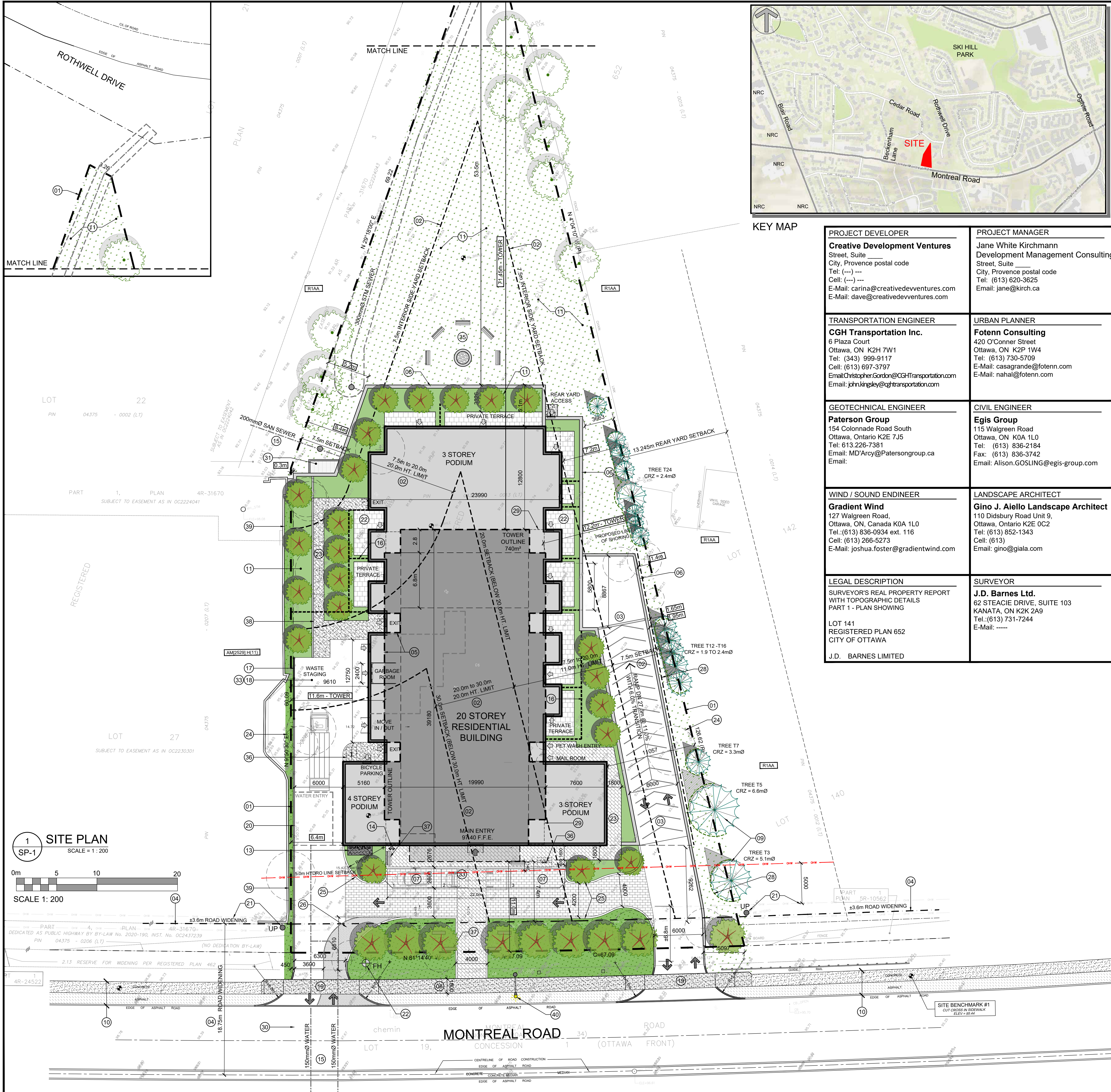




PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation	R1A	SITE AREA	0.44 ha.
			4,361.3 sq. m.
			46,945 sq. ft.
ZONING		REQUIRED	PROVIDED
ZONE		AM	AM
BUILDING HEIGHT - 0m TO 20m FROM "R1, R2 & R3" ZONE		11.0m	20 STOREYS / 64.0m
BUILDING HEIGHT - 20m TO 30m FROM "R1 to R4" ZONE		20.0m	20 STOREYS / 64.0m
BUILDING HEIGHT - AFTER 30m FROM "R1 to R4" ZONE		9 STOREYS / 30.0m	20 STOREYS / 64.0m
GRADE: TAKEN FROM EXPOSED PARKING GARAGE		94.40m ASL	94.40m ASL
DENSITY - GFA		n/a	2.75
FRONT YARD SETBACK		3.0m	11.0m
INTERIOR YARD SETBACK EAST (MAIN BUILDING) - ABUTTING "R1" ZONE		7.5m	7.2m
INTERIOR YARD SETBACK EAST (PARKING GARAGE) - ABUTTING "R1" ZONE		7.5m	1.4m
INTERIOR YARD SETBACK WEST (MAIN BUILDING) - ABUTTING "R1" ZONE		7.5m	8.4m
INTERIOR YARD SETBACK WEST (PARKING GARAGE) - ABUTTING "R1" ZONE		7.5m	5.2m
INTERIOR YARD SETBACK WEST (MAIN BUILDING) - ABUTTING "AM" ZONE		0.0m	4.6m
INTERIOR YARD SETBACK WEST (PARKING GARAGE) - ABUTTING "AM" ZONE		0.0m	0.3m
REAR YARD SETBACK (PARKING GARAGE) - ABUTTING "R1" ZONE		7.5m	53.5m
AMENITY AREA - TOTAL 6.0m ² PER UNIT		1,146.0m ²	2,210.0m ²
AMENITY AREA - 50% COMMUNAL PER UNIT		573.0m ²	1,100.0m ²
VEHICLE PARKING - RESIDENTIAL - 1.2 PER UNIT		229	141
VEHICLE PARKING - VISITOR - 0.2 PER UNIT		38	19
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		96	134
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH		6.0m / 6.7m	6.0m

NOTATION SYMBOLS:	
(00)	INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
(00)	INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
(00)	INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
(000)	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
(00)	DETAIL NUMBER
(00)	TITLE
(00)	DETAIL REFERENCE PAGE
(00)	DETAIL CROSS REFERENCE PAGE

PROJECT DEVELOPER Creative Development Ventures Street, Suite City, Province postal code Tel: (---) --- Cell: (---) --- E-Mail: carina@creativedevventures.com E-Mail: dave@creativedevventures.com	PROJECT MANAGER Jane White Kirchmann Development Management Consulting Street, Suite City, Province postal code Tel: (613) 620-3625 Email: jane@kirch.ca
TRANSPORTATION ENGINEER CGH Transportation Inc. 6 Plaza Court Ottawa, ON K2H 7W1 Tel: (343) 999-9117 Cell: (613) 697-3797 Email: Christopher.Gordon@CGHTransportation.com Email: john.karsley@cgtransportation.com	URBAN PLANNER Fotenn Consulting 420 O'Connor Street Ottawa, ON K2P 1W4 Tel: (613) 730-5709 E-Mail: casagrande@fotenn.com E-Mail: nahal@fotenn.com
GEOTECHNICAL ENGINEER Paterson Group 154 Colonnade Road South Ottawa, Ontario K2E 7J5 Tel: (613) 226-7381 Cell: (613) 266-5273 Email: MDarcy@Patersongroup.ca Email: joshua.foster@gradientwind.com	CIVIL ENGINEER Egis Group 115 Walgreen Road Ottawa, ON K0A 1L0 Tel: (613) 836-2184 Fax: (613) 836-3742 Email: Alison.GOSLING@egis-group.com
WIND / SOUND ENGINEER Gradient Wind 127 Walgreen Road, Ottawa, ON, Canada K0A 1L0 Tel: (613) 836-0934 ext. 116 Cell: (613) 836-5273 E-Mail: joshua.foster@gradientwind.com	LANDSCAPE ARCHITECT Gino J. Aiello Landscape Architect 110 Didsbury Road Unit 9, Ottawa, Ontario K2E 0C2 Tel: (613) 852-1343 Cell: (613) Email: gino@giala.com
LEGAL DESCRIPTION SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHIC DETAILS PART 1 - PLAN SHOWING LOT 141 REGISTERED PLAN 652 CITY OF OTTAWA J.D. BARNES LIMITED	SURVEYOR J.D. Barnes Ltd. 62 STEACIE DRIVE, SUITE 103 KANATA, ON K2K 2A9 Tel: (613) 731-7244 E-Mail: ----

SITE PLAN SYMBOLS:	
	SOFT LANDSCAPE PLANTING
	ENTRANCE BOULEVARD / WALKWAYS
	PRIVATE PATIOS
	PAVERS @ TERRACE LEVEL
	PROPOSED CITY BOULEVARD: CONCRETE SIDEWALK & ASPHALT CYCLE TRACK
	BIKE RACK
	MAIN ENTRANCE DOOR
	SERVICE / EXIT DOOR
	VEHICULAR DIRECTION
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED TREE
	SIAMESE CONNECTION
	FIRE HYDRANT

BUILDING STATISTICS		
GROSS BUILDING - AREA (CITY OF OTTAWA DEFINITION)		
PARKING LEVEL	0.0 sq. m.	0.00 sq. ft.
GROUND FLOOR	574.5 sq. m.	6,184 sq. ft.
2nd & 3rd FLOOR	2 x 1,096.8 sq. m.	2,193.3 sq. m.
4th FLOOR	2 x 1,104.4 sq. m.	2,208.8 sq. m.
5th FLOOR	539.8 sq. m.	5,810 sq. ft.
6th - 16th FLOOR - TOWER	11 x 593.6 sq. m.	6,529.1 sq. m.
17th & 18th FLOOR	11 x 638.9 sq. m.	70,279 sq. ft.
19th FLOOR	2 x 529.0 sq. m.	1,058.0 sq. m.
MECHANICAL PENTHOUSE	2 x 568.3 sq. ft.	11,366 sq. ft.
TOTAL AREA	455.0 sq. m.	4,897 sq. ft.
TOWER FOOTPRINT AREA (NOT INCLUDING BALCONIES / PROJECTIONS)	0.0 sq. m.	0.00 sq. ft.
UNIT STATISTICS		
STUDIO UNIT	1.6%	3
1 BEDROOM UNIT	14.7%	28
1 BEDROOM + DEN UNIT	40.3%	77
2 BEDROOM UNIT	31.4%	60
2 BEDROOM + DEN UNIT	4.2%	8
3 BEDROOM	7.9%	15
TOTAL		191

CAR PARKING		
AREA "C" on SCHEDULE 1A		
MINIMUM REQUIRED		
RESIDENCE	- 1.2 PER DWELLING UNIT	229
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		267
PROVIDED		
RESIDENCE	- 0.73 PER UNIT	141
VISITOR	- 0.1 PER UNIT	19
TOTAL		160
LOCATION		
EXTERIOR - SHORT TERM		
P3 LEVEL PARKING GARAGE		3
P2 LEVEL PARKING GARAGE		47
P1 LEVEL PARKING GARAGE		52

- DRAWING NOTES**
- PROPERTY LINE
 - AM ZONING BUILDING SETBACK LINES
 - HEATED RAMP TO U/G GARAGE WITH TRENCH DRAIN
 - PROPOSED 37.5m R.O.W.
 - OUTLINE OF TOWER ABOVE
 - OUTLINE OF PARKING GARAGE
 - SHORT TERM LAY-BY PARKING
 - 1.8m WIDE CONCRETE SIDEWALK TO CITY STANDARDS
 - EXISTING TREE TO REMAIN, PROTECT AS REQUIRED
 - EX. SIDEWALK & ASPHALT BOULEVARD TO REMAIN
 - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - BELOW GRADE CISTERN IN PARKING GARAGE
 - 1.2 X 3.0 CONCRETE PAD FOR GAS EQUIPMENT WITH BOLLARDS AS REQUIRED (GAS BLOW OFF)
 - SIAMESE CONNECTION
 - PROPOSED UTILITIES, SEE CIVIL
 - PRIVACY SCREEN / GATE
 - 2.1m HT. SOLID WOOD PRIVACY FENCE
 - TEMPORARY SNOW STORAGE
 - CONCRETE SIDEWALK, CONTINUOUS & DEPRESSED THROUGH DRIVEWAY, SEE CITY DETAIL SC 7.1
 - 150mm HT CONCRETE BARRIER CURB
 - EXISTING HYDRO POLE & OVERHEAD WIRES
 - FIRE HYDRANT
 - UNIT PAVES WALK
 - EXISTING TREE TO BE REMOVED
 - FLUSH CURB AROUND ENTRY AREA
 - MOUNTABLE APRON
 - EXISTING UTILITY POLE
 - TREE / HEDGE PROTECTION ZONE
 - BALCONY ABOVE
 - 6.0m WIDE FIRE ROUTE
 - METAL GRATE - INTAKE / EXHAUST AIR SHAFT
 - PRIVATE TERRACES AT GROUND LEVEL
 - ACCESSIBLE PASSENGER LOADING AREA
 - GARBAGE BIN PICKUP AREA
 - FIRE PIT WITH SEATING
 - SURFACE MOUNTED BIKE RACK
 - BENCH: SEE LANDSCAPE
 - TRENCH DRAIN: SEE CIVIL
 - RETAINING WALL ON NEIGHBORING PROPERTY
 - EXISTING STREET LIGHT

CAR PARKING		
PARKING SPACE TYPE		
STANDARD SPACE (2.60 x 5.20)		120
SMALL CAR SPACE (2.40 x 4.60)		33
PARALLEL SPACE - SHORT TERM (2.80 x 6.70)		3
BARRIER FREE SPACE TYPE A (3.40 x 5.20)		2
ELECTRIC VEHICLE SPACE (2.60 x 5.20)		2
BICYCLE PARKING		
REQUIRED		
RESIDENCE	- 0.5 PER UNIT (191 UNITS)	96
PROVIDED		
EXTERIOR		4
GROUND FLOOR		110
PARKING GARAGE		20
TOTAL		134
AMENITY SPACE		
REAR YARD - COMMUNAL	600.0 sq. m.	
AT GRADE TERRACE - PRIVATE	290.0 sq. m.	
4th FLOOR INTERIOR - COMMUNAL	200.0 sq. m.	
4th FLOOR TERRACE - COMMUNAL	300.0 sq. m.	
ROOF TOP AMENITY TERRACE	100.0 sq. m.	
PRIVATE TERRACE	220.0 sq. m.	
PRIVATE BALCONIES	500.0 sq. m.	
TOTAL	2,210.0 sq. m.	
TOTAL COMMUNAL	1,100.0 sq. m.	
REQUIRED - 6.0m ² PER UNIT (191)	1,146.0 sq. m.	
REQUIRED COMMUNAL @ 50%	573.0 sq. m.	

WASTE REQUIREMENT		
(191 UNITS)		
GARBAGE	- 0.11 PER UNIT	21 YARDS
RECYCLING GMP	- 0.018 PER UNIT	4 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	7 YARDS
COMPOST	- 240L PER 50 UNITS	4
LOT COVERAGE		
PAVED SURFACE =	807.3 sq. m.	18.5%
BUILDING FOOTPRINT =	1,294.6 sq. m.	29.7%
LANDSCAPE OPEN SPACE =	2,259.4 sq. m.	51.8%
TOTAL =	4,361.3 sq. m.	100.0%