



MATERIAL LEGEND:

	TYP. BALLASTED ROOF
	TERRACE ROOF (PAVERS)
	BALCONIES
	PLANTERS

UNIT DISTRIBUTION SUMMARY

Level	Name	Count	Area
Level 1	One Bedroom	4	247.83 m ²
Level 1	One Bedroom (BF)	1	62.80 m ²
		5	310.62 m ²
Level 2	One Bedroom	8	508.47 m ²
Level 2	Studio	1	52.64 m ²
Level 2	Two Bedroom	3	301.49 m ²
		12	862.60 m ²
Level 3	One Bedroom	10	633.62 m ²
Level 3	One Bedroom + Den	4	318.80 m ²
Level 3	Studio	1	42.36 m ²
Level 3	Two Bedroom	4	383.79 m ²
		19	1378.55 m ²
Level 4	One Bedroom	10	639.32 m ²
Level 4	One Bedroom + Den	4	318.80 m ²
Level 4	Studio	1	42.46 m ²
Level 4	Two Bedroom	4	385.27 m ²
		19	1385.85 m ²
Level 5	One Bedroom	6	384.39 m ²
Level 5	One Bedroom + Den	4	318.80 m ²
Level 5	Studio	1	42.44 m ²
Level 5	Two Bedroom	6	561.11 m ²
		17	1306.75 m ²
Level 6	One Bedroom	8	508.25 m ²
Level 6	One Bedroom + Den	4	318.80 m ²
Level 6	Studio	1	42.36 m ²
Level 6	Two Bedroom	4	374.70 m ²
		17	1244.13 m ²
Level 7	One Bedroom	4	258.14 m ²
Level 7	Studio	1	42.36 m ²
Level 7	Two Bedroom	6	584.97 m ²
		15	1214.29 m ²
Level 8	One Bedroom	5	366.75 m ²
Level 8	One Bedroom + Den	1	81.03 m ²
Level 8	Studio	1	38.19 m ²
Level 8	Two Bedroom	5	487.01 m ²
		12	973.97 m ²
Level 9	One Bedroom	5	368.96 m ²
Level 9	Studio	1	39.21 m ²
Level 9	Two Bedroom	5	503.73 m ²
		11	913.90 m ²
		127	9590.67 m ²

ZONING INFORMATION

ZONE DESIGNATION - TM [2900] 480

PROVISION	REQUIRED	PROVIDED
MIN. LOT AREA	NO MIN.	2181.2
MIN. LOT WIDTH	NO MIN.	NORTH PROPERTY LINE 48.8m SOUTH PROPERTY LINE 49.6m
MAX. FRONT YARD SETBACK - RICHMOND RD.	AS PER SCHEDULE 480	SEE REVISED SCHEDULE 480
MIN. CORNER SIDE YARD SETBACK - TWEEDSMUIR AVE.		
MIN. INTERIOR SIDE YARD SETBACK		
MIN. REAR YARD SETBACK	MIN. 50% GROUND FLOOR FACADE TO A HEIGHT OF 4.5m FACING THE MAIN STREET TRANSPARENT WINDOWS AND ACTIVE ENTRANCES	55.36%
TRANSPARENT GLAZING	AS PER SCHEDULE 480	SEE REVISED SCHEDULE 480
BUILDING HEIGHT	ABUTTING A RESIDENTIAL ZONE - 3m; (may be reduced to 1m where a min. 1.4m high opaque fence is provided.)	1.2m AS A FENCE IS PROVIDED
MIN. WIDTH OF LANDSCAPED AREA	ALONG THE MOST WESTERN SIDE LOT LINE ABUTTING A RESIDENTIAL ZONE AS PER SCHEDULE 480 - NO MIN.	NONE
ACTIVE ENTRANCES	ALL OTHER CASES - NO MIN.	NONE
AMENITY AREA	MIN. ONE ACTIVE ENTRANCE PER EACH RESIDENTIAL OR NON-RESIDENTIAL USE ON GROUND FLOOR	3 RETAIL UNITS ABUTTING RICHMOND RD. WITH INDIVIDUAL ACTIVE ENTRANCES AND 3 RESIDENTIAL ENTRANCES ALONG TWEEDSMUIR AVE.
MIN. VEHICULAR PARKING	762m ²	TOTAL: 1524.88m ²
AREA Y ON SCHEDULE 1A	RESIDENTIAL: 0.5/UNIT AFTER FIRST 12 UNITS 10% REDUCTION WHEN ALL PARKING IS UNDERGROUND RESIDENTIAL VISITOR: 0.1/UNIT AFTER FIRST 12 UNITS RETAIL UNITS: <500m ² : 103 + 197m ² >500m ² : 1.25 PER 100m ² OF GFA RESTAURANT: <350m ² : 0 REQUIRED >350m ² : 5 PER 100m ²	52 SPACES 12 SPACES RETAIL SPACE: 104 + 198m ² 0 SPACES RESTAURANT SPACE 101 + 211m ² 0 SPACES
PARKING SPACE DIMENSIONS	MIN: 2.6m WIDE x 5.2m LONG UP TO 50% MAY BE REDUCED TO 2.4m WIDE AND 4.6m LONG	32 SPACES ARE 2.6m WIDE x 5.2m LONG
DRIVEWAY WIDTH	6m (MIN.) 6.7m (MAX.)	6m
PARKING ACCESS AISLE WIDTH	WITHIN 16m OF THE REAR LOT LINE IN AN UNDERGROUND PARKING GARAGE - 5.2m ALL OTHER CASES - 5.8m	5.1m 5.8m
ACCESSIBLE PARKING (per bylaw 2017-301)		1 SPACE
MIN. BICYCLE PARKING	RESIDENTIAL: 1.75/UNIT RETAIL: 1 PER 250m ² OF GFA	222 SPACES 2 REQUIRED 159 SPACES (1.25 PER UNIT) 2 SPACES

FLOOR	RESIDENTIAL	RETAIL
L1	2971.91 SF / 276.1 SM	6103.99 SF / 567.08 SM
L2	8353.11 SF / 776.03 SM	
L3	13427.54 SF / 1247.46 SM	
L4	13427.54 SF / 1247.46 SM	
L5	12899.04 SF / 1179.78 SM	
L6	11515.12 SF / 1069.79 SM	
L7	11833.73 SF / 1099.39 SM	
L8	9645.64 SF / 896.11 SM	
L9	9048.88 SF / 840.65 SM	
TOTAL	92923.31 SF / 8632.76 SM	6103.99 SF / 567.08 SM
TOTAL COMBINED	99026.3 SF / 9199.84 SM	

BICYCLE PARKING TYPES

	0.5 m	0.6 m
	1.5 m	1.8 m

VEHICLE PARKING TYPES

	2.6 m	3.4 m	1.5 m	2.4 m	1.5 m
	5.2 m	5.2 m	5.2 m	5.2 m	5.2 m
TYP. STALL	ACCESSIBLE TYPE 'A'	ACCESSIBLE TYPE 'B'			

*NOTE: TYPICAL CONFORMING STALLS HIGHLIGHTED IN YELLOW ON PLANS. REMAINING STALLS ARE NON-CONFORMING.



3019 Carling Ave, Suite 201B,
Ottawa, K2K 2A3

- ALL SITE INFORMATION TAKEN FROM PLAN OF SURVEY AS PREPARED BY FARLEY, SMITH, AND DENIS OLS, DATED SEPTEMBER 10, 2020. PART OF LOT 4 AND ALL OF LOTS 5, 6 & 42, REGISTERED PLAN 263, CITY OF OTTAWA.
- REFER TO LANDSCAPE PLANS FOR SIDEWALK, DEMARCATION OF PEDESTRIAN CLEARWAY, PAVING, AND PLANTING STRATEGIES
- ALL BUILDING SETBACKS AND STEPBACKS TO CONFORM TO THE ZONING AND HEIGHT SCHEDULE ATTACHED TO SITE PLAN SHEET A01.00
- PERMITTED PROJECTION DECORATIVE CORNICE DETAIL OMITTED FROM SITE PLAN FOR CLARITY
- PROJECTING CANOPIES @ GROUND LEVEL SUBJECT TO EASEMENT.

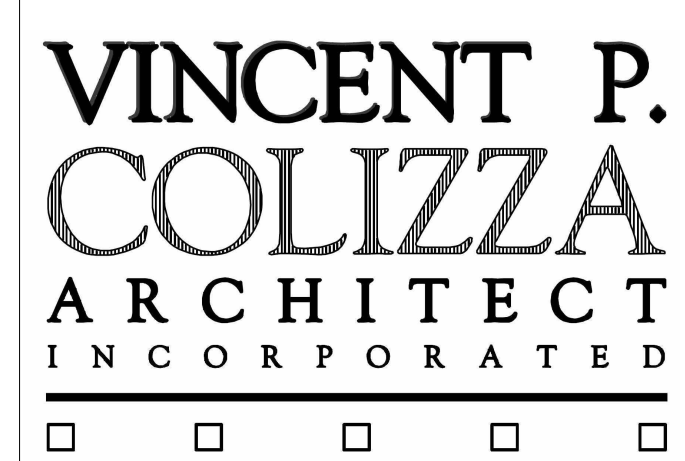
No.	DESCRIPTION	DATE	CHD
17	Updated Site Plan Data	2025-08-28	
16	Updated Site Plan	2025-08-12	
15	Revised Parking - P1-P2	2025-07-14	
14	Issued to Consultants	2025-06-06	
13	Full Arch. Set	2025-04-17	
12	Schematic Design	2025-04-09	
7	Issued for SPA	2024-03-05	
6	Revised as per City Comments R2	2023-11-14	
5	Revised as per City Comments	2023-08-28	
3	Revised for Zoning Amendment	2023-04-04	
2	Revised for Zoning Amendment	2023-04-04	
1	Issued for Zoning Amendment	2023-04-03	

REVISIONS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE THE DRAWINGS

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE ARCHITECT	
DATE	03/05/2024
DRAWN	SH
DATE	03/05/2024
CHECKED	VPC
DATE PRINTED	2025-08-28 11:26:27 AM



249, 255 Richmond Road, 372
Tweedsmuir Avenue
Ottawa, ON

DWG. TITLE
Site Plan

SCALE As indicated	DWG. NO. A01.00
PROJ. NO. 2219	