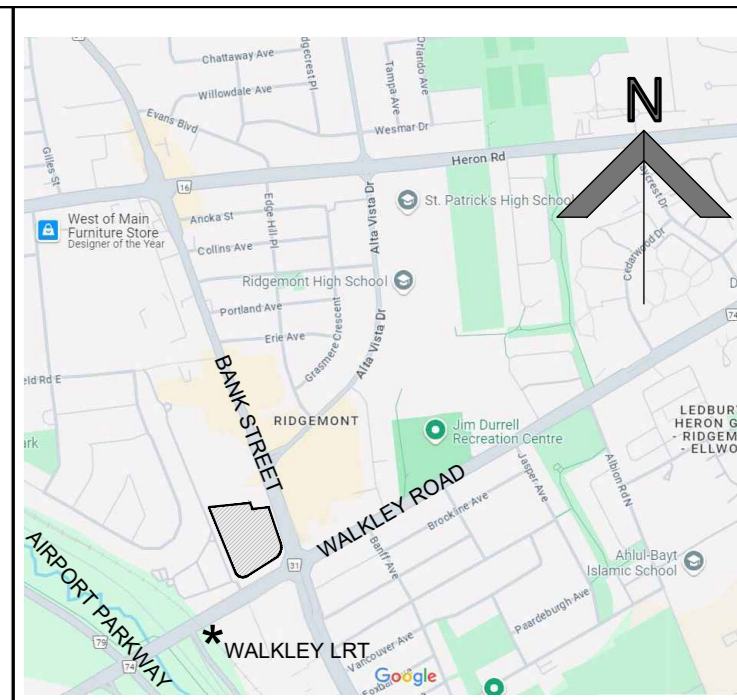


- GENERAL NOTES:
- LEGAL DESCRIPTION OF PROPERTY:
PART 1- PLAN OF SURVEY
PART OF LOT 23
JUNCTION GORE
(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)
CITY OF OTTAWA
 - ARCHITECTURAL INFORMATION PROVIDED BY:
HOBIN ARCHITECTURE
 - SURVEY INFORMATION PROVIDED BY:
STANTEC GEOMATICS LTD
 - GRADING AND SERVICING PROVIDED BY:
DSEL
 - TREE CONSERVATION REPORT PROVIDED BY:
NAK DESIGN STRATEGIES
 - ALL LANDSCAPE FURNITURE SHOWN IS FOR
DESIGN CONCEPT ONLY
 - PROPOSED LIGHT LOCATION ON SITE SUBJECT TO
PHOTOMETRIC STUDY
 - ALL EXISTING MUNICIPAL SIGNAGE TO BE
REINSTATED
 - TREE LOCATIONS ON PUBLIC PROPERTY SUBJECT
TO REVIEW AND APPROVAL BY UNDERGROUND
UTILITY COMPANIES
 - ROOT DEFLECTOR TO BE USED WHERE ROOT BALL
OF TREES ON PUBLIC PROPERTY ARE WITHIN 1.2m
OF UNDERGROUND UTILITIES
 - PLANTING ON PRIVATE PROPERTY TO BE
PROVIDED WITH A WATER EFFICIENT FULLY
AUTOMATIC IRRIGATION SYSTEM USING
STORMWATER HARVESTING. PLANTING WITHIN
THE RIGHT OF WAY TO BE WATERED WITH A
WATER EFFICIENT FULLY AUTOMATIC IRRIGATION
SYSTEM
 - ALL LIGHTING TO BE DARK SKY COMPLIANT
 - GRATE POROSITY NOT TOO EXCEED 20x20mm OR
50x100mm



- Key Plan
- Notes:
1. Do not scale the drawings.
 2. The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the consultant before proceeding with the work.
 3. The contractor is to be aware of all existing and proposed services and utilities. The contractor shall have all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.

LEGEND

- DECIDUOUS TREES
- SMALL TREES AND SHRUB PLANTING
- TREE PROTECTION HOARDING
- EXISTING TREE TO REMAIN
- PROPERTY LINE
- LIMIT OF WORK
- PEDESTRIAN LIGHT
- STREET LIGHT
- UNIT PAVERS 29 SRI OR HIGHER
- HEAVY DUTY UNIT PAVERS 29 SRI OR HIGHER
- CONCRETE PAVING/ SIDEWALK 29 SRI OR HIGHER
- HEAVY DUTY CONCRETE PAVING/ SIDEWALK 29 SRI OR HIGHER
- SOD
- BIKE RINGS
- SOIL VOLUME

18.48m²
@ 1.2m

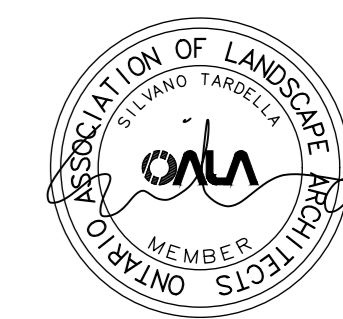
1. Issued for Rezoning	24-10-04
No. Issued:	YY-MM-DD
This drawing is to be used for the following purpose:	
Not to be used for construction unless signed by the landscape architect.	

Project: **BGO BANK AND WALKLEY**

Prepared for: **BGO**

Location: **1820 BANK STREET, Ottawa, Ontario**

Ferris + Associates
a division of NAK GS Inc.
11 Church Street
Suite 302
Toronto, Ontario
M5E 1W1
Telephone: 416 366 6800



Drawing Title: **LANDSCAPE PLAN**

Date: October 2024

Scale: As shown

Drawn: Mfr

Checked: POF

Project No: 3739

Drawing No: **RZL1**

