



1815 Montreal Road

Planning Rationale Addendum
Zoning By-law Amendment + Site Plan Control Application
October 6, 2025



Prepared for 14193679 Canada Inc.

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1.0

Introduction

Fotenn Planning + Design (“Fotenn”), acting as agents for 14193679 Canada Inc. (“the Owner”), is pleased to submit this Planning Rationale Addendum in support of Zoning By-law Amendment (D02-02-24-0091) and Site Plan Control (D07-12-23-0071) applications for the property municipally known as 1815 Montreal Road (“the subject site”).

This Planning Rationale Addendum outlines the changes made to date and provides additional information in response to the comments received in the letter dated April 10, 2025, and in response to the meeting with city staff on August 21, 2025.

This Addendum should be read in conjunction with the original December 23, 2024, Planning Rationale. All opinions and findings of the original report remain valid, except as otherwise described below.

Changes to Proposed Design

Changes since the previous resubmission include:

- / Widening of the servicing lane, from 4 to 6 metres, on the west side of the property to facilitate use by trucks and subsequent narrowing of the podium on the west side of the building;
 - Access to the bicycle room and move-in/ move-out room at-grade is maintained;
 - Heavy Single Unit (HSU) trucks will be able to reverse into the layby to turn around and exit the site rather than reversing onto Montreal Road, as shown in Figure 1, below:

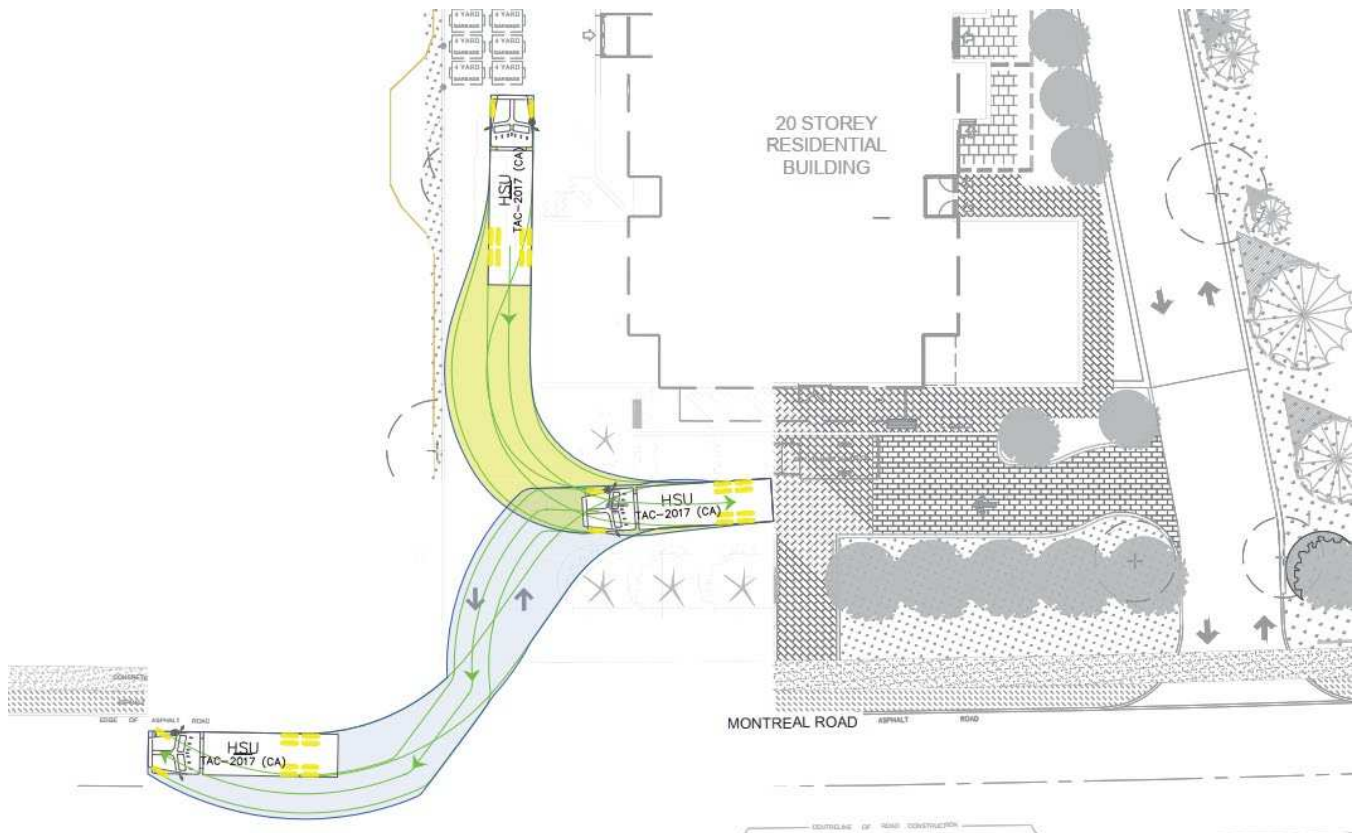


Figure 1: Truck turning template extracted from the TIA, showing an HSU truck reversing into the layby to exit the site, prepared by CGH Transportation

- / Tower setbacks are increased to the rear:
 - One (1) unit on the 17th and 18th storeys has been removed and converted to a patio to increase the tower setback to the rear yard, thereby reducing the height and impact of the tower;
 - One (1) unit on the 19th storey has been removed to increase the tower setback to the rear yard, thereby reducing the height and impact of the tower;
- / On the rooftop, the party room has been removed, and the rooftop patio has been adjusted so that it faces the north, east, and south rather than just the north;
 - The building has therefore been reduced in height from a 21- to a 20-storey height, as the removal of the rooftop party room eliminates it as a “storey” per the Zoning By-law definition. As described in the

previous Planning Rationale dated December 2024, since the first parking level is exposed to the rear, it will also be defined as a “storey”, and the building will functionally read as a 19-storey building from Montreal Road.

- / The pedestrian walkway leading to the building from Montreal Road has been narrowed to ensure a motor vehicle cannot be illegally parked there and block the path, per the recommendation from Transportation staff.



Figure 2: Comparison of the previous submission (left) and the current submission (right), showing the reduction to the upper storeys (renderings prepared by RLA Architecture)



Figure 3: Perspective view looking northwest, comparison of the previous submission (left) and the current submission (right), highlighting the reduction in the rooftop party room outlined (renderings prepared by RLA Architecture)

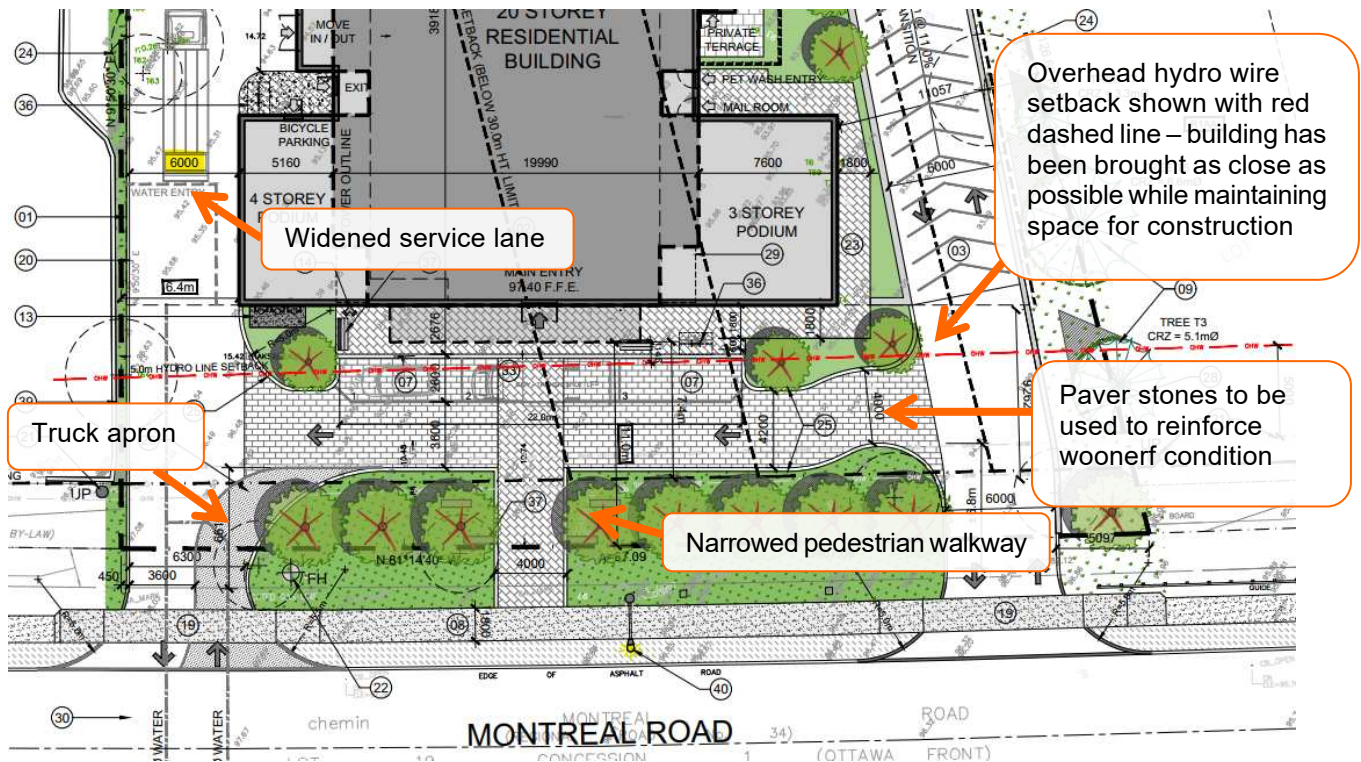


Figure 4: Revised Site Plan showing the changes made to date on the ground floor (Site Plan prepared by RLA Architecture)

The transition of the building to existing dwellings has been carefully considered. The changes described above to the building improve the transition to the surrounding low-rise residential community. The amount of the building projecting into the 45-degree angular plane has been reduced.

The draft proposed zoning by-law introduced a policy where properties that have frontage on, but are not designated a Mainstreet Corridor do not require angular plane height transition: “where an abutting N1-N4 zoned lot has frontage on a Mainstreet or Minor Corridor identified on Schedule A6 – Mainstreet Corridors and Minor Corridors, no angular plane height transition is required from that lot.” This policy has been carried forward into the third and final draft of the proposed zoning by-law. While not an applicable regulation, it has been considered relative to the subject application.

203 and 205 Rothwell Circle both face Rothwell Circle, but have frontage on Montreal Road, which is their rear property line. Therefore, consideration of angular plane impacts relative to the draft by-law as well as applicable Official Plan policy direction, are more appropriately assessed from 201 Rothwell Circle and 41 Cedar Road.

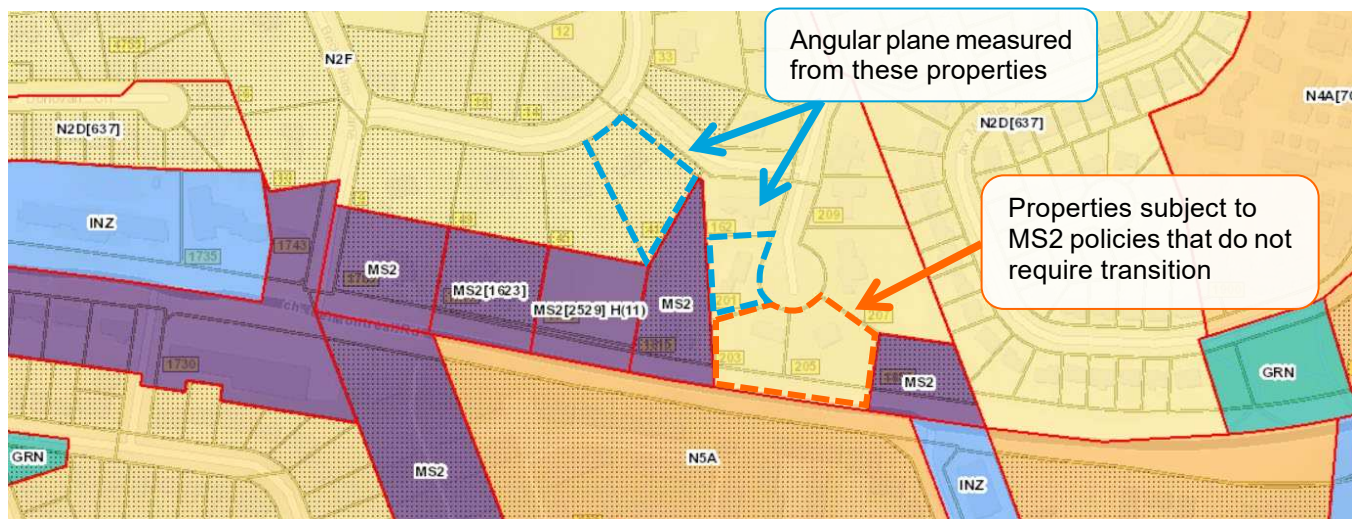


Figure 5: Screenshot of Draft 3 of the proposed Zoning By-law, retrieved from GeoOttawa

As shown in the angular plane diagrams below, the amount of the building projecting into the angular plane has been reduced from the perspective of 201 Rothwell Circle:

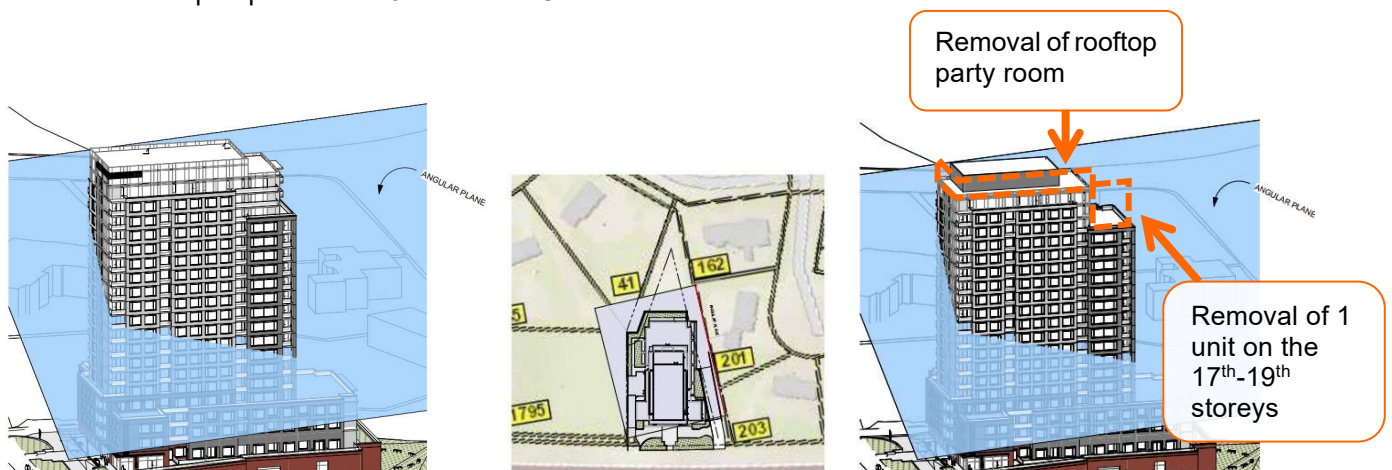


Figure 6: Comparison of the angular plane measured from the property line of 201 Rothwell Circle to the east, comparing the previous submission (left) and the current resubmission (right)

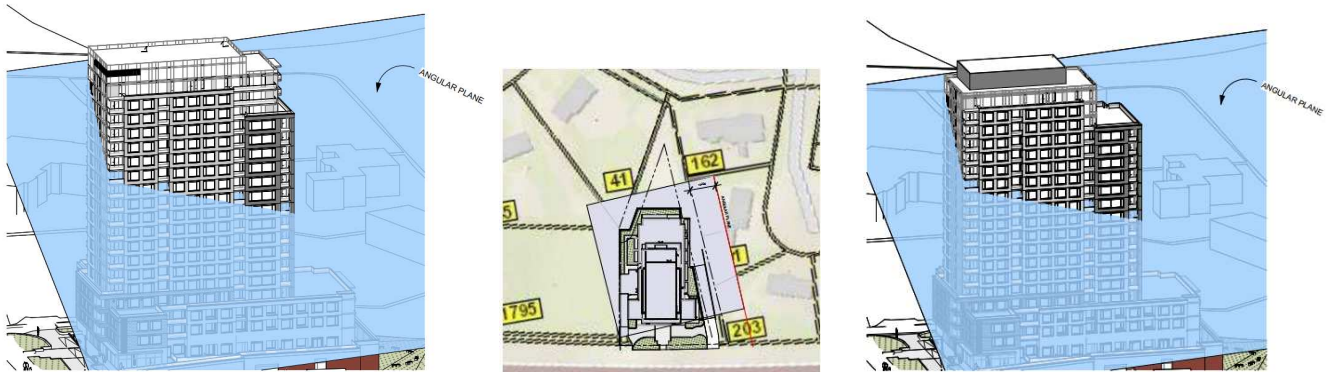


Figure 7: Comparison of the angular plane measured from the minimum required rear yard setback of 201 Rothwell Circle to the east, comparing the previous submission (left) and the current resubmission (right)

As with the previous submission, regardless of whether you measure the angular plane from the property line or the minimum required rear yard setback for 41 Cedar Road, the building only demonstrates a modest projection into the angular plane from 201 Rothwell Circle. This degree projection into the angular plane has been maintained with the present resubmission:

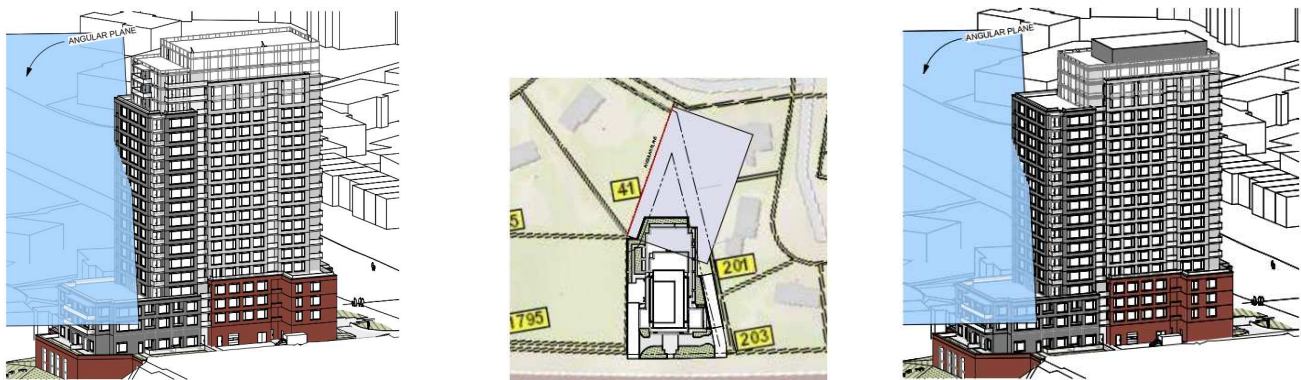


Figure 8: Comparison of the angular plane measured from the property line of 41 Cedar Road to the northwest, comparing the previous submission (left) and the current resubmission (right)

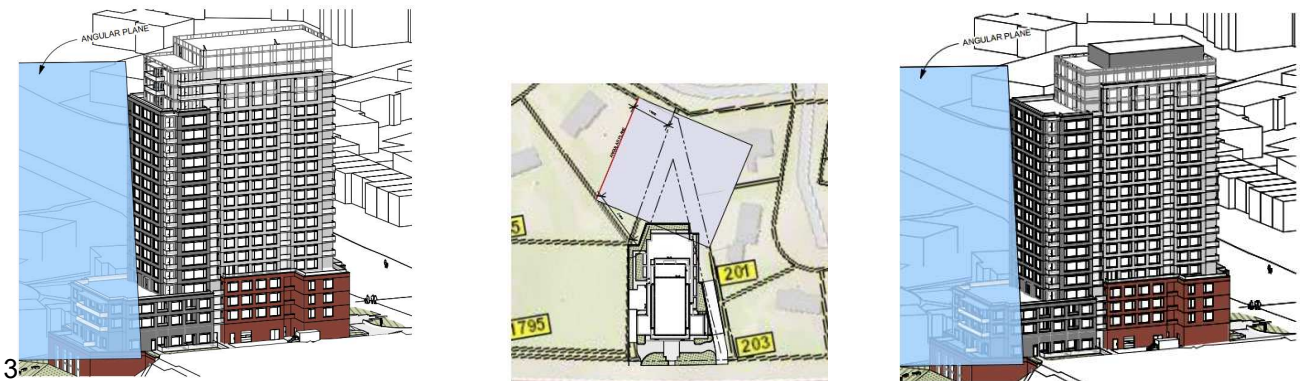


Figure 9: Comparison of the angular plane measured from the minimum required rear yard setback of 41 Cedar Road to the northwest, comparing the previous submission (left) and the current resubmission (right)

As has been previously discussed in the December 2024 Planning Rationale, we continue to emphasize that a mid-rise building, which could be constructed without the setbacks of a high-rise building, would have massing that is closer to adjacent property lines and therefore be more impactful. Shadows cast would take longer to move through the neighbouring properties and their yards, and the building would be closer at a lower height. The end result would be a building providing a lower level of density and housing, but greater massing in proximity to existing homes that is therefore more impactful.

The underground parking garage and ramp has been set back from the eastern property line to preserve the critical root zone (CRZ) of as many existing trees as possible.

Additionally, there is a substantial treed buffer on the eastern property line, shown below in Figure 9:



Figure 10: Existing landscaping, satellite imagery retrieved from GeoOttawa dated 2022

As shown in the Tree Conservation Report (TCR), many of these trees will be protected to maintain this buffer and expanded with additional native plantings. For instance, as shown on the Landscape Plan prepared by GJA Inc., multiple new tree plantings will contribute to the landscaped buffer, outlined in orange in Figure 10, below:

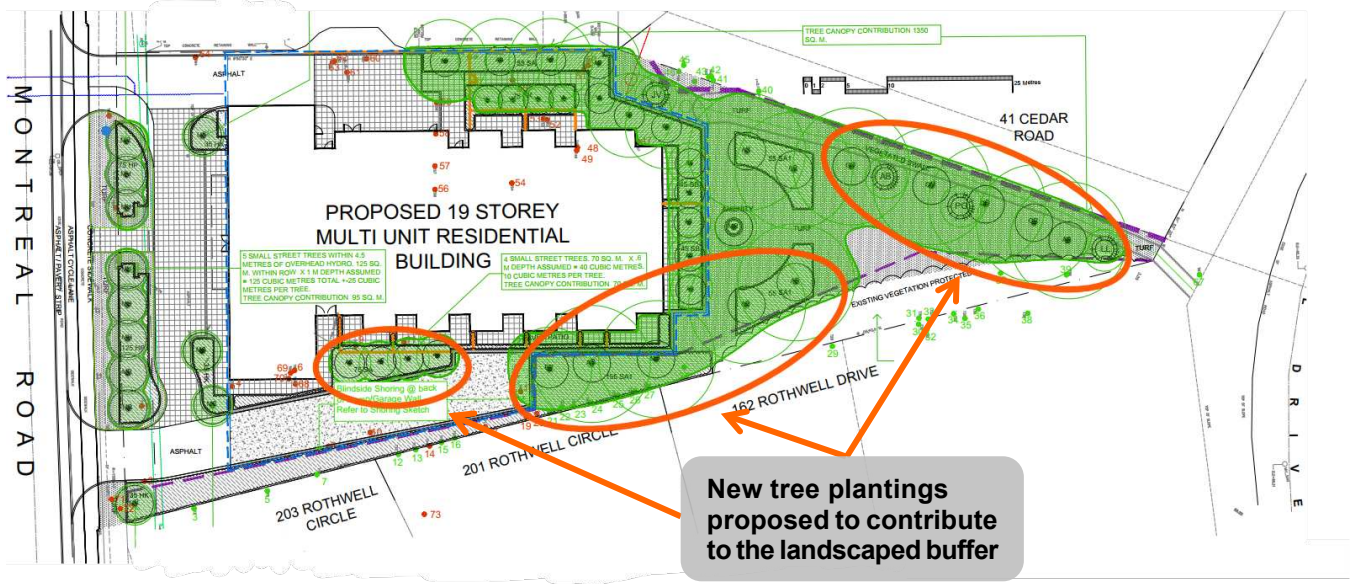


Figure 11: Screenshot of the Landscape Plan, prepared by GJA Inc.

Trees proposed include: paper birch, red maple, cucumber magnolia, sugar maple, eastern larch / tamarack, red oak, common hackberry, bur oak, and tree serviceberry.

This buffering will continue to significantly mitigate overlook concerns and provides shade on these rear yards.

Policy & Regulatory Framework

3.1 City of Ottawa Comprehensive Zoning By-law (2008-250)

The revised concept has been assessed against the Zoning By-law (2008-250). Table 1, below, provides a summary of the Arterial Mainstreet (AM) zone. The proposed development would rezone the entirety of the site to AM with revised exceptions. The table demonstrates how the development meets the provisions. Areas of compliance are noted with a green checkmark (✓) and areas of non-compliance are noted with a red 'x' (✗).

Table 1: Zoning Evaluation of proposed AM zone

AM Performance Standard	Requirement		Provided	Compliance
Permitted Land Uses s. 185(2)	Apartment dwelling, mid-rise		Apartment dwelling, high rise	✗
Min. Lot Area s. 185(a)	No minimum		4,215 m ² (after ROW widening)	✓
Min. Lot Width s. 185(b)	No minimum		54.9m	✓
Min. Front Yard Setback s. 185(10)(c)	Residential use building	3m	11m	✓
Min. Interior Side Yard Setback s. 185(d)	Abutting a Residential Zone	7.5m	Abutting "R" zone to the east (203 Rothwell Cir): Building: 7.2 m Parking garage: 1.4 m	✗
			Abutting "R" zone to the northwest (41 Cedar Rd): Building: 8.4 m Parking garage: 5.2 m	✗
	All other cases	No minimum	Abutting "AM" zone to the west (1795 Montreal Rd): Building: 6.4 m Parking garage: 0.3 m	✓
Min. Rear Yard Setback s. 185(e)	Abutting a residential zone	7.5m	53.5 m	✓
Max. Building Height (m) s. 185(f) (height is from average grade)	Up to 20 meters from a R1, R2, R3 Zone	11m	64 m	✗
	20m to 30m from R1-R4 Zone	20 m		
	30m from property line abutting R1-R4 Zone	30 m, max. 9 storeys.		
	In all other cases			

AM Performance Standard	Requirement	Provided	Compliance
Amenity Space Requirements s. 137, Table 137(4)	6m ² per dwelling unit: 6m² * 191 = 1,146 m²	2,210 m ²	✓
	Min 50% communal: 50% * 1,146 m² = 573 m²	1,100 m ²	✓
	Aggregated into areas of 54m ² and where more than one aggregated area is provided, at least one must be minimum 54m ²	Provided, ranges from 100 m ² to 600 m ²	✓
Provisions for High-Rise Buildings			
Required Lot Area Area A of Schedule 402 s. 77(3)(b)	1,350 m ²	4,215 m ² (after ROW widening)	✓
Min. Interior Side Yard and Rear Yard Setback for a tower s. 77(3)(c)	10 m	ISY west: 11.6 m ISY east: 12.2 m RY: 71.45 m	✓
Parking Provisions			
Min. Resident Parking Rate Area C in Schedule 1A s. 101(1), Table 101	1.2 spaces per dwelling unit 1.2 * 191 units = 229 spaces	141 parking spaces 0.7 parking spaces per dwelling unit	✗
Min. Visitors Parking Rate s. 102, Table 102	0.2 spaces per dwelling unit 0.2 * 191 units = 38 spaces	16 visitor parking spaces + 3 short-term pick-up and drop-off spaces = 19 visitor parking spaces 0.09 parking spaces per dwelling unit	✗
Parking Space Dimensions s. 106(1),(2)	Width: 2.6m to max. 3.1m Length: 5.2m, or 6.7m for parallel parking	Regular: 121 spaces (2.6m x 6m) Accessible, Type A: 2 spaces (3.4m x 5.2m)	✓
Compact Parking Spaces s. 106(3)	50% (71 spaces) can be compact sized 4.6m x 2.4m wide provided that:	27 compact resident parking spaces 2.4m x 6.0m	✓
	/ They are visibly identified for being a compact car	Will be identified	✓
	/ Is not a required visitor parking space	6 compact visitor parking spaces	✗
	/ The parking space is not abutting or near a wall, column or similar	No compact parking spaces are located	✓

AM Performance Standard	Requirement	Provided	Compliance
	surface that obstructs the opening of the doors of a parked vehicle or limits access to a parking space, in which case the minimum width is 2.6 m	adjacent to a wall or column that obstructs the opening of doors of a parked vehicle	
Motorcycle and Small Vehicle Parking s. 106(4)	Up to 5% of parking spaces may be minimum 1.3m x 3m for smaller vehicles such as motorcycle, cargo bicycle, and similar, and is not a required parking or visitor parking space	None proposed	✓
Parking Garage Driveway, Width s. 107(1)(a)	Min: 6.0m Max: 6.7m	6m	✓
Parking Garage, Drive Aisle Width s. 107(1)(c)(ii)	Min: 6m	6m	✓
Location of Parking s. 109(2)(a)	In the LC, GM, AM and MC Zones, no person may park a motor vehicle: in a required front yard	Parking is proposed in the front yard	✗
Min. Bicycle Parking Rate s. 111, Table 111A	0.5 bicycle parking spaces per dwelling unit $0.5 * 191 \text{ units} = \mathbf{96 \text{ bicycle parking spaces}}$	134 bicycle parking spaces	✓
Bicycle Parking Dimensions s. 111(8B), Table 111B	Horizontal: 0.6m x 1.8m Vertical: 0.5m x 1.5m Stacked: 0.37m	Horizontal: 0.6m x 1.8m Stacked: 0.37m	✓
Bicycle Parking Aisle Dimensions s. 111(9)	Min. 1.5m wide	1.5	✓
Minimum Horizontal Bicycle Parking Spaces s. 111(11)	Minimum 50% must be horizontal spaces at ground level $50\% * 95 = \mathbf{48 \text{ horizontal bicycle parking spaces}}$	69 horizontal bicycle parking spaces, including: 65 lower level of stacked spaces 4 horizontal bicycle parking spaces at grade	✓
Bicycle Parking Location s. 111(12)	Minimum 25% must be located indoors or in secure bicycle lockers = 24 secure bicycle parking spaces	97% (130 bicycle parking spaces) are located indoors: 110 in ground floor bike room 20 in parking garage	✓

Proposed Zoning By-law Amendment

The proposed Zoning By-law Amendment seeks to amend the current zoning of the subject site and implement the Arterial Mainstreet (AM) zone to align the subject site with the Official Plan Designation of a Mainstreet Corridor. The AM zone is consistent with nearby properties, such as 1795 Montreal Road directly to the west. The AM zone was selected because it aligned more closely with the proposed development design compared to other AM subzones.

A site-specific exception will establish new maximum permitted heights (in metres) from residential zones, and minimum parking rates for the specific site. The subject site is proposed to be rezoned to AM[XXXX] SYYYY. A new site-specific schedule will establish permitted building heights, required setbacks and required stepbacks while the site-specific exception will provide the necessary relief from specific provisions of the current zone as detailed in Section 10, above.

The following is proposed to be added to “Section V. Provisions” in Urban Exception XXXX:

- / **Permit Apartment Dwelling, High-Rise:** Despite section 185(2), permit “Apartment Dwelling, High-Rise”, since wholly residential high-rise buildings are not a permitted use in the AM zone.
- / **Reduced Minimum Interior Side Yard Setback:** Despite section 185(d), which requires a minimum interior side yard setback of 7.5 metres, the following is proposed:
 - Abutting a residential zone to the east: a minimum interior side yard setback of 7.2 metres is provided for the building and 1.4 metres for the parking garage;
 - Abutting the “R” zone to the west: a minimum interior side yard setback of 8.4 metres is provided for the building and 5.2 metres is provided for the parking garage;
- / **Increased Maximum Building Height:** Despite section 185(f), a maximum building height of 64 metres is proposed, whereas the maximum building height is as follows:
 - Up to 20 meters from a R1, R2, R3 Zone: 11 metres
 - 20m to 30m from R1-R4 Zone: 20 metres
 - 30m from property line abutting R1-R4 Zone: 30 metres, maximum 9 storeys
 - In all other cases: 30 metres, maximum 9 storeys
- / **Reduced Minimum Resident Parking Rate:** Despite section 101(1) Table 101, a rate of 1.2 resident parking spaces (227 parking spaces) are required, whereas a rate of 0.7 parking spaces (141 parking spaces) is proposed.
- / **Reduced Visitor Parking Rate:** Despite section 102 Table 102, a rate of 0.2 visitor parking spaces (38 parking spaces) are required, whereas a rate of 0.09 parking spaces (19 parking spaces) are provided.
- / **Compact Visitor Parking Spaces:** Despite section 106(3)(b), six (6) visitor parking spaces are proposed to be provided using the compact parking space dimensions.
- / **Permit Front Yard Parking:** Despite section 109(2)(a), permit parking in the front yard.

Conclusion

It is Fotenn's professional opinion that these applications represent good land use planning and are in the public interest.

The development is in the public interest for the following reasons:

- / The proposal is consistent with the policies of the Provincial Policy Statement (2023);
- / The proposed development conforms to the City of Ottawa Official Plan (2022) policies by proposing high-rise residential building on a Mainstreet Corridor, which can generally support high-rise buildings of up to 40 storeys;
- / The proposed apartment building and the semi-detached dwellings comply with the majority of performance standards in the AM10 subzone;
- / The proposed development is consistent with the overall vision of the Mainstreet Corridor 2 (MS2) policies in the draft proposed Zoning By-law (anticipated 2025);
- / The relief requested for the building is reasonable and appropriate; and
- / The proposed development is supported by technical studies.

Sincerely,



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Planner



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Partner