

April 15, 2025

City of Ottawa  
Planning, Development and Building Services  
110 Laurier Avenue West, 4<sup>th</sup> Floor  
Ottawa, ON K1P 1J1  
By email only: [tess.peterman@ottawa.ca](mailto:tess.peterman@ottawa.ca)

**Attention: Tess Peterman**

**Reference: 150 Dun Skipper Drive (Residential)  
Zoning Confirmation Report - Site Plan and ZBLA Applications  
Our File: 124107**

Below is an assessment against the provisions of Annex 1 – Zoning Confirmation Report Checklist of the Zoning Confirmation Report Terms of Reference.

The assessment is based on rezoning the Subject Property to General Mixed Use (GM) with site-specific exceptions detailed in Section C below.

## Zoning Confirmation Report Checklist

| A. Project Information        |                                                                                                         |                                   |                                                         |
|-------------------------------|---------------------------------------------------------------------------------------------------------|-----------------------------------|---------------------------------------------------------|
| <b>Review Date:</b>           | April 9, 2025                                                                                           | <b>Reviewed Plans:</b>            | Site Plan (A101) by PMA Architectes dated April 8, 2025 |
| <b>Municipal Address(es):</b> | 150 Dun Skipper Drive                                                                                   | <b>Official Plan designation:</b> | Mainstreet Corridor                                     |
| <b>Legal Description:</b>     | BLOCK 241, PLAN 4M1617 SUBJECT TO AN EASEMENT OVER PART 67, PLAN 4R31780 AS IN OC2084030 CITY OF OTTAWA |                                   |                                                         |
| <b>Scope of Work:</b>         | Mid-rise apartment buildings (237 units)                                                                |                                   |                                                         |
| <b>Existing Zoning Code:</b>  | GM                                                                                                      | <b>By-law Number:</b>             | 2008-250                                                |
| <b>Schedule 1 / 1A Area:</b>  | Area C                                                                                                  | <b>Overlays Applicable:</b>       | None                                                    |

| B. Zoning Review                                                                              |                                                     |                                                |                             |                 |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------|------------------------------------------------|-----------------------------|-----------------|
| For ZBLAs, please use the proposed zone and subzone requirements, if different than existing. |                                                     |                                                |                             |                 |
| <b>Proposed Zone/Subzone (Zoning By-law Amendments only):</b>                                 |                                                     | General Mixed Use, Exception XXXX (GM [XXXX])  |                             |                 |
| Zoning Provision                                                                              | Applicable Section, Exception or Schedule Reference | By-law Requirement                             | Provided                    | Compliant (Y/N) |
| <b>Principal Land Use(s)</b>                                                                  | Section 187                                         | Mid-rise apartment dwelling is a permitted use | Mid-rise apartment dwelling | <b>Y</b>        |

|                                                             |                                                  |                                                                                                                         |                                                                  |          |
|-------------------------------------------------------------|--------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|----------|
| <b>Minimum Lot Area</b>                                     | Table 187                                        | No minimum                                                                                                              | 10,009 m <sup>2</sup> (approximate)                              | <b>Y</b> |
| <b>Minimum Lot Width</b>                                    |                                                  | No minimum                                                                                                              | 63.5 m (approximate)                                             | <b>Y</b> |
| <b>Minimum Front Yard Setback (south)</b>                   |                                                  | 3 m                                                                                                                     | 4.74 m                                                           | <b>Y</b> |
| <b>Minimum Corner Side Yard Setback (west)</b>              |                                                  | 3 m                                                                                                                     | 3 m                                                              | <b>Y</b> |
| <b>Minimum Interior Side Yard Setback (east)</b>            |                                                  | For a residential use building for a building higher than 11 metres in height: 3 m                                      | 5.23 m (to future lot line)                                      | <b>Y</b> |
| <b>Minimum Rear Yard Setback (north)</b>                    |                                                  | For a residential use building: 7.5 m                                                                                   | 7.5 m                                                            | <b>Y</b> |
| <b>Maximum Floor Space Index</b>                            |                                                  | 2.0                                                                                                                     | 1.71                                                             | <b>Y</b> |
| <b>Maximum building height</b>                              | Section 187 (Table 187 (3)(f))                   | 18 m                                                                                                                    | 20 m                                                             | <b>N</b> |
| <b>Projections into Required Yards Section 65</b>           | Section 65 (Table 65, (5)(b)(i) 2)               | (Stairs) corner side yard: no closer than 0.6m to a lot line                                                            | 0 m from corner side lot line                                    | <b>N</b> |
|                                                             | Section 65 (Table 65, (3), Column II)            | 0.6m, but not closer than 0.6 m to a lot line                                                                           | <b>Project 1.2 m into corner side yard, &gt;0.6m to lot line</b> | <b>N</b> |
| <b>Minimum width of landscaped area</b>                     | Section 187 (Table 187 (3)(h))                   | Abutting a street: 3 m<br>All other cases: No minimum                                                                   | 3 m (street)<br>3 m (others)                                     | <b>Y</b> |
| <b>Minimum Parking Space Rates</b>                          | Section 101(3)(a), Table 101, Row R15, Column II | Mid-rise apartment dwelling: 1.2 spaces per unit (284 required)                                                         | 237 spaces (1 space per unit)                                    | <b>N</b> |
| <b>Minimum Visitor Parking Space Rates</b>                  | Section 102                                      | Mid-rise apartment dwelling: 0.2 spaces per unit = 47 spaces (237 units)                                                | 47 spaces                                                        | <b>Y</b> |
| <b>Parking Space Dimensions</b>                             | Section 106 (1)                                  | 5.2 m by 2.6 m                                                                                                          | 5.2 m by 2.6 m                                                   | <b>Y</b> |
| <b>Driveway Provisions</b>                                  | Section 107 (1) (a) (ii)                         | 6 m                                                                                                                     | 6.7 m                                                            | <b>Y</b> |
| <b>Aisle Provisions</b>                                     | Table 107                                        | 6.7 m                                                                                                                   | 6.7 m                                                            | <b>Y</b> |
| <b>Minimum width of landscaped area around parking lots</b> | Section 110                                      | For a parking lot containing more than 10 but fewer than 100 spaces<br>Abutting a street: 3 m<br>Not abutting a street: | Abutting a street: 3.0 m<br>Not abutting a street: 3.1 m         | <b>Y</b> |

|                                 |                                               |                                                                                                    |                                                                 |          |
|---------------------------------|-----------------------------------------------|----------------------------------------------------------------------------------------------------|-----------------------------------------------------------------|----------|
|                                 |                                               | 1.5 m                                                                                              |                                                                 |          |
| <b>Bicycle Parking Rates</b>    | Section 111A                                  | Mid-rise apartment dwelling: 0.5 spaces per unit = 119 spaces                                      | 119 spaces                                                      | <b>Y</b> |
| <b>Planned Unit Development</b> | Section 131<br>Table 131, Row 1, Column II    | Minimum width of Private Way – 6.0 m                                                               | 6.7m                                                            | <b>Y</b> |
|                                 | Section 131<br>Table 131, Row 2, Column II    | Minimum setback for any wall of a residential use building to a Private Way – 1.8m                 | Min. 10.5 m                                                     | <b>Y</b> |
|                                 | Section 131<br>Table 131, Row 3, Column II    | Minimum setback for any garage or carport entrance from a private way – 5.2 m                      | Min. 8.5 m                                                      | <b>Y</b> |
|                                 | Section 131<br>Table 131, Row 4(b), Column II | Minimum separation area between buildings within a Planned Unit Development – 3.0m                 | 27.8 m                                                          | <b>Y</b> |
| <b>Amenity Area</b>             | Section 137                                   | 6m <sup>2</sup> per dwelling unit = 1,422m <sup>2</sup> .<br><br>711m <sup>2</sup> to be communal. | 3,521m <sup>2</sup> total,<br><br>1,554m <sup>2</sup> communal. | <b>Y</b> |

The Subject Property is proposed to be rezoned from GM to GM [XXXX] to permit two six-storey, mixed-use buildings on the Subject Property. Site-specific provisions are required for a portion of the Subject Property.

### **Proposed Site-Specific Provisions**

The following site-specific provisions are suggested on the Subject Property.

- To permit open stairways to project 0m from the lot line in the corner side yard
- To permit an ornamental projection of 1.2m into the required corner side yard.
- To permit a reduction to the minimum required resident parking from 285 spaces to 237 spaces (1.2 spaces per unit to 1.0 space per unit) (Building 1 and Building 2)
- To permit a maximum building height of 20 m

## **C. Draft List of Recommended Zoning**

| <b>By-law Requirement or Applicable Section</b>                    | <b>Requirement</b>                             | <b>Proposed</b> |
|--------------------------------------------------------------------|------------------------------------------------|-----------------|
| Permitted Projections for Open Stairways into Front Yard or corner | No closer than 0.6 m from corner side lot line | <b>0 m</b>      |

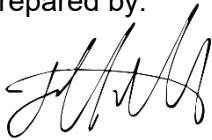
|                                                                                                                                                            |                                                  |                                                                      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|----------------------------------------------------------------------|
| side yard:<br>Sec.65 (Table 65, (5)(b)(i) 2)                                                                                                               |                                                  |                                                                      |
| Permitted Projections for<br>Ornamental elements such as sills,<br>belt courses, cornices, parapets and<br>pilasters:<br>Sec.65 (Table 65, (3), Column II) | 0.6m, but not closer than<br>0.6 m to a lot line | <b>Project 1.2 m into corner side<br/>yard, &gt;0.6m to lot line</b> |
| Minimum required resident parking:<br>Sec.101 (Table 187 (3)(h)(i))                                                                                        | 1.2 spaces per unit (284 required)               | <b>1.0 space per unit (237 provided)</b>                             |
| Maximum Building Height:<br>Sec.187 (Table 187 (3)(f))                                                                                                     | 18 m                                             | <b>20m</b>                                                           |

If you have any questions or comments, please do not hesitate to contact me.

Yours truly,

**NOVATECH**

Prepared by:



Jeffrey Kelly, MCIP, RPP  
Project Manager | Planning & Development

