

- NOTES:
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OWNER & CONSULTANTS:
OWNER:
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 420 O'CONNOR ST, OTTAWA, ON K2P 1W4

GRADING & SERVICES:
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SURVEYOR:
 FARLEY, SMITH & DENIS SURVEYING LTD.
 (613) 775-8208
 30 COLONNADE RD, NEPEAN, ON K2E 7J6

No.	DATE	REVISION
13	2025.05.07	I.F. ZONING BY-LAW AMENDMENT - REV1
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03	2024.02.13	ISSUED FOR PRE-CON
02	2024.02.12	ISSUED FOR REVIEW
01	2024.01.18	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 205
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 sjl@sjlarchitect.com

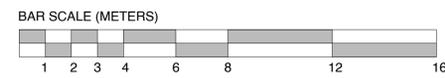
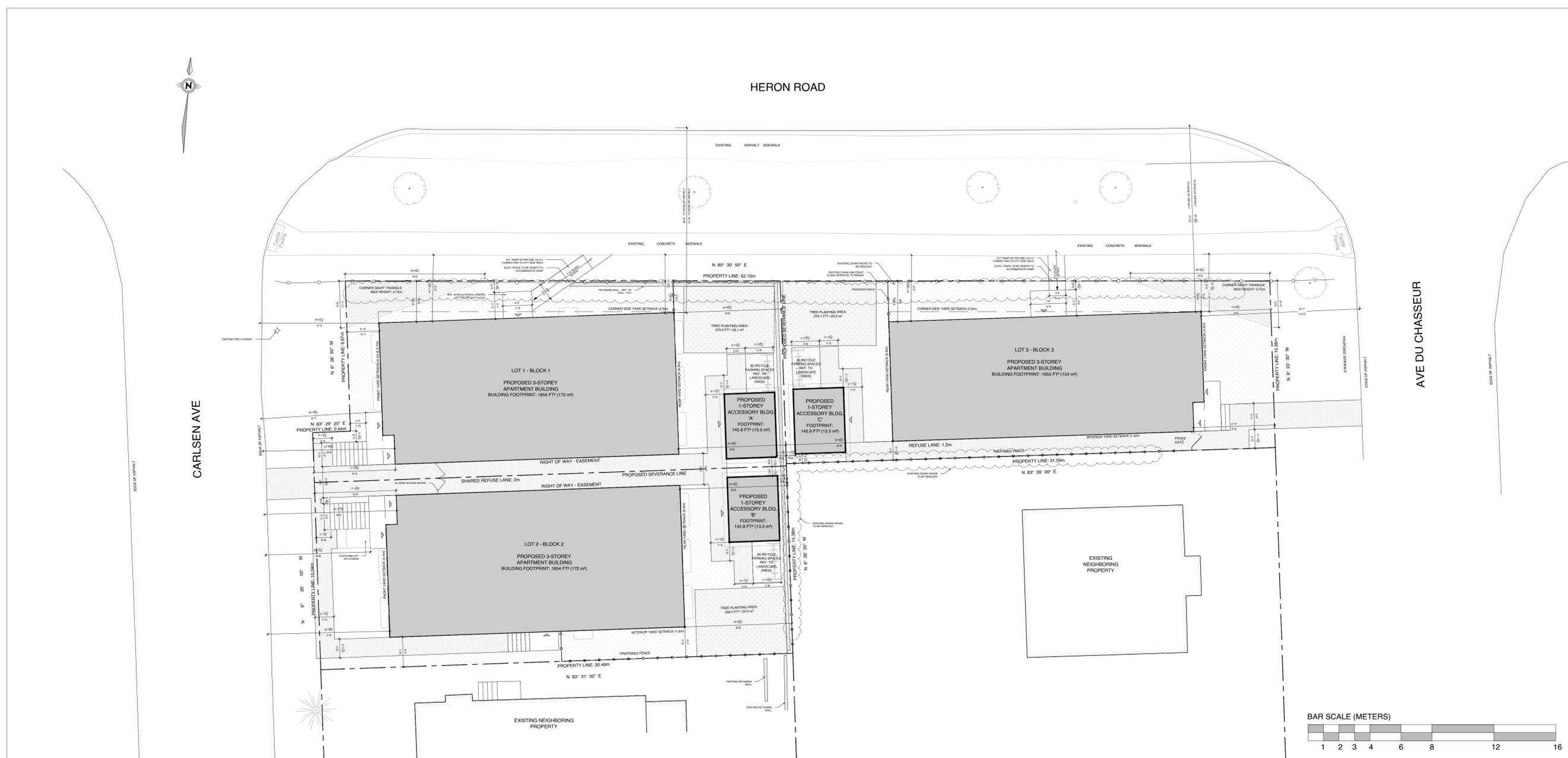


KEY PLAN:
 PART OF LOT 1 REGISTERED PLAN 901 AND PART OF LOT 1 REGISTERED PLAN 559 CITY OF OTTAWA
 SURVEY BY: FARLEY, SMITH & DENIS SURVEYING LTD. 2024

PROJECT:
MODULAR HOMES - 8 PLEX
 2409 CARLSEN AVE.
 OTTAWA, ON.
 K1V 8E9

SHEET TITLE:
SITE PLAN

DRAWN BY: H.K. CHECKED BY: S.J.L.
 PLOT DATE: 2025.05.07 PROJECT DATE: 2023.08.21
 JOB NUMBER: SL-1126-24 SCALE: AS SHOWN
 SHEET NUMBER:



01 SITE PLAN - 2409 CARLSEN AVE
 A1.0 SCALE: 3/32"=1'-0"

ZONING PROVISIONS	REQUIRED EXISTING RSA ZONING	REQUIRED PROPOSED R4-UD ZONING	LOT 1		LOT 2		LOT 3	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
MIN. LOT AREA	1400m ²	300m ²	300m ²	355.8m ²	300m ²	367.2m ²	300m ²	355.1m ²
MIN. LOT WIDTH	N/A	10m	10m	12.7m	10m	12.0m	10m	10.8m
MIN. FRONT YARD SETBACK	6.0m	4.5m	4.5m	4.5m & 2.1m	4.5m	4.5m	4.5m	4.5m
MIN. REAR YARD SETBACK	7.5m MAX/ 25% LOT DEPTH	7.5m MAX/ 25% LOT DEPTH	7.0m	6.9m	7.5m	6.9m	7.5m	6.9m
MIN. INTERIOR SIDE YARD SETBACK	3m TOTAL, MIN. 1.2m	1.5m	1.5m	1m	1.5m	1m & 1.9m	1.5m	1.2m
MIN. CORNER SIDE YARD SETBACK	4.5m	4.5m	4.5m	2.0m	4.5m	N/A	4.5m	2.0m
MAX. BUILDING HEIGHT	10m	11m	11m	10.6m	11m	10.8m	11m	9.6m
SECTION 161 (8) - NOT APPLICABLE FOR LOTS LESS THAN 450m ²								
SECTION 161 (15)(b) - REQUIRED MIN. AREA OF REAR YARD SOFT LANDSCAPING			35m ²	49.4m ²	50m ²	48.9m ²	35m ²	80.6m ²
TABLE 139 & 161 - REQUIRED MIN. % OF FRONT YARD SOFT LANDSCAPING			40% (13.8m ²)	54% (19.0m ²)	40% (21.8m ²)	46% (25.4m ²)	35% (17.0m ²)	74% (36.0m ²)
TABLE 139 - REQUIRED MIN. % OF CORNER YARD SOFT LANDSCAPING			40% (18.2m ²)	86% (38.9m ²)	N/A	N/A	35% (16.2m ²)	90% (42.1m ²)
SECTION 161 (15)(g) - REQUIRED MIN. % OF GLAZING ON FRONT FACADE			25% (24.4m ²)	25% (24.5m ²)	25% (24.8m ²)	25% (25.3m ²)	N/A	N/A
SECTION 161 (15)(g) - REQUIRED MIN. % OF GLAZING ON CORNER SIDE FACADE			15% (30.6m ²)	15% (30.6m ²)	N/A	N/A	N/A	N/A

	BLOCK 1												BLOCK 2					BLOCK 3				
	FLOOR BREAKDOWN & AREAS												FLOOR BREAKDOWN & AREAS					FLOOR BREAKDOWN & AREAS				
	STUDIO	1 BEDROOM	1 BEDROOM + DEN	2 BEDROOM	PUBLIC AREAS	FLOOR AREA (TOTAL)	STUDIO	1 BEDROOM	1 BEDROOM + DEN	2 BEDROOM	PUBLIC SPACES	FLOOR AREA (TOTAL)	STUDIO	1 BEDROOM	1 BEDROOM + DEN	2 BEDROOM	PUBLIC SPACES	FLOOR AREA (TOTAL)				
BASEMENT	-	-	1 (+/-73m ²)	2 (+/-74m ²)	+/-23m ²	+/-171m ²	-	-	1 (+/-73m ²)	2 (+/-74m ²)	+/-23m ²	+/-171m ²	N/A	N/A	N/A	N/A	N/A	+/-153m ²				
GROUND FLOOR	-	1 (+/-58m ²)	-	1 (+/-75m ²)	+/-39m ²	+/-172m ²	-	1 (+/-58m ²)	-	1 (+/-75m ²)	+/-39m ²	+/-172m ²	N/A	N/A	N/A	N/A	N/A	+/-154m ²				
SECOND FLOOR	-	-	-	2 (+/-149m ²)	+/-23m ²	+/-172m ²	-	-	-	2 (+/-149m ²)	+/-23m ²	+/-172m ²	N/A	N/A	N/A	N/A	N/A	+/-154m ²				
THIRD FLOOR	-	-	-	2 (+/-149m ²)	+/-23m ²	+/-172m ²	-	-	-	2 (+/-149m ²)	+/-23m ²	+/-172m ²	N/A	N/A	N/A	N/A	N/A	+/-154m ²				
TOTAL LIVING / PUBLIC			+/-578m ²		+/-108m ²				+/-578m ²		+/-108m ²							+/-462m ²				
GROSS FLOOR AREA						+/-516m ²						+/-516m ²	N/A	N/A	N/A	N/A	N/A	+/-462m ²				

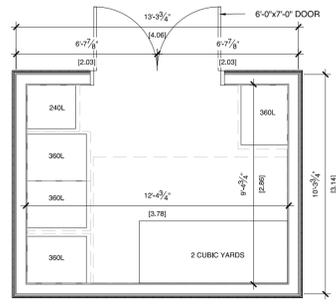
LEGEND

- RETAINING WALL
- NEW OVERHEAD DOOR
- NEW DOOR / ENTRANCE
- BICYCLE PARKING SPACE (1.8m x 0.6m)
- PROPOSED PRECAST CONCRETE PAVERS
- PARKING STALL COUNT PER ROW
- TWO WAY TRAFFIC
- DEPRESSED CURB (DC)
- TACTILE WALKING SURFACE INDICATORS (TWSIs)
- PROPERTY LINE
- PROPOSED FENCE
- COMPACT PARKING SPACES
- MINIMUM SETBACKS (ZONING)
- NEW CONSTRUCTION
- EXISTING BUILDINGS
- SOFT LANDSCAPING
- CONCRETE SIDEWALK
- BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS

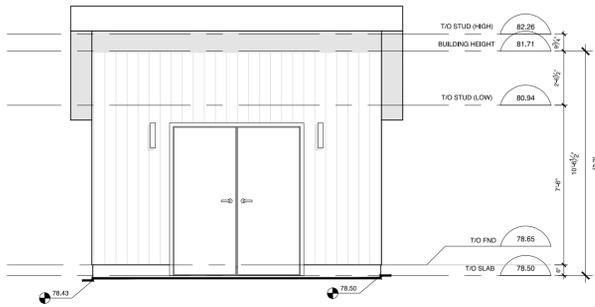


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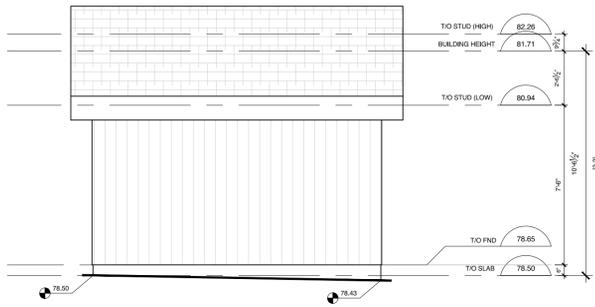
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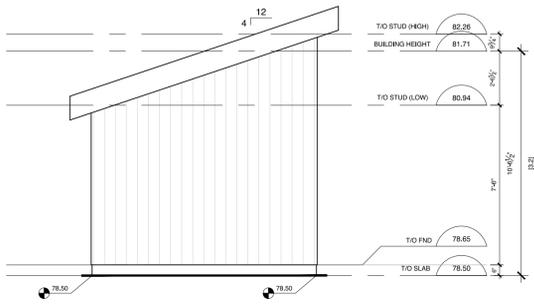
01 ACCESSORY BUILDING - TYP. FLOOR PLAN
A1.1 SCALE: 1/4"=1'-0"



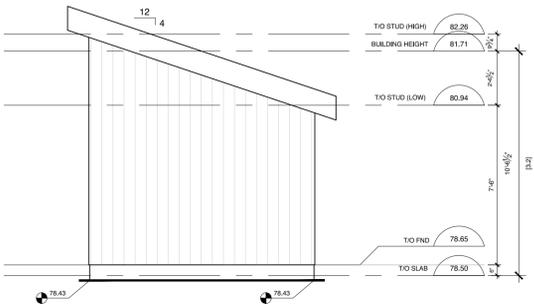
WEST ELEVATION



EAST ELEVATION

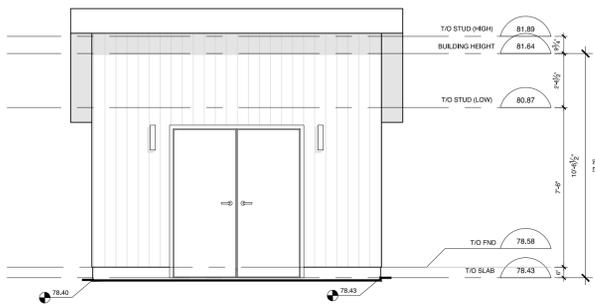


SOUTH ELEVATION

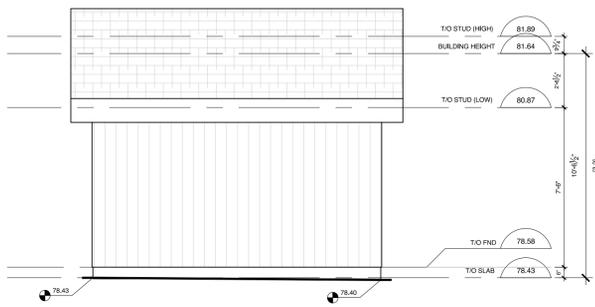


NORTH ELEVATION

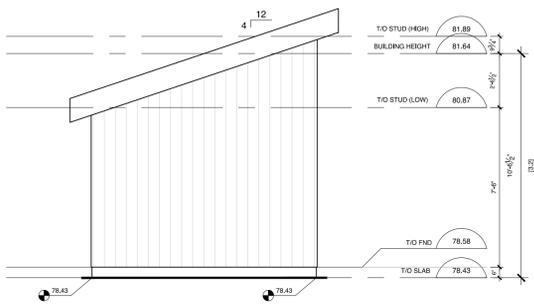
02 ACCESSORY BUILDING A - ELEVATIONS
A1.1 SCALE: 1/4"=1'-0"



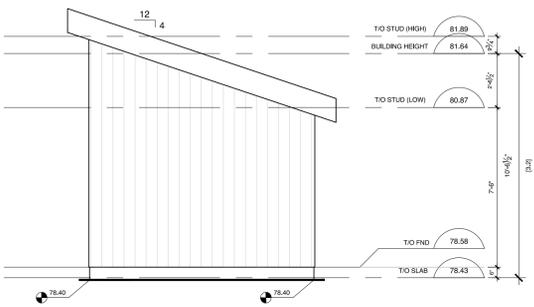
WEST ELEVATION



EAST ELEVATION

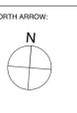


SOUTH ELEVATION



NORTH ELEVATION

03 ACCESSORY BUILDING B - ELEVATIONS
A1.1 SCALE: 1/4"=1'-0"



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420 O'CONNOR ST, OTTAWA, ON K2P 1W4

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02	2024.02.12	ISSUED FOR REVIEW
01	2024.01.18	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
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PROJECT:
MODULAR HOMES - 8 PLEX
2409 CARLSEN AVE.
OTTAWA, ON.
K1V 8E9

SHEET TITLE:
SITE PLAN

DRAWN BY: H.K.	CHECKED BY: S.J.L.
PLOT DATE: 2025.05.07	PROJECT DATE: 2023.08.21
JOB NUMBER: SL-1126-24	SCALE: AS SHOWN
SHEET NUMBER:	

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MECHANICAL & ELECTRICAL DRAWINGS:
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 9 GURDWARA RD #200, NEPEAN, ON K2E 7X6

PREFAB:
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 20 MILL ST, MOREWOOD, ON K0A 2P0

PLANNER:
 FOTENI PLANNING + DESIGN
 (613) 730-5709
 420 OGDONOR ST, OTTAWA, ON K2P 1W4

GRADING & SERVICES:
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No.	DATE	REVISION
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PROJECT:
 MODULAR HOMES - 8 PLEX
 (LOT 1 - BLOCK 1)
 2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
 ELEVATIONS

DRAWN BY: H.K.	CHECKED BY: S.J.L.
PLOT DATE: 2025.05.07	PROJECT DATE: 2023.08.21
JOB NUMBER: SL-1126-24	SCALE: AS SHOWN
SHEET NUMBER:	

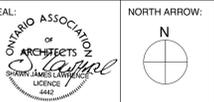


01 WEST ELEVATION (FRONT) - LOT 1
 A4.0a SCALE: 1/4" = 1'-0"



02 EAST ELEVATION (REAR) - LOT 1
 A4.0a SCALE: 1/4" = 1'-0"

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PROJECT: MODULAR HOMES - 8 PLEX (LOT 1 - BLOCK 1)
 2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE: ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21
JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN
SHEET NUMBER:



01 NORTH ELEVATION (LEFT) - LOT 1
A4.0b SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION (RIGHT) - LOT 1
A4.0b SCALE: 1/4" = 1'-0"

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PROJECT:
MODULAR HOMES - 8 PLEX
(LOT 2 - BLOCK 2)

2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.

PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21

JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN

SHEET NUMBER:



01 WEST ELEVATION (FRONT) - LOT 2
A4.1a SCALE: 1/4" = 1'-0"



02 EAST ELEVATION (REAR) - LOT 2
A4.1a SCALE: 1/4" = 1'-0"

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OWNER: THE BERGE HOMES
 (613) 421-1515
 9 GURDWARA RD, NEPEAN, ON K2E 7X6

MECHANICAL & ELECTRICAL DRAWINGS:
 GME ENGINEERING INC.
 (613) 306-4703
 9 GURDWARA RD #200, NEPEAN, ON K2E 7X6

PREFAB:
 QUALDRIEST HOMES
 (800) 249-1432
 20 MILL ST, MOREWOOD, ON K0A 2P0

PLANNER:
 FOTENI PLANNING + DESIGN
 (613) 730-5709
 420 O'CONNOR ST, OTTAWA, ON K2P 1W4

GRADING & SERVICES:
 W. ELIAS ENGINEERING & ASSOCIATES
 (613) 752-7800
 234 BOWSALS CRESCENT, OTTAWA, ON K1K 4V1

SURVEYOR:
 FARLEY, SMITH & DENIS SURVEYING LTD.
 (613) 727-6208
 30 COLONNADE RD, NEPEAN, ON K2E 7J6

No.	DATE	REVISION
09	2025.05.07	I.F. ZONING BY-LAW AMENDMENT - REV1
08	2025.03.28	ISSUED FOR COORDINATION
07	2025.01.22	I.F. ZONING BY-LAW AMENDMENT
06	2024.10.31	ISSUED FOR COORDINATION
05	2024.10.28	ISSUED FOR COORDINATION
04	2024.09.19	ISSUED FOR COORDINATION
03	2024.07.03	ISSUED FOR PRE-CON PHASE III
02	2024.06.28	ISSUED FOR REVIEW
01	2024.02.21	ISSUED FOR REVIEW

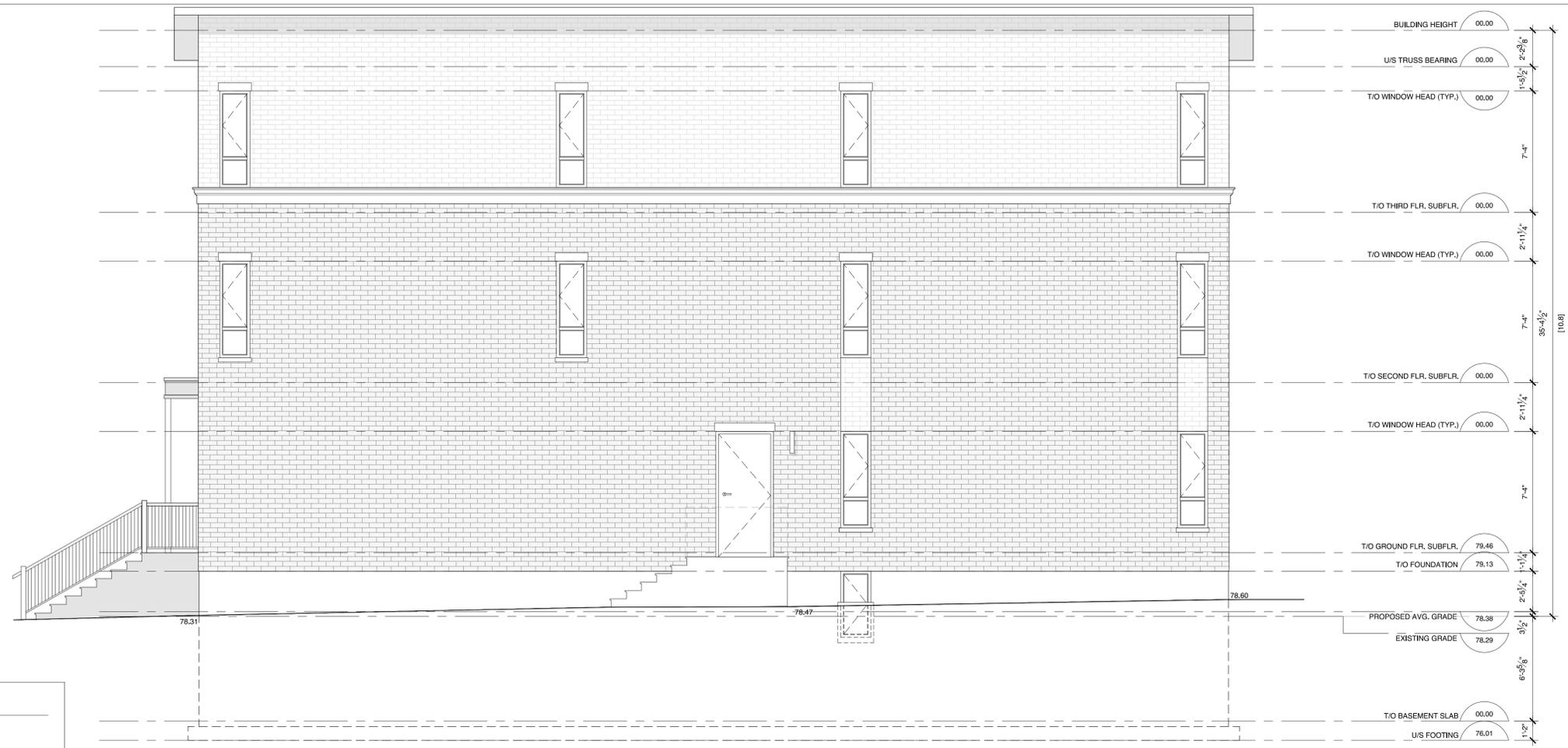
S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET
 SUITE 205
 OTTAWA, ONTARIO
 K2E 8B7
 T: (613) 739.7770
 F: (613) 739.7703
 sjl@sjlarchitect.com

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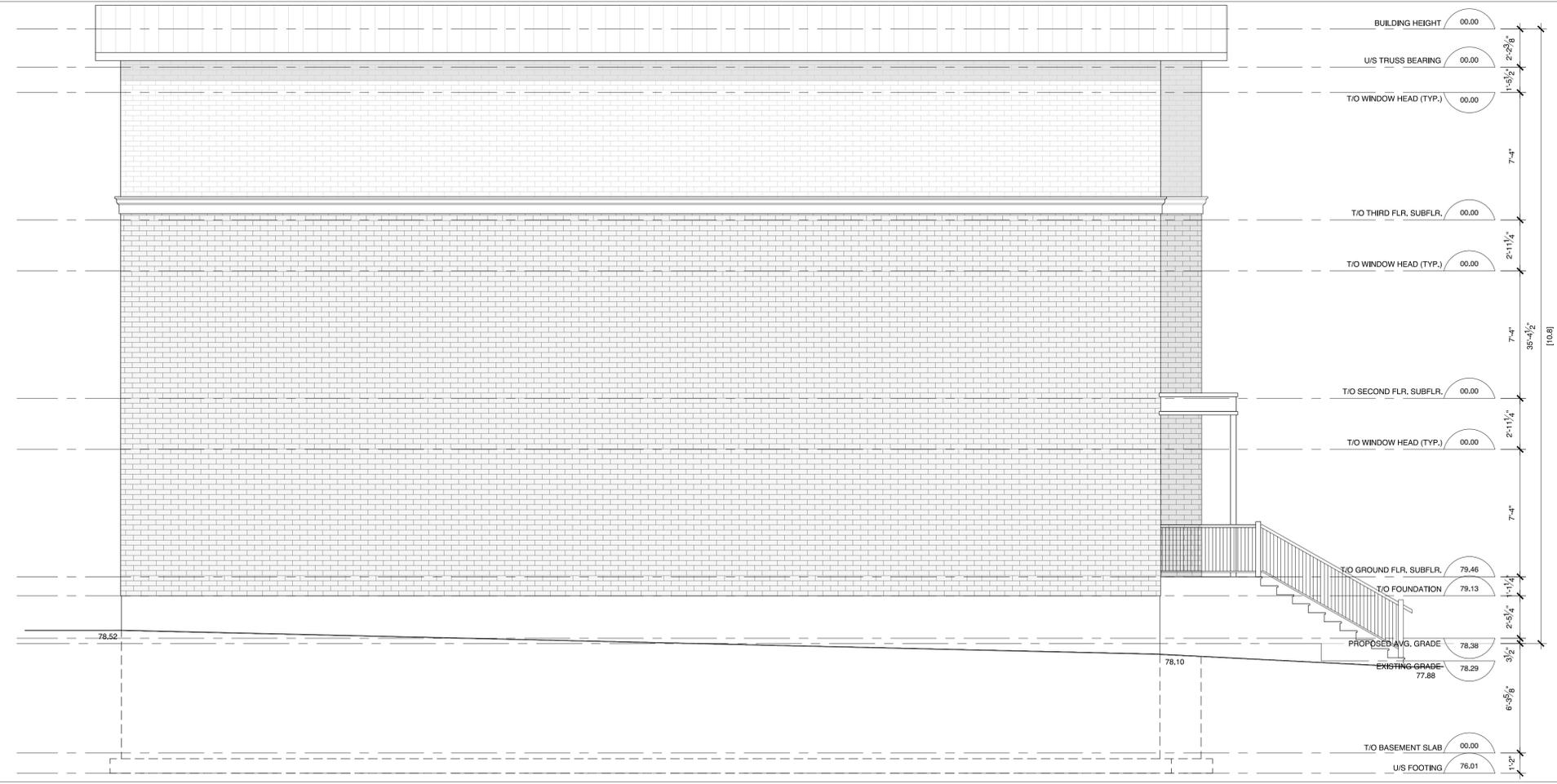
PROJECT:
 MODULAR HOMES - 8 PLEX
 (LOT 2 - BLOCK 2)
 2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
 ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21
JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN
SHEET NUMBER:



01 NORTH ELEVATION (LEFT) - LOT 2
A4.1b SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION (RIGHT) - LOT 2
A4.1b SCALE: 1/4" = 1'-0"

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



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 THEBERGE HOMES
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MECHANICAL & ELECTRICAL DRAWINGS:
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 20 MILL ST, MOREWOOD, ON K0A 2P0
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 420 OGDONOR ST, OTTAWA, ON K2P 1W4
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No.	DATE	REVISION
03	2025.05.07	1.F. ZONING BY-LAW AMENDMENT - REV1
02	2024.07.03	ISSUED FOR PRE-CON PHASE III
01	2024.02.21	ISSUED FOR REVIEW

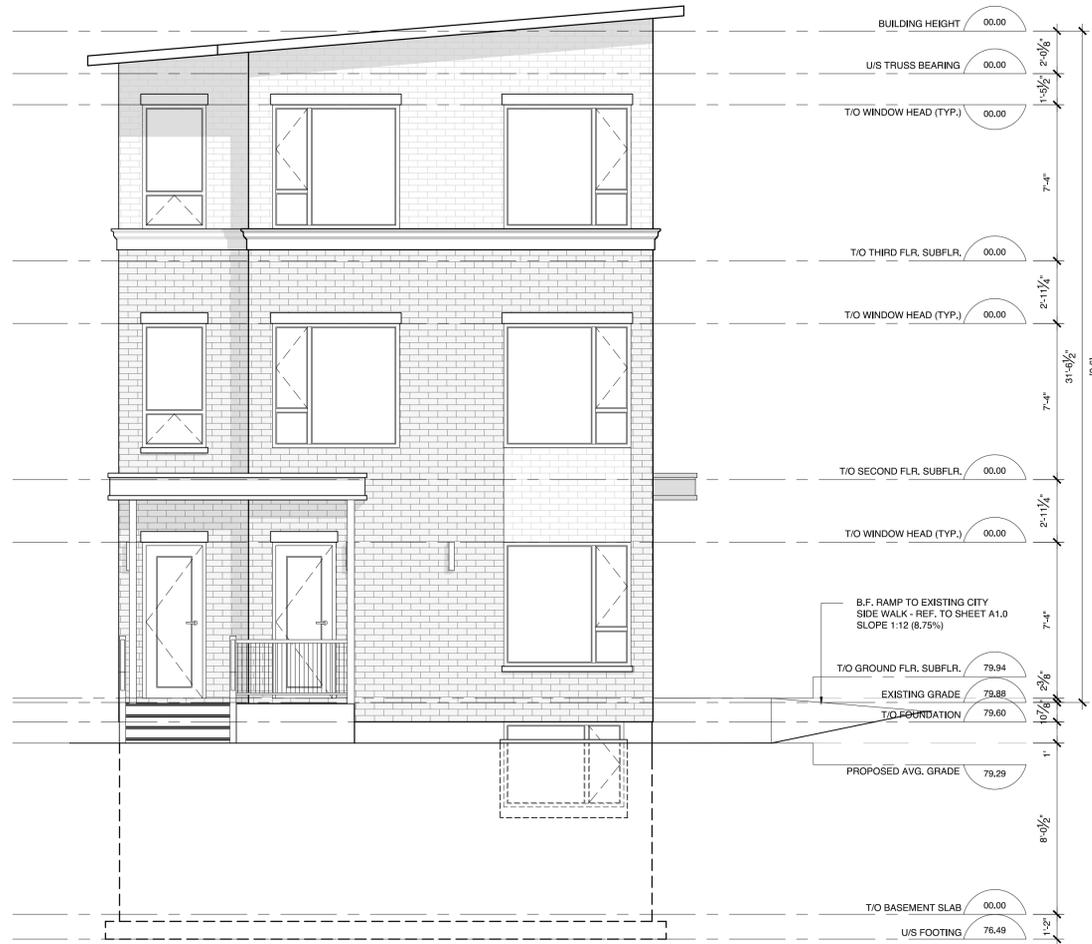
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PROJECT:
 MODULAR HOMES - 8 PLEX
 (LOT 3 - BLOCK 3)
 2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
 ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21
JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN
SHEET NUMBER:



01 EAST ELEVATION (FRONT) - LOT 3
 A4.2a SCALE: 1/8" = 1'-0"



02 WEST ELEVATION (REAR) - LOT 3
 A4.2a SCALE: 1/8" = 1'-0"

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PLANNER:
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SURVEYOR:
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No.	DATE	REVISION
03	2025.05.07	LF. ZONING BY-LAW AMENDMENT - REV1
02	2024.07.03	ISSUED FOR PRE-CON PHASE III
01	2024.02.21	ISSUED FOR REVIEW

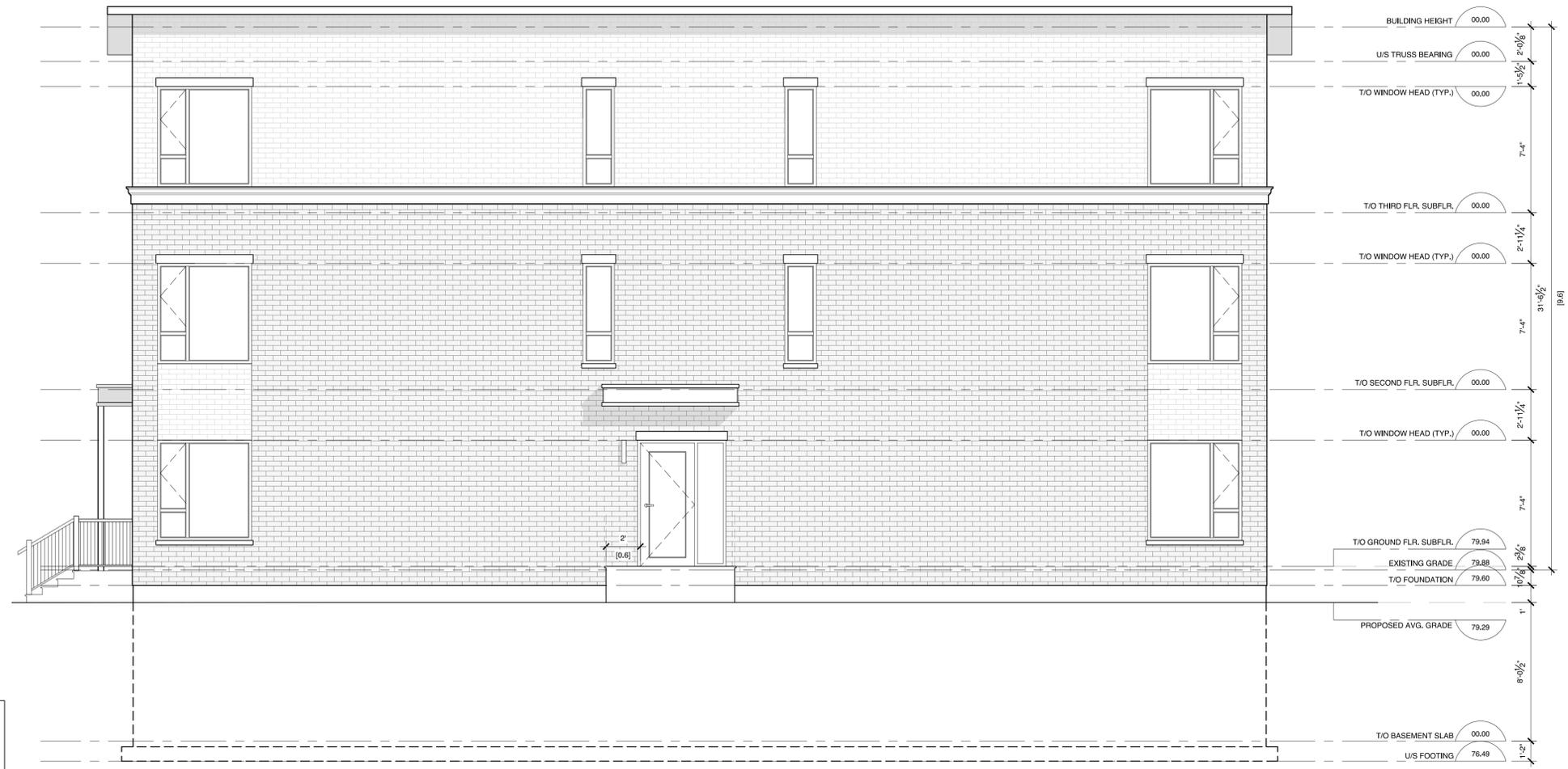
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PROJECT:
 MODULAR HOMES - 8 PLEX
 (LOT 3 - BLOCK 3)
 2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
 ELEVATIONS

DRAWN BY: H.K.	CHECKED BY: S.J.L.
PLOT DATE: 2025.05.07	PROJECT DATE: 2023.08.21
JOB NUMBER: SL-1126-24	SCALE: AS SHOWN
SHEET NUMBER:	



01 NORTH ELEVATION (RIGHT) - LOT 3
 A4.2b SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION (LEFT) - LOT 3
 A4.2b SCALE: 1/4" = 1'-0"

- NOTES:
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OWNER & CONSULTANTS:
OWNER: THE BERGE HOMES
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MECHANICAL & ELECTRICAL DRAWINGS:
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 (613) 306-4703
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PREFAB:
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PLANNER:
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 234 BOWEN CRES, OTTAWA, ON K1K 4V1
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No.	DATE	REVISION
09	2025.05.07	1.F. ZONING BY-LAW AMENDMENT - REV1
08	2025.03.21	ISSUED FOR COORDINATION
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PROJECT:
 MODULAR HOMES - 8 PLEX
 (LOT 1 - BLOCK 1)
 2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
 ZONING COMPLIANCE
 GLAZING CALCULATIONS
DRAWN BY: H.K. **CHECKED BY:** S.J.L.
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21
JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN
SHEET NUMBER:

