
- SHORT TERM SURFACE PARKING
- OUTLINE OF UNDERGROUND PARKING LEVEL
- EXISTING RETAINING / PARKING GARAGE WALL WITH GUARD RAILING AS REQUIRED
- LOW CONCRETE SEAT WALL / LANDSCAPE WALL
- SOFT LANDSCAPING
- OUTLINE OF BUILDING ABOVE
- BALCONY ABOVE
- EXISTING BUILDING TO BE REMOVED
- EXISTING NATURAL GAS EQUIPMENT
- INTERNAL CISTERN WITH ACCESS MH - SEE CIVIL PLAN
- SIAMSESE CONNECTION
- SITE FURNITURE - BENCH
- EXISTING UTILITY/ STREET LIGHT / TRAFFIC POLE
- LOW RETAINING WALL WITH 2.1m HT. PRIVACY FENCE
- INTERIOR GARAGE ROOM
- PROPOSED BUILDING SERVICES, SEE CIVIL
- EXISTING ASPHALT DRIVEWAY TO BE NARROWED
- EXISTING SOFT LANDSCAPING TO REMAIN
- EXISTING TREE TO REMAIN, PROTECT AS REQUIRED
- 150mm BARRIER CURB AT PARKING AREA
- 1.8m HT. METAL SCREENING ABOVE WALL
- CONCRETE PAD WITH BUS SHELTER
- REALIGN PARKING GARAGE ENTRY TO CITY LANE
- EXISTING CITY SIDEWALK / BOULEVARD TO REMAIN
- EXISTING ASPHALT PARKING LOT
- EXTERIOR GROUND FLOOR COLUMNS
- LOW RETAINING WALL
- EXISTING CONCRETE EXIT PATH
- EXISTING UTILITY BOX
- CONCRETE STAIRS WITH HAND RAILING
- FREE STANDING PLANTERS
- POSSIBLE COMMERCIAL PATIO
- LANDSCAPE CURB: 150mm HT. MAXIMUM
- EXISTING CITY RINGED BIKE RACK

PROJECT INFORMATION		
ZONING		
Zoning By-law 2008-250 Consolidation		
SITE AREA		
1088 SOMERSET STREET WEST	603.3 sq. m. (6,494) sq. ft.	50 BAYSWATER AVENUE 3,019.6 sq. m. (32,502) sq. ft.
ZONING		
REQUIRED		
PROVIDED		
PROJECT STATISTICS		
GROSS BUILDING - AREAS - BLDG. "A"		
UNIT STATISTICS		
GROSS BUILDING - AREAS - BLDG. "B"		
UNIT STATISTICS		
GROSS BUILDING - AREAS - BLDG. "C"		
UNIT STATISTICS - TOTAL		
CAR PARKING - BLDG. 'A', 'B' & 'C'		
REQUIRED BY ZONING BY-LAW		
PROVIDED		
VEHICLE PARKING SPACES		
SOLID WASTE		
BLDG. "A"		
BLDG. "B"		
BLDG. "C"		

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

DETAIL NUMBER

TITLE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

AMENITY SPACE - BLDG. "A"	
COMMUNAL EXTERIOR AT GRADE =	80.0 sq. m.
1st FLOOR AMENITY ROOM =	85.0 sq. m.
PRIVATE TERRACE / BALCONIES =	90.0 sq. m.
TOTAL =	255.0 sq. m.
REQUIRED - 6.0M ² PER UNIT (21) =	126.0 sq. m.
REQUIRED COMMUNAL @ 50% =	63.0 sq. m.

AMENITY SPACE - BLDG. "B"	
COMMUNAL EXTERIOR AT GRADE =	160.0 sq. m.
COMMUNAL INTERIOR ROOF TOP =	160.0 sq. m.
PRIVATE TERRACE / BALCONIES =	260.0 sq. m.
TOTAL =	580.0 sq. m.
REQUIRED - 6.0M ² PER UNIT (80) =	480.0 sq. m.
REQUIRED COMMUNAL @ 50% =	240.0 sq. m.

AMENITY SPACE - BLDG. "C"	
COMMUNAL EXTERIOR AT GRADE =	80.0 sq. m.
1st FLOOR AMENITY ROOM =	85.0 sq. m.
PRIVATE TERRACE / BALCONIES =	90.0 sq. m.
TOTAL =	255.0 sq. m.
REQUIRED - 6.0M ² PER UNIT (21) =	126.0 sq. m.
REQUIRED COMMUNAL @ 50% =	63.0 sq. m.

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR OPA / ZBLA APPLICATION	Sept. 23, 24
2	REVISED AS PER UDRP COMMENTS - DRAFT	Mar. 12, 24
3	ISSUED FOR UDRP	Jan. 15, 24
4	ISSUED FOR GENERAL REVISION / REVIEW	Oct. 17, 23
5	ISSUED FOR PRE-CONSULT	Aug. 24, 23
6	ISSUED FOR OWNER REVIEW	Nov. 25, 22

ARCHITECT SEAL:

ARCHITECT:

CLIENT:

50 BAYSWATER AVENUE / 1088 SOMERSET STREET

OTTAWA ONTARIO

SITE PLAN

DRAWN: R.V. CHECKED: R.V.

SCALE: 1:150 SHEET No. SP-1

PROJECT No. 2028